

EPC CONDITIONAL NOTES:
 PER THE OFFICIAL NOTIFICATION OF DECISION FROM THE EPC FILE# 00128 00000 00514/00128 00000 00515, THE FOLLOWING CONDITIONS SHALL BE ADHERED TO:
 1. PADS 'A' AND 'C' SHALL GO BEFORE EPC AND SHALL CLOSELY INTEGRATE WITH PAD 'B'S' DEVELOPMENT.
 2. THE TOP OF PARAPET AND SCREEN WALLS SHALL BE GREATER THEN THE TOP OF ALL HVAC EQUIPMENT.
 3. THERE SHALL BE A 10' OFFSET FROM FACE OF CURB TO FACE (FRONT) OF BUILDINGS TO MAINTAIN A MINIMUM 6' CLEAR SIDEWALK AND PROVIDE EITHER TREES AT 25' ON CENTER IN 5X5 PLANTERS, A PORTAL OR AWNINGS WITH A CLEAR 6' PATHWAY.
 4. NO GENERIC FRANCHISE ELEVATION ARCHITECTURE SHALL BE PERMITTED.
 5. NO PLASTIC OR VINYL AWNINGS AND FASCIAS SHALL BE PERMITTED.
 6. NO UNCONCEALED CELL TOWERS SHALL BE PERMITTED.
 7. SIGNAGE SHALL BE LIMITED TO 1 MONUMENT SIGN THIS IS A MAXIMUM OF 10' TALL WITH A FACE AREA OF 50 SQUARE FEET MAXIMUM. BUILDING SIGNAGE SHALL BE RESTRICTED TO A MAXIMUM OF 6% OF THE FACE TO WHICH IT IS APPLIED, WITH A MAXIMUM LETTER HEIGHT OF 2' AND LETTERING SHALL BE INTERNALLY LIT CHANNELIZED LETTERS.

LIGHTING NOTE:
 LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

- KEYED NOTES**
1. NEW STANDUP CURB TYPICAL
 2. NEW SIDEWALK TYPICAL
 3. NEW PARKING BUMPER - (5) REQUIRED
 4. NEW REFUSE CONTAINER SEE DETAIL THIS SHEET
 5. NEW RIBBON STYLE BIKE RACK 5 SPACES
 6. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 7. STANDARD DUTY ASPHALT PAVING TYPICAL
 8. NOT USED
 9. INDICATES PROPOSED LOCATION OF P.M. TRANSFORMER.
 10. CONCRETE PATIO - 300 S.F. PROVIDE WITH TABLES W/ INTEGRAL UMBRELLAS AND MAKE ACCESSIBLE TO VISITORS AND EMPLOYEES.
 11. MONUMENT SIGN (1)
 12. LIGHT POLES (4) - SEE DETAIL THIS SHEET
 13. EXISTING 4' WIDE SIDEWALK TO REMAIN
 14. PEDESTRIAN ACCESS - SCORED & RAISED SURFACE
 15. EXISTING MEDIAN AND CURB RETURN TO BE REMOVED
 16. EXISTING ASPHALT DRIVE TO BE REMOVED
 17. EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH CURB & GUTTER
 18. EXISTING REFUSE ENCLOSURE TO REMAIN

GENERAL NOTES - CITY REQUIRED

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND CURB IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAILS NO. 2426
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- H. ALL EASEMENTS SHOWN ON THIS PLAN ARE EXISTING TO REMAIN.
- I. ALL OFFSITE ELEMENTS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

PROJECT INFORMATION

LOCATION: SOUTHWEST CORNER OF ELLISON & CALLE CUERVO NW

DEVELOPER: HEREFORD LLC

LEGAL DESCRIPTION: TRACT D-5A OF SEVEN BAR RANCH WITHIN SECTION 5, TOWNSHIP 11 NORTH, RANGE 9 EAST 10TH, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

CURRENT ZONING: SU-1 FOR IP USES

PROPOSED: SAME

TOTAL ACREAGE: 1.8564 ACRES

ZONING ATLAS PAGE: A-14-Z

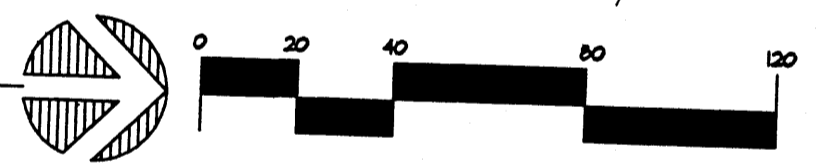
CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	409.00'	168.92'	441.97'	S04°34'48"W	88°51'24"
C2	488.00'	320.49'	501.43'	N11°21'18"E	88°51'24"
C3	488.00'	49.62'	38.60'	S24°32'37"W	88°51'24"
C4	288.78'	89.04'	85.02'	S24°32'37"W	102°02'12"

LINE TABLE

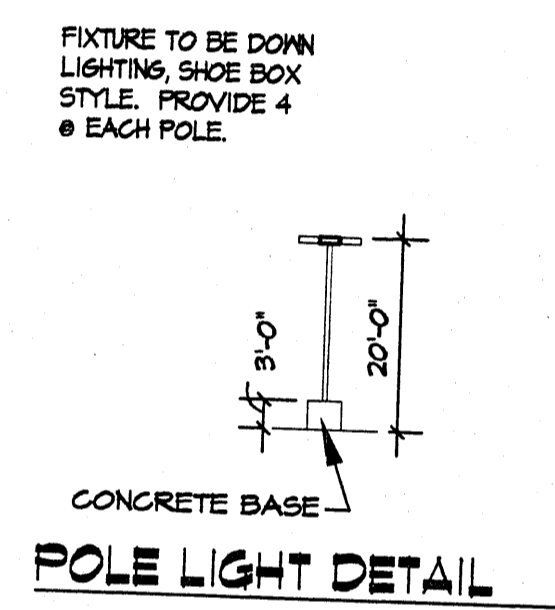
LINE	DIRECTION	DISTANCE
LT	N28°11'32"W	38.60'

SITE PLAN
 SCALE: 1"=40'-0"



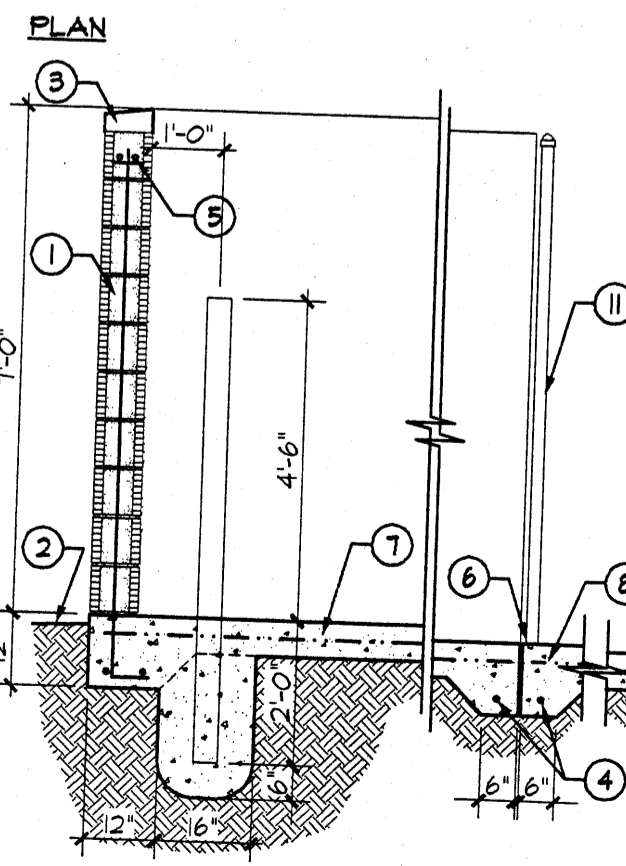
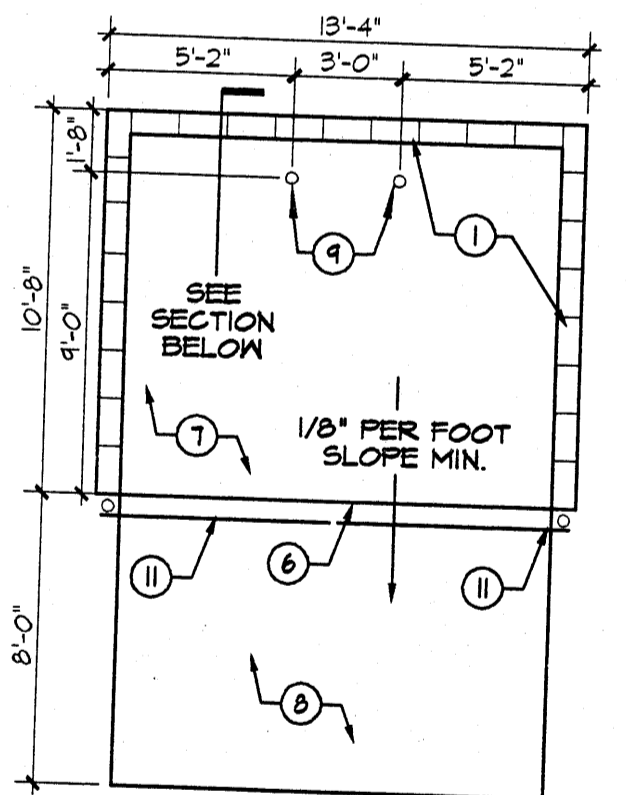
BUILDINGS ORIGIN POINTS FROM O-LI

O.A. BUILDING A 88°-11.25' = S 80d18' E
 O.B. BUILDING B 214°-4.13' = N 82d18' 31" E
 O.C. BUILDING C 360°-4.48' = N 81d2' E



REFUSE NOTES

1. 8" CMU BLOCK WALL W/ STUCCO FINISH - COLOR TO MATCH BLDG.
2. FINISH GRADE
3. MASONRY CAP
4. 1- #5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2- #5 BARS @ BOTTOM OF 12" TURNDOWNS
5. 2- #5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2- #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 32" O.C. VERTICAL, GROUT REINFORCED CELLS, PURMALL @ 16" O.C. HORIZONTAL
6. 1/2" EXPANSION JOINT MATERIAL
7. 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10MM W/ 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
8. 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10MM W/ 6" TURNDOWN EDGES (W/ 1-#5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH ENCLOSURE COLOR
10. ASPHALT PAVING - SEE PAVING SECTION
11. WOOD GATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY



BUILDING LEGEND (BUILDING "B")

DENTIST OFFICE BUILDING 6,068 S.F.

