

1 Site Plan
Scale: 3/32"=1'-0"

CONDITIONS:

- The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal indicating how the site plan has been modified to meet each of the EPC conditions. All changes to the EPC submittal must be noted and approved by the Planning Department, including changes to format and scale.
- Site lighting shall not have an off-site luminance greater than 1000 foot lamberts; it shall not have an off-site luminance greater than 200 foot lamberts measured from any private property in a residential zone (Zoning Code, page 219).
- Building mounted signs shall be limited to 6% of the facade area on which they are mounted. Sign letters shall be channelized or neon. Backlit panel or box signs shall not be used.
- Plastic awnings and fascias shall not be permitted.
- Landscape areas shall be 75% covered with live vegetative material at maturity excluding tree canopies. High water turf shall be limited to 20% of the landscaped area.
- The top of all parapets shall be greater than the top of all HVAC roof mounted equipment and/or top of any screen walls shall be above the top of all HVAC equipment.
- The pedestrian walk in front of the Shops building should be at least 10' free of overlapping parking with the portal with 6 foot clear pedestrian access or trees at 25 feet on center in 5 x 5 planter.
- The trash enclosure gate shall be wood with colors consistent with the building design.
- Internally lit box signs are not permitted. Signs should be individually lit channel letters or neon.
- The 10' trail shall be an alternative textured, slightly raised, material where it crosses asphalt vehicle circulation areas.
- Comply with the following Transportation Development Services Division conditions:
 - Construction of continuous pedestrian circulation facilities with handicapped features within the site and with connections to the adjacent streets with the approval of this request, this includes undeveloped pad sites. In areas where parking spaces overhang the adjacent sidewalk, a 6' width is required.
 - The sidewalk in front of the handicapped spaces must be flush with the parking surface. Wheel stops will be required.
 - Construction of 10 foot end islands with 15 foot corner radii as per DPM standards.
 - Location of walls, fences and signs must meet the clear sight distance requirements; this includes trash enclosures.
 - Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
 - The refuse container location needs modification due to clear sight requirements for both the circulation drive and the adjacent parking space. Coordination with the Solid Waste Department will be required.

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT # 1000499

00128-00000-00574
EPC CASE # 00128-00000-00359 DRB CASE # 01456-00000-00270

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on June 15 2000 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>Richard Doude</i> Traffic Engineer, Transportation Division	<u>3-29-01</u> Date
<i>Adriana E. Cardenas</i> Parks and Recreation Department	<u>2/28/01</u> Date
<i>Roger A. Green</i> Public Works, Water Utilities Division	<u>4/2/01</u> Date
<i>James P. Klein</i> City Engineer, Engineering Division / AMAFCA	<u>2/28/01</u> Date
<i>Janet [Signature]</i> City Planner, Albuquerque / Bernalillo County Planning Division	<u>4/26/01</u> Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

PROJECT TITLE High Desert Shops	DRAWN BY SMB
LA CUEVA TOWN CENTER Albuquerque, New Mexico	JOB NO. 97068D
PROJECT MANAGER George Rainhart, AIA	SHEET TITLE Partial Site Plan
DATE 2/20/01	SHEET AO
SCALE 3/32"=1'-0"	of.

4-18-01
 Shusee BarBaca - Solid Waste 208-01

6870001 1020
 Partial Site Plan

NOTES:

1. SEE MASTER UTILITY PLAN FOR UTILITY EASEMENTS
2. SITE LIGHTING - NO LIGHT POLES REQUIRED ON THIS SITE.

RADIUS:

- | | |
|-------------------|--------------------|
| ① RADIUS = 2'-0" | ⑥ RADIUS = 20'-0" |
| ② RADIUS = 3'-0" | ⑦ RADIUS = 25'-0" |
| ③ RADIUS = 5'-0" | ⑧ RADIUS = 30'-0" |
| ④ RADIUS = 10'-0" | ⑨ RADIUS = 50'-0" |
| ⑤ RADIUS = 15'-0" | ⑩ RADIUS = 65'-0" |
| | ⑪ RADIUS = 100'-0" |

LEGAL DESCRIPTION:

LOT NUMBERED BA IN BLOCK TWENTY (20) OF TRACT TWO (2), UNIT THREE (3) OF NORTH ALBUQUERQUE ACRES WITHIN THE ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO
LA CUEVA VILLAGE UNIT, TRACT C, BERNALILLO COUNTY, NEW MEXICO

CURRENT ZONING: C2 INCLUDING ALL PERMISSIVE AND CONDITIONAL USES

TOTAL ACREAGE: 1 AC.
ZONE ATLAS: C-19-Z

BUILDING AREA & PARKING CALCULATIONS:

BUILDING AREA	
SHOPS	10,800 SF BUILDING
10,800 SF / 200 x 15%	
SPACES REQUIRED	46 SPACES
SPACES PROVIDED	52 SPACES
TOTAL STANDARD PARKING SPACES PROVIDED	38 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 1 VAN SPACES)	4 SPACES
TOTAL SMALL CAR PARKING SPACES PROVIDED	10 SPACES
TOTAL PROVIDED	52 SPACES

PARKING NOTES:

- TYPICAL STANDARD SPACES ARE 9'-0" x 18'-0"
- TYPICAL SMALL CAR (SC) SPACES ARE 7'-6" x 15'-0"
- TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 8' WIDE ACCESS AISLE

* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

BIKE RACKS:

- REQUIRED NUMBER OF BIKE RACKS (1 PER 25 CARS)
- 52 PARKING SPACES PROVIDED / 25 = 2 BIKE RACKS (5 SPACES PER RACK)
- 2 BIKE RACKS W/FIVE SPACES EACH PROVIDED SEE DETAIL SHEET A3

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
High Desert Shops
AT LA CUEVA TOWN CENTER
Albuquerque, New Mexico

PROJECT MANAGER
George Rainhart, MA

JOB NO.
97068D

DRAWN BY:
SB

Overall Site Plan

DATE: 2/20/01

SCALE: 1"=60'

Sheet: C1

WYOMING BOULEVARD NE
R.O.W. 156' / PAVEMENT WIDTH: VARIES

FUTURE SIGNAL

HOLLY AVENUE NE

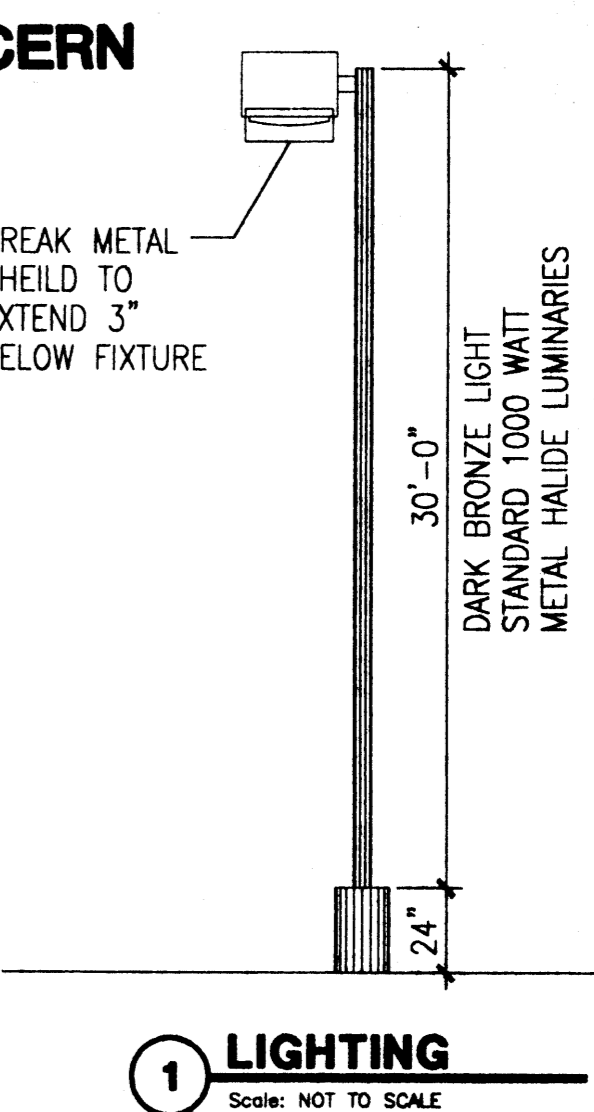
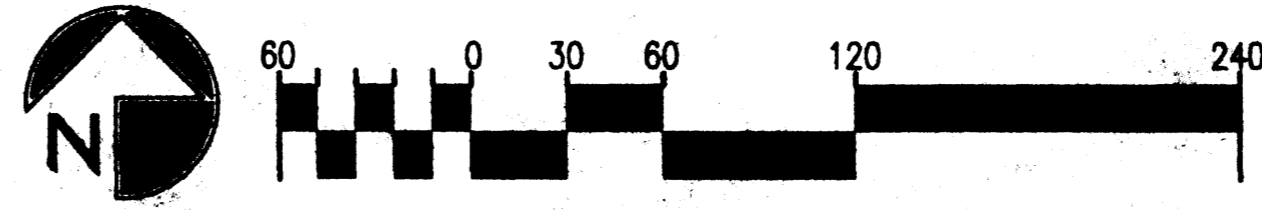
CARMEL AVENUE NE
R.O.W. VARIES / PAVEMENT WIDTH: VARIES

