

# PARCEL "C"

## Site Data

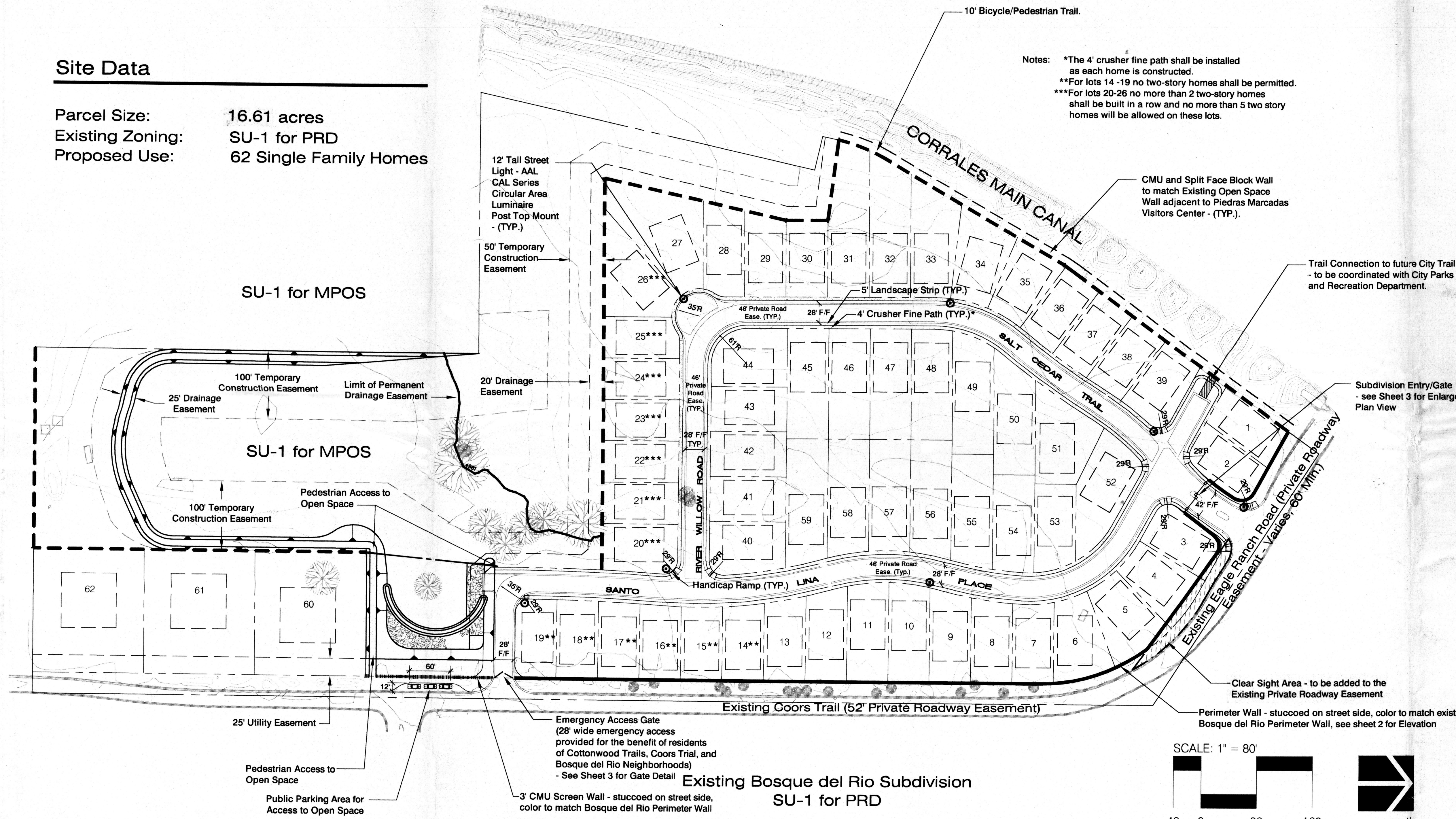
Parcel Size: 16.61 acres  
 Existing Zoning: SU-1 for PRD  
 Proposed Use: 62 Single Family Homes

## VICINITY MAP



COA Zone Atlas D-13

Notes:  
 \*The 4' crusher fine path shall be installed as each home is constructed.  
 \*\*For lots 14 -19 no two-story homes shall be permitted.  
 \*\*\*For lots 20-26 no more than 2 two-story homes shall be built in a row and no more than 5 two story homes will be allowed on these lots.

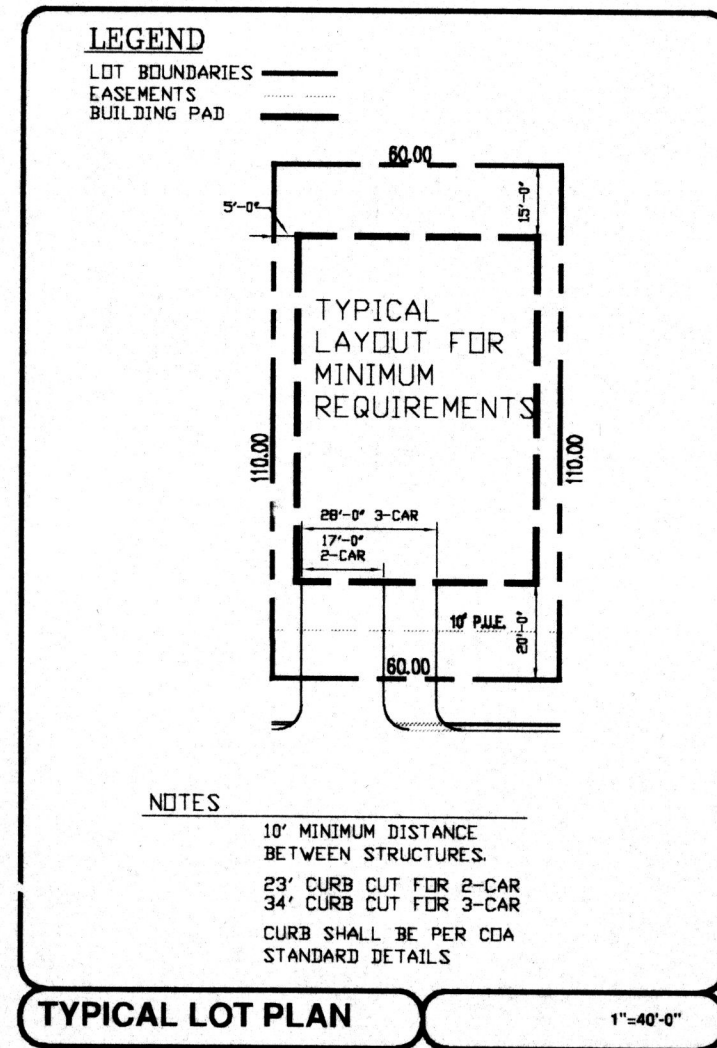
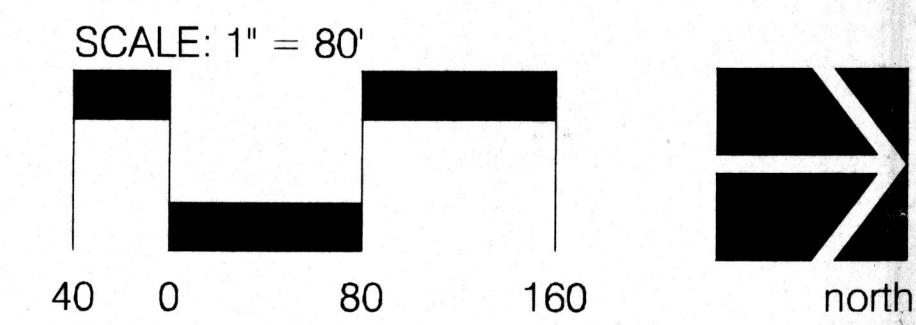


DRB #: 01450 00000 00058 / 01450 00000 00059  
 EPC #: 00128 00000 00586 / 00128 00000 00587

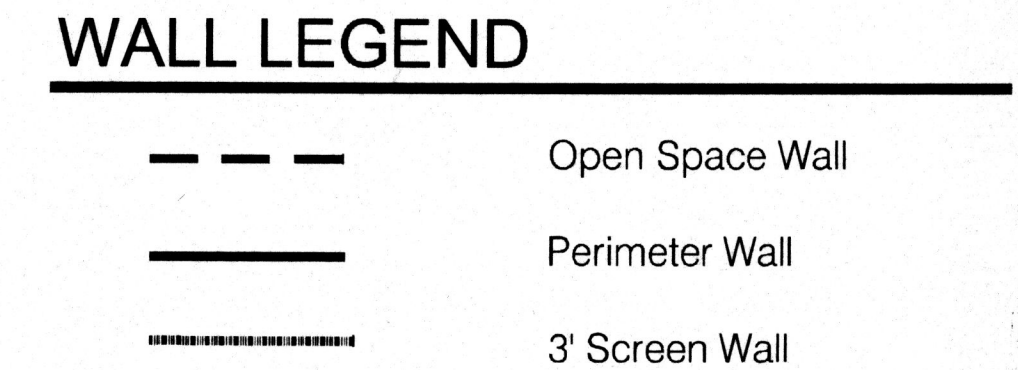
## APPROVALS

Project #: 400493

Signature	Title	Date
<i>[Signature]</i>	Planning Director	4/12/01
<i>[Signature]</i>	Transportation Development	3-01-01
<i>[Signature]</i>	City Engineer/AMAFCA	4/6/01
<i>[Signature]</i>	Utility Development	2/07/01
<i>[Signature]</i>	Parks and Recreation Department	2/07/01
<i>[Signature]</i>	Solid Waste Department	



Cottonwood Trails Subdivision			Net lot areas (to edge of roadway easement)		
Lot Number	Area In Square Feet	Area In Acres	Lot Number	Area In Square Feet	Area In Acres
1	6,647.04	0.1526	24	6,591.69	0.1513
2	6,871.28	0.1577	25	6,380.36	0.1465
3	7,181.56	0.1649	26	10,195.03	0.2340
4	7,938.28	0.1822	27	14,620.27	0.3366
5	8,907.21	0.2045	28	7,729.29	0.1774
6	8,445.14	0.1939	29	7,070.67	0.1623
7	6,867.53	0.1577	30	6,657.47	0.1528
8	7,157.14	0.1643	31	12,452.87	0.2859
9	7,831.89	0.1798	32	11,828.99	0.2716
10	8,547.91	0.1962	33	10,535.58	0.2419
11	8,588.64	0.1972	34	8,827.47	0.2027
12	7,907.29	0.1815	35	7,462.94	0.1713
13	7,086.13	0.1627	36	6,701.20	0.1538
14	6,576.43	0.1510	37	6,747.24	0.1549
15	6,378.28	0.1464	38	6,623.94	0.1521
16	6,479.42	0.1487	39	7,627.12	0.1751
17	6,694.77	0.1537	40	8,053.78	0.1849
18	6,835.95	0.1569	41	7,153.22	0.1642
19	6,655.21	0.1528	42	7,154.05	0.1642
20	7,606.61	0.1746	43	7,150.00	0.1641
21	6,591.69	0.1513	44	8,714.94	0.2001
22	6,591.69	0.1513	45	9,526.15	0.2187
23	6,563.75	0.1507	46	9,598.44	0.2203
			47	9,615.56	0.2207
			48	9,612.90	0.2207
			49	10,133.93	0.2326
			50	9,631.67	0.2211
			51	9,827.60	0.2256
			52	10,436.62	0.2396
			53	7,348.82	0.1687
			54	8,401.32	0.1929
			55	9,628.23	0.2210
			56	10,024.56	0.2301
			57	9,662.41	0.2218
			58	9,950.81	0.2284
			59	10,786.61	0.2476
			60	28,798.00	0.6611
			61	28,741.66	0.6598
			62	28,797.14	0.6611



# Cottonwood Trails

## SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

Prepared for:  
 Garrett Group, Inc.  
 PO Box 1028  
 Albuquerque, NM 87184-0285

Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102

Isaacson & Arman, P.A.  
 128 Monroe Street NE  
 Albuquerque, NM 87108





## LANDSCAPE CONCEPT

The landscape Concept for Cottonwood Trails has been developed to enhance and follow the patterns of the surrounding environment. The entry monument will feature small groupings of Cottonwood, Ash and Pine varieties. The ground plane will be developed with massings of native shrub, groundcover, and perennial materials with accent materials interspersed.

### GENERAL

The design and provision of landscape for the Cottonwood Trails Subdivision will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

### STREET TREE ORDINANCE REQUIREMENTS

Eagle Ranch Road and Coors Trail at this point is considered a Collector Street and does not fall under the requirements of the City of Albuquerque street Tree Ordinance.