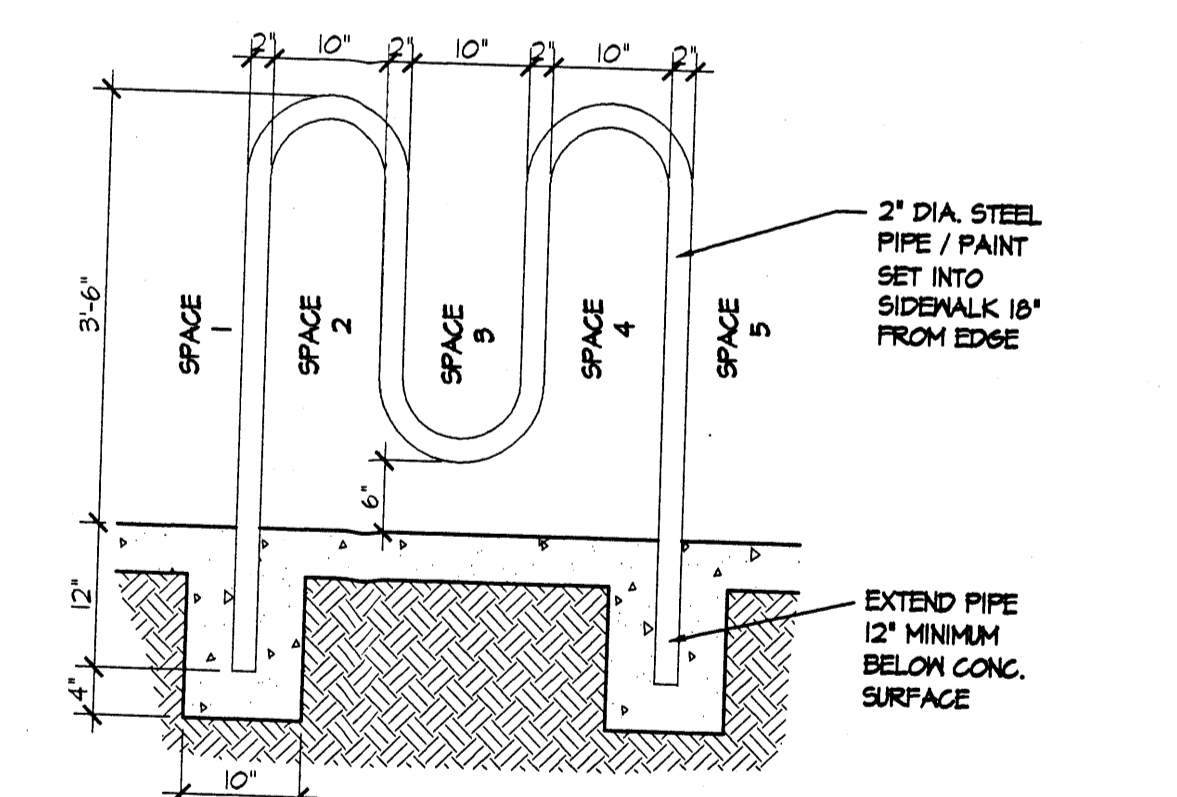
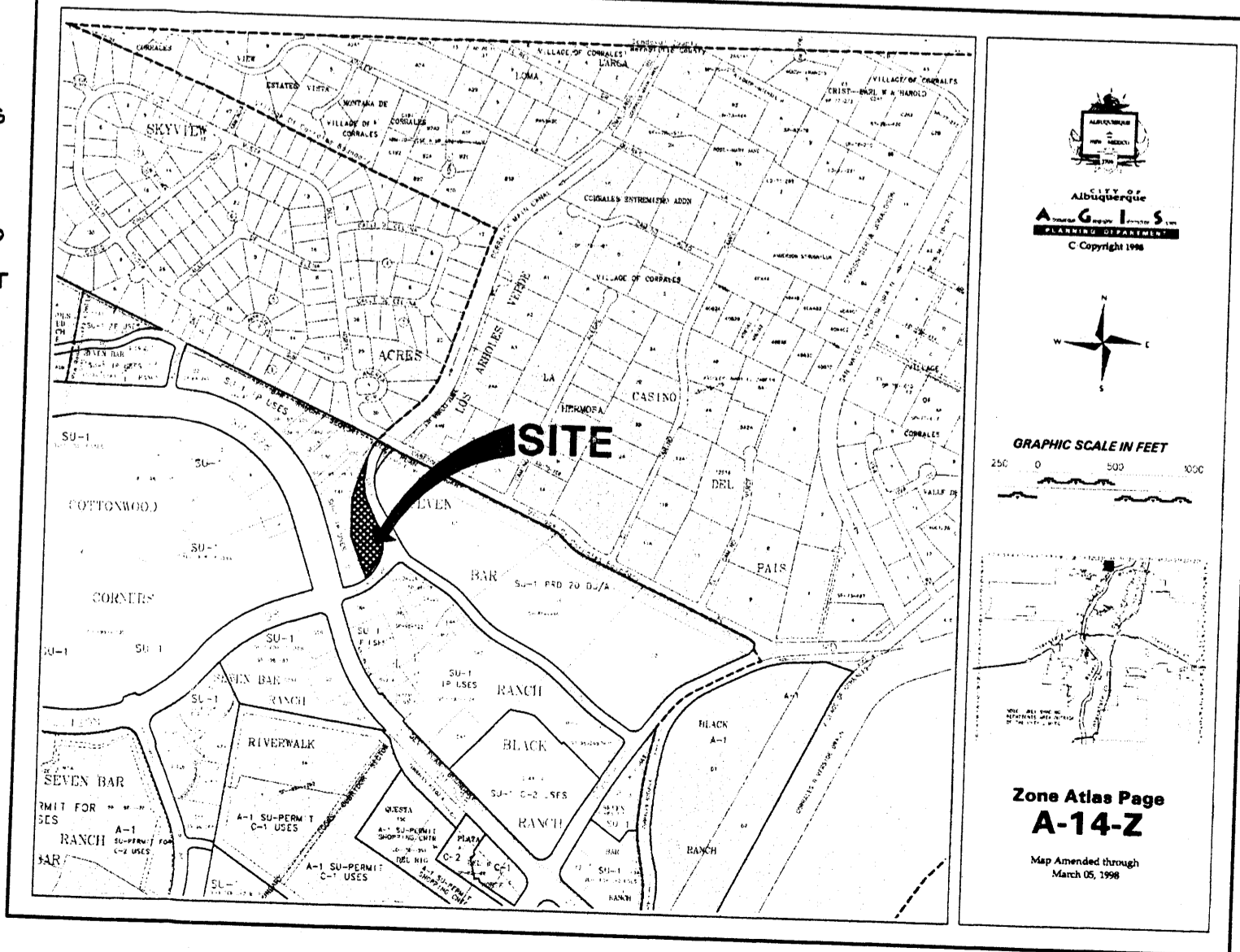
PARKING REQUIRED: OFFICE = 1 PER 200 S.F. = 31 SPACES (2 HC. SPACES)

PARKING PROVIDED: 33 SPACES (2 HC. SPACES)

BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

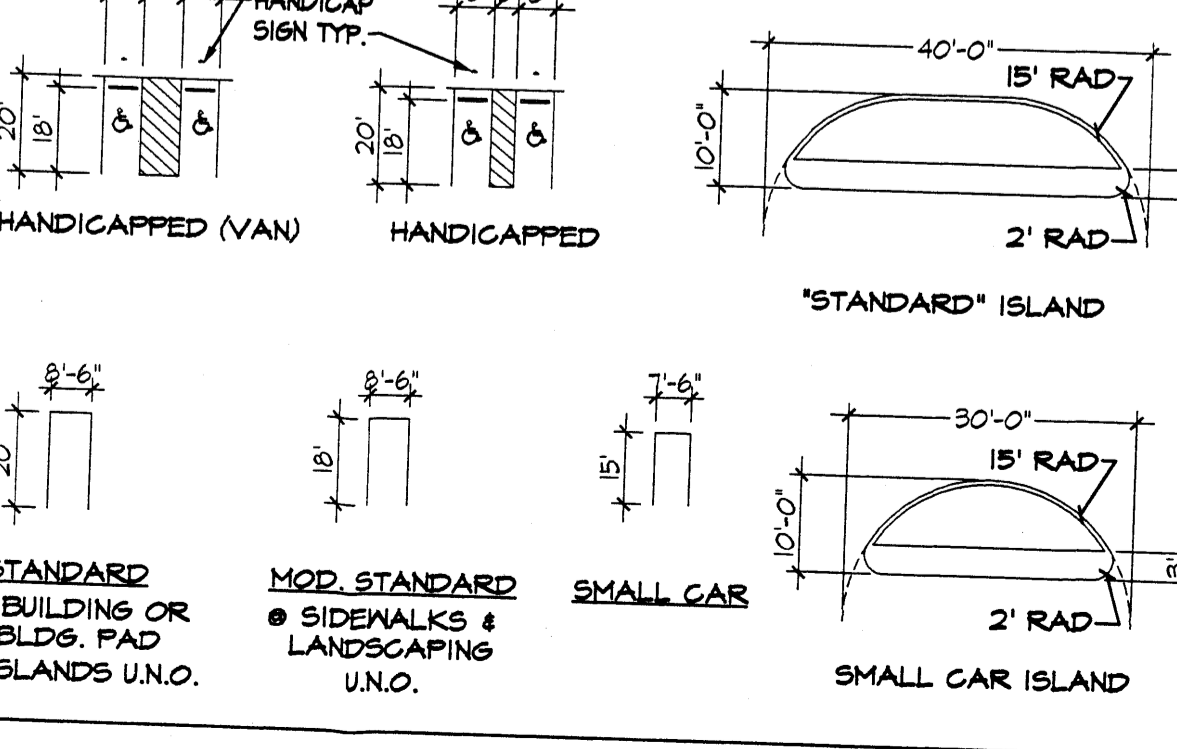
LANDSCAPING REQUIRED: BLDG. "B" SITE = 36,002 S.F. - 6,068 S.F. (BUILDING AREA) = 24,934 NET LOT AREA * .15 = 3,740 S.F.

LANDSCAPING PROVIDED: 8,152 S.F.



BICYCLE RACK
 SCALE: 3/4"=1'-0"

PARKING TYPES & ISLAND DETAILS



BUILDING LEGEND (SUBDIVISION)

FUTURE OFFICE BUILDING A 4,200 S.F.

DENTIST OFFICE BUILDING B 6,068 S.F.

FUTURE OFFICE BUILDING C 4,800 S.F.

TOTAL 15,068 S.F.

PARKING REQUIRED: OFFICE = 1 PER 200 S.F. = 16 SPACES (4 HC. SPACES)

PARKING PROVIDED: 16 SPACES (5 HC. SPACES)

BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

LANDSCAPING REQUIRED: TOTAL SITE = 85,214.83 S.F. - 15,068 S.F. (BUILDING AREA) = 70,146.83 NET LOT AREA * .15 = 10,521.9 S.F.

LANDSCAPING PROVIDED: 21,629 S.F.