PASEO DEL NORTE
R.O.W. 200' / PAVEMENT WIDTH: VARIES

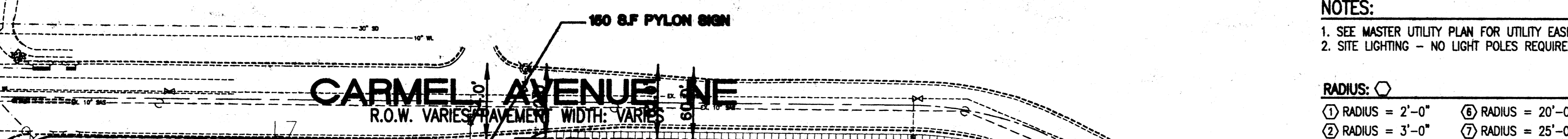
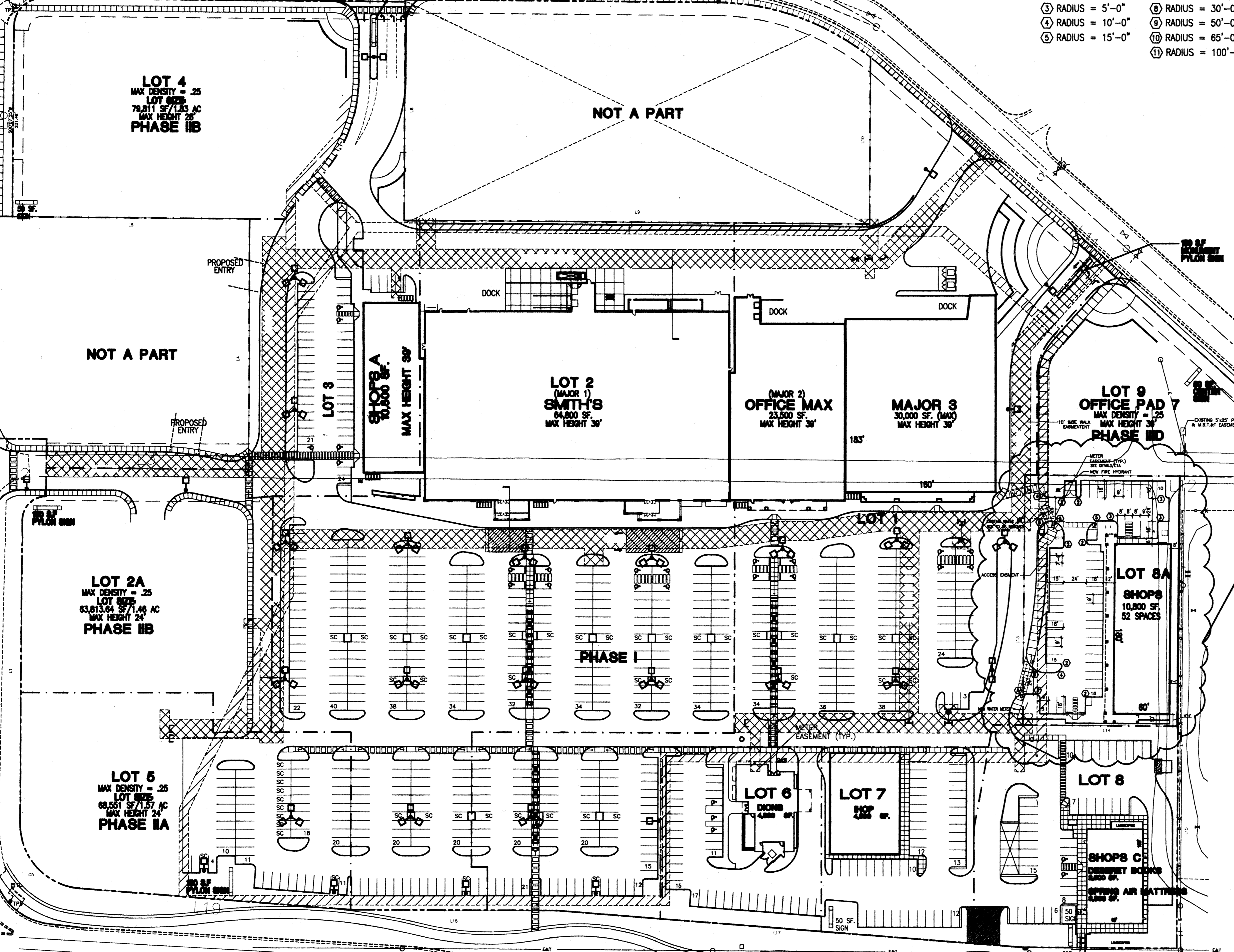
FOR INFORMATION ONLY

SITEPLAN

SCALE: 1"=60'-0"



AREA OF CONCERN



- NOTES:**
1. SEE MASTER UTILITY PLAN FOR UTILITY EASEMENTS
 2. SITE LIGHTING - SEE SHEET A-3 FOR DETAILS.
 3. MAXIMUM FLOOR AREA RATIO NOT TO EXCEED .25 FOR RETAIL PADS.
 4. COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS ALL LOTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 5. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.
 6. OUTSIDE DISPLAYS ON SIDEWALK AREAS SHALL BE RESTRICTED TO SEASONAL PRODUCTS SUCH AS CHRISTMAS TREES, PUMPKINS, AND PLANTS.
 7. FUTURE DEVELOPMENT OF INDIVIDUAL PAD SITES, INCLUDING OUT PARCELS WILL REQUIRE EPIC APPROVAL. FUTURE DEVELOPMENT SHALL BE COMPATIBLE WITH THE PRESENT PROPOSED DEVELOPMENT AS TO ARCHITECTURE, MATERIALS, COLORS, SIGNAGE, AND OTHER DESIGN REQUIREMENTS OF THE WINDOW & SECTOR DEVELOPMENT PLAN.

LEGAL DESCRIPTION:

LOTS NUMBERED 1 THRU 7 AND LOTS NUMBERED 25 THRU 32 IN BLOCK TWENTY (20) OF TRACT TWO (2), UNIT THREE (3) OF NORTH ALBUQUERQUE ACRES WITHIN THE ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO LA CUEVA VILLAGE UNIT, TRACT C, BERNALILLO COUNTY, NEW MEXICO

CURRENT ZONING:	C2 INCLUDING ALL PERMISSIVE AND CONDITIONAL USES
TOTAL ACREAGE:	21.3953 AC.
ZONE ATLAS:	C-19-Z

BUILDING AREA & PARKING CALCULATIONS:

BUILDING AREA	LESS TRAFFIC CREDIT (15%)
MAJOR 1 64,800 SF / 200 = 324 SPACES	= 275 SPACES
MAJOR 2 23,500 SF / 200 = 118 SPACES	= 100 SPACES
MAJOR 3 30,000 SF / 200 = 150 SPACES	= 128 SPACES
SHOPS A 10,800 SF / 200 = 54 SPACES	= 46 SPACES
TOTAL	646 SPACES

ALL RETAIL PADS ARE SELF-PARKING LOTS @ 5 PER 200
LESS 15% BUS CREDIT
646 x .85 = 549 REQUIRED SPACES
TOTAL REQUIRED SPACES = 549 SPACES
TOTAL PROVIDED SPACES = 661 SPACES (INCLUDING 10 STANDARD HC SPACES @ 8 HC VAN SPACES)

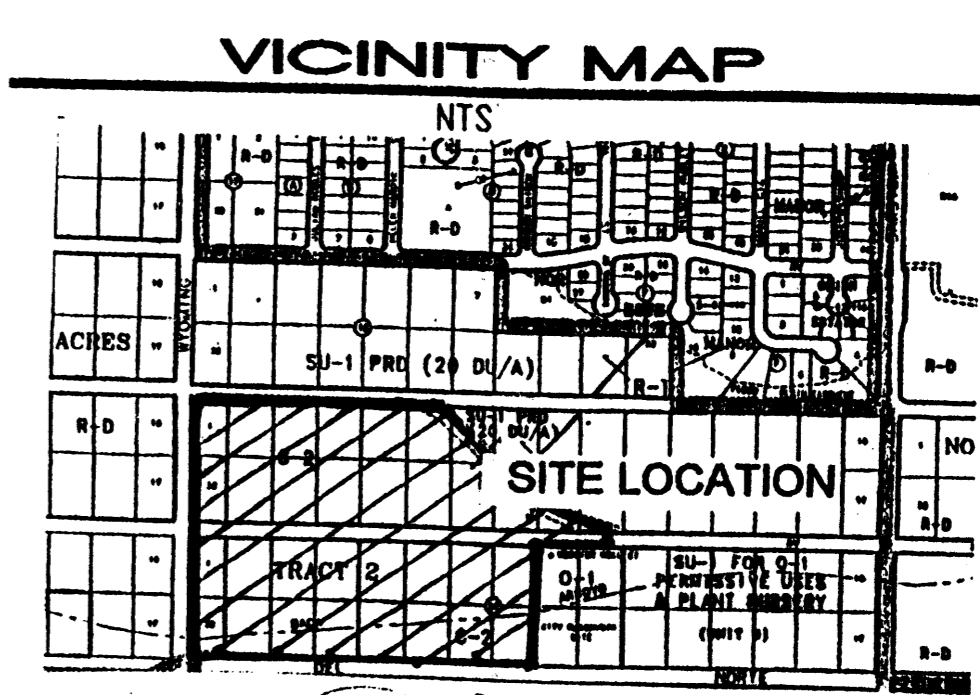
PARKING NOTES:

TYPICAL STANDARD SPACES ARE 9'-0" x 19'-0"
TYPICAL SMALL CAR (SC) SPACES ARE 7'-6" x 15'-0"
TYPICAL HANDICAP SPACES ARE 8'-0" x 19'-0"
WITH A 6" WIDE ACCESS AISLE

• ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED •

BIKE RACKS:

3. REQUIRED NUMBER OF BIKE RACKS (1 PER 25 CARS)
650 PARKING SPACES PROVIDED / 25 = 26 BIKE RACKS (5 SPACES PER RACK)
6 BIKE RACKS W/FIVE SPACES EACH PROVIDED
SEE DETAIL SHEET A3



