

**KEYED NOTES**

- NEW STANDUP CURB TYPICAL
- NEW SIDEWALK TYPICAL
- NEW PARKING BUMPER - (B) REQUIRED
- EXISTING REFUSE CONTAINER SEE DETAIL THIS SHEET (BLDG. A & B)
- NEW REBORN STYLE BIKE RACK 5 SPACES
- FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
- STANDARD DUTY ASPHALT PAVING TYPICAL
- ENTRANCE COURTYARD 480 SQ. FT.
- INDICATES PROPOSED LOCATION OF PNM TRANSFORMER.
- CONCRETE PATIO - 975 SF. PROVIDE WITH TABLE AND MAKE ACCESSIBLE TO EMPLOYEES.
- MONUMENT SIGN - EXISTING
- LIGHT POLES (4) - SEE DETAIL THIS SHEET
- EXISTING 4' WIDE SIDEWALK TO REMAIN
- PEDESTRIAN ACCESS - SCORED & RAISED SURFACE (EXISTING)
- EXISTING MEDIAN AND CURB RETURN TO BE REMOVED
- EXISTING ASPHALT DRIVE TO BE REMOVED
- EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH CURB & GUTTER
- EXISTING REFUSE ENCLOSURE TO REMAIN
- PROPOSED SANITARY SEWER CLEANOUT, CONNECT TO EXISTING MANHOLE
- PROPOSED WATER METER W/ NEW 1" WATER LINE
- NEW 4" CONDUIT FROM 400 AMP TRANSFORMER TO NEW BUILDING
- NEW TELEPHONE LINE INTO THE NEW BUILDING

**GENERAL NOTES - CITY REQUIRED**

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN AN UNLIMITED DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND AN INCREASE IN CONSTRUCTION COSTS TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONTRACTOR RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAILS N. 2426. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- ALL EASEMENTS SHOWN ON THIS PLAN ARE EXISTING TO REMAIN.
- ALL OFFSITE ELEMENTS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

**PROJECT INFORMATION**

LOCATION: SOUTH-WEST CORNER OF ELLISON & CALLE CLERVO NW  
 DEVELOPER: HEREFORD LLC  
 LEGAL DESCRIPTION: TRACT D-5A OF SEVEN BAR RANCH WITHIN SECTION 5, TOWNSHIP 1 NORTH, RANGE 3 EAST NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM  
 CURRENT ZONING: SUH FOR P USES  
 PROPOSED: SAME  
 TOTAL ACREAGE: 1956.4 ACRES  
 ZONING ATLAS PAGE: A-14-Z

**CASE NUMBER: Z-101500-1789**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AUG. 23, 2001 - 002800936 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

**SIGNATURE BLOCK**

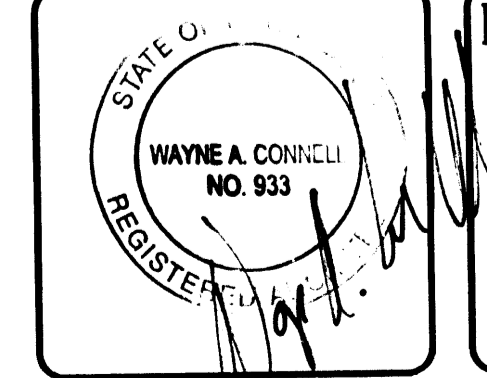
TRAFFIC ENGINEER, TRANSPORTATION DIVISION: *12/20/01*  
 PUBLIC WORKS, WATER UTILITIES DIVISION: *12/13/01*  
 CITY ENGINEER, ENGINEERING DIVISION/AMAFCA: *12/16/01*  
 DATE: *12-12-01*  
 CITY PLANNER, ALBUQUERQUE: *12/11/01*

**RADIUS LEGEND**

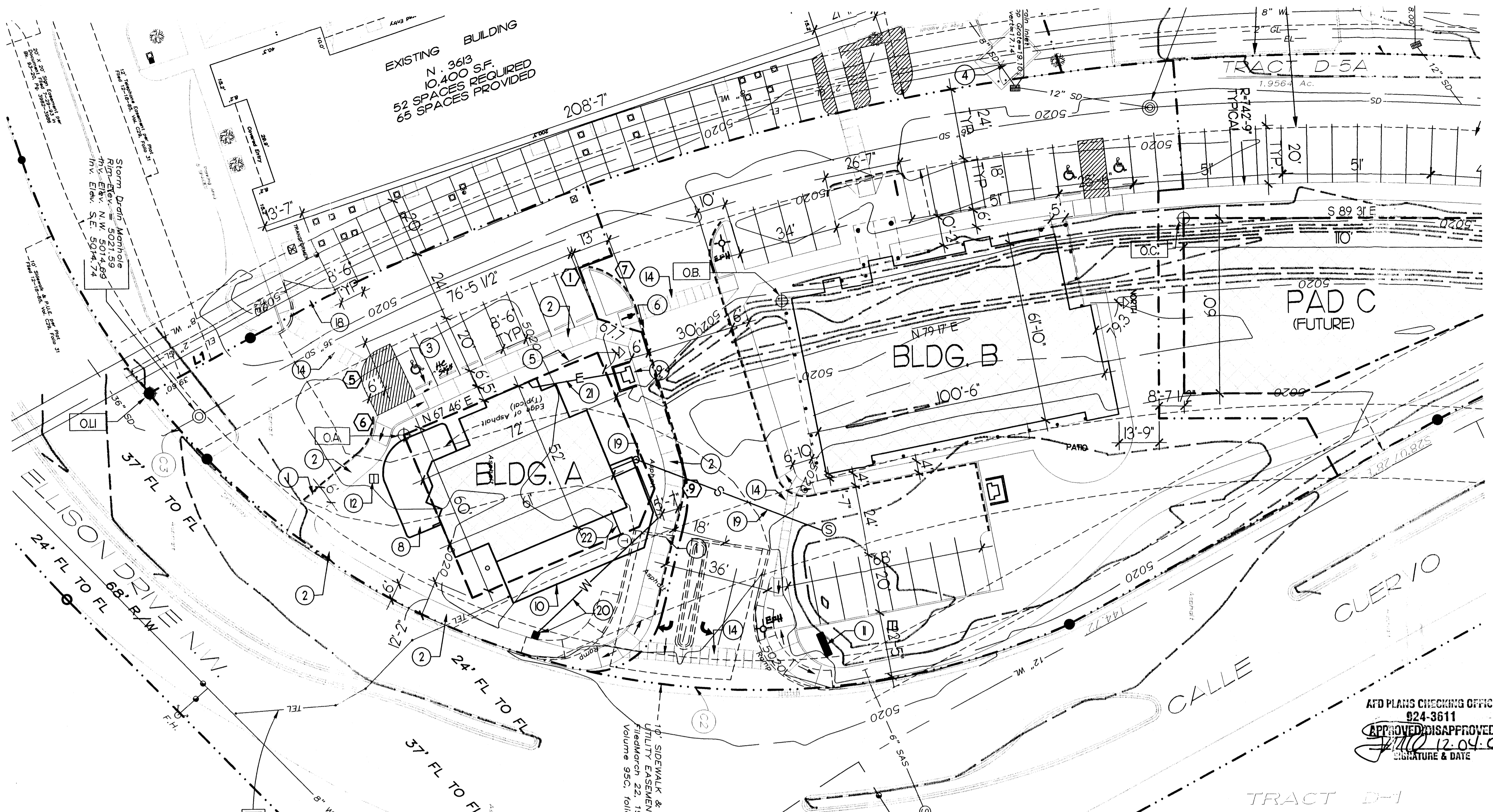
① 2' RADIUS	④ 5' RADIUS	⑦ 20' RADIUS	⑩ 50' RADIUS
② 3' RADIUS	⑤ 10' RADIUS	⑧ 25' RADIUS	⑪ 100' RADIUS
③ 4' RADIUS	⑥ 15' RADIUS	⑨ 35' RADIUS	⑫ 150' RADIUS