LEGEND:

- Underground Utility = [Symbol]
- Pedestal = [Symbol]
- Water Meter = [Symbol]
- Light Pole = [Symbol]
- Drop Inlet = [Symbol]
- Transformer = [Symbol]
- Tree = [Symbol]
- Water Valve = [Symbol]
- Traffic Signal Box = [Symbol]
- Sprinkler Control Box = [Symbol]
- Electric Box = [Symbol]
- Traffic Signal = [Symbol]
- Clean Out = [Symbol]
- Storm Drain Man Hole = [Symbol]
- Sanitary Sewer Man Hole = [Symbol]

SIGNATURE BLOCK

CASE NUMBER: Z - 00128 00000 00374
 DD128 00000 DD 375

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [DATE] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN

TRAFIC ENGINEER, TRANSPORTATION DIVISION: *Paul Davis* 8-07-09 DATE

PLANNING & RECREATION DEPARTMENT: *Whitney E. Conderson* 8/2/09 DATE

PUBLIC WORKS, WATER/UTILITIES DIVISION: *Roger A. [Signature]* 8/2/09 DATE

CITY ENGINEER, ENGINEERING DIVISION AMAPCA: *[Signature]* 8-22-09 DATE

CITY PLANNER, ALBUQUERQUE: *[Signature]* 9/6/09 DATE

APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

RADIUS LEGEND

① 2' RADIUS	④ 5' RADIUS	⑦ 20' RADIUS	⑩ 50' RADIUS
② 3' RADIUS	⑤ 10' RADIUS	⑧ 25' RADIUS	⑪ 100' RADIUS
③ 4' RADIUS	⑥ 15' RADIUS	⑨ 35' RADIUS	⑫ 150' RADIUS

PHASING INFORMATION

UNDER THIS PERMIT ALL ASPHALT PAVING, CONCRETE CURBS, SIDEWALKS, RETAINING WALLS, ETC. WILL BE INSTALLED. BUILDING "B" AND ITS ASSOCIATED LANDSCAPING WILL ALSO BE INSTALLED. THE REMAINING (2) TWO PADS WILL BE SEEPED FOR DUST CONTROL FOR FUTURE DEVELOPMENT.

job title: TRACT D-5A
 ELLISON & CALLE CUERVO NW
 ALBUQUERQUE, NM

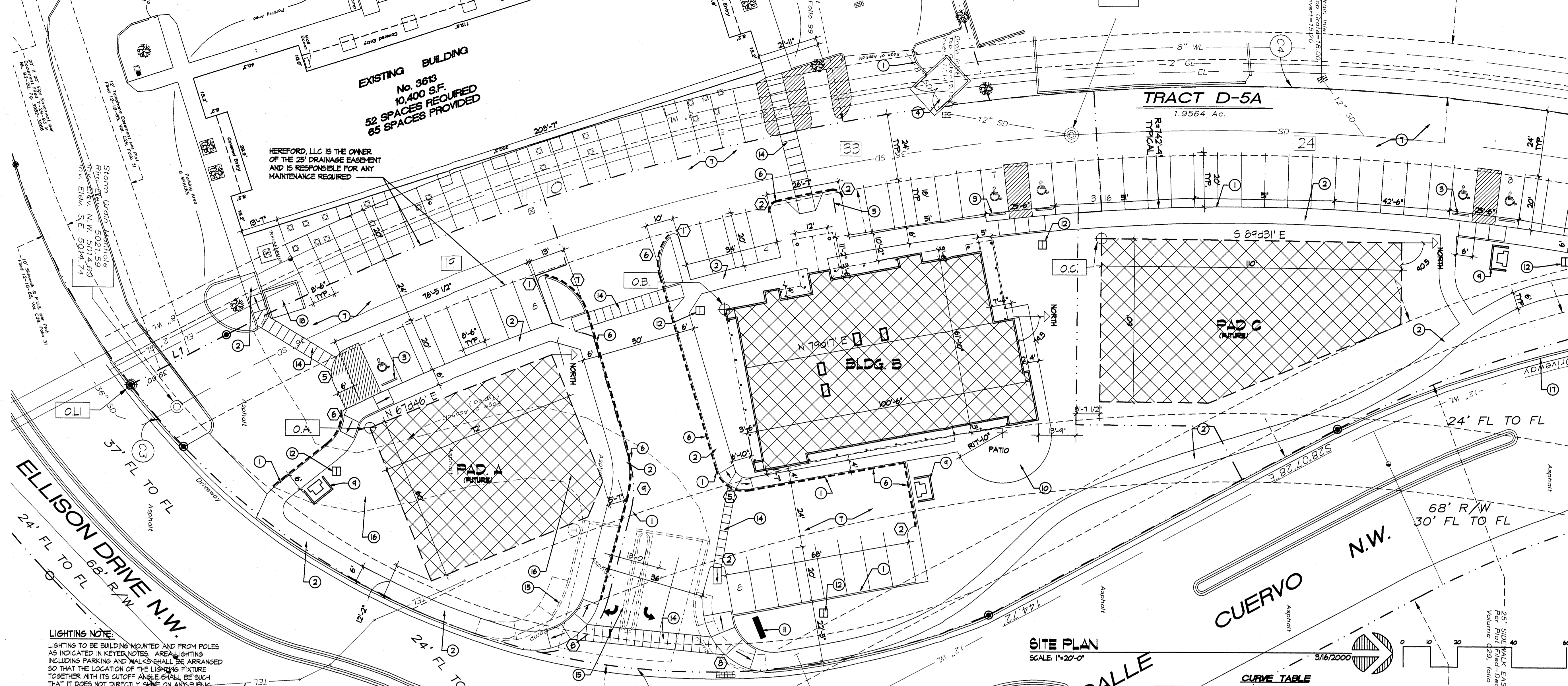
PROJECT MANAGER: NICK PIRKL job no: 20002 date: 8/29/09

sheet title: SITE PLAN FOR SUBDIVISION by: NAP

REGISTERED ARCHITECT: *de la Torre* NO. 860 8/29/00

de la torre architects, p.a. dtd
 2400 louisiana blvd ne
 building 3 / suite 110
 albuquerque, nm 87110 / 505-863-7900

PROJ 1000487



- ### KEYED NOTES
1. NEW STANDUP CURB TYPICAL
 2. NEW SIDEWALK TYPICAL
 3. NEW PARKING BUMPER - (5) REQUIRED
 4. NEW REFUSE CONTAINER SEE DETAIL THIS SHEET
 5. NEW RIBBON STYLE BIKE RACK 5 SPACES
 6. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 7. STANDARD DUTY ASPHALT PAVING TYPICAL
 8. NOT USED
 9. INDICATES PROPOSED LOCATION OF PNM TRANSFORMER.
 10. CONCRETE PATIO - 300 S.F. PROVIDE WITH TABLES W/ INTEGRAL UMBRELLAS AND MAKE ACCESSIBLE TO VISITORS AND EMPLOYEES.
 11. MONUMENT SIGN (1)
 12. LIGHT POLES (4) - SEE DETAIL THIS SHEET
 13. EXISTING 4' WIDE SIDEWALK TO REMAIN
 14. PEDESTRIAN ACCESS - SCORED & RAISED SURFACE
 15. EXISTING MEDIAN AND CURB RETURN TO BE REMOVED
 16. EXISTING ASPHALT DRIVE TO BE REMOVED
 17. EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH CURB & GUTTER
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- ### GENERAL NOTES - CITY REQUIRED
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 - B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) INTENSE DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
 - D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
 - E. CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAILS No. 2426
 - F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
 - H. ALL EASEMENTS SHOWN ON THIS PLAN ARE EXISTING TO REMAIN.
 - I. ALL OFFSITE ELEMENTS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

PROJECT INFORMATION

LOCATION: SOUTHWEST CORNER OF ELLISON & CALLE CUERVO NW

DEVELOPER: HEREFORD LLC

LEGAL DESCRIPTION: TRACT D-5A OF SEVEN BAR RANCH WITHIN SECTION 5, TOWNSHIP 11 NORTH, RANGE 9 EAST WITHIN CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

CURRENT ZONING: S-U4 FOR IP USES

PROPOSED: SAME

TOTAL ACREAGE: 1.9564 ACRES

ZONING ATLAS PAGE: A-14-Z

LIGHTING NOTE

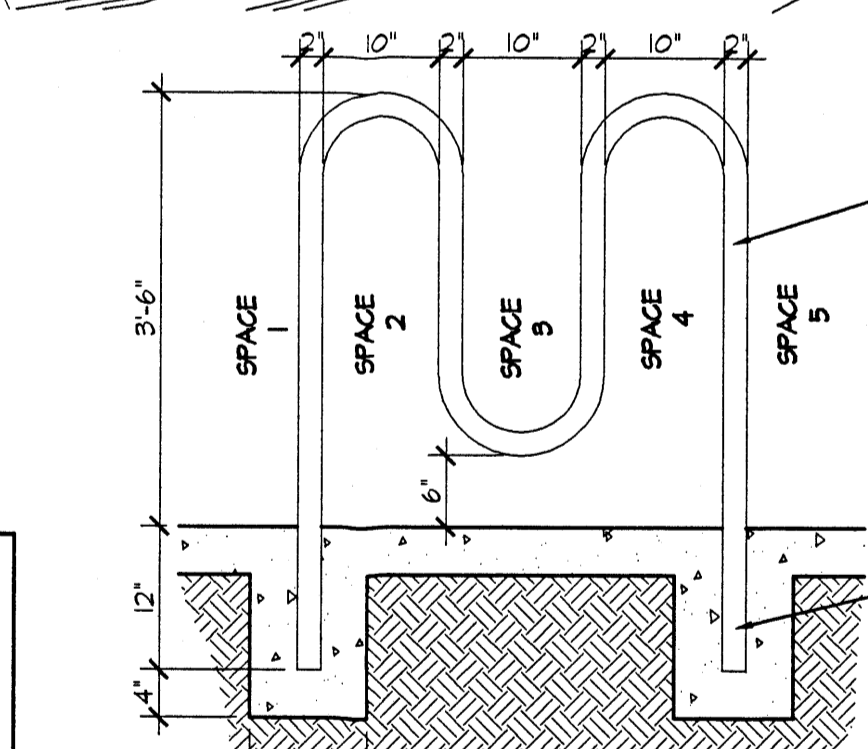
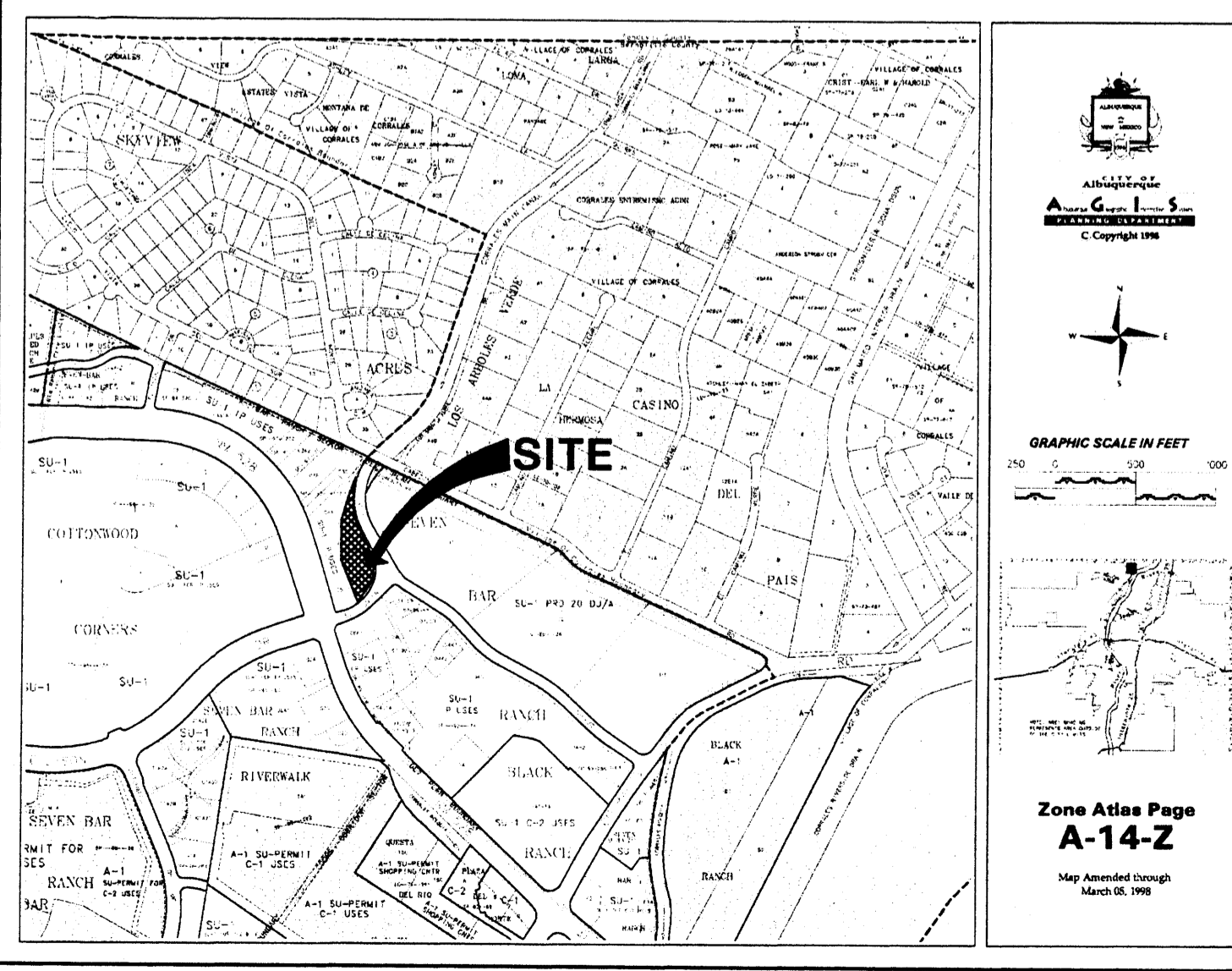
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- ### REFUSE NOTES
1. 8" CMU BLOCK WALL W/ STUCCO FINISH - COLOR TO MATCH BLDG.
 2. FINISH GRADE
 3. MASONRY CAP
 4. 1- #5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2- #5 BARS @ BOTTOM OF 12" TURNDOWNS
 5. 2- #5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2- #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 32" O.C. VERTICAL, GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL
 6. 1/2" EXPANSION JOINT MATERIAL
 7. 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 W/M IN 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
 8. 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 W/M IN 6" TURNDOWN EDGES (W/ 1-#5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
 9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH ENCLOSURE COLOR
 10. ASPHALT PAVING - SEE PAVING SECTION
 11. WOOD GATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY

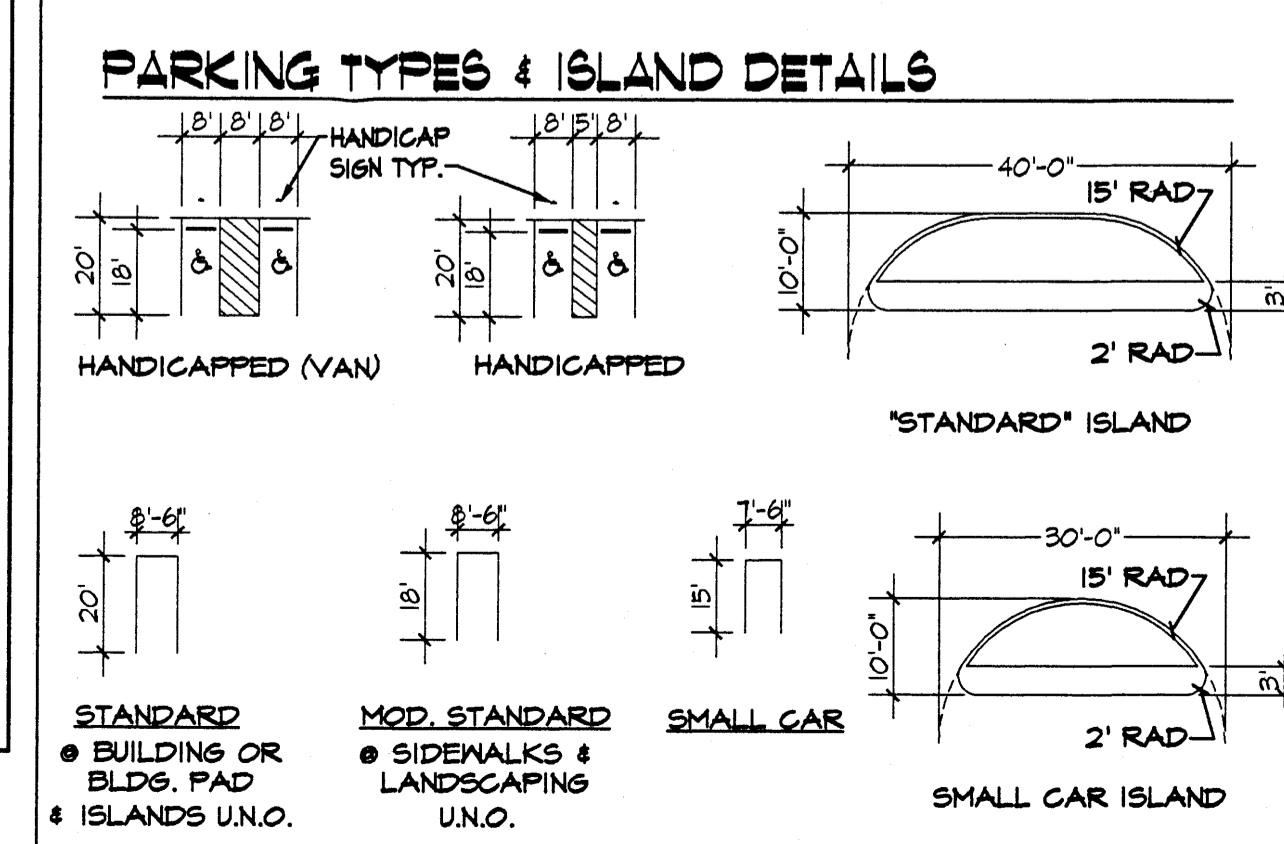
EPC CONDITIONAL NOTES:

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1. PADS "A" AND "C" SHALL GO BEFORE EPC AND SHALL CLOSELY INTEGRATE WITH PAD "B'S" DEVELOPMENT.
2. THE TOP OF PARAPET AND SCREEN WALLS SHALL BE GREATER THAN THE TOP OF ALL HVAC EQUIPMENT.
3. THERE SHALL BE A 10' OFFSET FROM FACE OF CURB TO FACE (FRONT) OF BUILDINGS TO MAINTAIN A MINIMUM 6' CLEAR SIDEWALK AND PROVIDE EITHER TREES AT 25' ON CENTER IN 5x5 PLANTERS, A PORTAL OR ANNINGS WITH A CLEAR 6' PATHWAY.
4. NO GENERIC FRANCHISE ELEVATION ARCHITECTURE SHALL BE PERMITTED.
5. NO PLASTIC OR VINYL ANNINGS AND FASCIAS SHALL BE PERMITTED.
6. NO UNCONCEALED CELL TOWERS SHALL BE PERMITTED.
7. SIGNAGE SHALL BE LIMITED TO 1 MONUMENT SIGN THIS IS A MAXIMUM OF 10' TALL, WITH A FACE AREA OF 50 SQUARE FEET MAXIMUM. BUILDING SIGNAGE SHALL BE RESTRICTED TO A MAXIMUM OF 6% OF THE FACE TO WHICH IT IS APPLIED, WITH A MAXIMUM LETTER HEIGHT OF 2' AND LETTERING SHALL BE INTERNALLY LIT CHANNELIZED LETTERS.
8. THIS PLAN SHALL MEET ALL CONDITIONS FOR THE SITE PLAN FOR SUBDIVISION.



BICYCLE RACK
SCALE: 3/4"=1'-0"



PARKING TYPES & ISLAND DETAILS

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	255.00	451.82	441.97	S04°21'24" W	84°22'12"
C2	255.00	320.49	301.24	N11°21'12" E	88°01'00"
C3	255.00	226.67	219.50	N69°33'33" E	08°52'42"
C4	255.78	859.04	850.82	S04°32'27" W	85°28'18"

LINE TABLE

LINE	DIRECTION	DISTANCE
LT	N28°11'12" W	38.80

BUILDING LEGEND (BUILDING "B")

DENTIST OFFICE BUILDING: 6,069 S.F.

PARKING REQUIRED: OFFICE = 1 PER 200 S.F. = 31 SPACES (2 HC. SPACES)

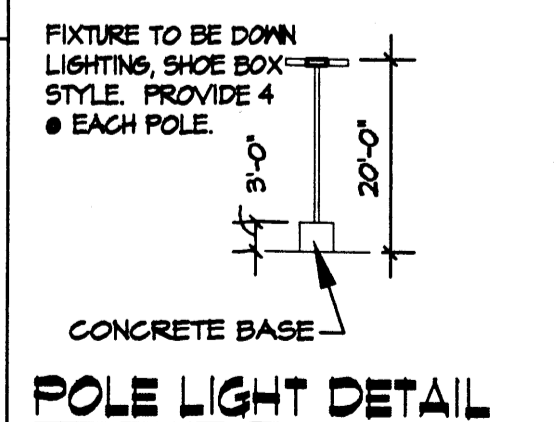
PARKING PROVIDED: 38 SPACES (2 HC. SPACES)

BICYCLE PARKING: 4 SPACES NEEDED / 5 SPACES PROVIDED

LANDSCAPING REQUIRED: BLDG. "B" SITE = 36,002 S.F. - 6,069 S.F. (BUILDING AREA) = 29,934 NET LOT AREA @ 15' = 4,492 S.F.

LANDSCAPING PROVIDED: 4,852 S.F.

- ### LEGEND:
- Underground Utility = [Symbol]
 - Pedestal = [Symbol]
 - Water Meter = [Symbol]
 - Light Pole = [Symbol]
 - Drop Inlet = [Symbol]
 - Transformer = [Symbol]
 - Tree = [Symbol]
 - Water Valve = [Symbol]
 - Traffic Signal Box = [Symbol]
 - Sprinkler Control Box = [Symbol]
 - Electric Box = [Symbol]
 - Traffic Signal = [Symbol]
 - Clean Out = [Symbol]
 - Storm Drain Man Hole = [Symbol]
 - Sanitary Sewer Man Hole = [Symbol]



POLE LIGHT DETAIL

CASE NUMBER: Z -

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SIGNATURE BLOCK

SITE DEVELOPMENT PLAN

TRAFFIC ENGINEER, TRANSPORTATION DIVISION: *William E. Canbell* DATE: 8/2/00

PARKS & RECREATION DEPARTMENT: *Roger A. Green* DATE: 8/2/00

PUBLIC WORKS, WATER UTILITIES DIVISION: *John J. Progn* DATE: 8/22/00

CITY ENGINEER, ENGINEERING DIVISION, AMAFCA: *John J. Progn* DATE: 9/6/00

CITY PLANNER, ALBUQUERQUE: *John J. Progn* DATE: 9/6/00

RADIUS LEGEND

- 1. 2' RADIUS
- 2. 3' RADIUS
- 3. 4' RADIUS
- 4. 5' RADIUS
- 5. 10' RADIUS
- 6. 15' RADIUS
- 7. 20' RADIUS
- 8. 25' RADIUS
- 9. 35' RADIUS
- 10. 50' RADIUS
- 11. 100' RADIUS
- 12. 150' RADIUS

PHASING INFORMATION

UNDER THIS PERMIT ALL ASPHALT PAVING, CONCRETE CURBS, SIDEWALKS, RETAINING WALLS, ETC. WILL BE INSTALLED. BUILDING "B" AND ITS ASSOCIATED LANDSCAPING WILL ALSO BE INSTALLED. THE REMAINING (2) TWO PADS WILL BE SEEDED FOR DUST CONTROL FOR FUTURE DEVELOPMENT.