SIGNATURE BLOCK

THIS PLAN IS CONSISTANT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON 1/20/98

EPC CASE # 2 98-98 DRB CASE # 98-402

PLANNING DIRECTOR: [Signature] DATE: 6/25/99

TRAFFIC ENGINEER: [Signature] DATE: 4-16-99

AMAFCA: [Signature] DATE: 6-15-99

CITY ENGINEER: [Signature] DATE: 6-15-99

WATER & UTILITIES DIVISION: [Signature] DATE: 4/4/99

PARKS / CIP: [Signature] DATE: 4.6.99

REV	DATE	BY	REVISION
1			
2			
3			
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FILENAME: RTSP101.DWG

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: LA CUEVA TOWN CENTER
NEC OF WYOMING BOULEVARD & PASEO DEL NORTE ALBUQUERQUE, NM

PROJECT MANAGER: GEORGE RAINHART, AIA

DRAWN BY: BDC

JOB NO.: 97068

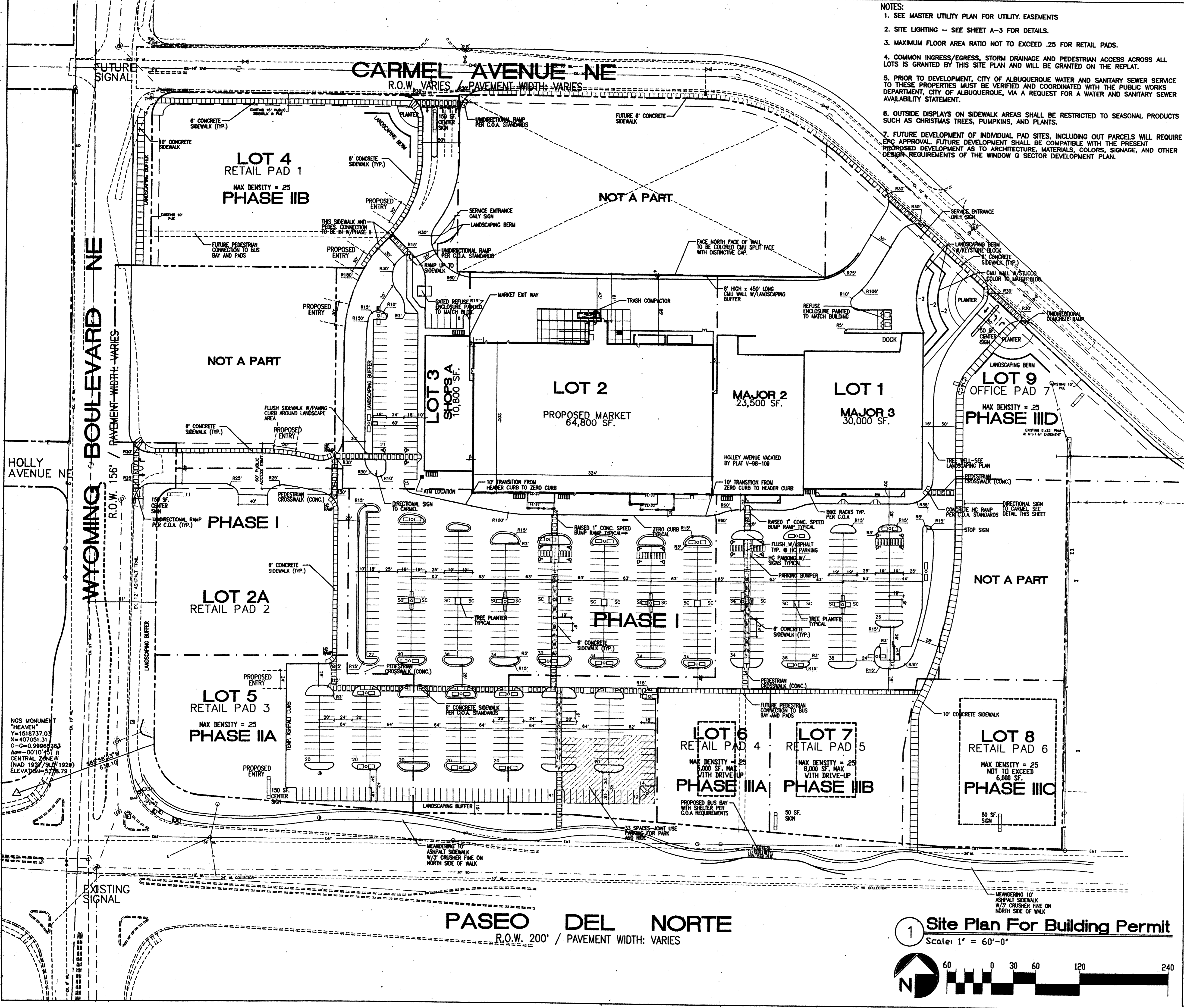
SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

START DATE: 3-16-99

SCALE: 1" = 60'-0"

sheet: C1A of-

FOR INFORMATION ONLY



1 Site Plan For Building Permit
Scale: 1" = 60'-0"

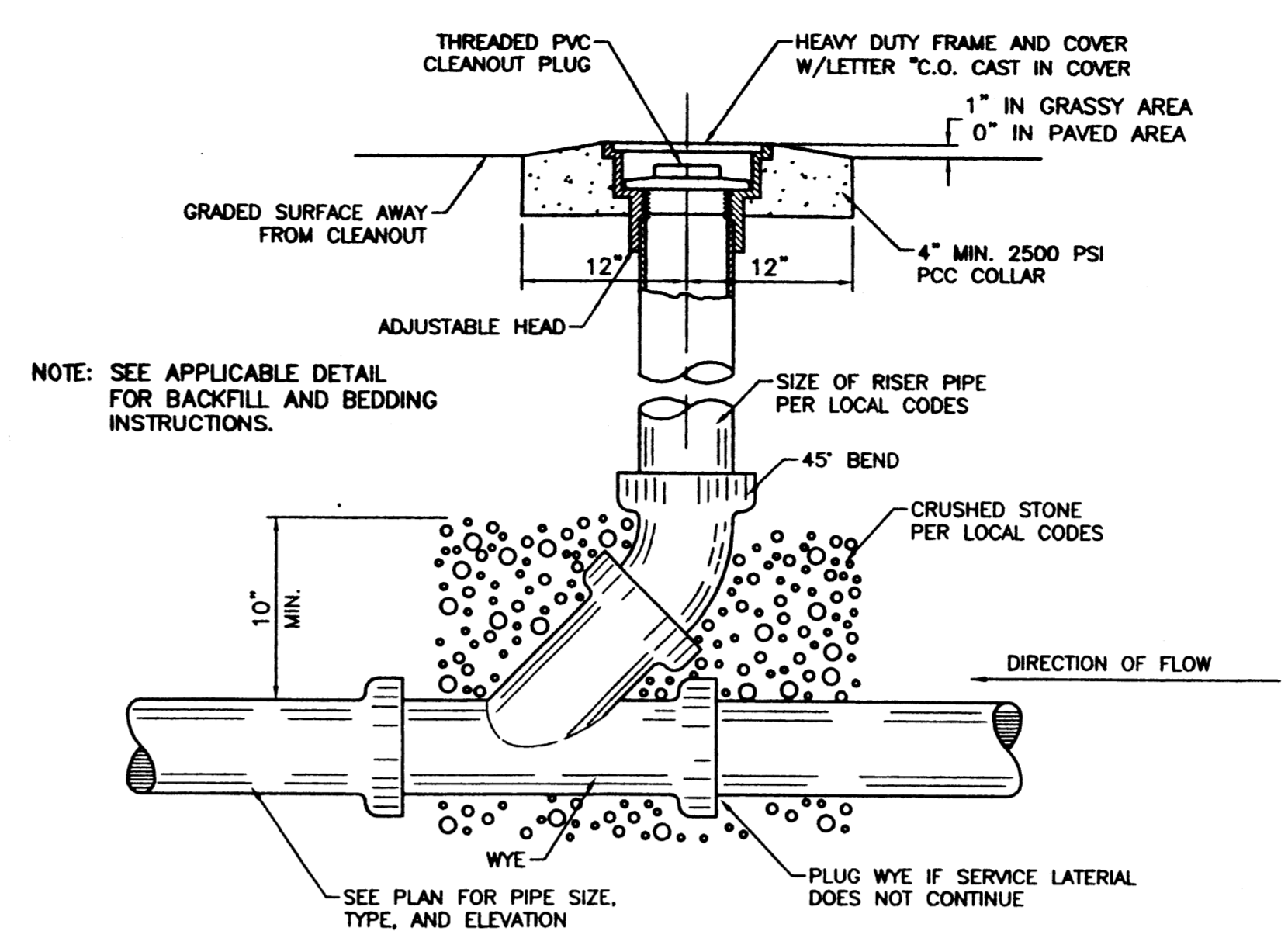
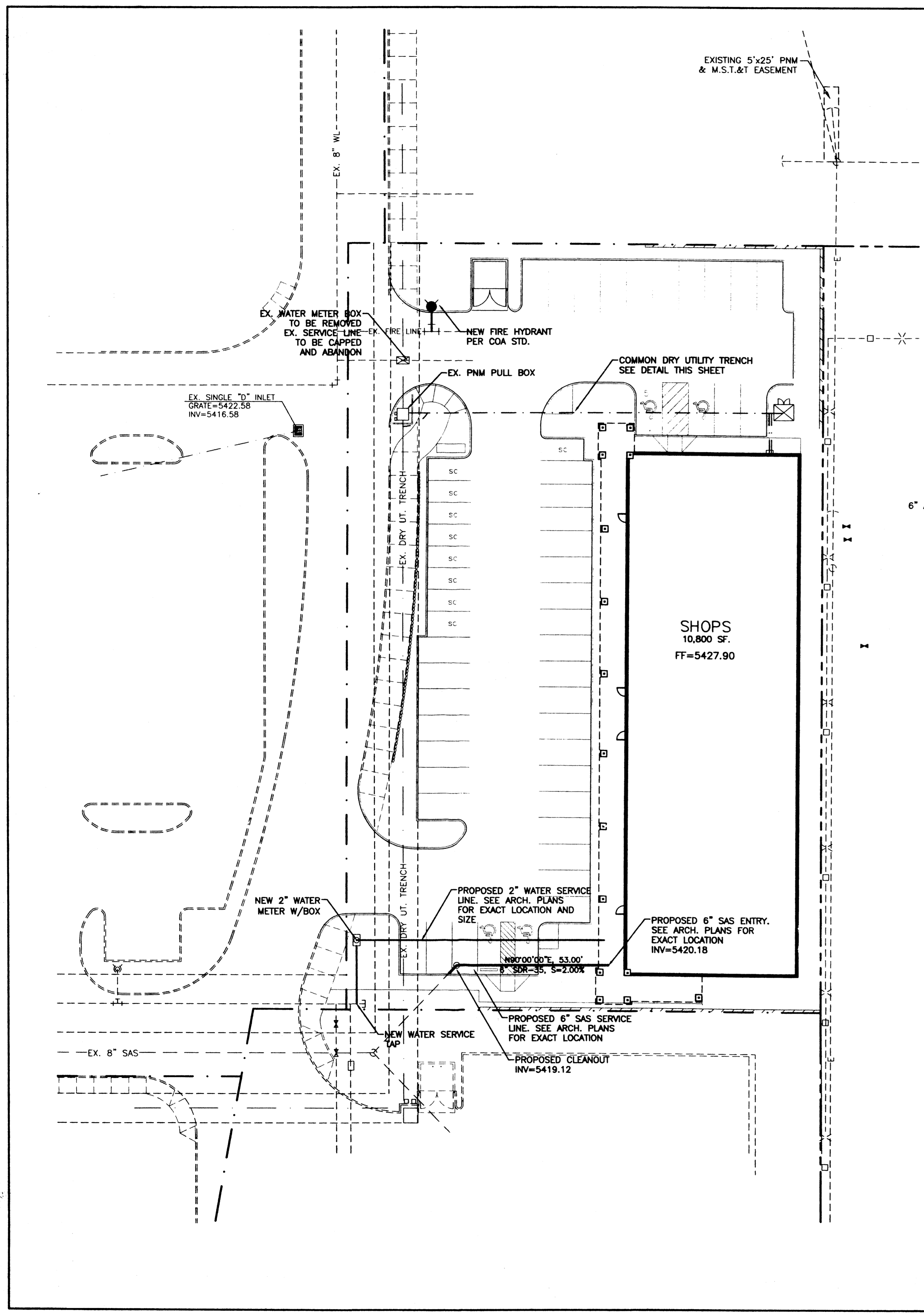
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C-C=0.99005963
Az=001°15'11"
CENTRAL ZONE II
(NAD 1983) (S/N 1928)
ELEVATION=5776.76