### UTILITY NOTES

Due to the small scale, and in order to provide optimum legibility of the landscape plan, utility easements are not shown. The location of utility easements are as indicated on Site Plan.

### IRRIGATION SYSTEM

Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas.

### MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system shall be the responsibility of the Owner. All planting areas will be maintained in a living, attractive, and weed free condition.

### GENERAL PLANT PALETTE

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

#### Large Canopy Trees (2' Caliper Min.)

Cottonwood (female), Autumn Purple Ash, Honeylocust species, Chinese Pistache

#### Evergreen Trees (6' Min. Height)

Pinon Pine

#### Accent Trees (1 1/2' Caliper Min.)

Desert Willow, New Mexico Olive, Flowering Pear, Flowering Plum

#### Shrubs (1 & 5 Gallon)

Juniper Species, Potentilla, Chamisa, Artemisia Species, Fourwing Saltbush, Red Yucca, Apache Plume, Dalea Species, Penstemon Species, Desert Spoon, Cotoneaster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species

#### Groundcovers and Vines

Trumpet Vine, Carolina Jessamine, Juniper species, Honeysuckle, Wisteria, Virginia Creeper

#### Turf Grasses (Seed or Sod)

Kentucky Bluegrass (Max. 20% of landscape area)  
Fescue (Max. 20% of landscape area)  
Buffalo/Blue Grama Grass

#### Mulches

Crusher Fines, Bark Mulch, 3/4" Santa Fe Brown Rock Mulch,  
2" - 4" Santa Ana Tan Rock Mulch

#### Boulders (5' Max. Dimension)

Moss Rock and/or Granite

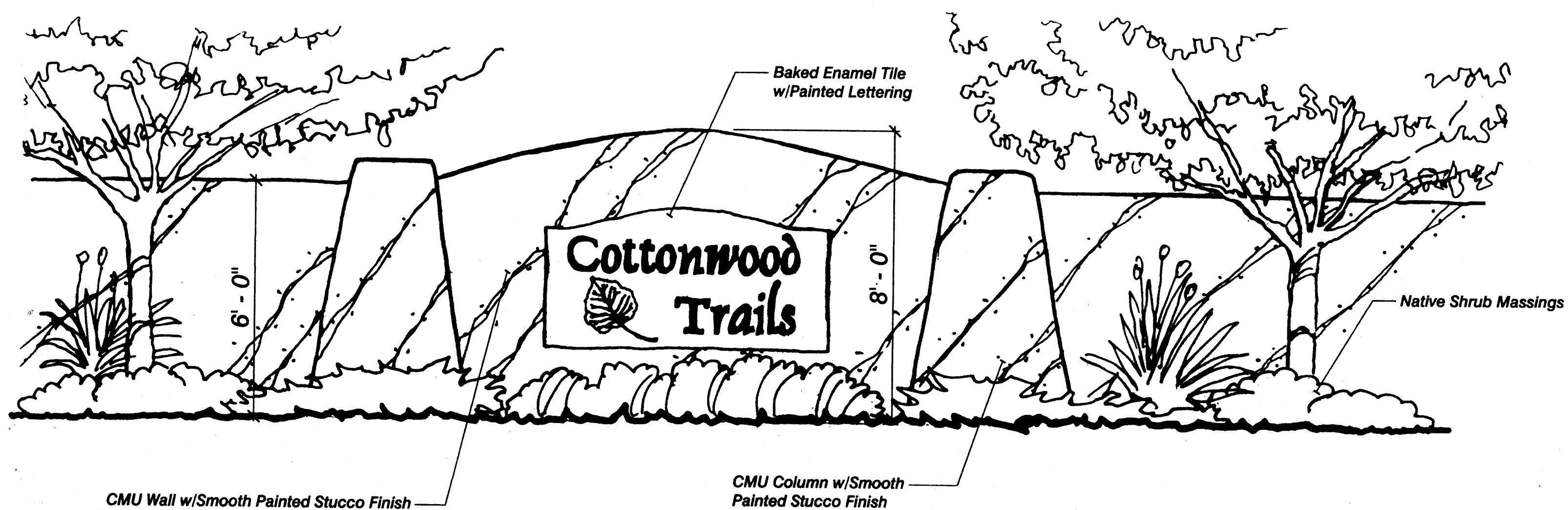
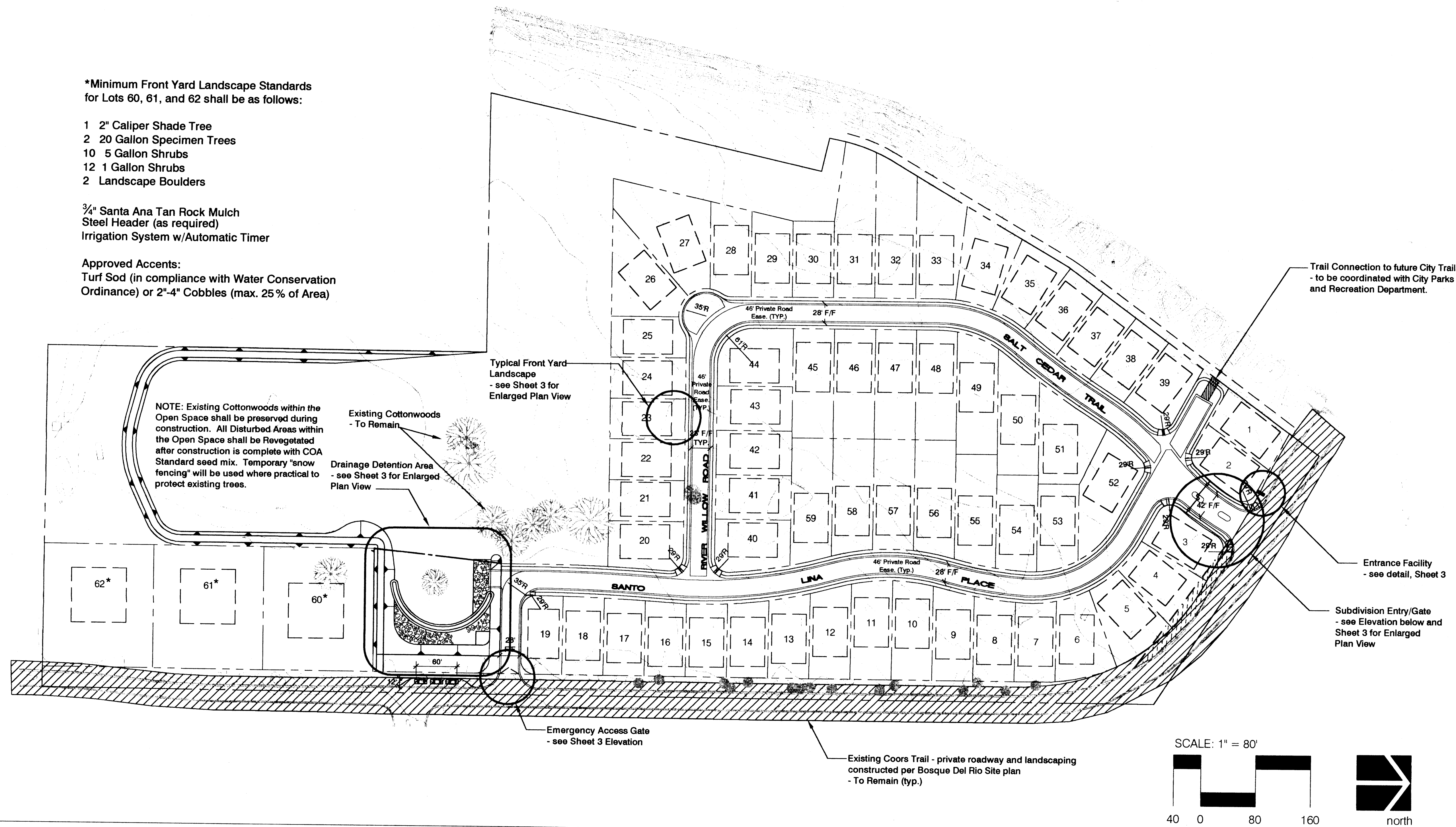
\*Minimum Front Yard Landscape Standards for Lots 60, 61, and 62 shall be as follows:

- 1 2" Caliper Shade Tree
- 2 20 Gallon Specimen Trees
- 10 5 Gallon Shrubs
- 12 1 Gallon Shrubs
- 2 Landscape Boulders

3/4" Santa Ana Tan Rock Mulch  
Steel Header (as required)  
Irrigation System w/Automatic Timer

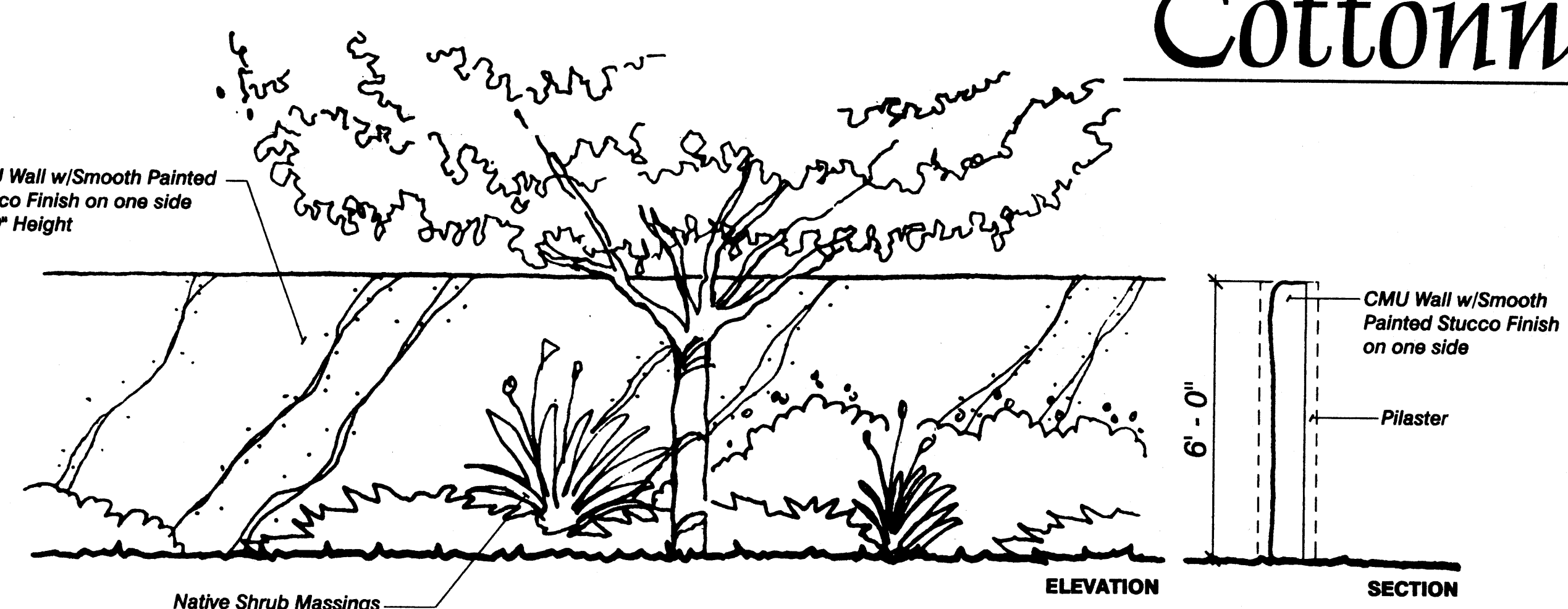
Approved Accents:

Turf Sod (in compliance with Water Conservation Ordinance) or 2"-4" Cobbles (max. 25% of Area)



Entry Monument Elevation

Scale: 3/8" = 1'-0"



Perimeter Wall @ Coors Trail

Scale: 3/8" = 1'-0"