Job title: **TRACT D-5A ELLISON & CALLE CUERVO NW ALBUQUERQUE, NM**

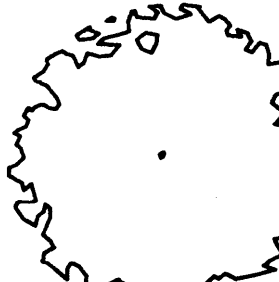

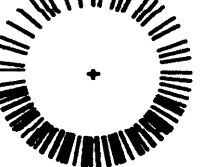















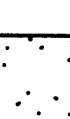

PROJECT MANAGER: **NICK PIRKLE** job no: 20002 date: 8/29/00

sheet title: **(BUILDING "B" ONLY)** by: NAP

de la torre architecte, p.a. 2400 louisiana blvd ne building 3 suite 110 albuquerque, nm 87106-2505 505-833-7018

REGISTERED ARCHITECT: **JORGE DE LA TORRE NO. 860 8/29/00**

PLANT LEGEND

-  ASH(H) OR HONEY LOCUST (H) 7
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
-  FLOWERING PEAR (H) 4
Pyrus calleryana
2" Cal
-  AUSTRIAN PINE(H) 2
Pinus nigra
6"-8"
-  PINON PINE(H) 2
Pinus edulis
6"-8"
-  DESERT WILLOW (L) 3
Chilopsis linearis
15 gal
-  MAIDEN GRASS (L) 9
Miscanthus sinensis
5 gal
-  GREYLEAF COTONEASTER 8
Cotoneaster gl.
5 gal
-  ROSEMARY (M) 11
Rosmarinus officinalis
5 gal
-  INDIAN HAWTHORN (M) 7
Raphiolepis indica
5 gal
-  RUSSIAN SAGE (M) 8
Perovskia atriplicifolia
5 gal
-  POTENTILLA (M) 6
Potentilla fruticosa
5 gal
-  AUTUMN SAGE (M) 7
Salvia greggii
1 gal
-  CHAMISA (L) 10
Chrysothamnus nauseosus
1 gal
-  WILDFLOWER 30
1 gal
-  HONEY SUCKLE (M) 18
Lonicera sempervirens
1 gal
-  TAM JUNIPER (M) 8
Juniperus sabin
5 gal
-  OVERSIZED GRAVEL & BOULDERS 4
-  3/4" GREY GRAVEL W/ FILTER FABRIC
-  SOD
-  COMMERCIAL GRADE STEEL EDGING

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

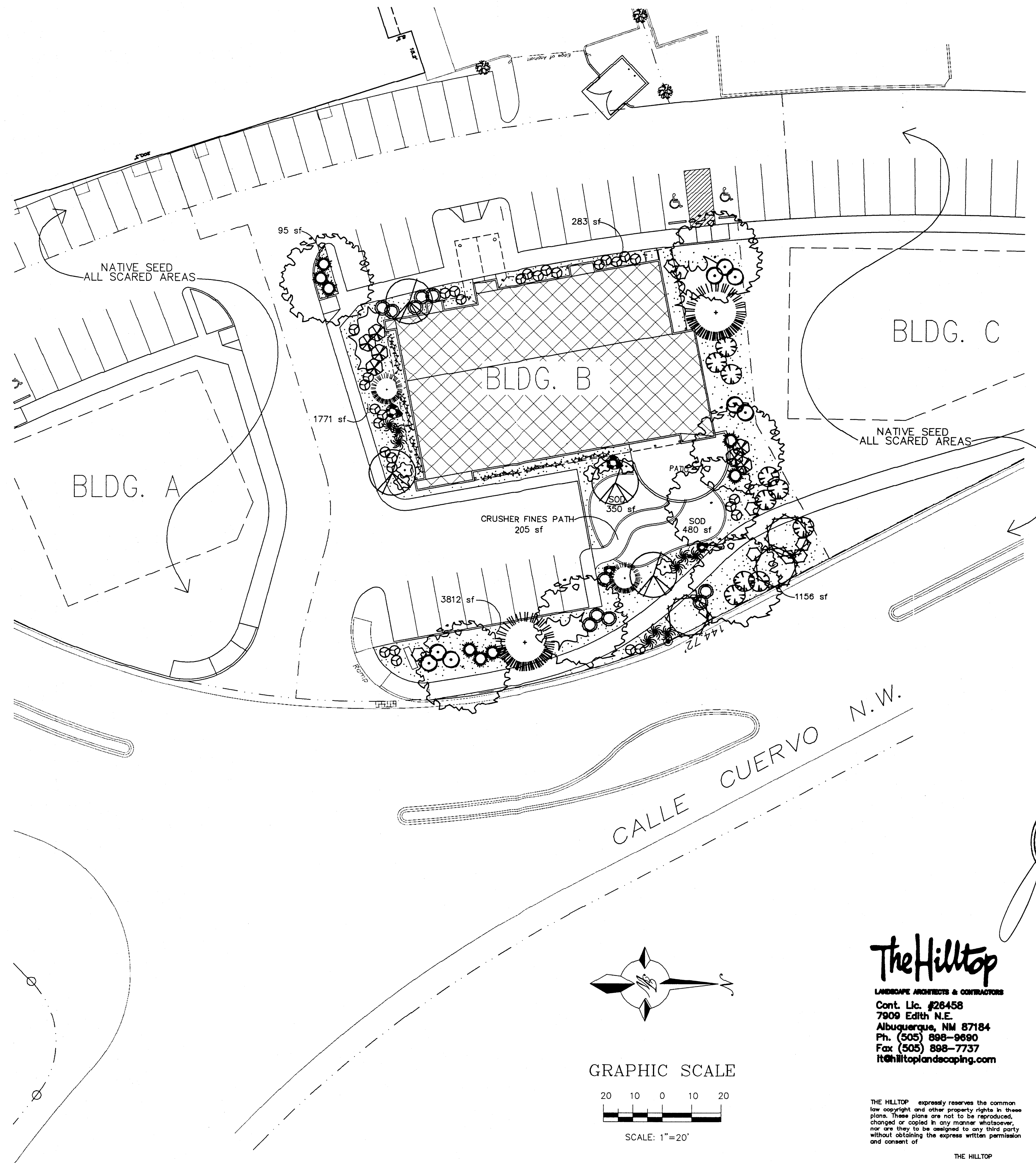
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

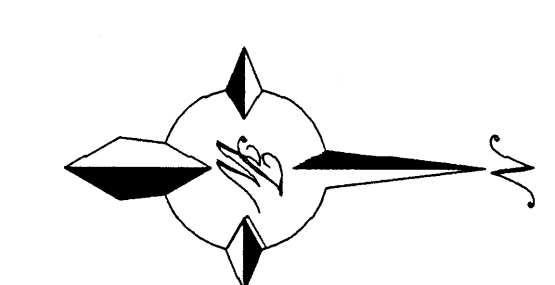
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

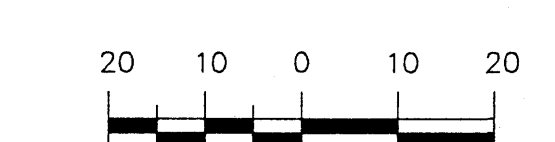


LANDSCAPE CALCULATIONS

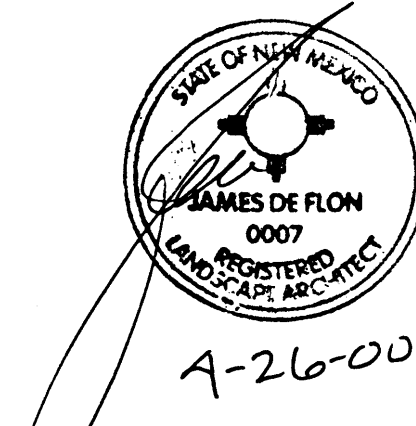
NET LANDSCAPE AREA	
TOTAL LOT AREA	35,066 square feet
TOTAL BUILDINGS AREA	6,068 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	28,998 square feet
LANDSCAPE REQUIREMENT	15 square feet
TOTAL LANDSCAPE REQUIREMENT	4,350 square feet
TOTAL LANDSCAPE PROVIDED	8,152 square feet
TOTAL BED PROVIDED	7,322 square feet
TOTAL SOD PROVIDED	830 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet



GRAPHIC SCALE



SCALE: 1"=20'