WYOMING BOULEVARD NE
R.O.W. 156' / PAVEMENT WIDTH: VARIES

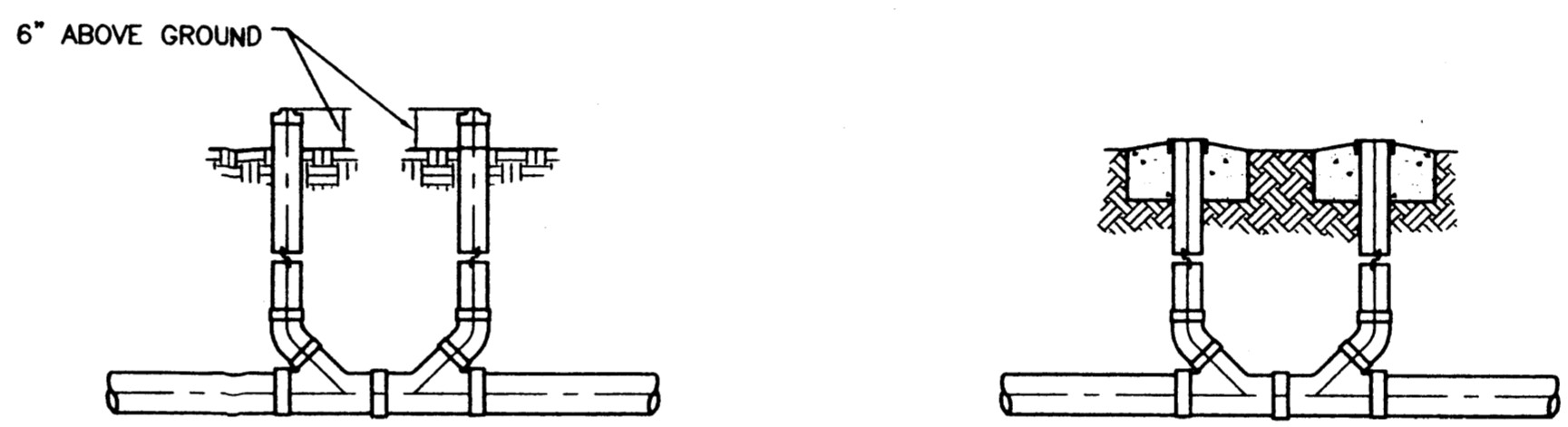
CARMEL AVENUE NE
R.O.W. VARIES / PAVEMENT WIDTH: VARIES