DATE: 12/2/01  
 DRAWN: WC  
 DESIGN: WC  
 PROJ NO. 14018301

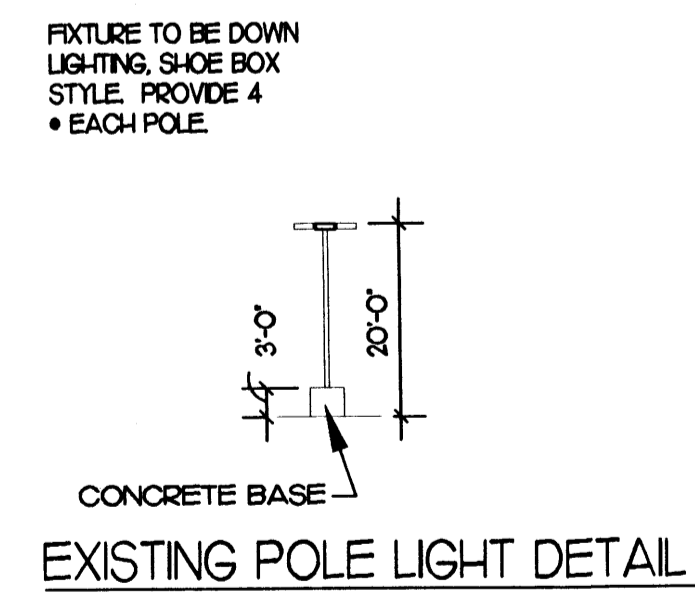
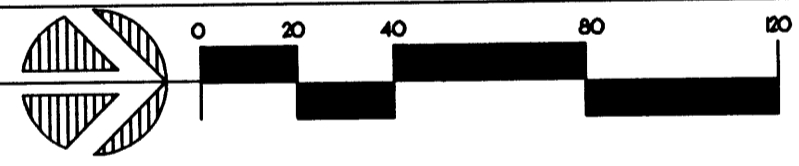
SHEET: C1



**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc.  
 ARCHITECTURE/ENGINEERING/PLANNING  
 6501 AMERICAS PARKWAY NE  
 SUITE 550  
 ALBUQUERQUE  
 NEW MEXICO  
 87110  
 PHONE (505)-883-8114  
 FAX (505)-883-5022



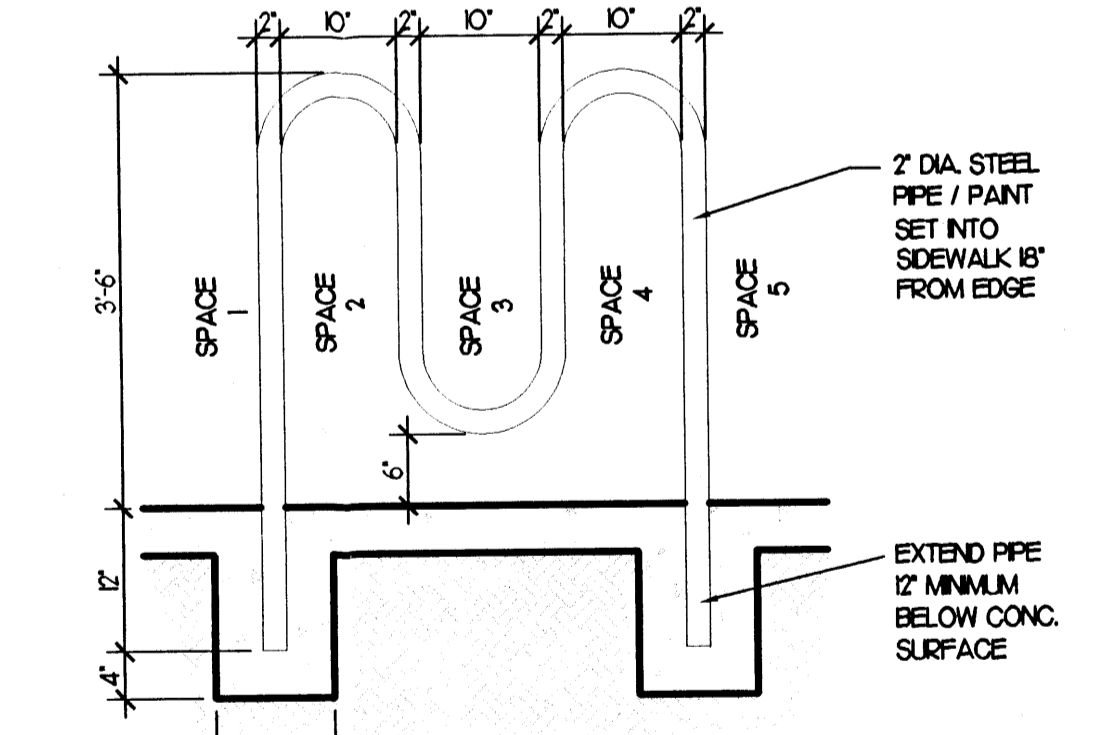
**SITE PLAN**  
 SCALE 1"=20'-0"