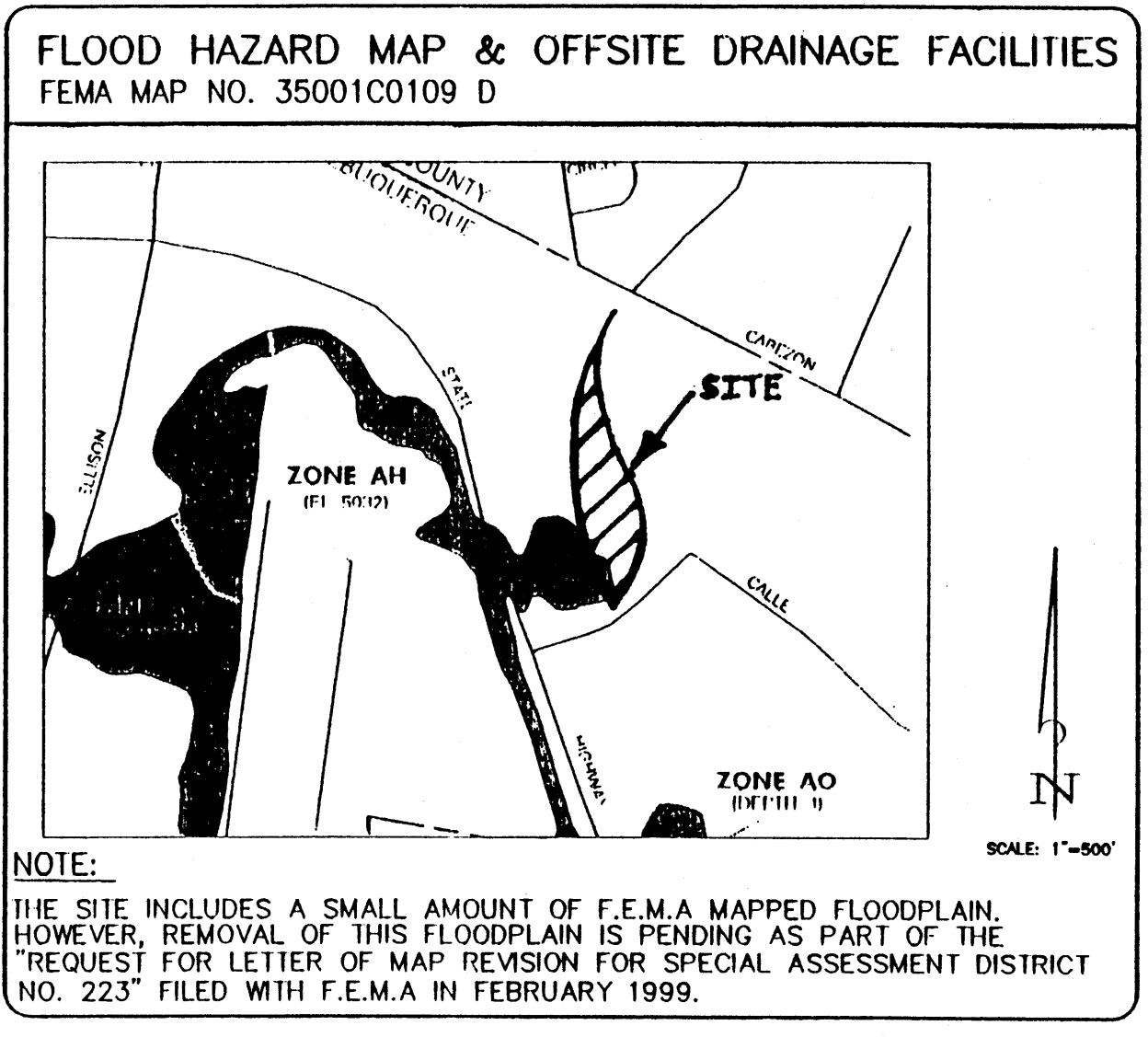
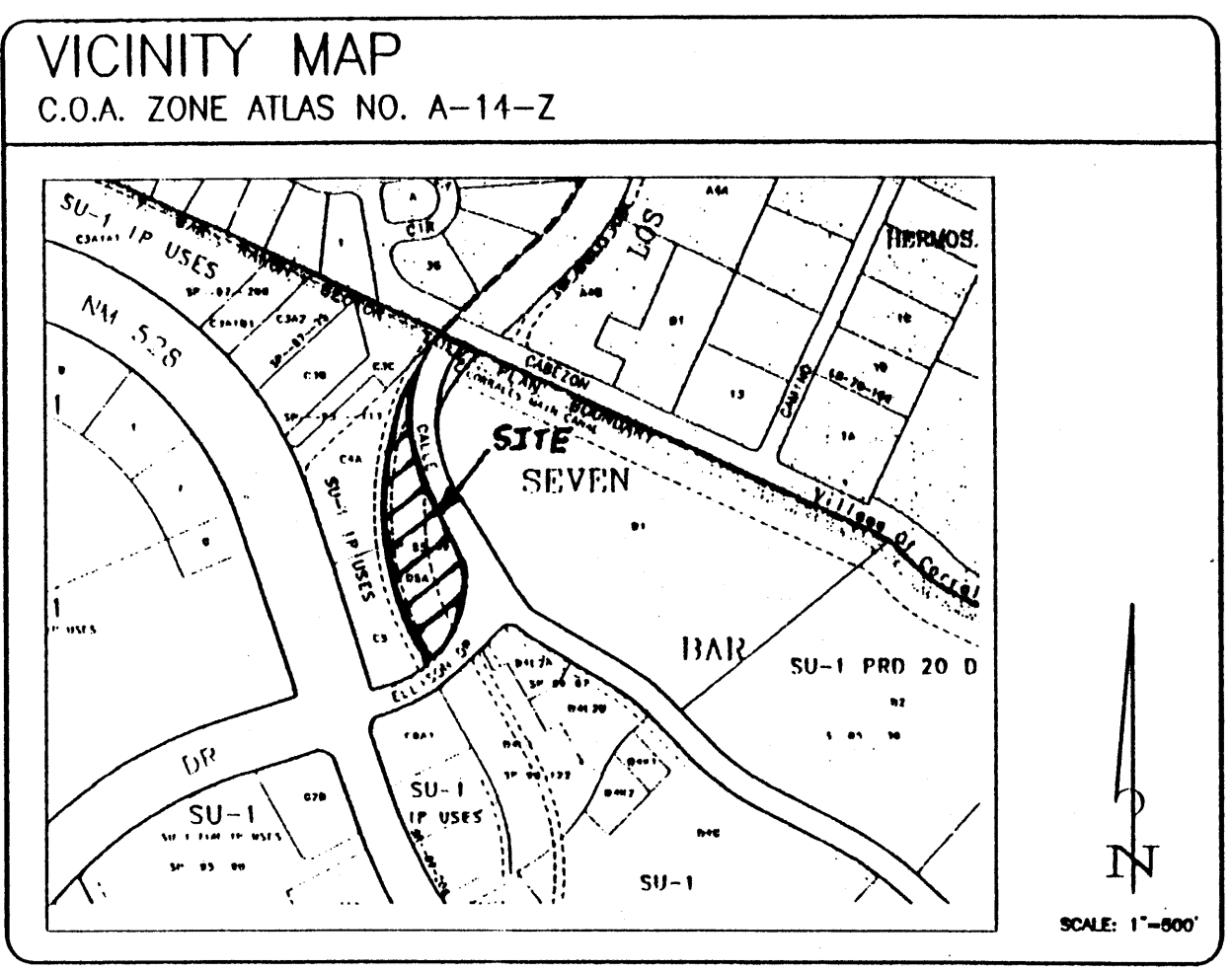
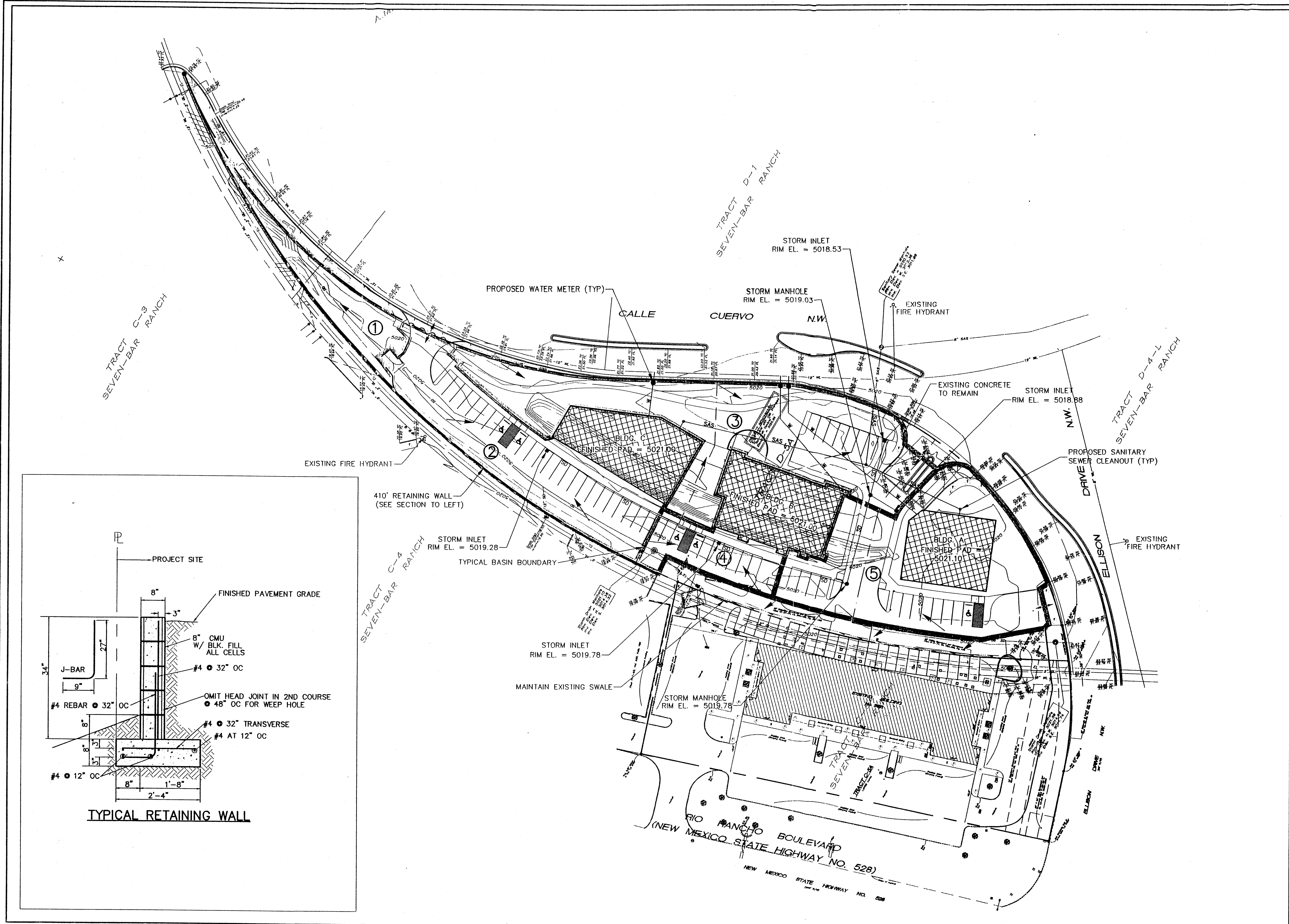
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
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it@hilltoplandscaping.com

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THE HILLTOP

revisions	job title TRACT D-5A ELLISON & CALLE CUERVO NW ALBUQUERQUE, NM	job no 20002	date 3/16/00
	PROJECT MANAGER NICK PIRKL	by	
sheet title			
de la torre architects, p.a. llc 2400 louisiana blvd ne building 3 / suite 110 albuquerque n.m. 87110 / 505-883-7918			sheet-2 2 of-4

START DATE: 3/1/00



LEGEND

DESCRIPTION	NEW	EXISTING
CONTOURS	490.4	490.3
SPOT ELEVATIONS	± 08.80	x 07.3
APPROXIMATE DRAINAGE BASIN BOUNDARY	(Dashed line)	(Dotted line)
WATER BLOCK	(Wavy line)	(Dashed line)
DIRECTION OF RUNOFF	(Arrow)	(Arrow)
FLOWLINE	(Line with arrow)	(Line with arrow)
DRAINAGE BASIN	(Circle with 1)	(Circle with 1)
PROPERTY LINE	(Line with 3/8" SD)	(Line with 3/8" SD)
STORM DRAIN M.H. & LINE	(Line with 3:1 slope symbol)	(Line with 3:1 slope symbol)
SLOPE SYMBOL	(Arrow with 3:1)	(Arrow with 3:1)
STORM INLET	(Square)	(Square)
RETAINING WALL	(Line with 3:1)	(Line with 3:1)

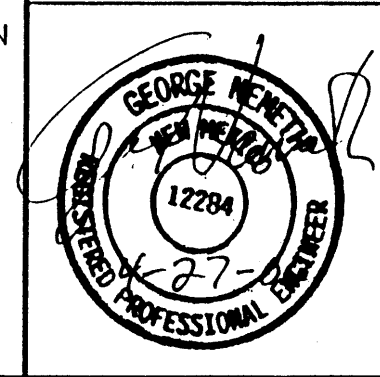
BENCHMARK
 NMSHTD BRASS CAP "N.M. 448-112" ELEV. 5023.41
 LOCATED 60' WEST OF C OF COORS ROAD N.W.
 APPROX. 550' SOUTH OF INTERSECTION WITH
 CORRALES ROAD N.W. (S.R. 528)

LEGAL DESCRIPTION
 TRACT D - 5A OF SEVEN BAR RANCH
 ALBUQUERQUE, N.M.