PASEO DEL NORTE
R.O.W. 200' / PAVEMENT WIDTH: VARIES

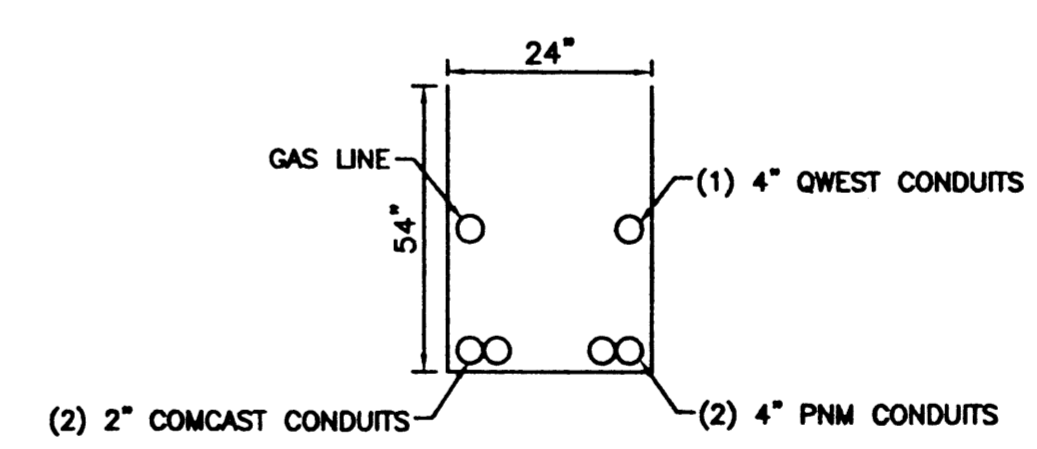
HOLLY AVENUE NE



SANITARY SEWER CLEAN-OUT
NTS



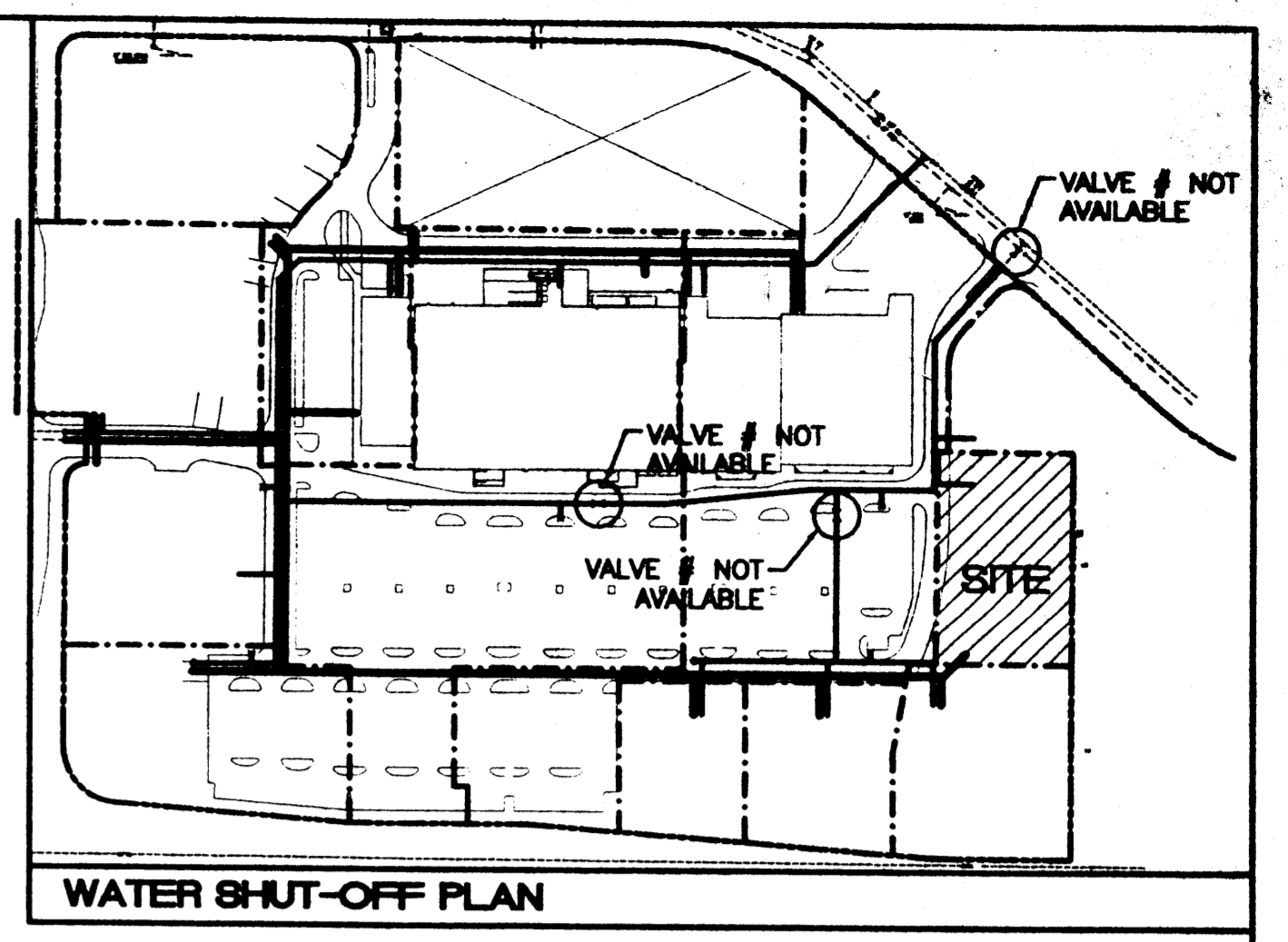
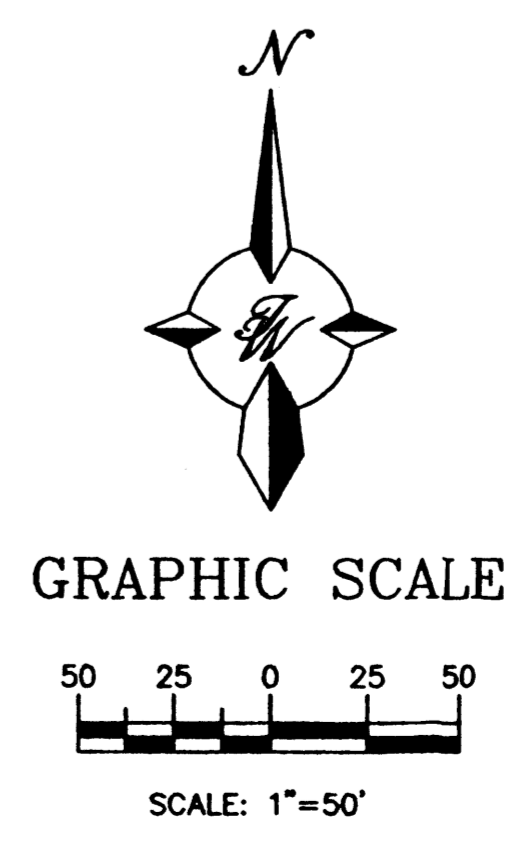
SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



UTILITY TRENCH DETAIL
NTS

- GENERAL NOTES**
- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 - ALL PIPE MATERIAL TO BE USED PER UPC.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



WATER SHUT-OFF PLAN

- NOTES:**
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 - SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

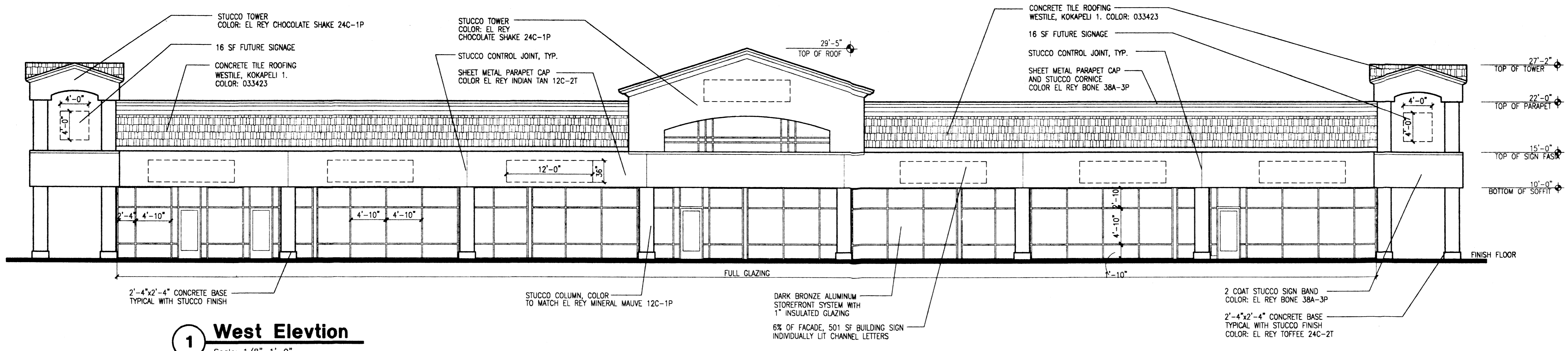
NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

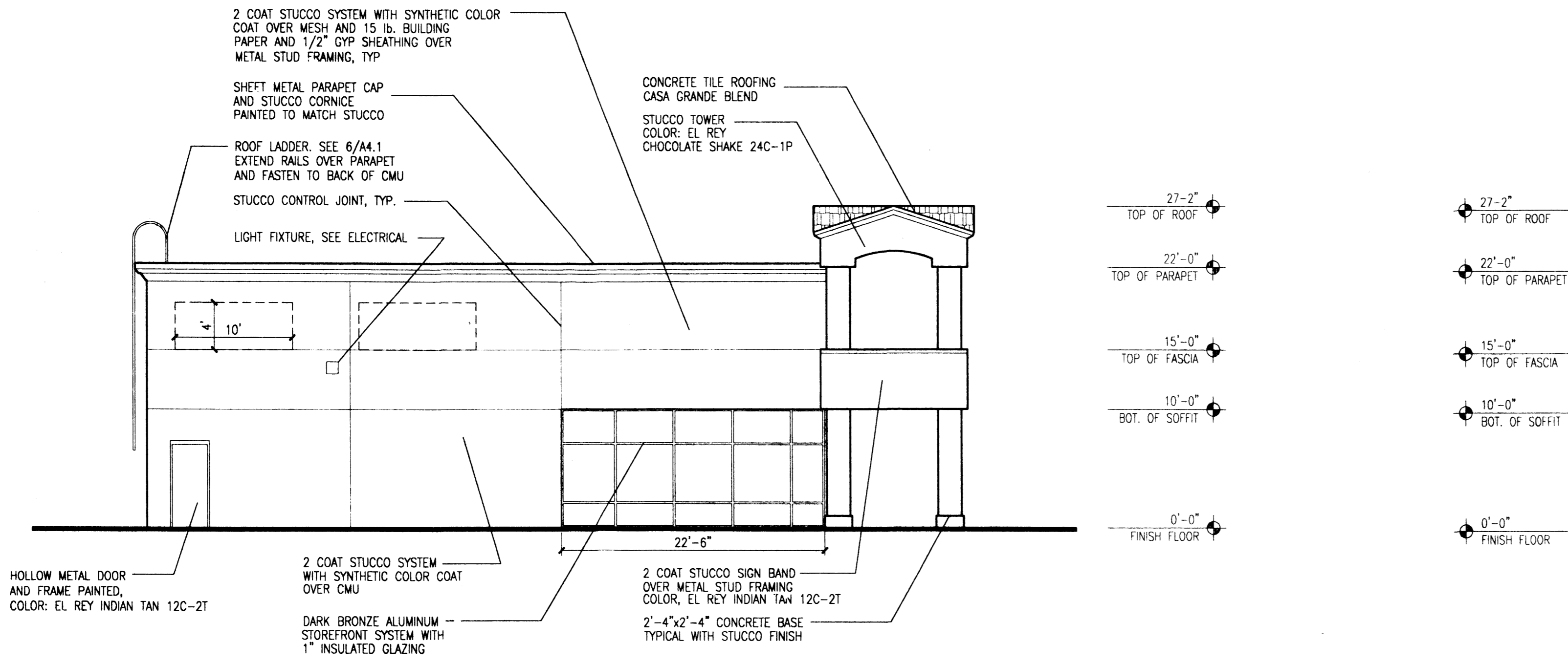
LEGEND

- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- PROPOSED CLEAN OUT
- PROPOSED DOUBLE CLEAN OUT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- BOUNDARY LINE
- EASEMENT