**BUILDING LEGEND (BUILDING "A")**

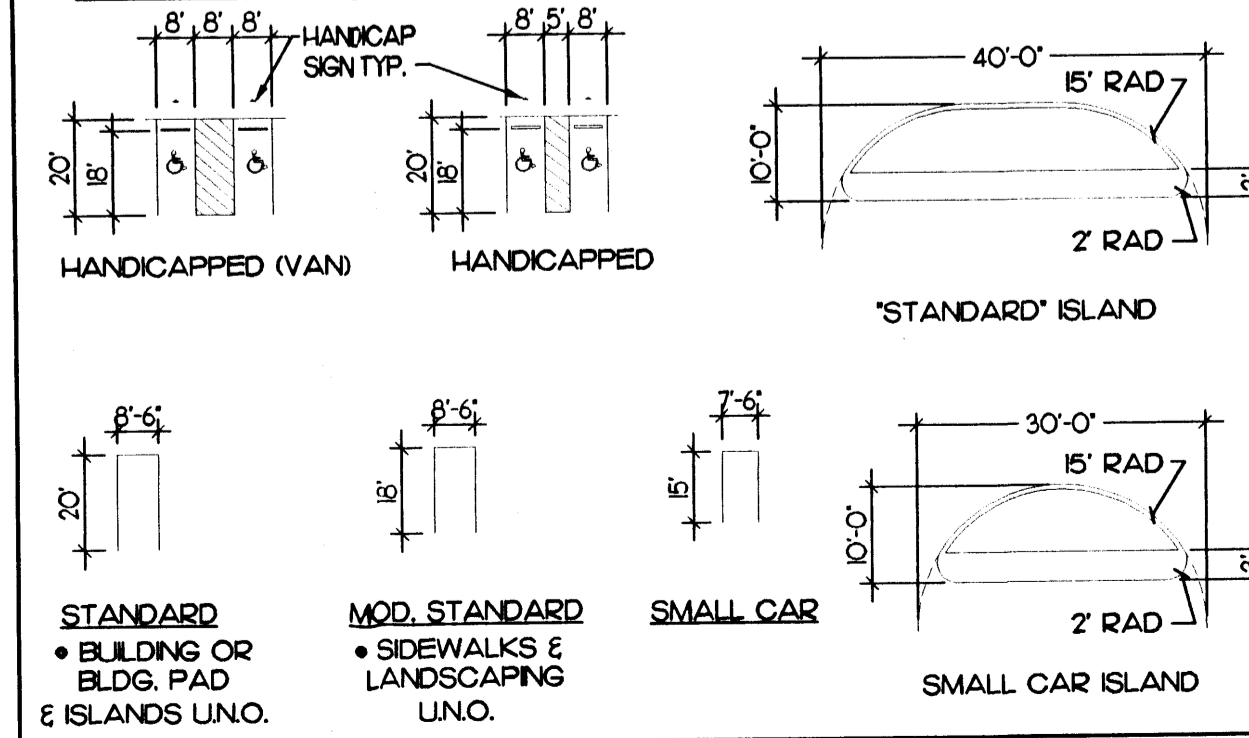
VETERINARY OFFICE BUILDING	2,672 SF. • 1,528 SF. (FUTURE) • 4,200 SF.
OFFICE	1 PER 200 SF. • 2 SPACES
PARKING REQUIRED:	0 HC SPACES
PARKING PROVIDED:	2 SPACES
	0 HC SPACES
BICYCLE PARKING:	4 SPACES NEEDED / 5 SPACES PROVIDED
LANDSCAPING REQUIRED:	BLDG. "A" SITE = 26,00 SF. • 4,200 SF. (BUILDING AREA) • 2,800 NET LOT AREA • 15 • 3,270 SF.
LANDSCAPING PROVIDED:	• 6,600 SF.

- EPC CONDITIONAL NOTES:**  
 PER THE OFFICIAL NOTIFICATION OF DECISION FROM THE EPC FILE# 0028 00000 00574/0028 00000 00575, THE FOLLOWING CONDITIONS SHALL BE ADHERED TO:
- PADS "A" AND "C" SHALL GO BEFORE EPC AND SHALL CLOSELY INTEGRATE WITH PAD "B" DEVELOPMENT.
  - THE TOP OF PARAPET AND SCREEN WALLS SHALL BE GREATER THAN THE TOP OF ALL HVAC EQUIPMENT.
  - THERE SHALL BE A 10' OFFSET FROM FACE OF CURB TO FACE FRONT OF BUILDINGS TO MAINTAIN A MINIMUM 6' CLEAR SIDEWALK AND PROVIDE EITHER TREES AT 25' ON CENTER IN 5X5 PLANTERS, A PORTAL OR AWNINGS WITH A CLEAR 6' PATHWAY.
  - NO GENERIC FRANCHISE ELEVATION ARCHITECTURE SHALL BE PERMITTED.
  - NO PLASTIC OR VINYL AWNINGS AND FASCIAS SHALL BE PERMITTED.
  - NO UNCONCEALED CELL TOWERS SHALL BE PERMITTED.
  - SIGNAGE SHALL BE LIMITED TO 1 MONUMENT SIGN THIS IS A MAXIMUM OF 10' TALL, WITH A FACE AREA OF 50 SQUARE FEET MAXIMUM. BUILDING SIGNAGE SHALL BE RESTRICTED TO A MAXIMUM OF 48" OF THE FACE TO WHICH IT IS APPLIED, WITH A MAXIMUM LETTER HEIGHT OF 2" AND LETTERING SHALL BE INTERNALLY LIT CHANNELLED LETTERS.