# Cottonwood Trails

## LANDSCAPE PLAN

Prepared for:  
Garrett Group, Inc.  
PO Box 10285  
Albuquerque, NM 87184-0285

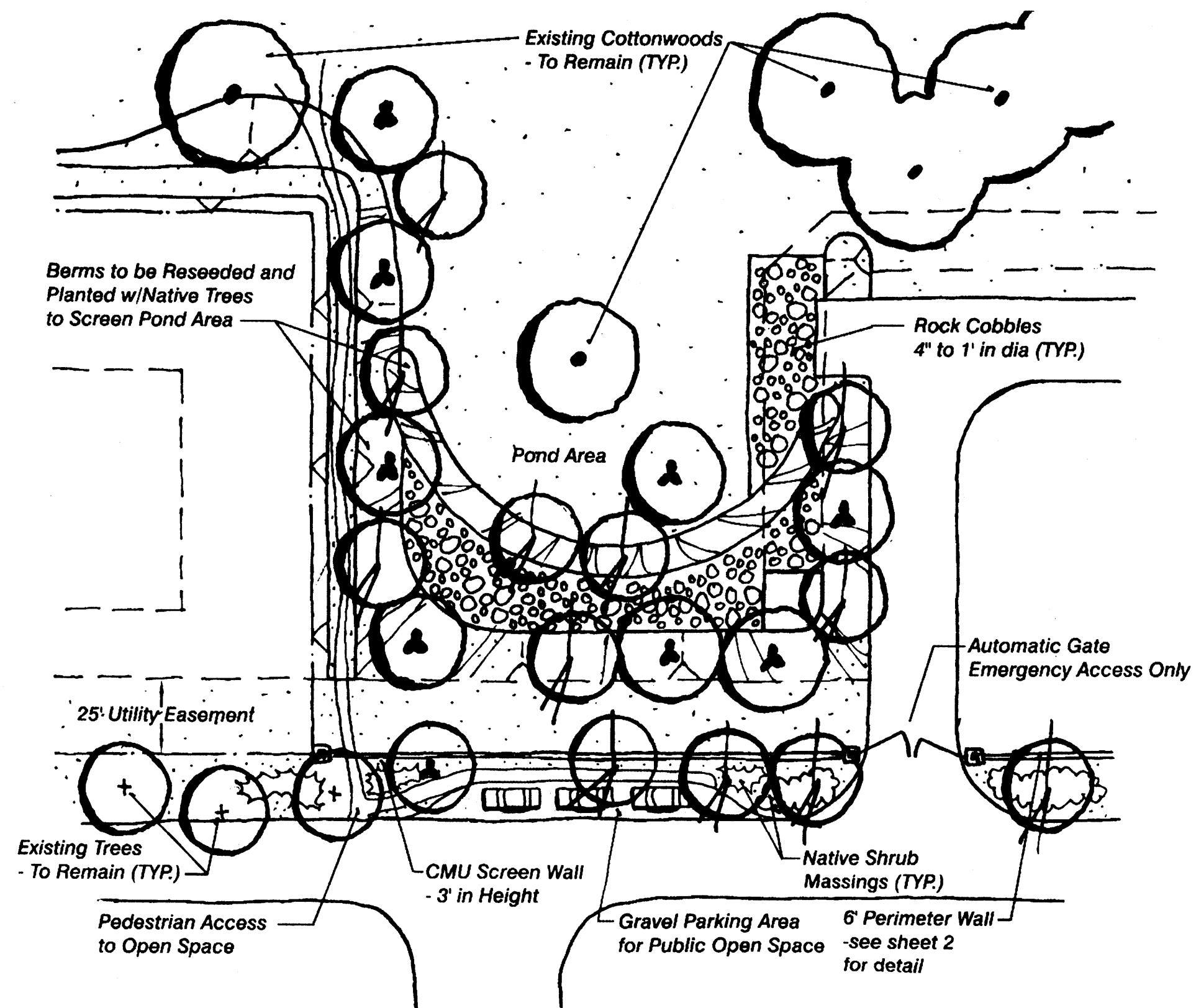
Prepared by:  
Consensus Planning, Inc.  
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Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



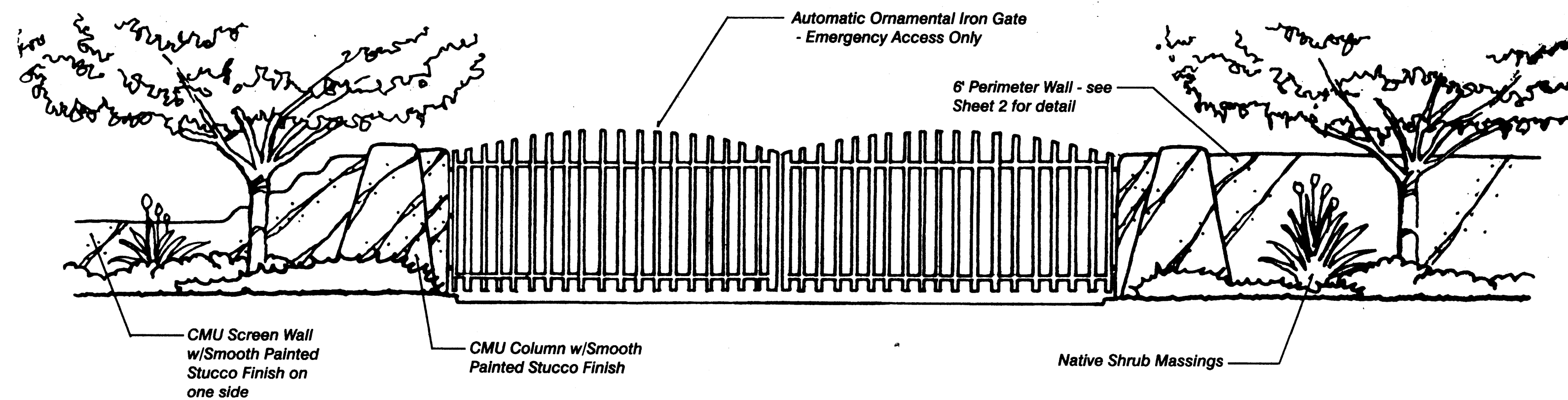
CONSENSUS  
January 10, 2001





**Drainage Detention Area Plan**

Scale: 1" = 40'



**Emergency Access Gate Elevation**

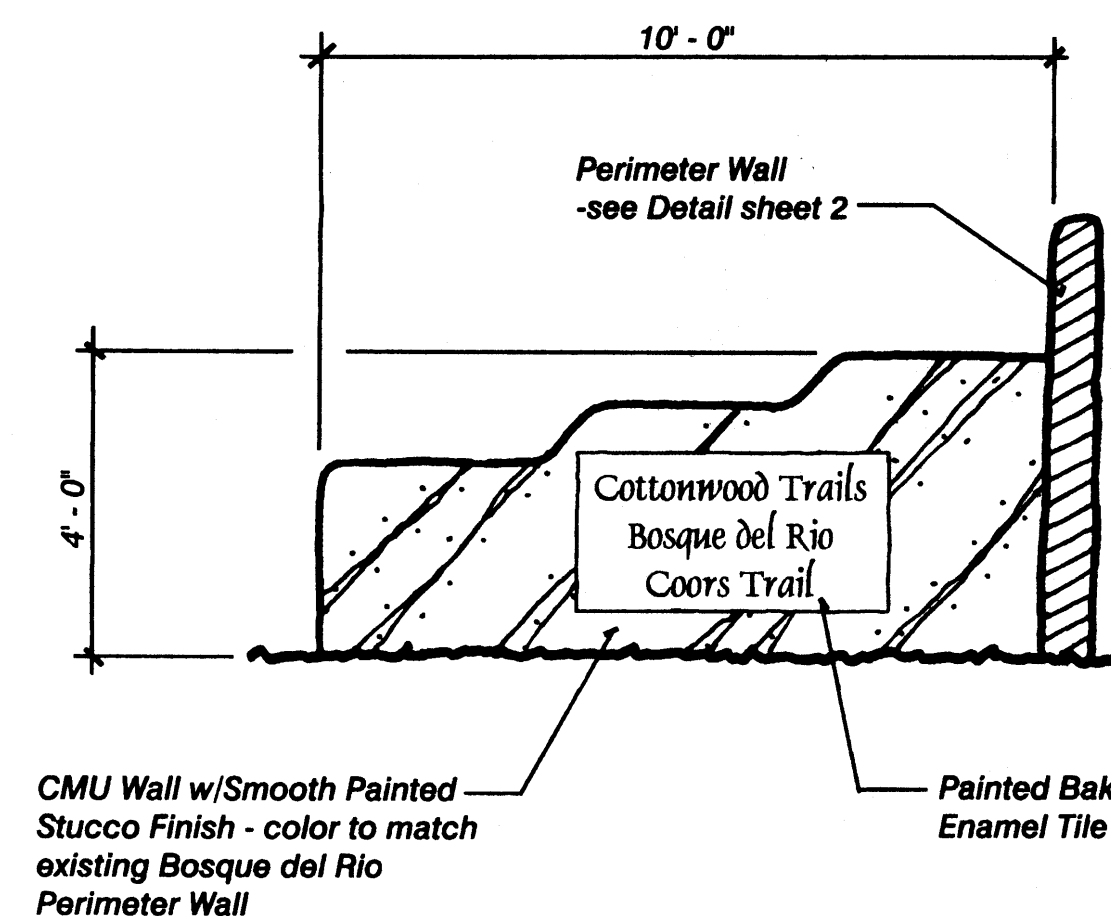
Scale: 1/4" = 1'-0"

**Minimum Front Yard Landscape Standards for Cottonwood Trails (Standard Lot)**

- 1 2" Caliper Shade Tree
- 2 20 Gallon Specimen Trees
- 8 5 Gallon Shrubs
- 8 1 Gallon Shrubs
- 2 Landscape Boulders

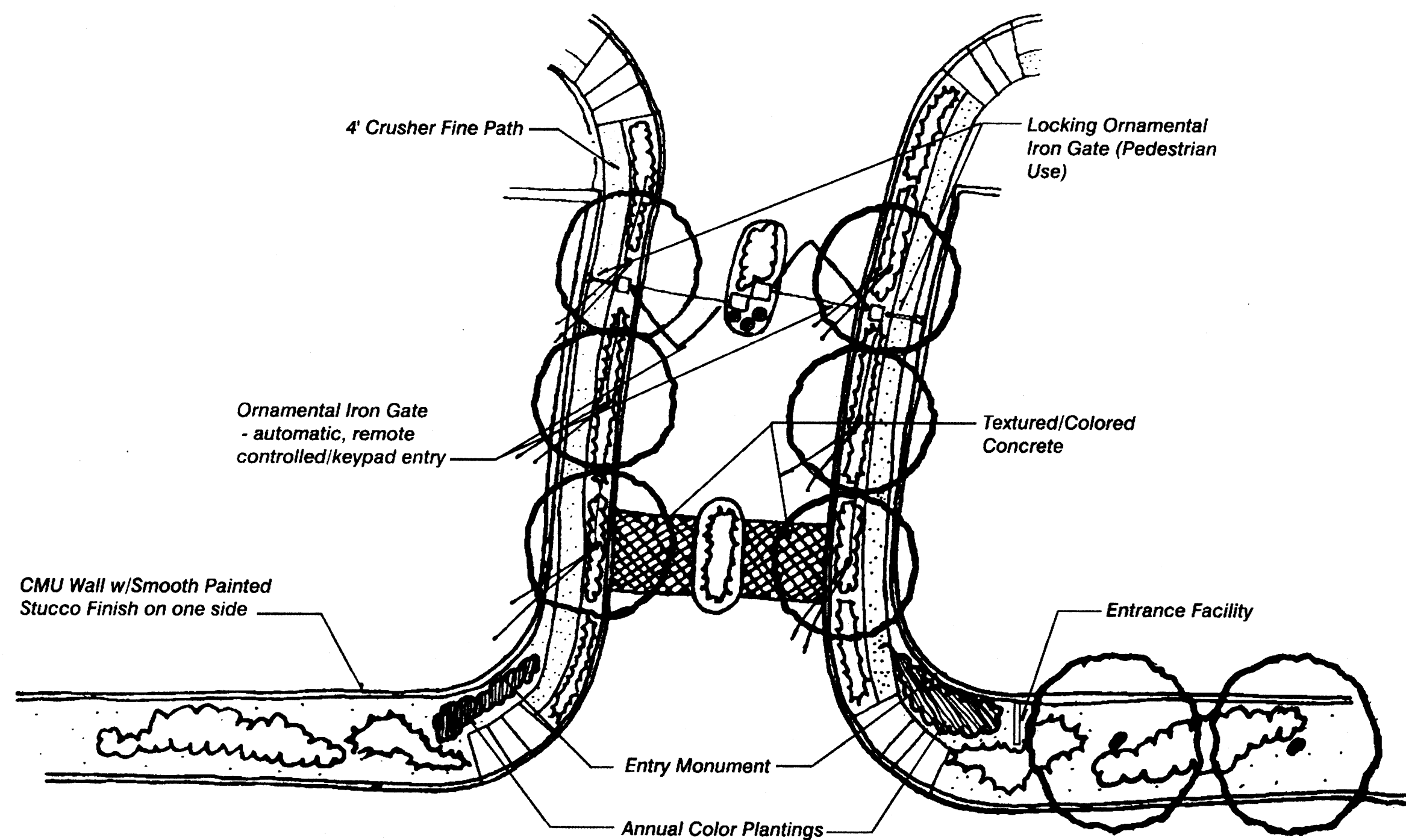
3/4" Santa Ana Tan Rock Mulch  
 Steel Header (as required)  
 Irrigation System w/Automatic Timer