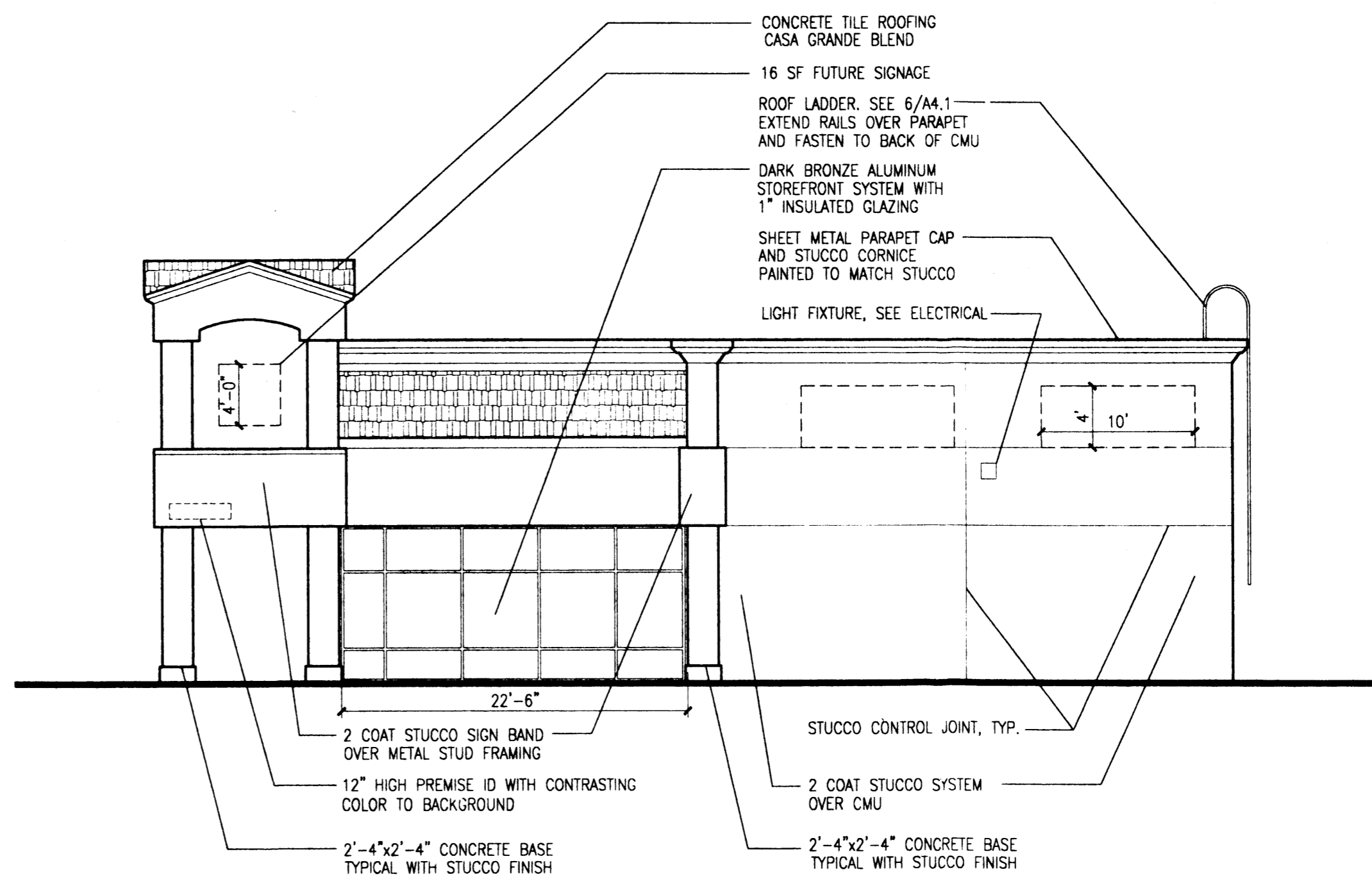
	LA CUEVA TOWN CENTER SHOPS	DRAWN BY: BDG DATE: 03-01-01
	MASTER UTILITY PLAN	9980MU1.DWG
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # JOB # 990080



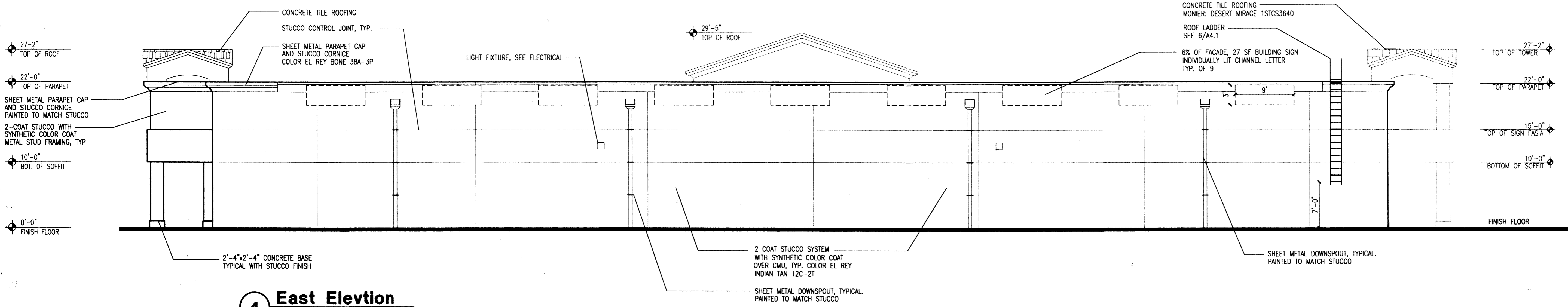
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Scale: 1/8"=1'-0"



2 North Elevation
Scale: 1/8"=1'-0"

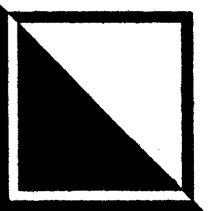


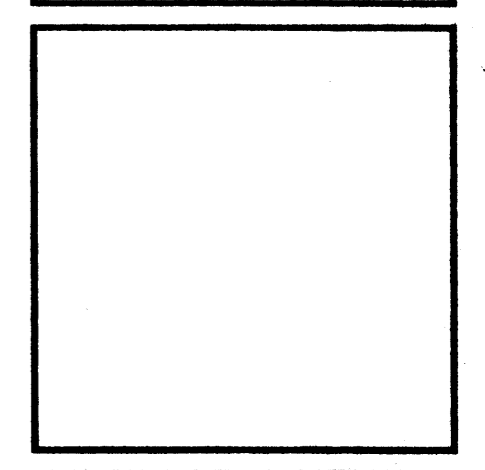
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Scale: 1/8"=1'-0"



4 East Elevation
Scale: 1/8"=1'-0"

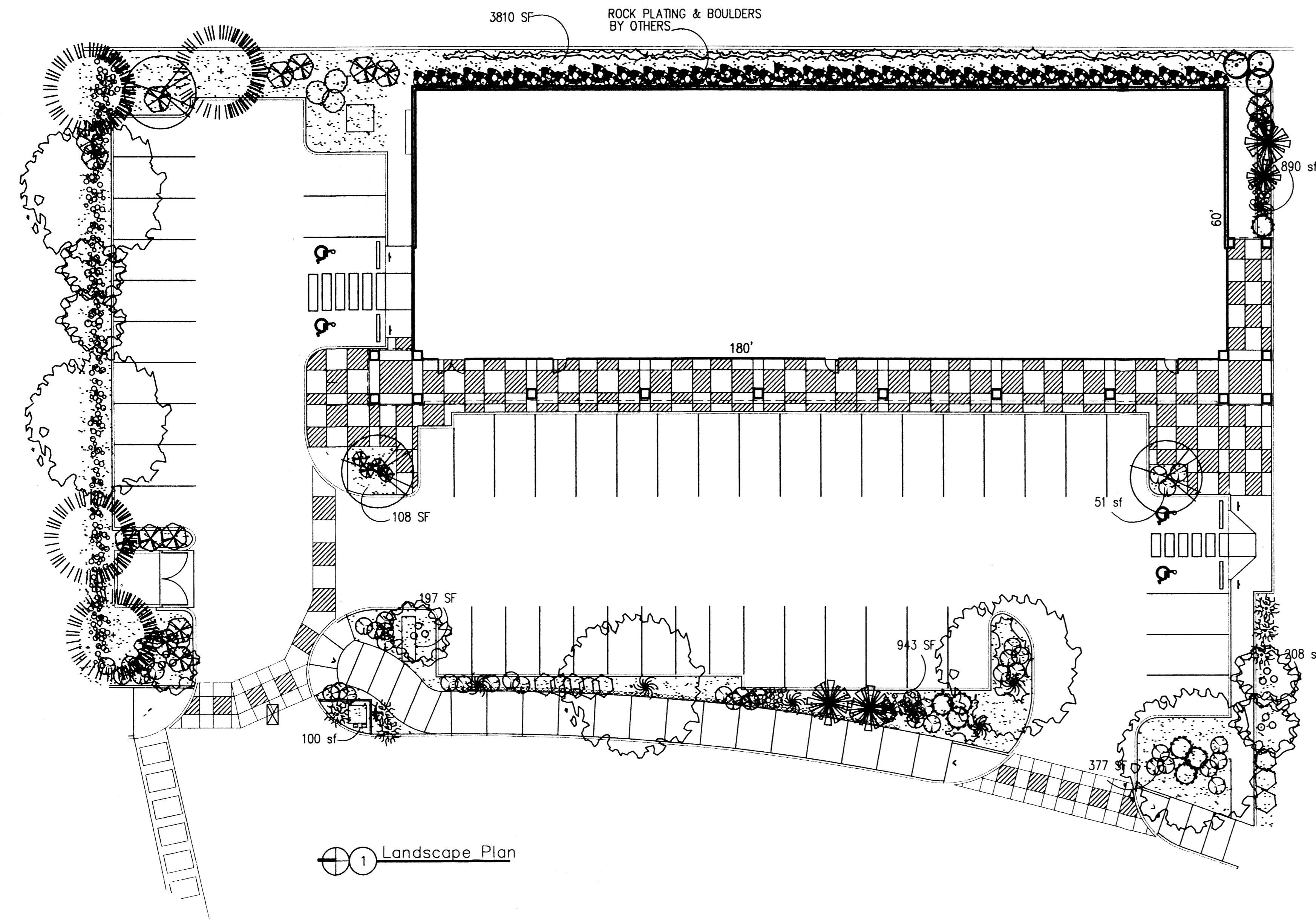
REV	DATE	BY	REVISION
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
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 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE High Desert Shops	JOB NO. 970680	DRAWN BY: SB
		PROJECT MANAGER Douglas Heller, AIA
LA CUEVA TOWN CENTER Albuquerque, New Mexico		SHEET TITLE Exterior Elevations