**2 BICYCLE RACK**  
 SCALE 3/4"=1'-0"

**PARKING TYPES & ISLAND DETAILS**



**LEGEND:**

Underground Utility =	■
Pedestal	□
Water Meter =	□
Light Pole =	□
Drop Inlet =	□
Transformer =	■
Tree =	●
Water Valve =	•
Traffic Signal Box =	■
Sprinkler Control Box =	■
Electric Box =	■
Traffic Signal =	—
Clean Out =	•
Storm Drain Man Hole =	⊙
Sanitary Sewer Man Hole =	⊙

**BUILDING LEGEND (SUBDIVISION)**

FUTURE OFFICE BUILDING	A	4,200 SF.
DENTIST OFFICE BUILDING	B	6,068 SF.
FUTURE OFFICE BUILDING	C	4,800 SF.
TOTAL		15,068 SF.

PARKING REQUIRED: OFFICE = 1 PER 200 SF. • 76 SPACES (4 HC SPACES)

PARKING PROVIDED: 76 SPACES (5 HC SPACES)

BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

LANDSCAPING REQUIRED: TOTAL SITE = 85,248.83 SF. • 15,068 SF. (BUILDING AREA) • 70,144.83 NET LOT AREA • 15 • 10,527 SF.

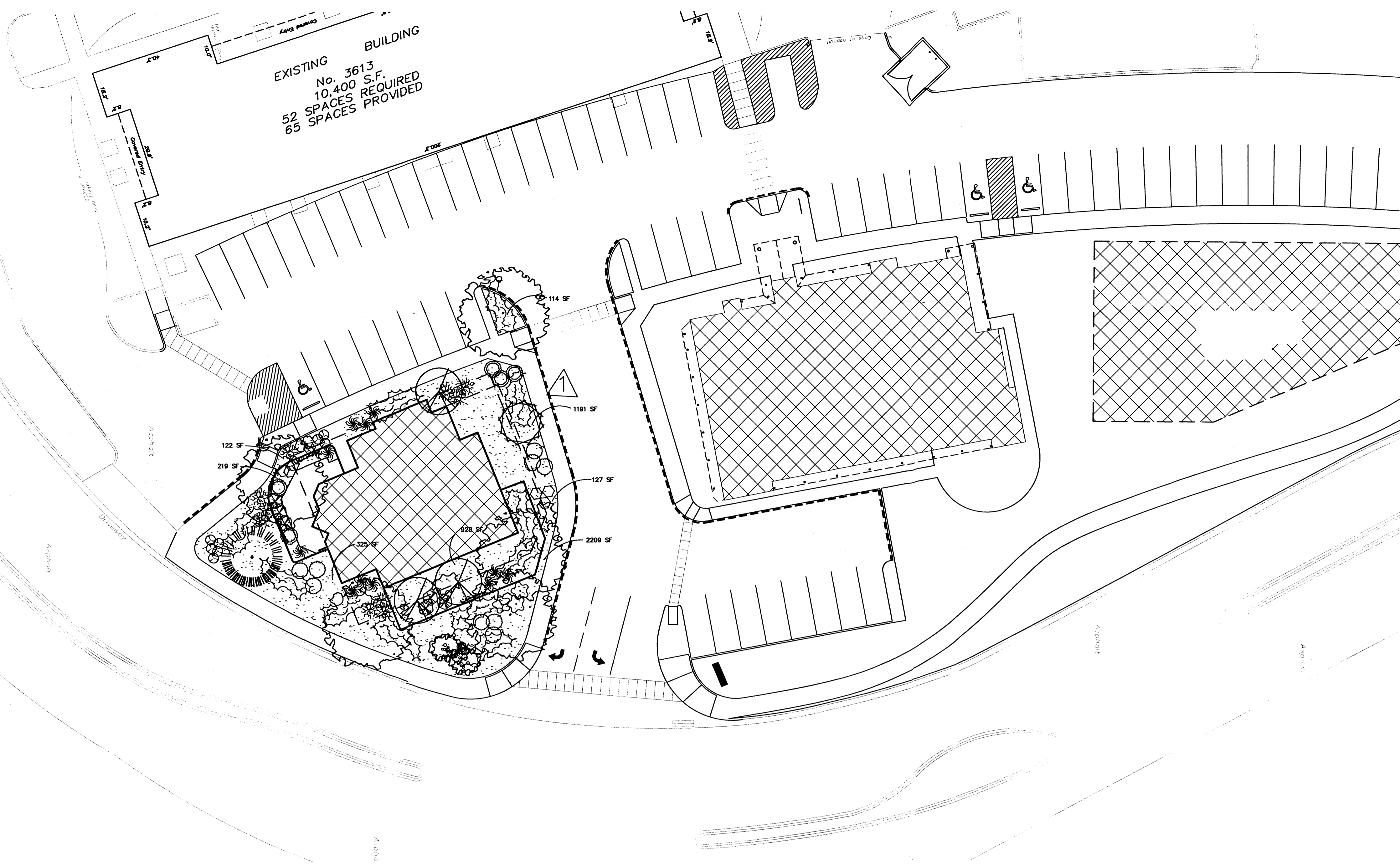
LANDSCAPING PROVIDED: • 2,639 SF.

APD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/REAPPROVED  
 12/04/01  
 SIGNATURE & DATE

TRACT D-5A  
 Michael Nathan SWMB will comply w/ con spaces 12-04-01

PROD 10664  
 12/13/01  
 12/16/01  
 12-12-01  
 12/11/01





**PLANT LEGEND**

- ASH (H) OR HONEY LOCUST (H)  
*Fraxinus pennsylvanica*  
*Gleditsia triacanthos*  
2" Cal.
- FLOWERING PEAR (H)  
*Pyrus calleryana*  
2" Cal.
- DESERT WILLOW (M)  
*Chilopsis linearis*  
15 gal.
- AUSTRIAN PINE (H)  
*Pinus nigra*  
6"-8"
- WASHINGTON HAWTHORN (H)  
*Crataegus phoenopyrum*  
15 Gal.
- POTENTILLA (M) 3  
*Potentilla fruticosa*  
5 Gal.
- NANDINA (M) 6  
*Nandina domestica*  
5 Gal. 25sf
- ROSEMARY (M) 5  
*Rosmarinus officinalis*  
5 Gal. 36sf
- APACHE PLUME (L) 9  
*Fallugia paradoxa*  
5 Gal. 25sf
- AUTUMN SAGE (M) 9  
*Salvia greggii*  
1 Gal. 9sf
- SILVERBERRY (M) 10  
*Eleagnus pungens*  
5 Gal.
- MAIDENGRASS (M) 11  
*Miscanthus sinensis*  
5 Gal. 16sf
- WILDFLOWER 8  
1 Gal. 4sf
- BOSTON IVY (M) 12  
*Parthenocissus tricuspidata*  
5 Gal. 400sf
- CORAL BEAUTY COTONEASTER (M) 30  
*Cotoneaster spp.*  
5 Gal. 200sf  
(each symbol represents 3 plants)
- OVERSIZED GRAVEL & BOULDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC

*Approved  
ash  
12-27-01*

**LANDSCAPE PLAN** 0 10' 20' 40' 60'  
1" = 20'

**LANDSCAPE NOTES:**  
LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.  
IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE, WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE, PLANTING RESTRICTION APPROACH.  
APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.  
ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.  
PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

**IRRIGATION NOTES:**  
IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT THE END.  
RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.  
POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.  
IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.  
IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

12 CORAL BEAUTY COTONEASTER WERE ADDED AS REQUESTED, ADDING AN ADDITIONAL 2400 SF LIVE GROUND COVER AT MATURITY.

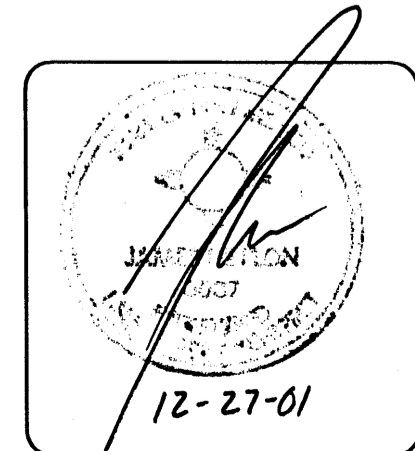
**BUILDING LEGEND (BUILDING "A")**  
VETERINARY OFFICE BUILDING 2,672 S.F. + 1,528 S.F. (FUTURE) = 4,200 S.F.  
PARKING REQUIRED: OFFICE = 1 PER 200 S.F. = 21 SPACES (1 HC. SPACE)  
PARKING PROVIDED: 21 SPACES (1 HC. SPACE)  
BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED  
LANDSCAPING REQUIRED: BLDG. "A" SITE = 26,00 S.F. - 4,200 S.F. (BUILDING AREA) = 21,800 NET LOT AREA \* .15 = 3,270 S.F.  
LANDSCAPING PROVIDED: = 6,600 S.F.

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
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it@hilltoplandscaping.com

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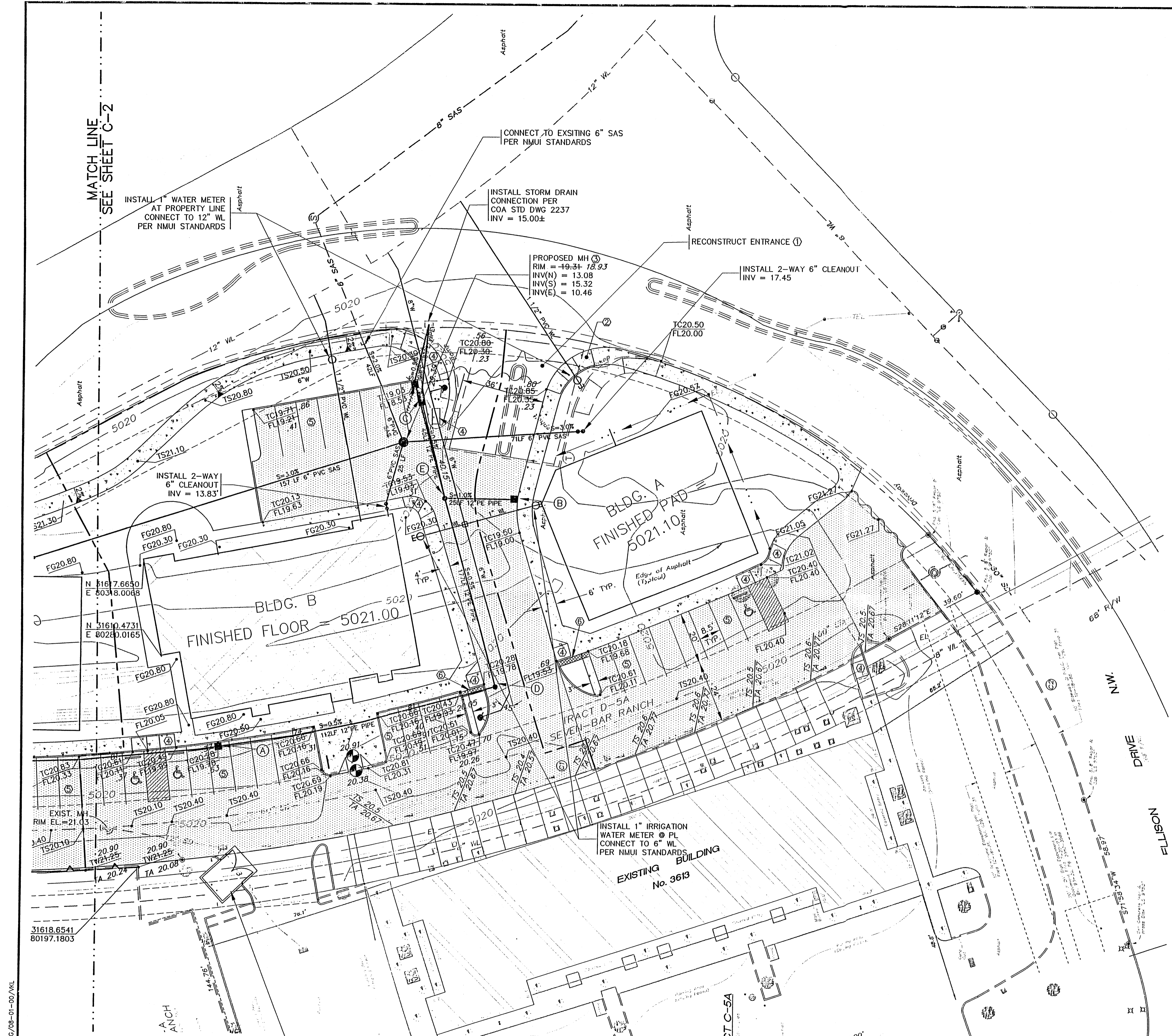
NO.	REVISION	DATE