Approved Accents:  
 Turf Sod (in compliance with Water Conservation Ordinance) or 2"-4" Cobbles (max. 25% of Area)



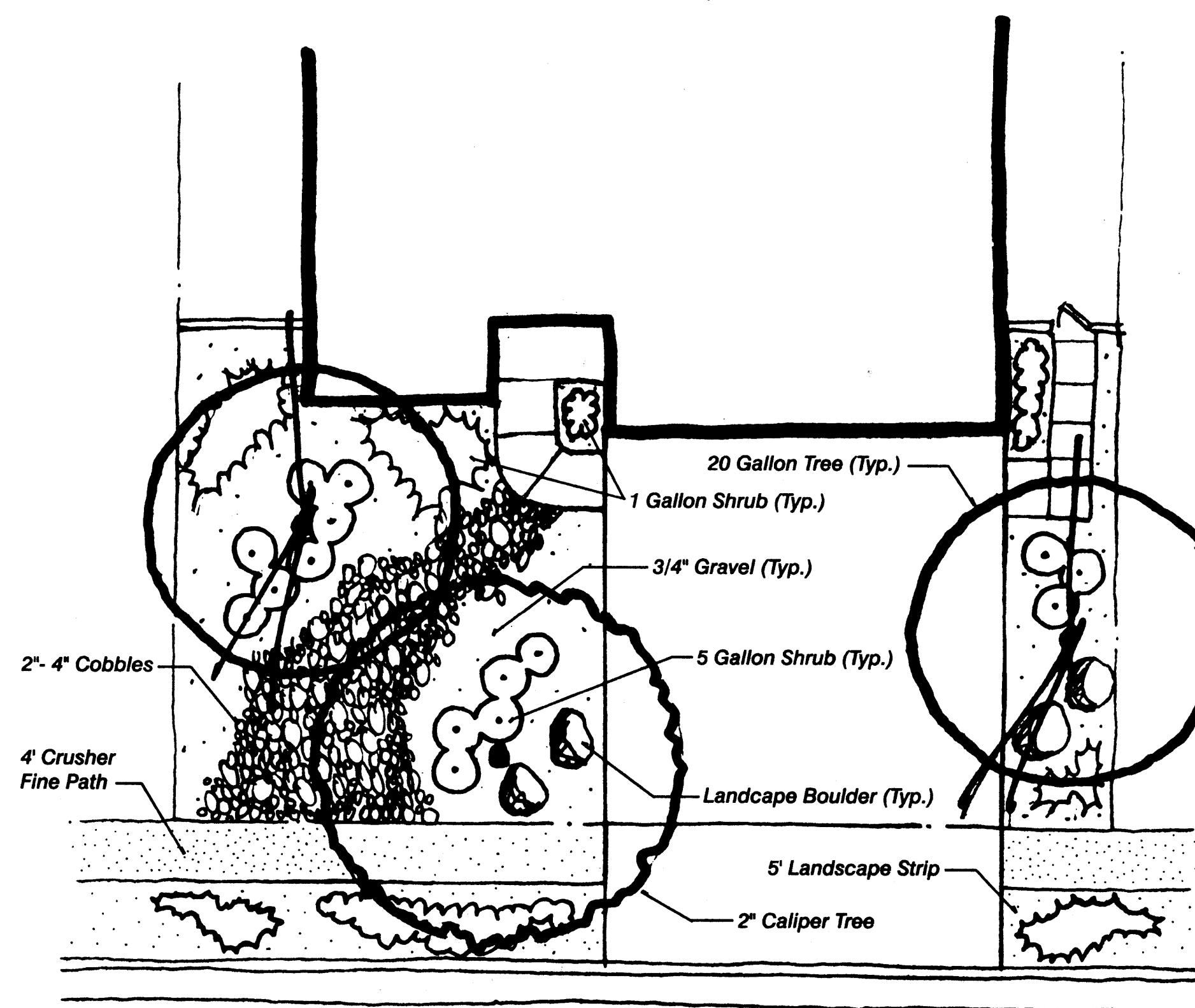
**Entrance Facility Elevation**

Scale: 3/8" = 1'-0"



**Subdivision Entry/Gate Plan**

Scale: 1" = 20'



**Typical Front Yard Landscape Plan**

Scale: 1/8" = 1'-0"

# Cottonwood Trails

## CONCEPTUAL LANDSCAPE DETAILS

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CONSENSUS  
 January 10, 2001



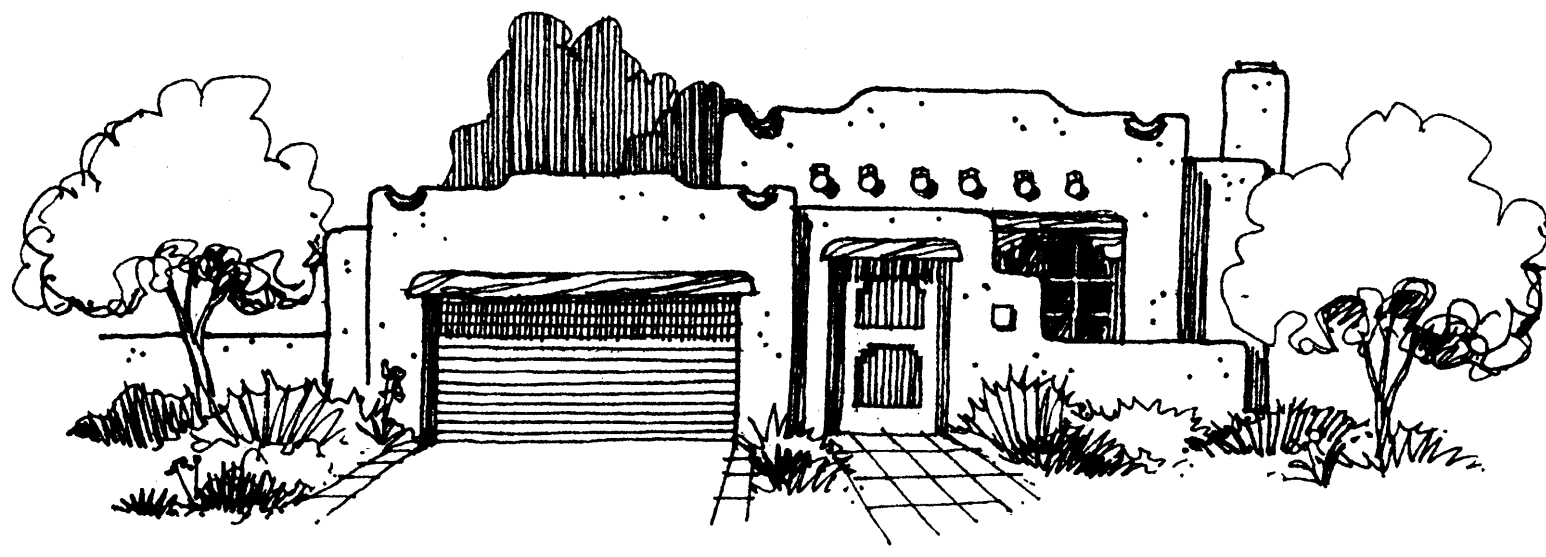
## DESIGN GUIDELINES FOR COTTONWOOD TRAILS

The following are guidelines for homes built in the Cottonwood Trails subdivision ("Cottonwood Trails Guidelines"). The construction of homes in Cottonwood Trails will be subject to the review of the Cottonwood Trails Architectural Control Committee (the "CTACC") as described below. Builders will construct all homes within Cottonwood Trails in compliance with these Guidelines.

### A. Architectural Styles

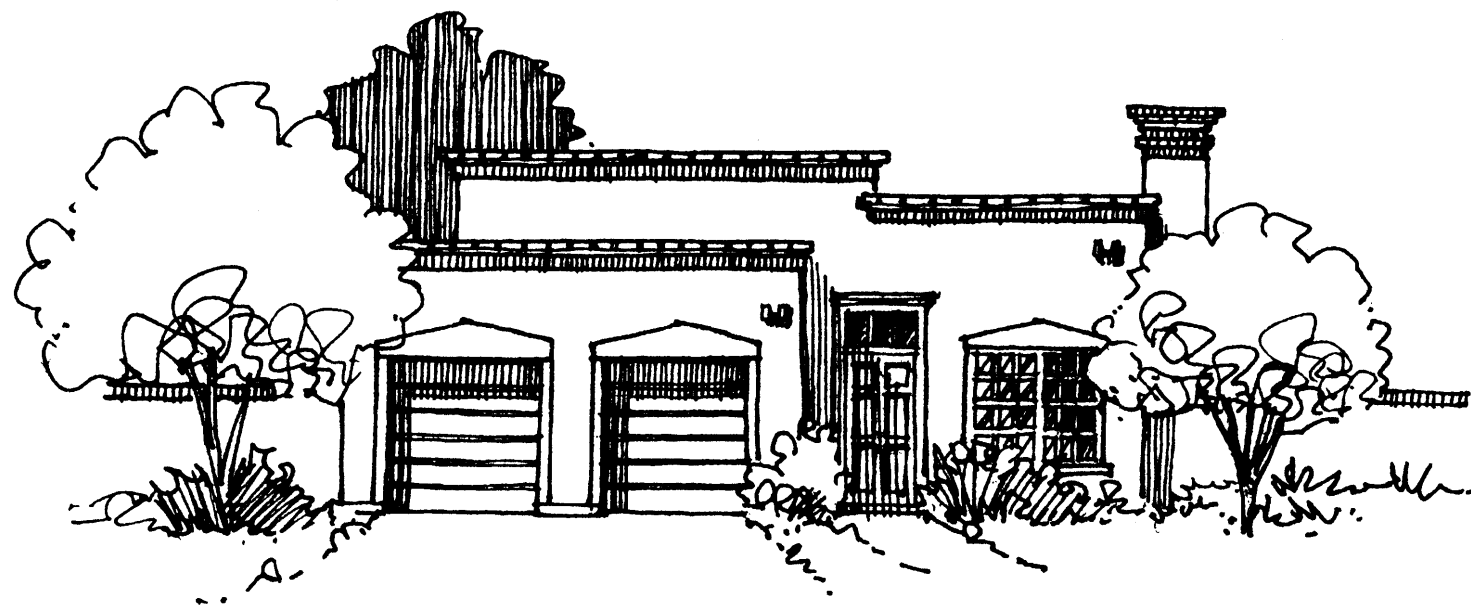
All homes must be Pueblo, Territorial, Northern New Mexican, or Mediterranean style. Below are described characteristics of the different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one of the styles listed below and adheres to the Guidelines. The use of architectural detail and materials should be consistent on all elevations to some degree; the same window and door trim details shall be used consistently in all openings. The CTACC retains the right to approve or deny any aspects of the design on a case-by-case basis without limitation.

**Pueblo Style** - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style incorporates recessed set doors and windows, and dramatically recessed portals or patios (at front facades). The Pueblo style traditionally uses flat roofs and relies extensively on post and beam or bearing wall construction. Interesting massing and soft edged smooth stucco are distinctive features of this style.



1. There are no pitched roof forms in this style.
2. Entry portals are a hallmark of the style.
3. Lintels over openings can be wood and exposed, but covered lintels are just as common.
4. Exterior wall finish is stucco from the approved color list.
5. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
6. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
7. Parapets are also used to emphasize forms.

**Southwestern Territorial Style** - has its roots in the Pueblo style and early Spanish buildings and is characterized by simple, if not symmetrical, massing; low sloped roofs (no pitched roofs); portals and courtyards often surrounded by low walls or gates; brick parapet caps, horizontal benches and/or chimneys; stucco walls with square corners of a limited color palette; and pedimented window and door head trim, usually of wood. Columns are generally square or square tapered and are typically painted, finished wood with painted wood trim forming the capital and base of the post (no corbels). Territorial style is typically straighter, more formal, and more finished than the Pueblo style.



1. There are no pitched roof forms in this style.
2. Entry portal is common and a hallmark of the style.
3. Trim over openings can be pedimented wood with moldings, but untrimmed openings are just as common.
4. Exterior wall finish is stucco with square corners from the approved color list.
5. Brick can be used in horizontal benches at the base of walls, and may be used as parapet caps in chimney forms.
6. The symmetrical form allows for formal courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
7. Parapets are also used to emphasize this form.
8. Portal columns are square, or square tapered, and are typically painted finished wood with painted wood trim forming the capital and base of the post.

**Mediterranean Style** - Low-pitched gabled or hipped roofs (flat in some cases) characterize the Mediterranean style. Windows and doors may have arches above, windows tend toward full lengths, and entry porches are characteristically recessed. The façade is broken into multiple masses and the wall finishes of stucco, potentially with stone accent materials, and belt courses at walls and parapets.



1. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 6 in 12. Low sloped roofs can also be combined with flat roof elements.
2. Entry portal is not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
3. Trim over and around openings can be tile or terra cotta moldings, but untrimmed openings are just as common.
4. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
5. Parapets are also used to emphasize forms.
6. Exterior wall finish is stucco, from the approved color list, or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

**Northern New Mexico Style** - are typically a simple one and a half story Pueblo or Territorial style house with pitched roof. Houses tend to be more compact to keep the roofs simple and economical, and to conserve heat with lower additions branching off the main form. Roof forms tend to be shed or low sloped and traditionally of corrugated metal sheets with a galvanized finish or colored standing seam roofing with second story rooms typically half in the roof creating cathedral ceilings and characteristic dormer windows. Portals tend to have shed roofs, also metal, with a lower pitch than the main roof. Columns and wood trim at openings are similar to those of the Territorial style. Brick or stone can be used in chimney forms in limited amounts with stone being a random rubble, coursed rubble, or coursed ashlar pattern.



1. Pitched roof forms are allowed in this style with 1-1/2 story height maximum.
2. Trim over openings can be pedimented wood with moldings, but untrimmed openings are just as common.
3. Entry porch is common and a hallmark of the style.
4. Roof materials and orientation shall be designed to minimize reflection and glare.
5. Exterior wall finish is stucco from the approved color list with square or rounded corners.
6. Brick or stone can be used in chimney forms. Stone to be random rubble, coursed rubble or coursed ashlar pattern.
7. Portal columns are square or square tapered and are typically painted, finished wood with painted wood trim forming the capital and base of the post. No corbels.
8. Roof eaves and rakes require painted moldings and trim at the termination of roofing.
9. Maximum pitch of roof is 12 inches per foot.

### B. Building Massing

For all of the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building and approved by the CTACC. The front and rear (if adjacent to a street) elevations must contain at least three building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three (3) walls.

### C. Roof Forms

These forms are appropriate at Cottonwood Trails:

1. Low sloped roofs, 1/4" per foot to 1" per foot, with parapets (all styles).
2. Gable and hip roofs, no steeper than 8" per foot to 12" per foot for Northern New Mexico Style; 6" per foot for Mediterranean Style.
3. Gabled or hip Dormers, Northern New Mexico Style.

These roof forms may not be used at Cottonwood Trails:

1. Mansard.
2. Domed or arched.
3. Gambrel.

### D. Roof Materials

These roof materials are appropriate for homes in Cottonwood Trails:

1. Metal roofs, standing seam or corrugated in red, green or silver.
2. Built-up roofing (non reflective)
3. Single-ply membrane (low sloped only, non reflective).
4. Clay or Concrete tile, mission barrel or S shapes in solid colors.

These roofing materials will not be allowed at Cottonwood Trails:

1. Asphalt shingles.
2. Wood shingles and shake shingles.
3. Multi-colored roof tiles.
4. Dark colored roofing.

### E. Columns

The following are appropriate column forms at Cottonwood Trails:

1. Square stucco.
2. Round stucco.
3. Square wood.
4. Square wood, tapered.
5. Round peeled bark wood.
6. Round classical with smooth shafts in Doric or simple contemporary order.

The following shall not be allowed:

1. Corinthian.
2. Ionic.
3. Tuscan.
4. Egyptian.

### F. Garages

1. Each home must have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
2. Garage doors shall be offset from the surface of the front façade by a minimum of eight inches (8").

### G. Windows

Windows are integral with all styles of homes at Cottonwood Trails.

1. Windows may be set deep into the walls to create a feeling of masonry construction and massiveness, 2" offset minimum.
2. Windows with colored sashes and heavy profiles are appropriate.
3. Unanodized aluminum frames or mullions may not be used.

### H. Setbacks

The use of curvilinear streets, short block lengths, and varied front facades have been utilized to prevent the garage doors from dominating the streetscape.

1. Front yard setback
  - a. No house shall be constructed within fifteen feet (15) from the front property line of a lot.
  - b. The garage shall be constructed to ensure that a twenty-foot (20) minimum parking area exists in front of the garage.
2. Side yard setback - no house shall be constructed within five feet (5) from the side property line of a lot.
3. Rear yard setback - no house shall be constructed within fifteen feet (15) from the rear property line of a lot.

### I. Minimum Square Footage

Each home must have at least 1,350 square feet of fully enclosed heating area, exclusive of garages and open porches and patios.

### J. Building Materials

1. Stucco - shall be the primary building material and shall account for a minimum of 80% of the exterior construction.
2. Stone - may be used as an accent feature and shall not comprise more than 20% of the exterior construction. See architectural styles for restrictions.
3. Brick - may be used as an accent feature and shall not comprise more than 20% of the exterior construction. See architectural styles for restrictions.

### K. Pre-Approved Building Colors

1. Primary - exterior stucco colors shall be shades of Tan, Brown, Reddish Brown, Warm Gray, or Off-White and shall be limited to, or match, the following: El Rey Stucco standard colors including Buckskin, Driftwood, Straw, Sandstone, Suede, La Luz, Desert Rose, Sand, Fawn, Palomino, Adobe, Beige, Cottonwood, Soapstone, Candlelight, Ash, Hacienda, and Ivory. Colors from manufacturers other than El Rey need to match approved colors to be submitted.
2. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of white, green, red, blue, and brown ranges.
3. All roof penetrations shall be painted to match the predominant roof color or stucco color.

Additional colors may be approved by the CTACC on an individual basis.

### L. Building Height

Houses or improvements on any lot shall not exceed nineteen feet (19) for single-story, and the maximum height allowed for two story homes is twenty-six feet (26) as defined by the City of Albuquerque Zoning Code.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 square feet, the area of the second story is limited to a maximum of 1,500 square feet.
2. The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2) to eliminate the appearance of a two-story wall.
3. Floor Area Ratio is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.

### M. Landscaping

1. Approval. Plans for front yard landscaping must be submitted to the CTACC for approval prior to the start of construction of landscaping and must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as approved.
2. Timing of Installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

### N. Site Lighting

1. Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone. Site Lighting in Cottonwood Trails shall not be brighter than those in Bosque del Rio subdivision.
2. The mounting height of luminaries shall be no higher than 12 feet.
3. Site lighting shall be shielded source with no light source (lamp) visible from the site perimeter.

### O. Mechanical Equipment

1. Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the front property line of residences). No air conditioning/heating equipment shall be installed on a pitched roof profile. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

### P. Fireplaces

Fireplaces and/or stoves within the residence shall be limited to natural gas logs, Environmental Protection Agency (EPA) approved wood-burning fireplaces, and other EPA approved wood burning devices.

### Q. Walls

All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

### Subdivision Walls

- a. The perimeter subdivision wall along Coors Trail shall be concrete masonry unit (CMU) with stucco finish on the Coors Trail side and will be installed and paid for by the Developer. The wall height shall be no more than eight feet (8) and no less than four feet (4) as measured from the street side of the wall. The wall along Coors Trail will match the Bosque del Rio subdivision wall but will be stuccoed on the street side only. The wall adjacent to the Proposed Major Public Open Space shall be CMU and split face block to match the existing Open Space Wall adjacent to the Piedras Marcadas Visitors Center.
- b. The Developer and/or Homeowner's Association shall be responsible for removal of any and all graffiti located on the perimeter subdivision wall along Coors Trail within 72 hours of any report of graffiti to the Developer and/or Homeowner's Association.

### Site walls

- a. Each house must have a rear wall and two sidewalls. All rear walls shall extend the entire length of the rear property line. All sidewalls shall extend from the rear of the lot to at least the rear of the dwelling for all lots except lots 60, 61, and 62.
- b. Interior residential lot line walls shall be brown CMU and no more than eight feet (8) in height. Additional colors or materials may be used as approved by the CTACC for lots 60, 61, and 62.
- c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Cottonwood Trails Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
- d. No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
- e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension, subject to possible redesignation by the CTACC upon the request of the owner of any such house.

### Courtyard walls

Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house. Wall height shall be as approved by the CTACC.

### R. Mailboxes

"Cluster-type" mailboxes will be used for lots 1 through 59, subject to the requirements of, and in coordination with, the United States Postal Service. Lots 60, 61, and 62 shall have standard mailboxes.

### S. Solid Waste

Each lot/home shall have a storage area for residential automated carts; not to be visible from the street.

### T. Review for Compliance

The compliance of any structure or improvement within the Cottonwood Trails Subdivision will be reviewed by the CTACC.

In order for the CTACC to perform such review, the following must be submitted (the completeness of which will be subject to the determination of the CTACC).

1. One complete set of plans, including but not limited to, foundations floor plans, elevations, details, plot plan, CTACC submittal sheet, landscaping plans and the finished grade of the structure or improvement on the lot.

Within 15 days of receipt of the plans, the CTACC will communicate the results of its review in writing to the builder. The communication will specifically indicate whether or not the proposed structure complies with the Design Guidelines.

### U. Vacant Lots; Destruction

1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Cottonwood Trails Subdivision.
2. The Owner of a lot within the Cottonwood Trails Subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.
4. There shall be no trash, ashes, paper, lawn clippings, yard waste or refuse of any kind dumped onto the Open Space Parcel by any Owner of a lot within the Cottonwood Trails Subdivision.

### V. Restricted Activities

1. The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited without the prior approval of the CTACC.
3. The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved in writing by the CTACC and must be of similar architectural design as the house.

### W. Pedestrian /Bicycle Circulation

Pedestrian/Bicycle circulation for residents within Cottonwood Trails is an important benefit. Accordingly, sidewalks and/or pedestrian/bicycle pathways are incorporated to, from, and throughout, the development. These pathways lead to the existing pedestrian/bicycle network constructed along Corrales Main Canal, Bosque del Rio, and City Open Space. A private pedestrian and bicycle access easement will be created for the use and benefit of the residents of the Cottonwood Trails, Coors Trail and Bosque del Rio Neighborhoods. An access gate will be installed between the Cottonwood Trails Subdivision and the Corrales Main Canal to provide for security of Cottonwood Trail residents.

### X. Emergency Access

One or more of the streets within Cottonwood Trails will be available as a 28' wide emergency access through the Cottonwood Trails Subdivision and shall be provided for the benefit of residents of Cottonwood Trails, Coors Trail, and Bosque del Rio Neighborhoods, as required by that certain Covenant and Agreement recorded in the office of the County Clerk of Bernalillo County, New Mexico in book 96-24, pages 59-79 to 59-82.

# Cottonwood Trails

## DESIGN GUIDELINES

Prepared for:  
Garrett Group, Inc.  
PO Box 10285  
Albuquerque, NM 87184-0285

**NOTE:** Lots 60, 61, and 62 are subject to these guidelines. However, these lots are anticipated to be custom homes and the individual plans shall be reviewed and approved by the Cottonwood Trails Architectural Control Committee (the CTACC).