DATE: 2/16/01	sheet A4
SCALE: As Shown	



1 Landscape Plan

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (2) 1.0 GPM Bubblers
Shrubs to receive (2) .5 GPH Bubblers
Drip and Bubbler systems to be tied to 3/4" polypipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season and flow amounts per valve.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

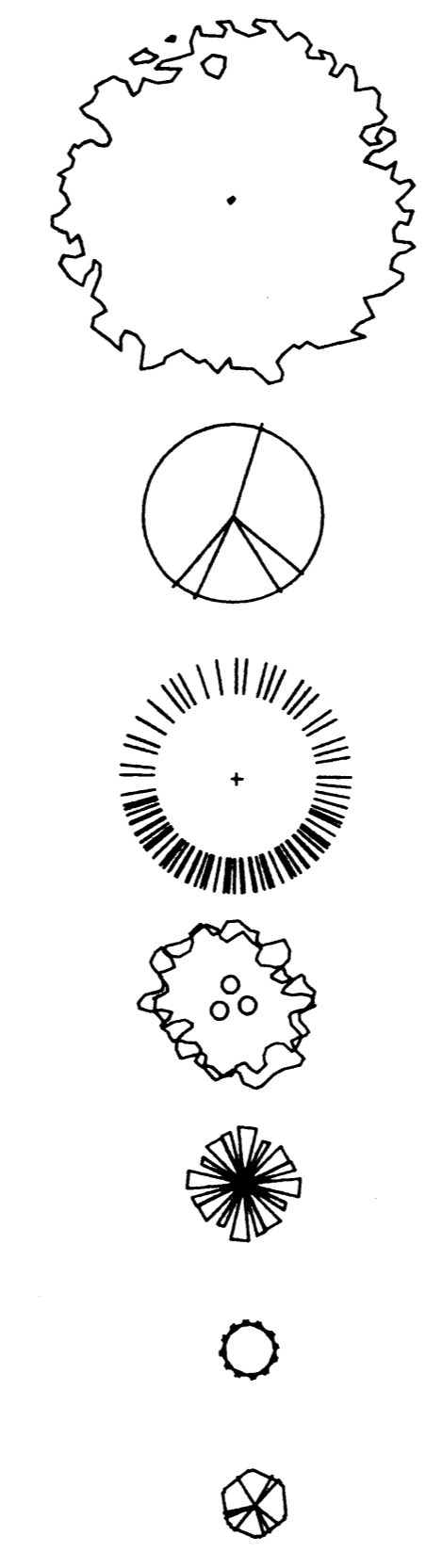
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Plant beds shall achieve 75% live ground cover at Maturity.

Santa Fe Brown Crusher Fines over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

PLANT LEGEND



<p>ASPEN/HONEYLOCUST/ASH (M) 5 Populus tremuloides Gleditsia triacanthos Fraxinus velutina/ F. oxycarpa 'Raywood' 2" Cal</p>	<p>MAIDEN GRASS (M) 7 Miscanthus sinensis 5 gal</p>
<p>FLOWERING PEAR (H) 3 Pyrus calleryana 2" Cal</p>	<p>AUTUMN SAGE (M) 8 Salvia greggii 1 gal</p>
<p>AUSTRIAN PINE/ BLUE SPRUCE(H) 4 Pinus nigra/ Picea spp 6"-8"</p>	<p>PHOTINIA /ACUBA(M) 6 Photinia fraserii Acuba spp. 5 gal</p>
<p>NEW MEXICO OLIVE / SMOKE TREE(M) 6 DESERT WILLOW Forestiera neomexicana/ Cotinus coggygria Chilopsis linearis 5 GAL</p>	<p>RUSSIAN SAGE (M) 3 Perovskia atriplicifolia 5 gal</p>
<p>PALM YUCCA (L) 4</p>	<p>APACHE PLUME (L) 3 Fallugia paradoxa 5 gal</p>
<p>BLUE MIST/ FLOWERING QUINCE (M) 7 Coryopteris x clandonensis Chonometes spp. 5 gal</p>	<p>GULF STREAM NANDINA (M) 4 Nandina domestica 5 gal</p>
<p>INDIAN HAWTHORN (M) 15 Raphiolepis indica 5 gal</p>	<p>WILDFLOWER 43 1 gal</p>
	<p>BLUE CHIP JUNIPER (M) 23 JUNIPERUS SABINA 1 gal</p>
	<p>OVERSIZED GRAVEL & ON SITE BOULDERS</p>
	<p>SANTA FE BROWN CRUSHER FINES</p>

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	43,502 square feet
TOTAL BUILDINGS AREA	10,800 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	32,702 square feet
LANDSCAPE REQUIREMENT	.15 square feet
TOTAL LANDSCAPE REQUIREMENT	4,905 square feet
TOTAL LANDSCAPE PROVIDED	6,662 square feet
TOTAL BED PROVIDED	6,662 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet



LANDSCAPE ARCHITECTS & CONTRACTORS
 LIC# 26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 it@hilltoplandscaping.com

GRAPHIC SCALE



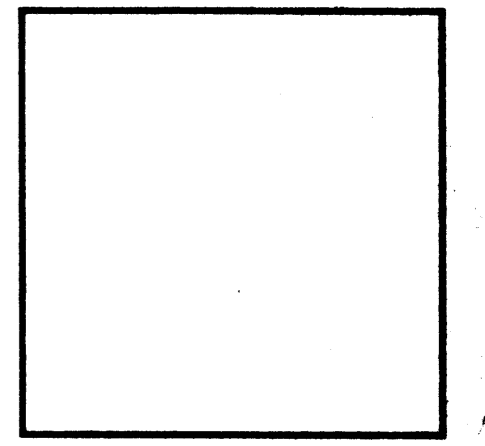
SCALE: 1"=16'

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THE HILLTOP

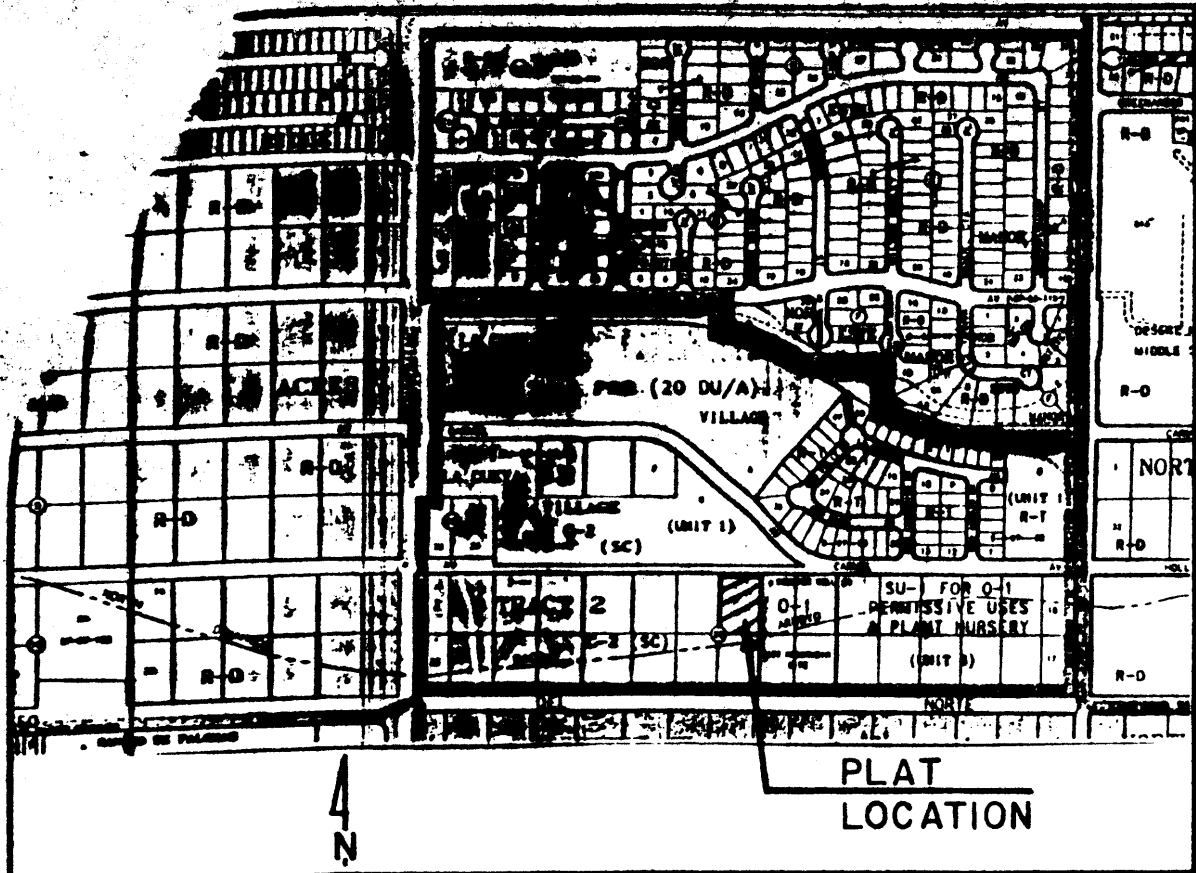
REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-4877



PROJECT TITLE High Desert Shops LA CUEVA TOWN CENTER Albuquerque, New Mexico	DRAWN BY: IRT
PROJECT MANAGER George Rainhart, AIA	JOB NO. 970680
SHEET TITLE Landscape Plan	

DATE: 3/6/01	sheet- 06
SCALE: 3/32"=1'-0"	of-



LOCATION MAP 1" = 750' C-19-Z

PURPOSE OF PLAT

- To create Lot 8-A as shown hereon and to vacate the Holly Avenue easement.
- To grant easements as shown hereon.