DATE: 11/16/01  
DRAWN: WC  
DESIGN: WC  
PROJ NO. 14018301  
**SHEET: L1**



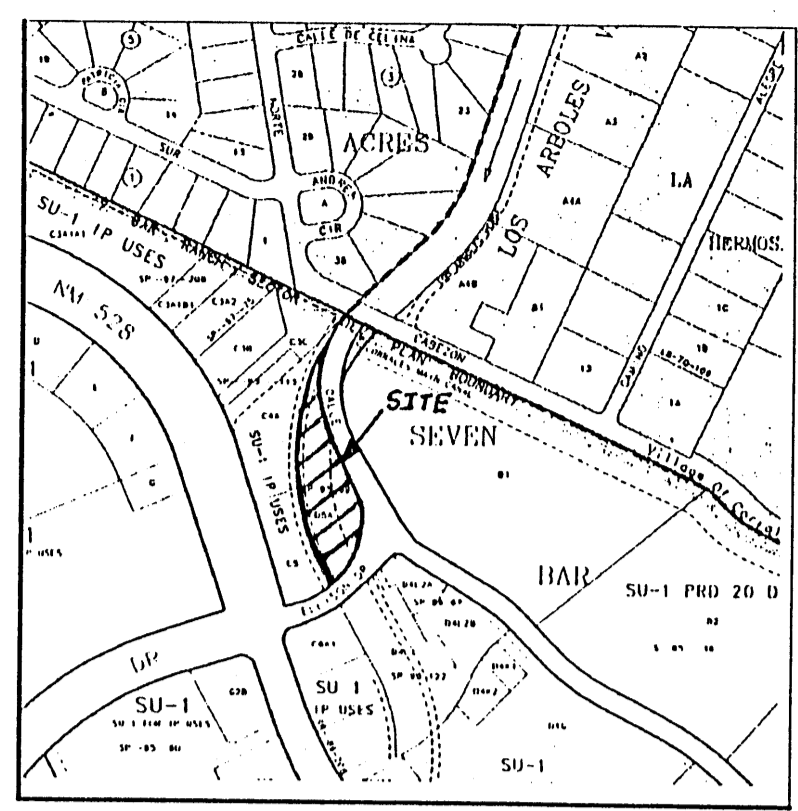
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc.  
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6501 AMERICAS PARKWAY NE  
SUITE 550  
ALBUQUERQUE  
NEW MEXICO  
87110  
PHONE (505)-883-8114  
FAX (505)-883-5022



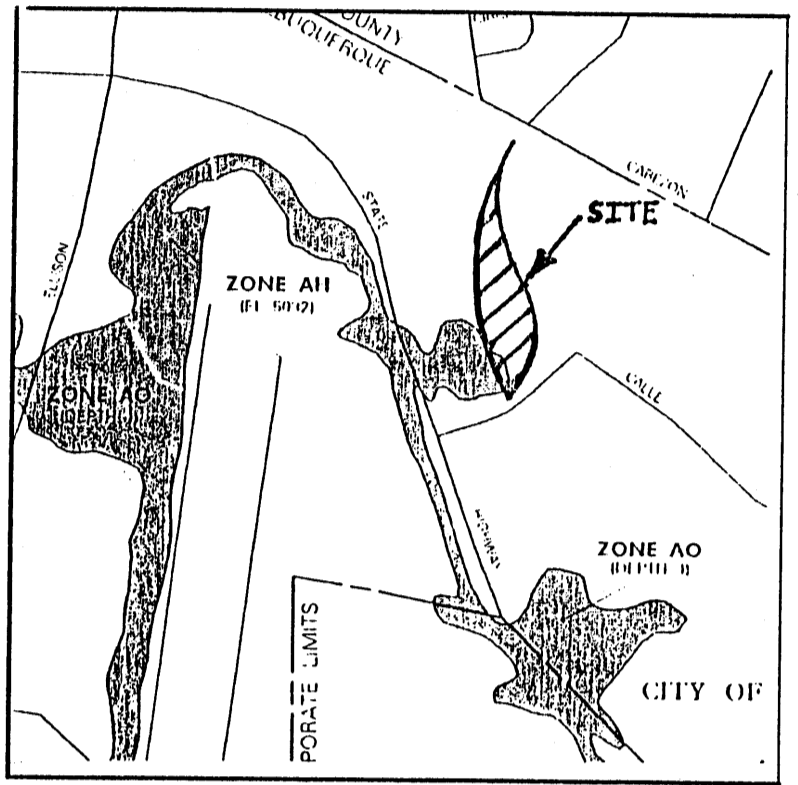


- LEGEND**
- EXISTING INTERMEDIATE CONTOUR
  - EXISTING INDEX CONTOUR
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - PROPOSED FLOWLINE
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT
  - PROPOSED CONCRETE
  - EXISTING WATERBLOCK
  - PROPOSED STORM INLET
  - WATER METER
  - CLEAN OUT - SANITARY SEWER
  - MANHOLE
  - TOP OF CURB
  - FLOW LINE
  - TOP OF MANHOLE/STORM INLET FRAME
  - STORM DRAIN
  - TOP OF EXISTING STORM DRAIN FINISH GRADE
  - FINISH GRADE
  - TOP OF WALL
  - HIGH DENSITY POLYETHYLENE
  - PROPOSED FIRE HYDRANT

- AS-BUILT LEGEND**
- TA TOP OF ASPHALT
  - TS TOP OF SOIL CEMENT
  - AS-BUILT ELEVATION



LOCATION MAP  
ZONE ATLAS MAP NO. A-14-Z



FLOOD INSURANCE MAP  
REFERENCE: FLOOD INSURANCE STUDY  
PANEL 109D

DRAINAGE STRUCTURE	TYPE	TF	INVERT	NORTH	EAST
(A)	SD INLET	19.78	16.78	N 31587.6831	E 80245.0273
(B)	SD INLET	18.88-69	15.59	N 31472.6147	E 80342.7307
(C)	SD INLET	18.33-19	15.11	N 31510.2733	E 80387.2844
(D)	SD MH	19.78	16.22	N 31477.8642	E 80269.0073
(E)	SD MH	19.00	15.34	N 31493.3517	E 80336.8464
(E)	SQ INLET	19.28	A/B 19.52		