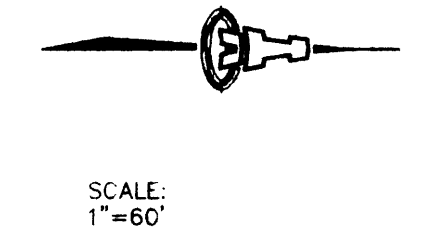
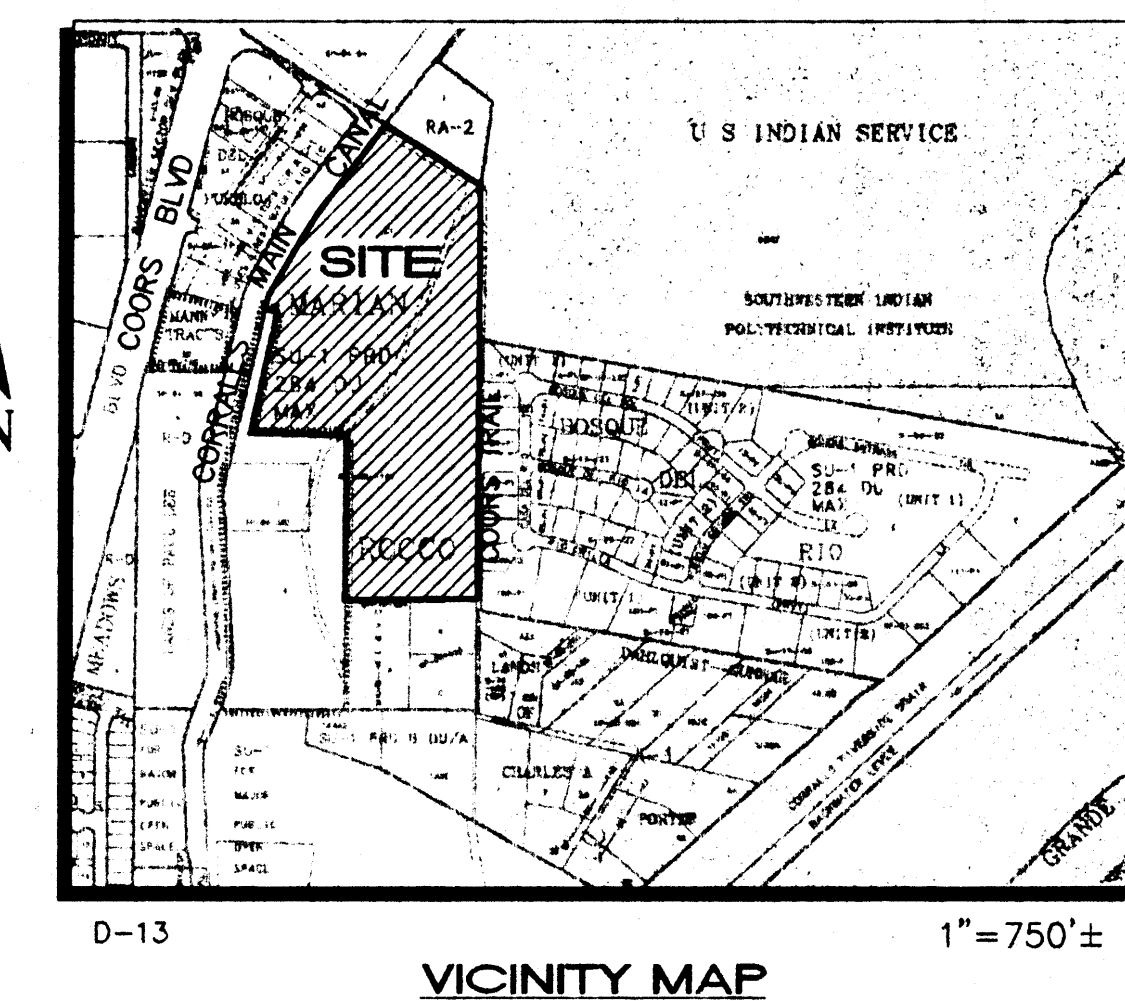
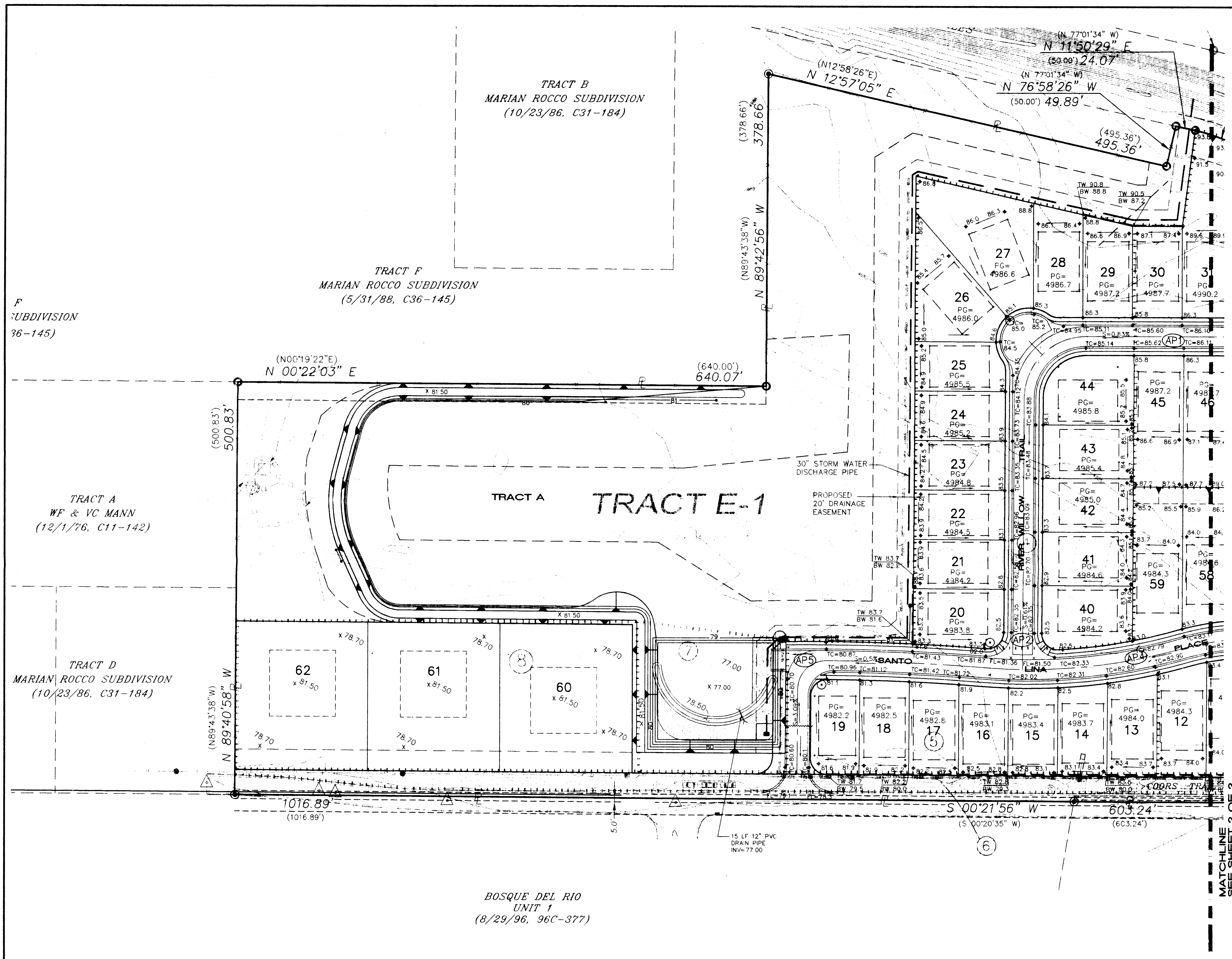
Prepared by:  
Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102



CONSENSUS

January 10, 2001





- LEGEND**
- (12-10)--- EXISTING CONTOUR
  - 78.3 PROPOSED SPOT ELEVATION
  - FLOW ARROW
  - PG=4984.3 PAD GRADE ELEVATION
  - TC 81.95 TOP OF CURB ELEVATION
  - FL 81.45 FLOWLINE ELEVATION
  - TW 88.2 TOP OF RETAINING WALL
  - BW 86.4 BOTTOM OF RETAINING WALL
  - ~~~~~ WATER BAR
  - INV=77.0 PROPOSED RETAINING WALL
  - INVERT ELEVATION
  - (AP1) ANALYSIS POINT
  - (2) BASIN ID
  - BASIN BOUNDARY
  - EROSION CONTROL BERM

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico  
 147GRD.DWGonw 12/22/00

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP

TITLE: **COTTONWOOD TRAILS SUBDIVISION  
 GRADING & DRAINAGE PLAN**

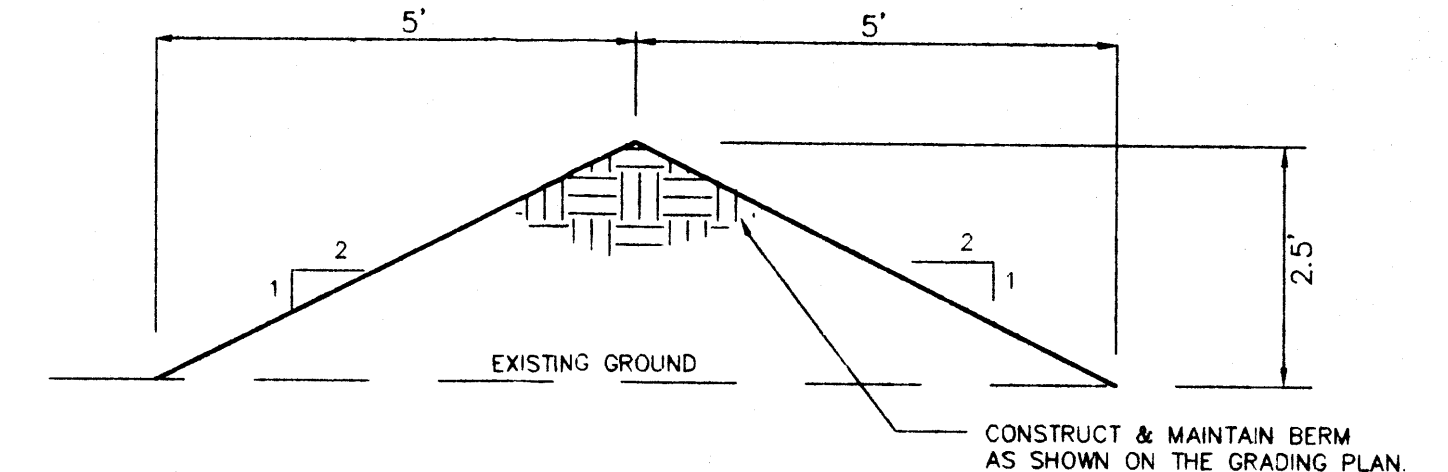
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	D-13	5	8

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	STARTED BY	DATE	FIELD NOTES	PRECISION SURVEYING	NO.	BY
				1.	01/00		
U.S. COE STA. "R. ALAMEDA B-2" NM STATE PLANE COORDINATES (CENTRAL ZONE) BY ACS ELEV=5,085.25							
MICRO-FILM INFORMATION		REVISIONS					
RECORDED BY	DATE	DESIGNED BY	DATE				
		FCA	12/00				
		ANW	12/00				
		FCA	12/00				

MATCHLINE SEE SHEET 2 OF 2



$\Delta = 17'26''14''$   
 $R = 236.50$  (R=236.50)  
 $L = 71.98$  (L=71.98)  
 $T = 36.27$   
 $CH = N 21'41''14'' E$   
 $71.70'$



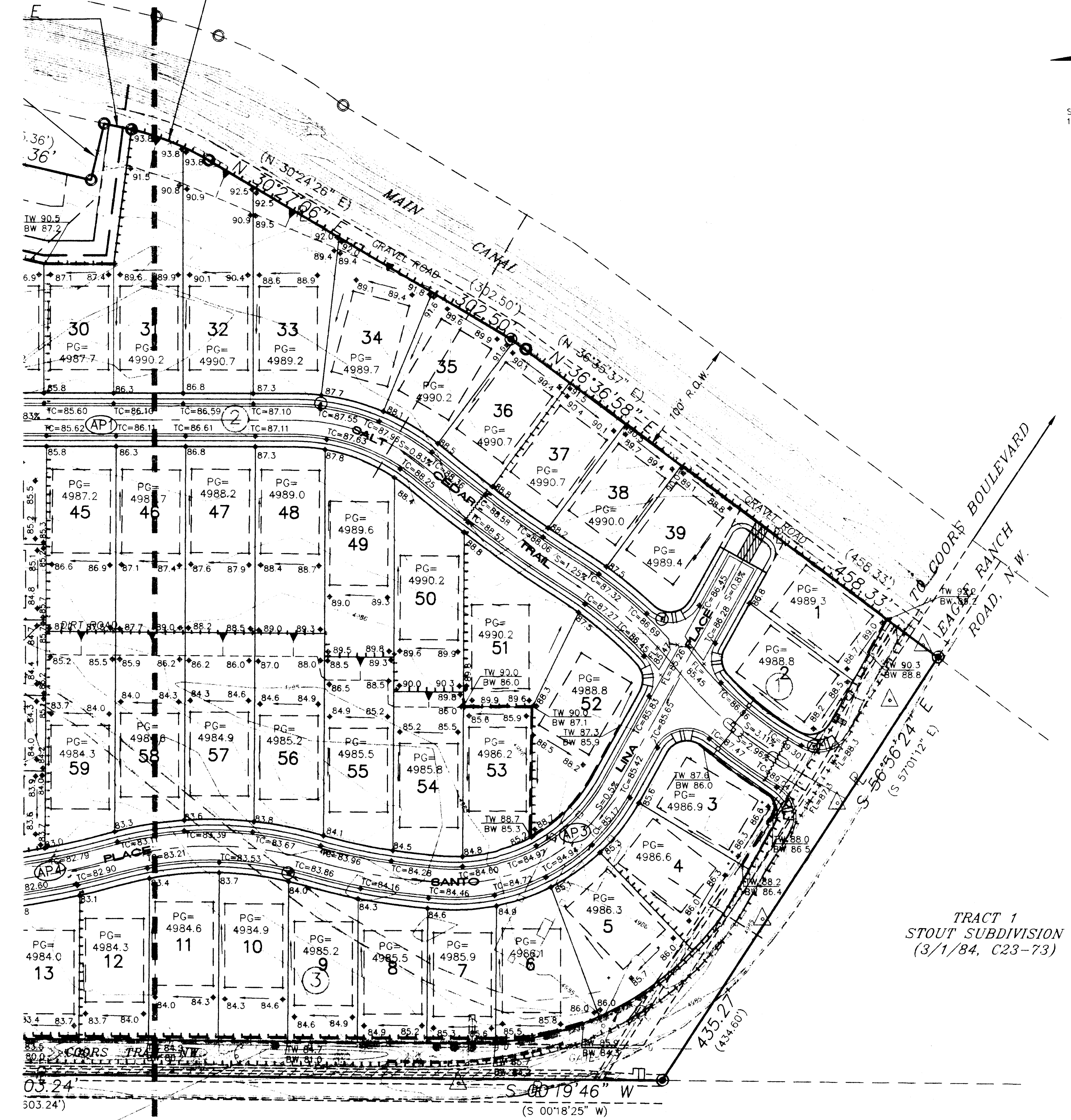
**EROSION CONTROL BERM**  
SCALE: 1"=2'

**EROSION CONTROL**

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING EROSION CONTROL BERMS (AS DETAILED ABOVE) AS SHOWN ON THE PLAN AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
3. SEE GRADING NOTES.

**GRADING NOTES:**

1. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
2. ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
3. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
4. CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
5. SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
6. UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
7. MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1%.
8. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
9. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
10. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
11. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHALL COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
12. OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.



**TRACT 1  
STOUT SUBDIVISION  
(3/1/84, C23-73)**

**LEGEND**

- 4900--- EXISTING CONTOUR
- ◆78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- PG=4984.3 PAD GRADE ELEVATION
- TC 81.95 TOP OF CURB ELEVATION
- FL 81.45 FLOWLINE ELEVATION
- TW 88.2 TOP OF RETAINING WALL
- BW 86.4 BOTTOM OF
- ~~~~~ WATER BAR
- PROPOSED RETAINING WALL
- INV-77.0 INVERT ELEVATION
- (AP1) ANALYSIS POINT
- (2) BASIN ID
- ||||| BASIN BOUNDARY
- EROSION CONTROL BERM