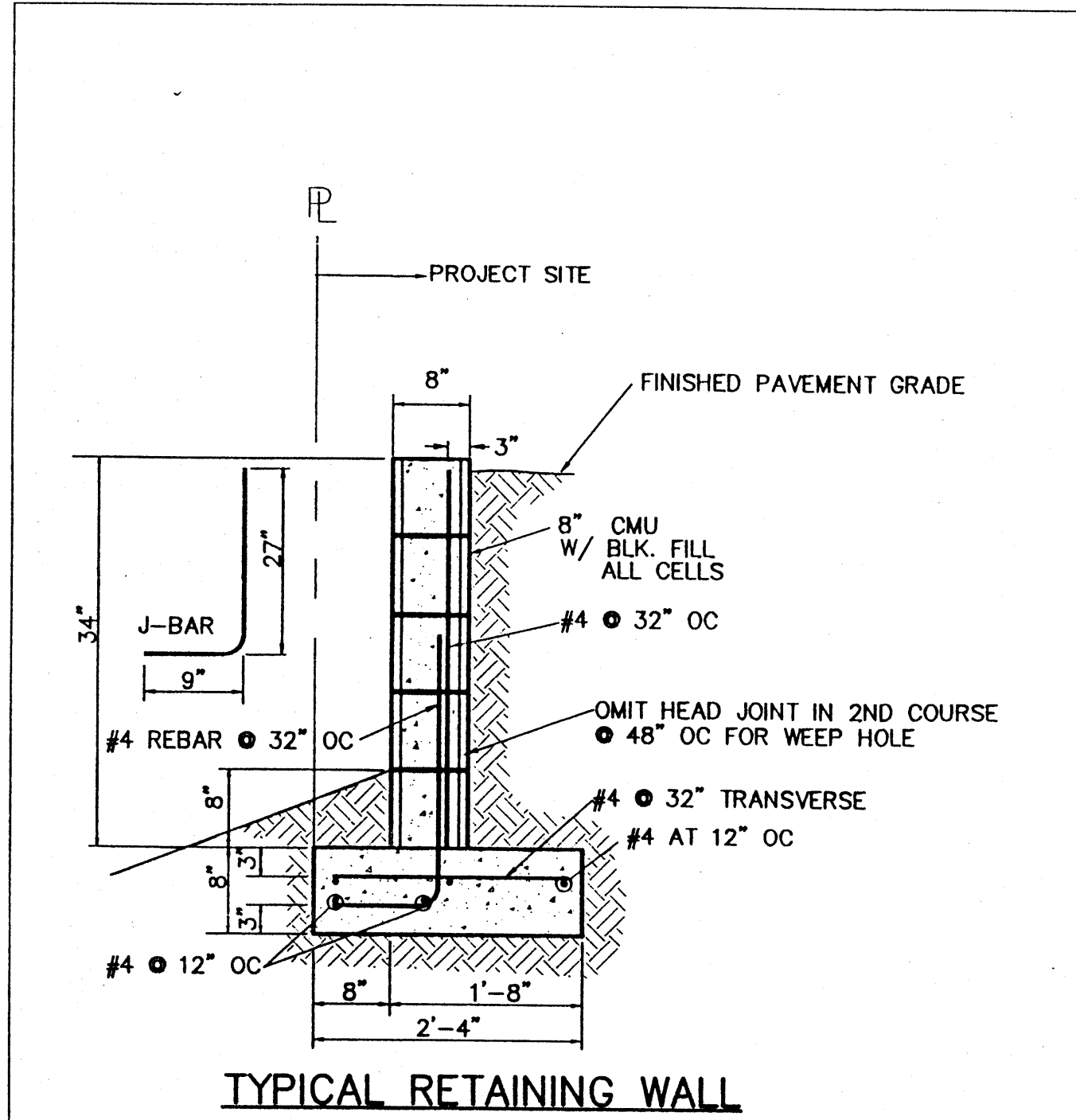
NO.	REVISIONS	BY	DATE

**TRACT D - 5A
 CONCEPTUAL GRADING AND DRAINAGE
 AND SITE UTILITIES PLAN**

Easterling & Associates, Inc.
 CONSULTING ENGINEERS
 2800 The American Rd., Suite 100
 Rio Rancho, New Mexico 87124
 (505) 898-8021 FAX (505) 898-8501



DESIGNED BY: RRP	DRAWN BY: RRP	CHECKED BY: GN	SHEET 3 OF 4
JOB NO.: 5250	DATE: 4/00		



Tract	Area (acres)	Land Treatment Types				Peak Runoff	
		A	B	C	D	10-yr (cfs)	100-yr (cfs)
1	0.1127	Existing Conditions	0%	100%	0%	0.09	0.23
		Developed Conditions	0%	100%	0%	0.09	0.23
2	0.4482	Existing Conditions	0%	70%	0%	0.63	1.22
		Developed Conditions	0%	0%	3.00%	97.00%	1.28
3	0.5027	Existing Conditions	0%	85%	0%	1.54	1.2
		Developed Conditions	0%	64.43%	0%	35.57%	0.76
4	0.2559	Existing Conditions	0%	50%	0%	0.47	0.82
		Developed Conditions	0%	0%	2.00%	98.00%	0.73
5	0.4591	Existing Conditions	0%	60%	0%	0.74	1.36
		Developed Conditions	0%	10.00%	0%	90.00%	1.23
TOTAL	1.7766	Existing Conditions				2.47	4.83
		Developed Conditions				4.09	6.62

Allowable Discharge (Easterling and Associates 1993) = 7.88 cfs $Q_{100} = 6.62$ cfs **7.88 > 6.62, OK**

Drainage Plan

EXISTING CONDITIONS
 The project site consists of approximately 1.95 acres. The site is mostly undeveloped except for an existing storm drain covered by soil cement along the west section of the property. Overall drainage is from the north to the south. No significant off-site flows enter the site.

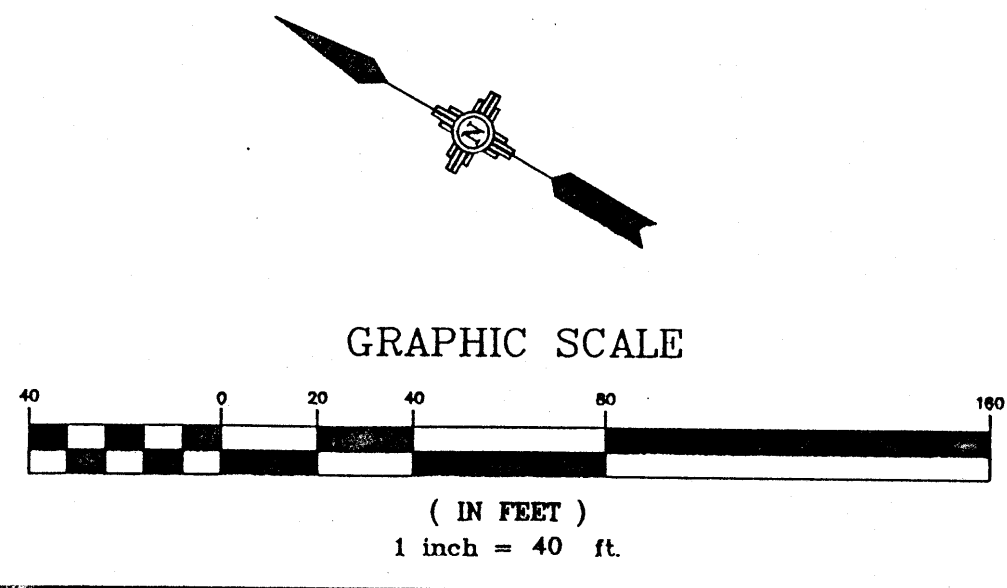
DEVELOPED CONDITIONS
 It is proposed to develop the site for commercial use in accordance with the Seven Bar Sector Development Plan (April 1985). The current site plan, still under development, indicates three facilities on the site. The flows will discharge from the site into the existing storm drain located on the southeast corner of the property to carry the flow south to Cobezen Channel (Easterling and Associates 1993).

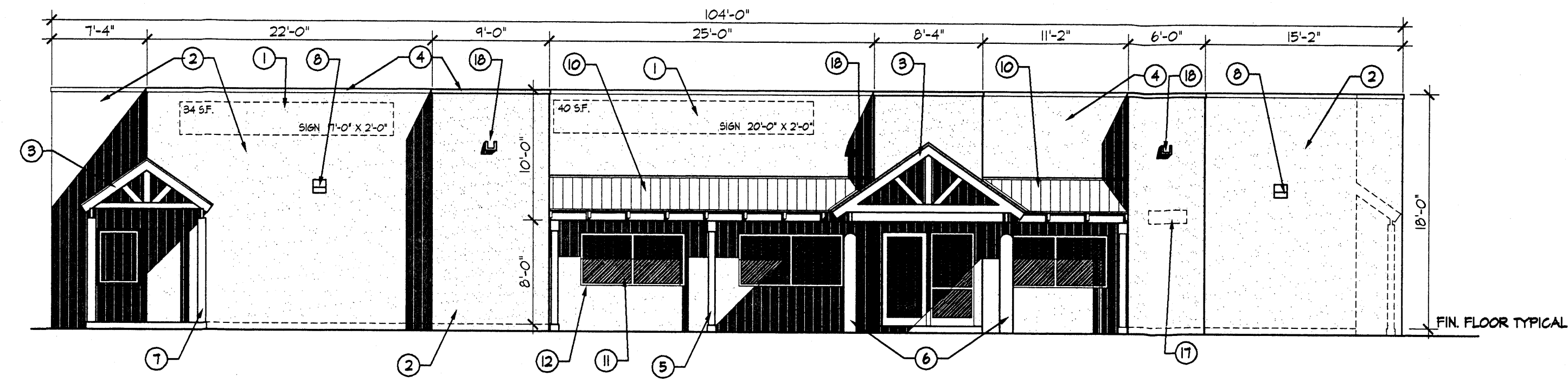
EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURTHER LOCAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.