**KEYED NOTES**

- ① CONSTRUCT NEW PRIVATE ENTRANCE IN ACCORDANCE WITH COA STD. DWG. 2426
- ② CONSTRUCT WHEELCHAIR RAMPS IN ACCORDANCE WITH COA STD. DWG. 2441-CASE I.
- ③ CONSTRUCT SANITARY MANHOLE IN ACCORDANCE WITH COA DWG. 2101
- ④ WHEELCHAIR RAMP - SEE ARCHITECTURAL SHEET FOR DETAIL
- ⑤ PARKING SPACE PER SECTION 7 OF THE DPM.
- ⑥ CONSTRUCT 24" SIDEWALK CULVERT IN ACCORDANCE WITH COA STD. DWG. 2236

**Easterling & Associates, Inc.**  
CONSULTING ENGINEERS  
2600 American Road SE, Suite 100  
Rio Rancho, New Mexico 87124  
(505) 898-8021 FAX (505) 898-8501

DATE: SEPT. 2000  
FILE NO.: 5250  
DESIGN GN: WLV

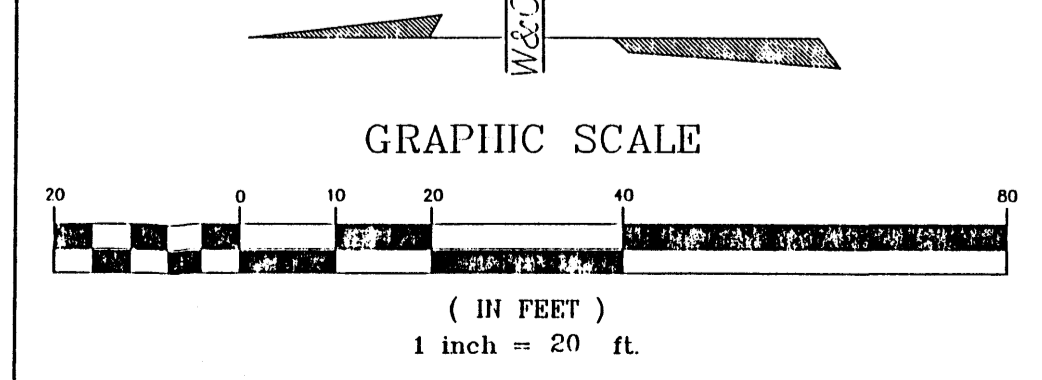
CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP  
**TRACT D - 5A  
GRADING DRAINAGE AND UTILITY PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	
	A-14	C2	

**CERTIFICATION FOR CERTIFICATE OF OCCUPANCY-HYDROLOGY**  
I HEREBY CERTIFY THAT I HAVE INSPECTED THE SITE GRADING AND DRAINAGE IMPROVEMENTS AND THAT THEY HAVE BEEN CONSTRUCTED AND ARE EXPECTED TO FUNCTION IN SUBSTANTIAL COMPLIANCE WITH THE INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN. THE AS-CONSTRUCTED INFORMATION SHOWN ON THIS PLAN WAS PROVIDED BY OTHERS. PROPOSED CONTOURS HAVE NOT BEEN REVISED TO REFLECT AS-CONSTRUCTED ELEVATIONS AND SHOULD BE CONSIDERED APPROXIMATE.

THIS CERTIFICATION IS FOR BUILDING "B" ONLY.

SIGNATURE: *[Signature]* NMPE# 12254



**LEGAL DESCRIPTION**  
TRACT D-5A OF SEVEN BAR RANCH ALBUQUERQUE, NM

**BENCH MARK**  
NMSTHD BRASS CAP "N.M. 448-N12" ELEV. 5023.41  
LOCATED 60' WEST OF C OF COORS ROAD N.W.  
APPROX. 550' SOUTH OF INTERSECTION WITH  
CORRALES ROAD N.W. (S.R. 528)