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico  
 147GRD.DWGonw 12/22/00

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP

**TITLE: COTTONWOOD TRAILS SUBDIVISION  
GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval
-------------------------	------------------------

City Project No.	Zone Map No.	Sheet	Of
	D-13	6	8

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		MICRO-FILM INFORMATION	
CONTRACTOR	NO.	DATE	U.S. COE STA.	TR. ALAMEDA B-3"	NM. STATE PLANE	PRECISION SURVEYING	01/00	NO.	DATE	DESIGNED BY	DATE
										FCA	12/00
										ANN	12/00
										FCA	12/00

MATCHLINE  
SEE SHEET 1 OF 2

U.S. INDIAN SERVICE  
SOUTHWESTERN INDIAN  
POLYTECHNICAL INSTITUTE  
UN-PLATTED





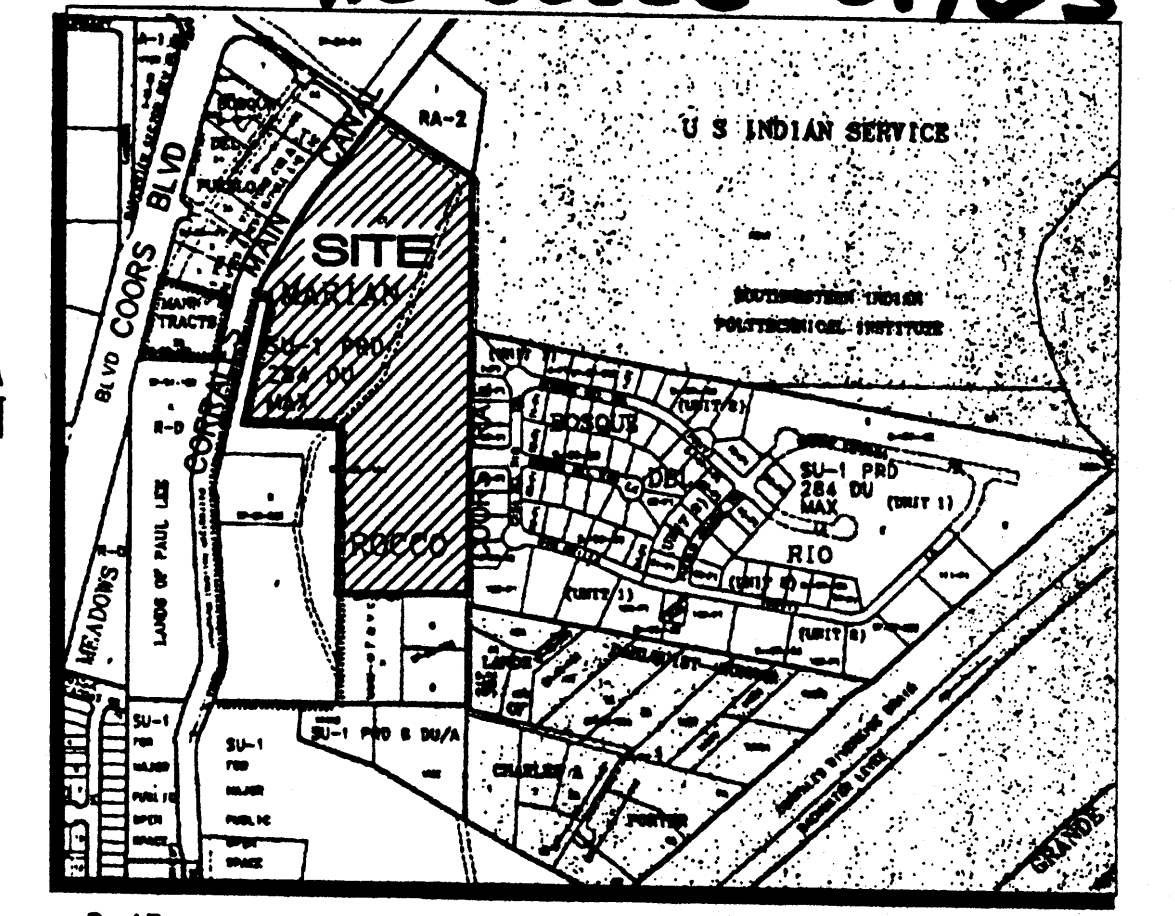






PRELIMINARY PLAT FOR  
**COTTONWOOD TRAILS SUBDIVISION**  
 BEING A REPLAT OF  
 TRACT E-1, MARIAN ROCCO SUBDIVISION  
 SEC. 19, T1N, R1E, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

DECEMBER 2000  
**PROJ.# 1000493**  
**APP.# 00410-00000-01765**



**VICINITY MAP** 1"=750'±

**LEGAL DESCRIPTION**  
 TRACT E-1 OF THE MARIAN ROCCO SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON MAY 31, 1988, IN MAP BOOK C36, FOLIO 145.

**ACS BENCHMARK**  
 U.S. COE STA. "R. ALAMEDA B-2" NM STATE PLANE COORDINATES (CENTRAL ZONE) BY ACS  
 ELEVATION: 5,058.25

**SITE DATA**

- TOTAL LAND AREA = 25.9419 ACRES.
- NUMBER OF EXISTING TRACTS IS 1 (TRACT E-1)
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 62.
- NUMBER OF PROPOSED TRACTS IS 1 (TRACT A, C.O.A. OPEN SPACE)
- CURRENT ZONING: SU-1 PRD 65 DU MAX.
- ALL INTERNAL STREETS WILL BE PRIVATE.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

**NOTES**

- FIELD SURVEY PERFORMED ON JANUARY 28, 2000.
- ALL PRIVATE STREET CENTERLINE POINTS SHOWN WITH  $\Delta$  WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, NPLS #11993".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASES OF BEARINGS WILL BE NMSP GRID BEARINGS.
- DISTANCES WILL BE GROUND DISTANCES.
- MANHOLES, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- INGRESS AND EGRESS TO THE PREMISES IS PROVIDED BY COORS BOULEVARD, NW AND EAGLE RANCH ROAD, NW VIA A 30' PRIVATE ACCESS ROADWAY EASEMENT. COORS BOULEVARD NW AND EAGLE RANCH ROAD, NW ARE PAVED AND DEDICATED RIGHTS-OF-WAY MAINTAINED BY THE CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT.

**APPROVED FOR MONUMENTATION AND STREET NAMES**

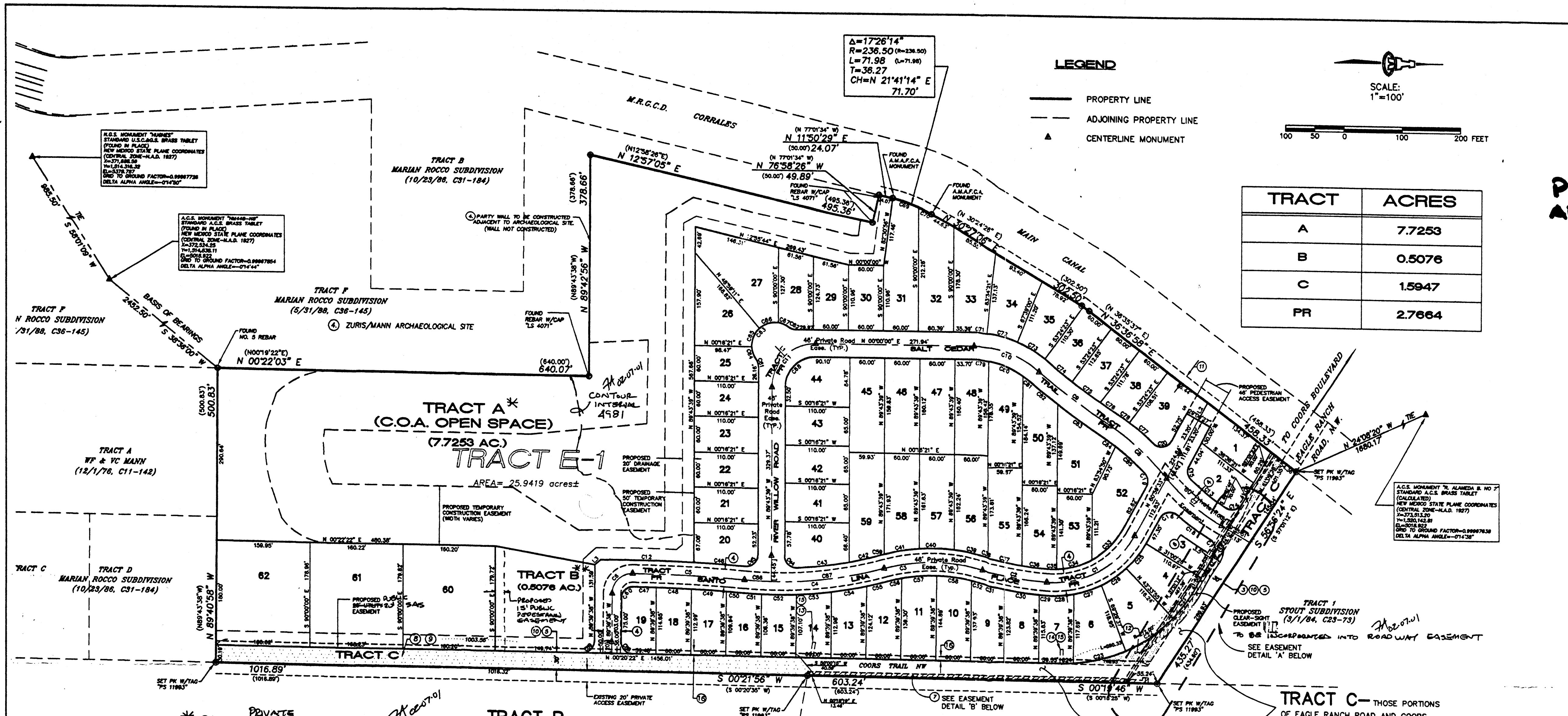
*[Signature]* 12-21-00  
 CITY SURVEYOR DATE

**OWNERSHIP**

*[Signature]* 12/21/00  
 GARRETT GROUP INC. DATE

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 188 Monroe Street, N.E.  
 Albuquerque, New Mexico