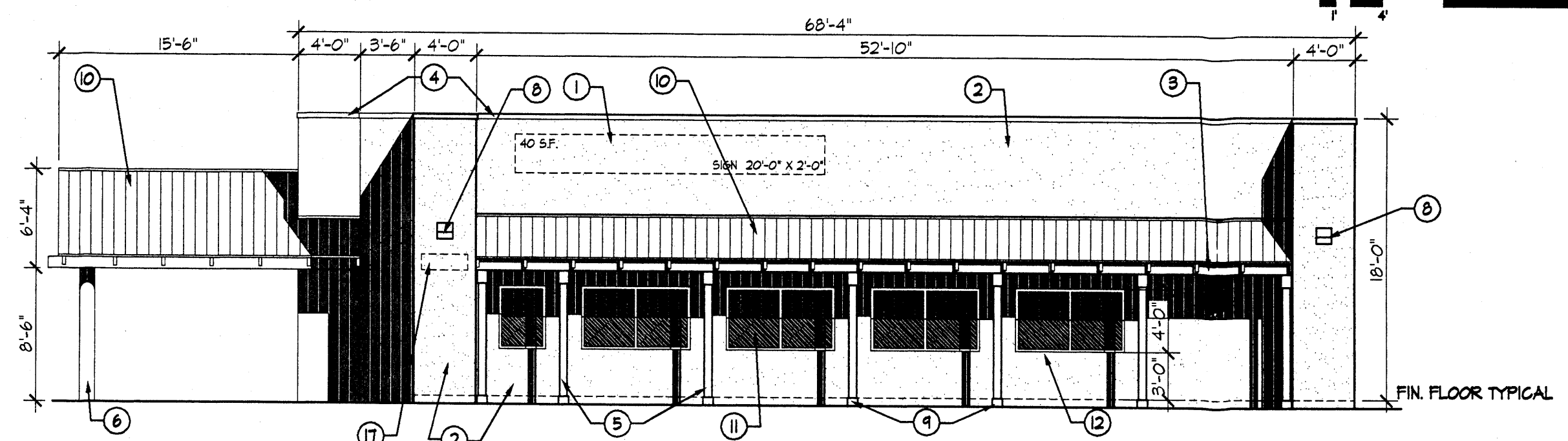
DRAINAGE AND UTILITY EASEMENTS
 CROSS-LOT DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED WHEREVER NECESSARY.

C:\DWG\15\19\39\151939.DWG
 DATE: 04-26-00 15:19:39
 TIME: 15:19:39
 PROJECT: TA Projects\5250\DWG\151939

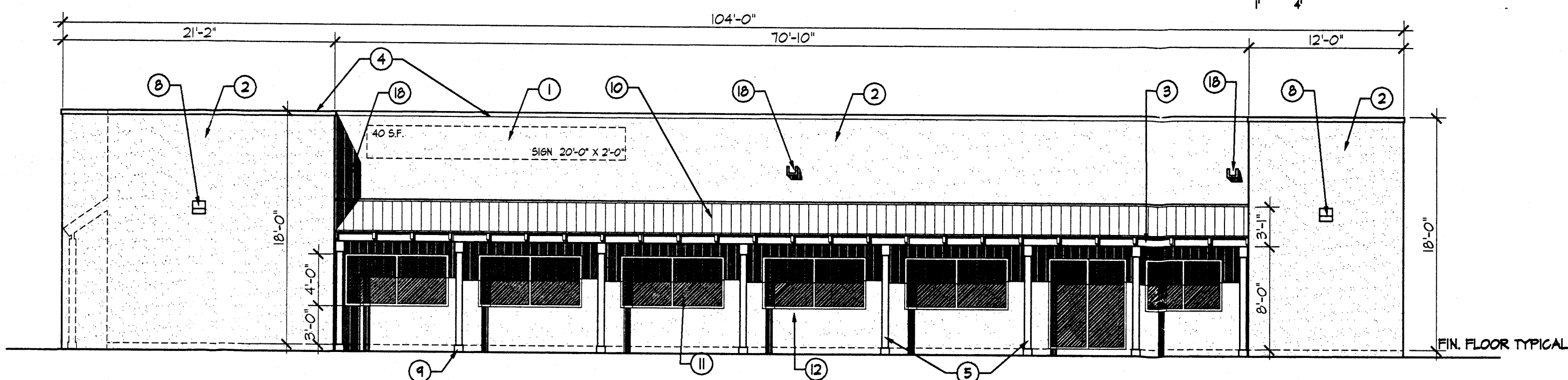




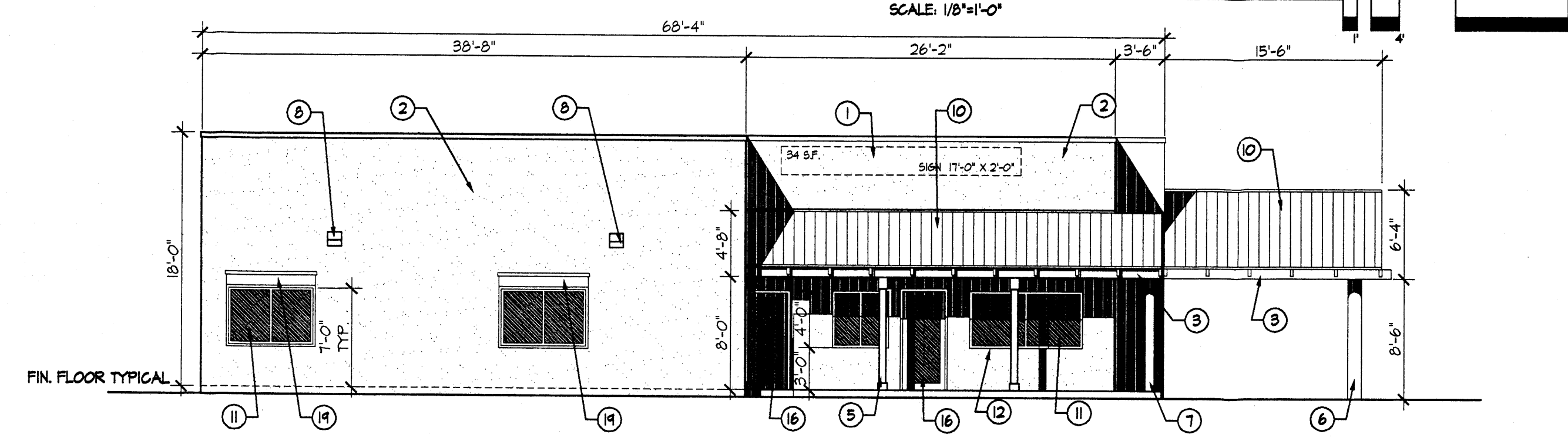
WEST ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



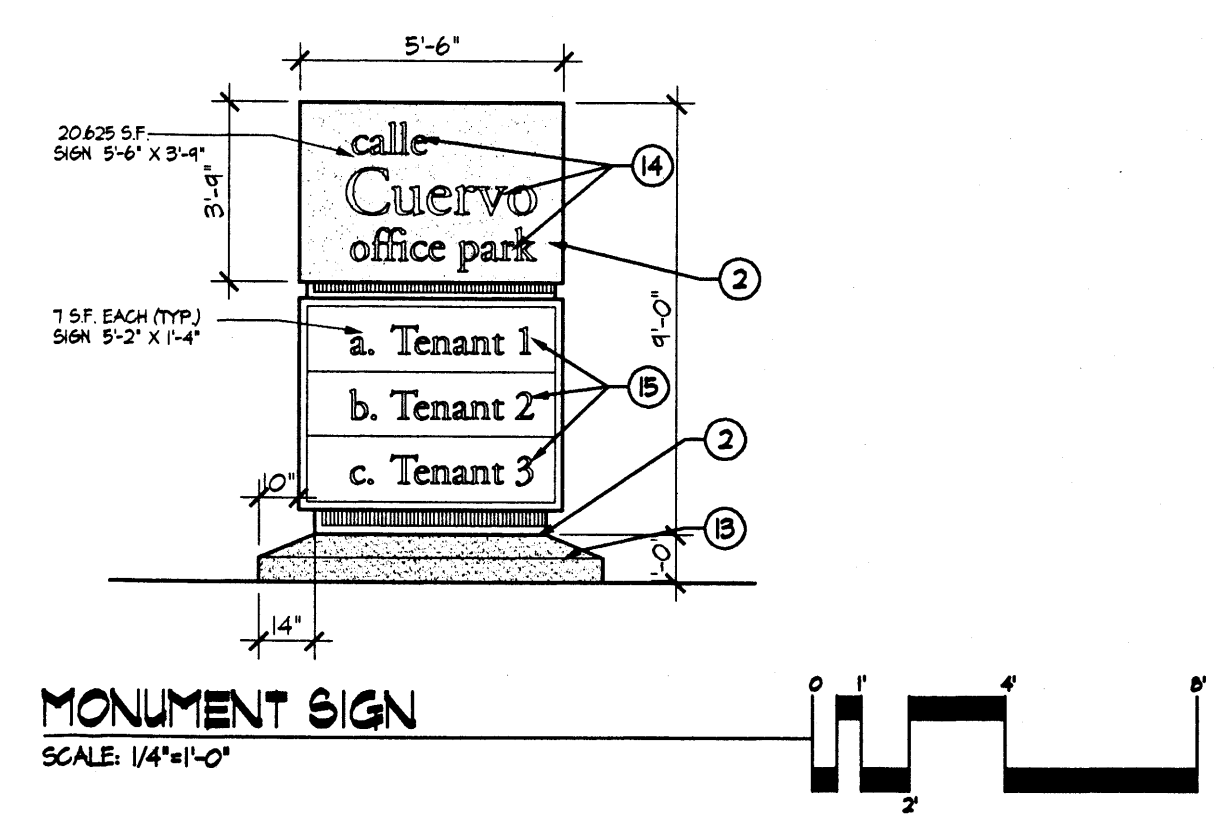
EAST ELEVATION
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"

KEYED NOTES

1. INTERNALLY ILLUMINATED SIGN TO BE INDIVIDUAL CHANNEL LETTERS WITH ALUMINUM FRAME WITH LEXAN OR PLASTIC FACE. MAXIMUM 2'-0" HIGH LETTERS WITH A MAXIMUM AREA OF 6% OF THE FACE TO WHICH IT IS APPLIED.
2. STUCCO COLOR BEIGE TYPICAL UNLESS NOTED OTHERWISE
3. WOODEN TRUSSES/ PORTAL FRAMING - PAINTED WHITE
4. METAL COPING CAP - COLOR TO BE CHOCOLATE BROWN
5. 4" x 4" WOODEN COLUMNS - PAINTED WHITE
6. 12" DIA. CONCRETE COLUMNS RUBBED FINISH ONLY
7. 8" CONCRETE COLUMNS RUBBED FINISH ONLY
8. WALL MOUNTED SECURITY LIGHT. DARK BROWN. SEE LIGHTING NOTE C-1
9. 8" x 8" x 6" CONCRETE BASE RUBBED FINISH ONLY
10. GALVANIZED METAL ROOF MATERIAL
11. GLASS, TYP. LIGHT TAN TINT
12. WINDOW FRAME PAINTED WHITE TYPICAL
13. STUCCO COLOR RUST BROWN AT BASE TYP.
14. METAL LETTERS BRUSHED FINISH
15. INTERNALLY ILLUMINATED SIGN AREA WITH LEXAN OR PLASTIC FACE.
16. METAL DOOR AND FRAME PAINT WHITE
17. PREMISE IDENTIFICATION SIGN (SHALL CONTRAST WITH BACKGROUND)
18. ROOF SCUPPER TYPICAL
19. WINDOW TRIMMING PAINTED WHITE TYPICAL



revisions	job title TRACT D-5A ELLISON & CALLE CUERVO NW ALBUQUERQUE, NM			
	PROJECT MANAGER NICK PIRKL	job no 20002	date 7/18/00	
	sheet title BUILDING "B" ELEVATIONS ONLY		by NAP	
	de la torre architecte, p.a. aia 2400 louisiana blvd ne building 3 / suite 110 albuquerque, nm 87106-6255 • 505-883-7999			