SUBDIVISION DATA

- DRB Case No.:
- Zone Atlas Index No.: C-19-Z
- Total Number of Existing Lots: 1
- Total Number of Existing Tracts: 0
- Total Number of Lots created: 1
- Total Number of Tracts created: 0
- Gross Subdivision Acreage: 0.9987

Appl # 00440.00000.00196

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary is from the plat of record entitled:

PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3", (09-10-31, D1-20)

PLAT FOR "LA CUEVA TOWN CENTER", (07-29-99, 99C-211)

all being records of Bernalillo County, New Mexico.

- Field Survey: performed December, 1999.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: C-2 (SC)
- Utility Council Location System Log No.: 99120309360168

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed.

Owner(s): LOT 8-A *Paul J. Edwards* 1/7/00 Date

DR. PAUL EDWARDS
OFFICIAL SEAL
JUDY H. SIMONTON
NOTARY PUBLIC-STATE OF NEW MEXICO
My Commission Expires: 3-13-2002

On this 7th day of January, 2000, this instrument was acknowledged before me by Dr. Paul Edwards.
Judy H. Simonton 3-13-2002
Notary Public My Commission Expires

DESCRIPTION

A tract of land situate within the Elena Gallegos Grant, projected section 18, Township 11 North, Range 4 East, City of Albuquerque, Bernalillo County, New Mexico being all of LOT 8, BLOCK 20, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract said point being common with the northeast corner of LOT 8, LA CUEVA TOWN CENTER as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 29, 1999 in Book 99C, Page 211 from whence the National Geodetic Survey Monument "HEAVEN" bears S 80°03'55" W, 1852.89 feet;

THENCE N 89°39'31" W, 164.88 feet along a line common with the north line of said LOT 8 to the southwest corner, said point being common with the southeast corner of LOT 1, LA CUEVA TOWN CENTER as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 29, 1999 in Book 99C, Page 211;

THENCE N 00°15'35" E, 263.77 feet along a line common with the east line of said LOT 1 to the northwest corner;

THENCE S 89°39'10" E, 165.00 feet along a line common with the south line of LOT 9, LA CUEVA TOWN CENTER as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 29, 1999 in Book 99C, Page 211 to the northeast corner; said point being common with the northwest corner of LOT 9, BLOCK 20, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20;

THENCE S 00°16'59" W, 263.75 feet along a line common with the west line of said LOT 9 to the point of beginning and containing 0.9987 acres more or less.



PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

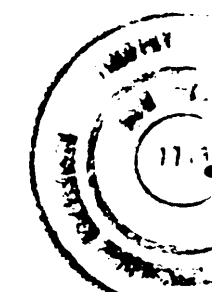
- The PNM Electric Services Division for the installation, maintenance, and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- U.S. West for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- Jones Intercable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV services. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat. In approving this plat, the utility companies listed above did not conduct a title search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

APPROVED AND ACCEPTED BY:

- Subdivision Case No. **Project # 1000249**
- Paul J. Edwards* 2/14/00 Date
Planning Director, City of Albuquerque, N.M.
Paul J. Edwards 3-14-00 Date
City Engineering Div. City of Albuquerque, N.M.
Paul J. Edwards 3-14-00 Date
Albuquerque Metropolitan Arroyo Flood Control Authority
Paul J. Edwards 2-10-00 Date
Traffic Div., City of Albuquerque, N.M.
Paul J. Edwards 2-10-00 Date
Water Utilities Dept. City of Albuquerque, N.M.
Paul J. Edwards 2-15-00 Date
Parks and Recreation, City of Albuquerque, N.M.
Paul J. Edwards 1-28-00 Date
City Surveyor, City of Albuquerque, N.M.
Paul J. Edwards 2-23-00 Date
Property Management, City of Albuquerque, N.M.
1019-0641-388-037-4025
Paul J. Edwards 3-24-00 Date
County Treasurer, Bernalillo County, N.M.
Paul J. Edwards 2-2-00 Date
PNM Gas Services Division
Paul J. Edwards 2-2-00 Date
PNM Electric Services Division
Paul J. Edwards 02-03-00 Date
U.S. West Telecommunications
Paul J. Edwards 1/31/00 Date
Jones Intercable, Inc.

SURVEYOR'S CERTIFICATION

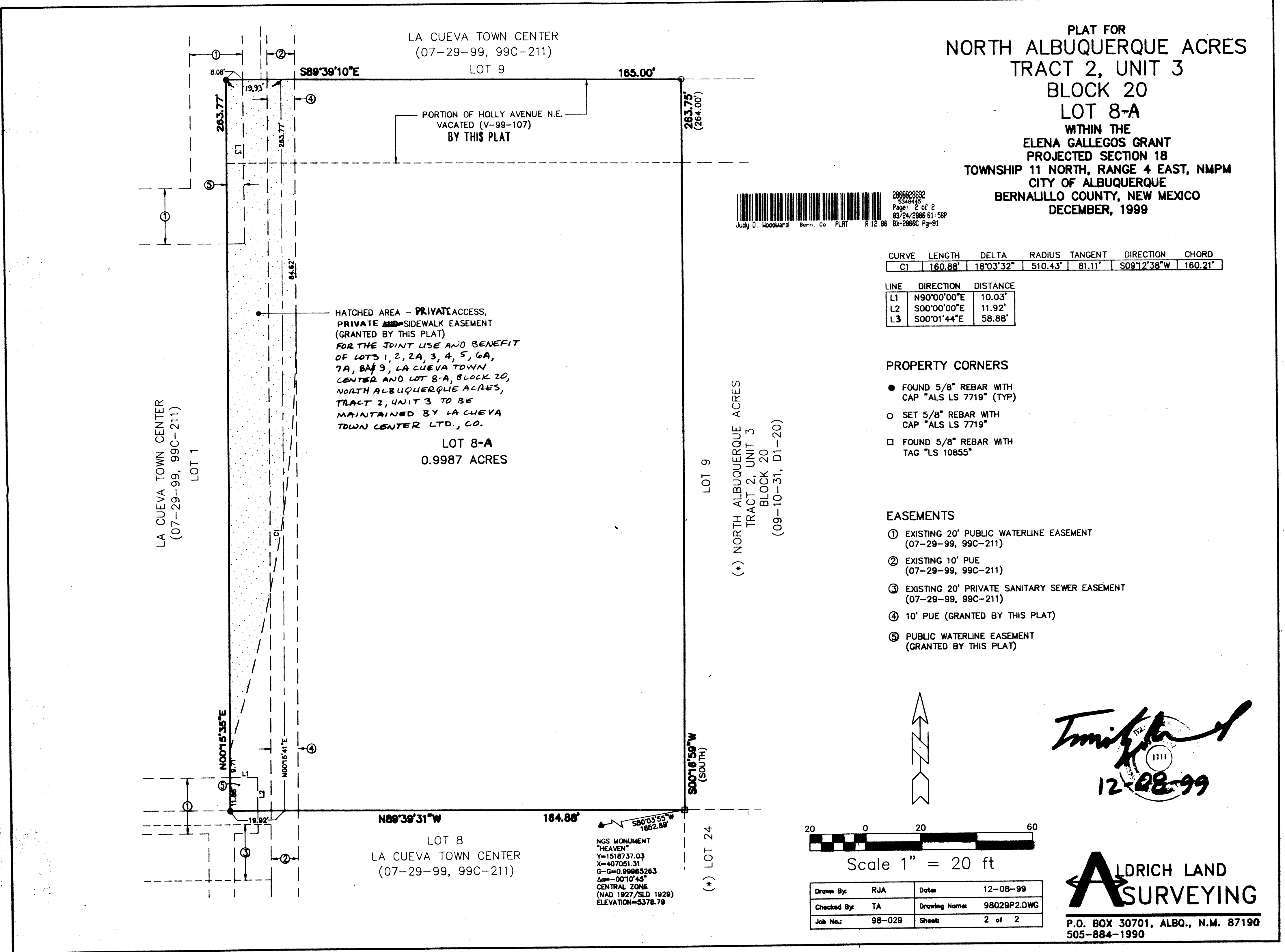
I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.



Timothy Aldrich 12-08-99 Date
Timothy Aldrich, P.S. No. 7719

Drawn By:	RJA	Date:	12-08-99
Checked By:	TA	Drawing Name:	98029P1.DWG
Job No.:	98-029	Sheet:	1 of 2

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990



PLAT FOR NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 BLOCK 20 LOT 8-A WITHIN THE ELENA GALLEGOS GRANT PROJECTED SECTION 18 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER, 1999



CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	160.88'	18°03'32"	510.43'	81.11'	S09°12'38"W	160.21'

LINE	DIRECTION	DISTANCE
L1	N90°00'00"E	10.03'
L2	S00°00'00"E	11.92'
L3	S00°01'44"E	58.88'

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719"
- FOUND 5/8" REBAR WITH TAG "LS 10855"

EASEMENTS

- EXISTING 20' PUBLIC WATERLINE EASEMENT (07-29-99, 99C-211)
- EXISTING 10' PUE (07-29-99, 99C-211)
- EXISTING 20' PRIVATE SANITARY SEWER EASEMENT (07-29-99, 99C-211)
- 10' PUE (GRANTED BY THIS PLAT)
- PUBLIC WATERLINE EASEMENT (GRANTED BY THIS PLAT)

Scale 1" = 20 ft

Drawn By:	RJA	Date:	12-08-99
Checked By:	TA	Drawing Name:	98029P2.DWG
Job No.:	98-029	Sheet:	2 of 2

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990