T:\PROJECTS\5250\N\SHEETS\5250GUL.DWG/08-01-00\AKL



DRAINAGE STRUCTURE	TYPE	TF	INVERT	NORTH	EAST
(F)	SD INLET	19.28	17.09	N 31750.3058	E 80239.6824

**AS-BUILT LEGEND**

TA	TOP OF ASPHALT
TS	TOP OF SOIL CEMENT
—	AS-BUILT ELEVATION

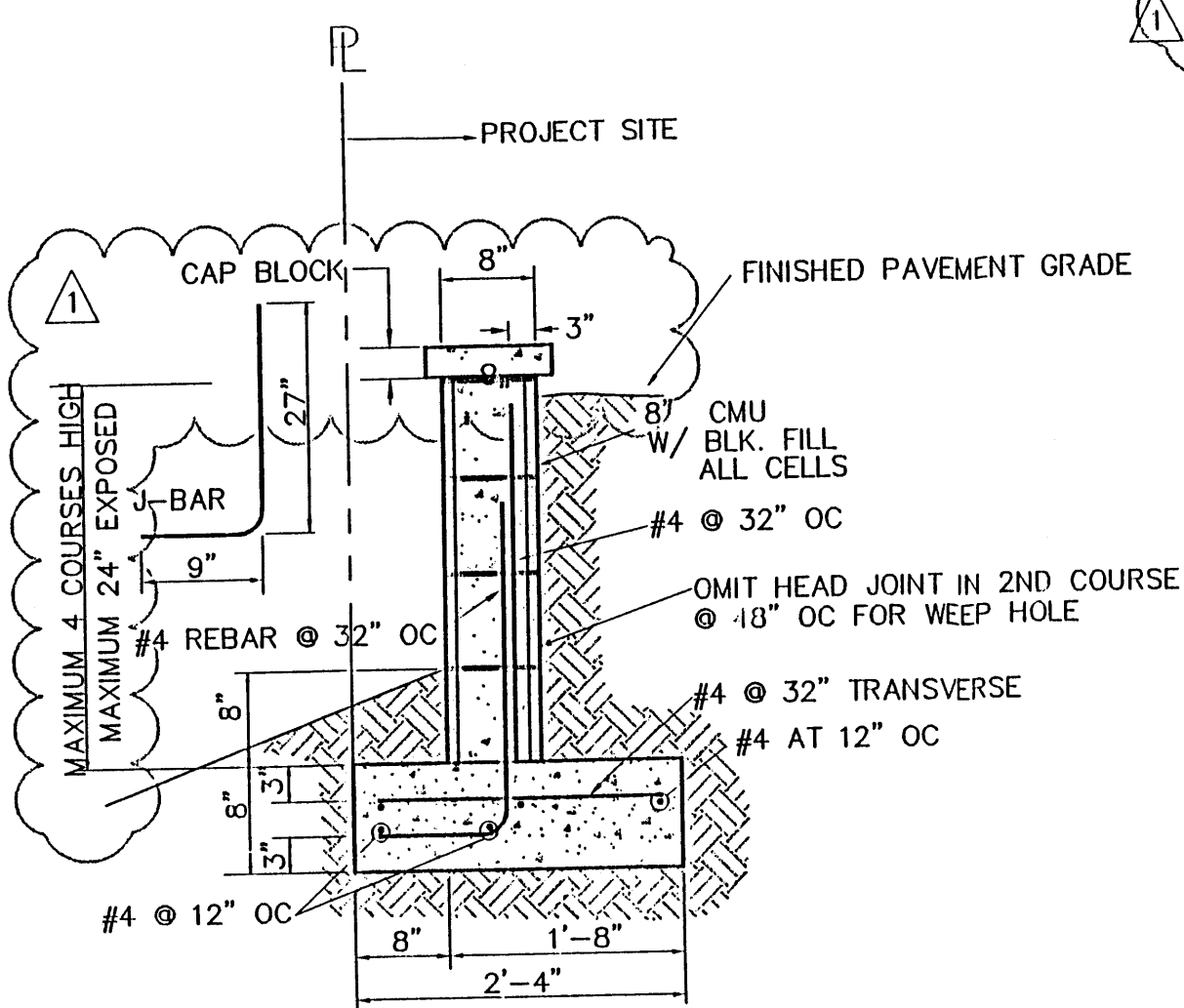
**NOTICE TO CONTRACTOR**

1. AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVAL  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

**KEYED NOTES**

1. CONSTRUCT NEW PRIVATE ENTRANCE AND RECONSTRUCT NEW PORTION OF EXISTING ENTRANCE IN ACCORDANCE WITH COA STD. DWG. 2426
2. CONSTRUCT WHEELCHAIR RAMPS IN ACCORDANCE WITH COA STD. DWG. 2441-CASE I.
3. CONSTRUCT SANITARY MANHOLE IN ACCORDANCE WITH COA DWG. 2101
4. WHEELCHAIR RAMP - SEE ARCHITECTURAL SHEET FOR DETAIL.
5. PARKING SPACE PER SECTION 7 OF THE DPM.



**TYPICAL RETAINING WALL**

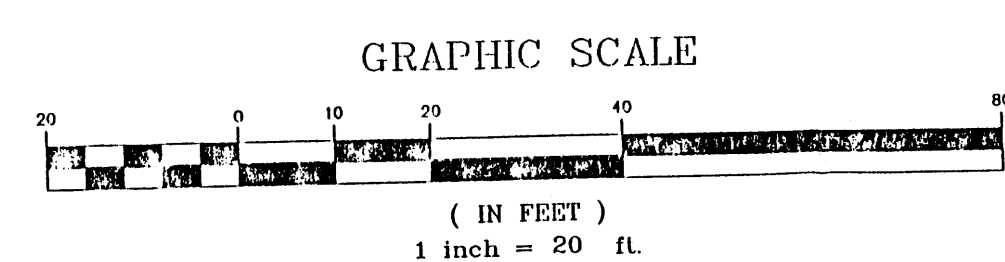
**CERTIFICATION FOR CERTIFICATE OF OCCUPANCY-HYDROLOGY**  
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THIS CERTIFICATION IS FOR BUILDING "B" ONLY.  
SIGNATURE: *[Signature]* NMPE# 12281

INSTALL 1" IRRIGATION WATER METER @ PL CONNECT TO 12" WL PER NMUI STANDARDS  
INSTALL 1" WATER METER AT PROPERTY LINE CONNECT TO 12" WL PER NMUI STANDARDS  
2-WAY 6" CLEANOUT INV = 17.88

NO.	DATE	REVISION	BY
10-11-00		RETAINING WALL REVISIONS/CLARIFICATION	GN

<b>Easterling &amp; Associates, Inc.</b> CONSULTING ENGINEERS 2600 American Road SE, Suite 100 Rio Rancho, New Mexico 87124 (505) 898-8021 FAX (505) 898-8501		DATE SEPT. 2000  FILE NO. 5250  DESIGN GN  DRAWN WLW	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP <b>TRACT D - 5A</b> <b>GRADING DRAINAGE AND UTILITY PLAN</b>			
Design Review Committee	City Engineer Approval	Last Design Update Mo./Day/Yr. No./Day/Yr.	
City Project No.	Zone Map No. A-14	Sheet C3	



**LEGAL DESCRIPTION**  
TRACT D-5A OF SEVEN BAR RANCH ALBUQUERQUE, NM  
**BENCH MARK**  
NMSTHD BRASS CAP "N.M. 448-N12" ELEV. 5023.41  
LOADED 60' WEST OF C OF COORS ROAD N.W.  
APPROX. 550' SOUTH OF INTERSECTION WITH  
CORRALES ROAD N.W. (S.R. 528)

PROJECTS/6250/IN/SHEETS/5250012.DWG/08-01-00/WKL

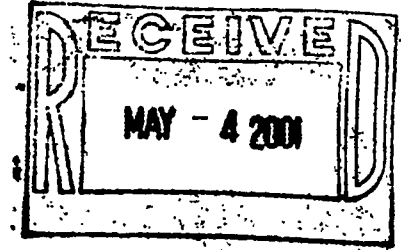


FILE 5070

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 1, 2001



George Nemeth, P.E.  
Easterling & Associates  
2600 American Road SE Suite 100  
Rio Rancho, New Mexico 87124

RE: TRACT D-5A of SEVEN BAR RANCH (A-14/D13)  
(Ellison & Calle Cuervo NW)  
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY  
ENGINEERS STAMP DATED 9/11/2000  
ENGINEERS CERTIFICATION DATED 4/25/2001

Dear Mr. Nemeth:

Based upon the information provided in your Engineers Certification submittal dated 4/26/2001, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Senior Civil Engineer  
Hydrology Section, PWD

C: Vickie Chavez, COA  
Teresa Martin, COA  
file