147PLM.DWGrev 2/2/01  
**SHEET 1 OF 1**



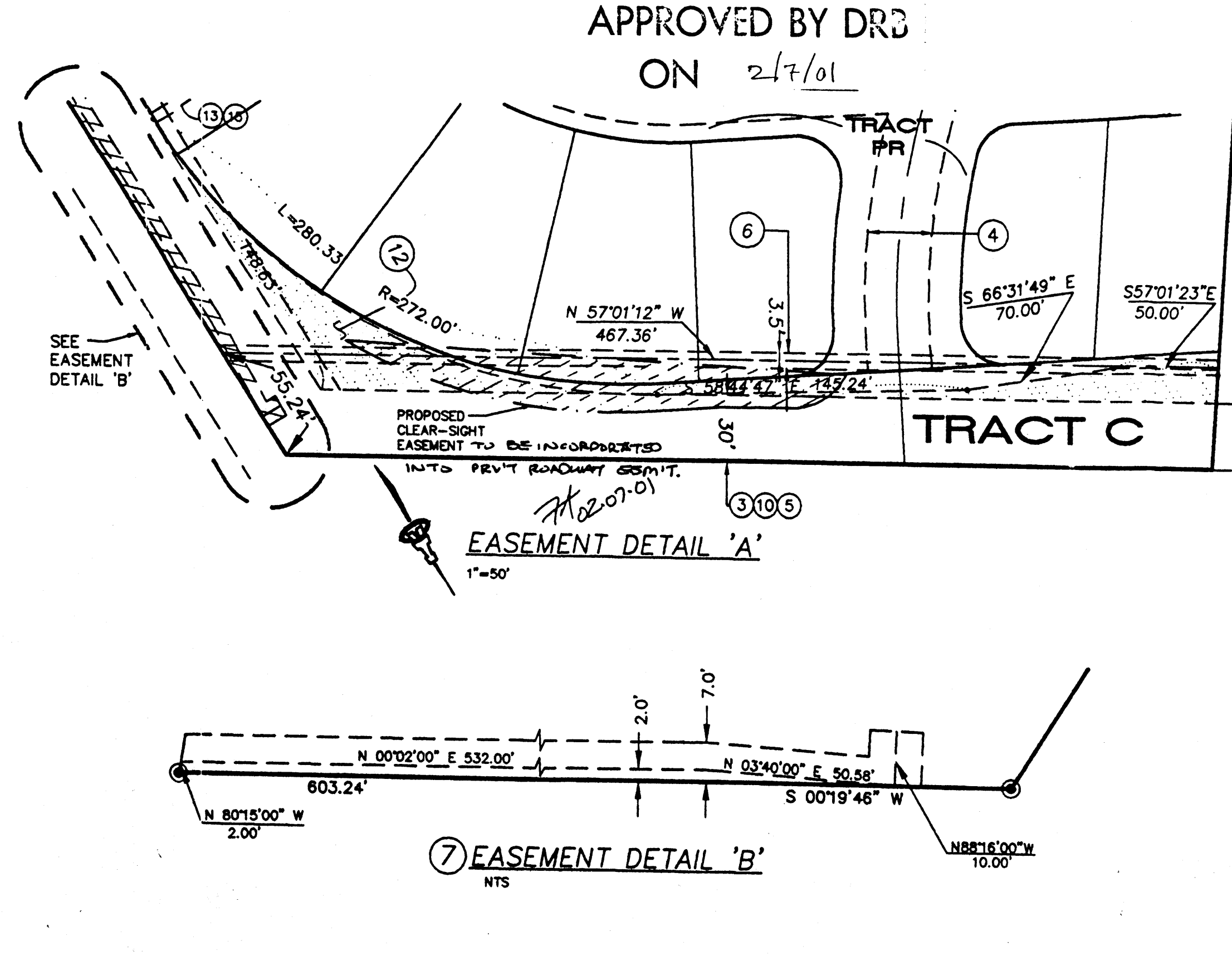
TRACT	ACRES
A	7.7253
B	0.5076
C	1.5947
PR	2.7664

**CURVE TABLE**

CURVE	CHORD	LENGTH	BEARING	DELTA
C01	180.00	180.00	00°00'00" E	180°00'00"
C02	180.00	180.00	00°00'00" E	180°00'00"
C03	180.00	180.00	00°00'00" E	180°00'00"
C04	180.00	180.00	00°00'00" E	180°00'00"
C05	180.00	180.00	00°00'00" E	180°00'00"
C06	180.00	180.00	00°00'00" E	180°00'00"
C07	180.00	180.00	00°00'00" E	180°00'00"
C08	180.00	180.00	00°00'00" E	180°00'00"
C09	180.00	180.00	00°00'00" E	180°00'00"
C10	180.00	180.00	00°00'00" E	180°00'00"
C11	180.00	180.00	00°00'00" E	180°00'00"
C12	180.00	180.00	00°00'00" E	180°00'00"
C13	180.00	180.00	00°00'00" E	180°00'00"
C14	180.00	180.00	00°00'00" E	180°00'00"
C15	180.00	180.00	00°00'00" E	180°00'00"
C16	180.00	180.00	00°00'00" E	180°00'00"
C17	180.00	180.00	00°00'00" E	180°00'00"
C18	180.00	180.00	00°00'00" E	180°00'00"
C19	180.00	180.00	00°00'00" E	180°00'00"
C20	180.00	180.00	00°00'00" E	180°00'00"
C21	180.00	180.00	00°00'00" E	180°00'00"
C22	180.00	180.00	00°00'00" E	180°00'00"
C23	180.00	180.00	00°00'00" E	180°00'00"
C24	180.00	180.00	00°00'00" E	180°00'00"
C25	180.00	180.00	00°00'00" E	180°00'00"
C26	180.00	180.00	00°00'00" E	180°00'00"
C27	180.00	180.00	00°00'00" E	180°00'00"
C28	180.00	180.00	00°00'00" E	180°00'00"
C29	180.00	180.00	00°00'00" E	180°00'00"
C30	180.00	180.00	00°00'00" E	180°00'00"
C31	180.00	180.00	00°00'00" E	180°00'00"
C32	180.00	180.00	00°00'00" E	180°00'00"
C33	180.00	180.00	00°00'00" E	180°00'00"
C34	180.00	180.00	00°00'00" E	180°00'00"
C35	180.00	180.00	00°00'00" E	180°00'00"
C36	180.00	180.00	00°00'00" E	180°00'00"
C37	180.00	180.00	00°00'00" E	180°00'00"
C38	180.00	180.00	00°00'00" E	180°00'00"
C39	180.00	180.00	00°00'00" E	180°00'00"
C40	180.00	180.00	00°00'00" E	180°00'00"
C41	180.00	180.00	00°00'00" E	180°00'00"
C42	180.00	180.00	00°00'00" E	180°00'00"
C43	180.00	180.00	00°00'00" E	180°00'00"
C44	180.00	180.00	00°00'00" E	180°00'00"
C45	180.00	180.00	00°00'00" E	180°00'00"
C46	180.00	180.00	00°00'00" E	180°00'00"
C47	180.00	180.00	00°00'00" E	180°00'00"
C48	180.00	180.00	00°00'00" E	180°00'00"
C49	180.00	180.00	00°00'00" E	180°00'00"
C50	180.00	180.00	00°00'00" E	180°00'00"
C51	180.00	180.00	00°00'00" E	180°00'00"
C52	180.00	180.00	00°00'00" E	180°00'00"
C53	180.00	180.00	00°00'00" E	180°00'00"
C54	180.00	180.00	00°00'00" E	180°00'00"
C55	180.00	180.00	00°00'00" E	180°00'00"
C56	180.00	180.00	00°00'00" E	180°00'00"
C57	180.00	180.00	00°00'00" E	180°00'00"
C58	180.00	180.00	00°00'00" E	180°00'00"
C59	180.00	180.00	00°00'00" E	180°00'00"
C60	180.00	180.00	00°00'00" E	180°00'00"
C61	180.00	180.00	00°00'00" E	180°00'00"
C62	180.00	180.00	00°00'00" E	180°00'00"
C63	180.00	180.00	00°00'00" E	180°00'00"
C64	180.00	180.00	00°00'00" E	180°00'00"
C65	180.00	180.00	00°00'00" E	180°00'00"
C66	180.00	180.00	00°00'00" E	180°00'00"
C67	180.00	180.00	00°00'00" E	180°00'00"
C68	180.00	180.00	00°00'00" E	180°00'00"
C69	180.00	180.00	00°00'00" E	180°00'00"
C70	180.00	180.00	00°00'00" E	180°00'00"
C71	180.00	180.00	00°00'00" E	180°00'00"
C72	180.00	180.00	00°00'00" E	180°00'00"
C73	180.00	180.00	00°00'00" E	180°00'00"
C74	180.00	180.00	00°00'00" E	180°00'00"
C75	180.00	180.00	00°00'00" E	180°00'00"
C76	180.00	180.00	00°00'00" E	180°00'00"
C77	180.00	180.00	00°00'00" E	180°00'00"
C78	180.00	180.00	00°00'00" E	180°00'00"
C79	180.00	180.00	00°00'00" E	180°00'00"
C80	180.00	180.00	00°00'00" E	180°00'00"
C81	180.00	180.00	00°00'00" E	180°00'00"
C82	180.00	180.00	00°00'00" E	180°00'00"
C83	180.00	180.00	00°00'00" E	180°00'00"
C84	180.00	180.00	00°00'00" E	180°00'00"
C85	180.00	180.00	00°00'00" E	180°00'00"
C86	180.00	180.00	00°00'00" E	180°00'00"
C87	180.00	180.00	00°00'00" E	180°00'00"
C88	180.00	180.00	00°00'00" E	180°00'00"
C89	180.00	180.00	00°00'00" E	180°00'00"
C90	180.00	180.00	00°00'00" E	180°00'00"
C91	180.00	180.00	00°00'00" E	180°00'00"
C92	180.00	180.00	00°00'00" E	180°00'00"
C93	180.00	180.00	00°00'00" E	180°00'00"
C94	180.00	180.00	00°00'00" E	180°00'00"
C95	180.00	180.00	00°00'00" E	180°00'00"
C96	180.00	180.00	00°00'00" E	180°00'00"
C97	180.00	180.00	00°00'00" E	180°00'00"
C98	180.00	180.00	00°00'00" E	180°00'00"
C99	180.00	180.00	00°00'00" E	180°00'00"
C100	180.00	180.00	00°00'00" E	180°00'00"

**LINE TABLE**

LINE	LENGTH	BEARING
L1	11.15	00°00'00" E
L2	11.15	00°00'00" E
L3	11.15	00°00'00" E



**EASEMENT NOTES**

- Reservations contained in Patent from the United States of America, Recorded in Book 77, Page 186, records of Bernalillo County, New Mexico. (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE)
- Any and all rights, liens claims, assessments, or equities in favor of the Middle Rio Grande Conservancy District which may affect the insured premises. (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE)
- Thirty foot (30') wide public roadway easements granted to the United States of America by document recorded April 11, 1956 in Book D347, Page 586 as document no. 91736, records of Bernalillo County, New Mexico and as shown on those plats recorded in Map Book C26, folio 10 and Map Book C36, folio 145, records of Bernalillo County, New Mexico.
- Easements, Covenants and Restrictions recorded as documents no. 88 54404, records of Bernalillo County, New Mexico. Includes a condition that the final platted developments shall provide a thirty foot (30') wide non-exclusive emergency access easement.
- Grant of thirty foot (30') wide private access easement recorded as document no. 88 73457, records of Bernalillo County, New Mexico.
- Seven foot (7') wide public utility easement granted to Public Service Company of New Mexico and Mountain States Telephone and Telegraph Company by document recorded as document no. 89 48624, records of Bernalillo County, New Mexico. (6/1/89, 354A-203)
- Five foot (5') wide public utility easement granted to Public Service Company of New Mexico and Mountain States Telephone and Telegraph Company by document recorded in Book Misc. 407, Page 213, records of Bernalillo County, New Mexico.
- Thirty foot (30') wide public sanitary sewer easement recorded as document no. 90 70738, records of Bernalillo County, New Mexico.
- Thirty foot (30') wide public sanitary sewer easement recorded as document no. 90 74621, records of Bernalillo County, New Mexico.
- Grant of thirty foot (30') wide public water, sanitary sewer, storm drain and utility easement and Restrictive Covenants recorded as document no. 90 79534, Bernalillo County, New Mexico.
- Terms and conditions of that fifteen foot (15') wide emergency access right-of-way License Agreement recorded as document no. 95 006320, records of Bernalillo County, New Mexico.
- Public access and utility easement Agreement and Dedication of Public Right of Way Easement recorded as document no. 96 099762, records of Bernalillo County, New Mexico.
- Five foot (5') wide public utility easement granted to Public Service Company of New Mexico by document recorded as document no. 97 035975, records of Bernalillo County, New Mexico.
- Five foot (5') wide public utility easement granted to Public Service Company of New Mexico by document recorded as document no. 97 035976, records of Bernalillo County, New Mexico.
- Five foot (5') wide public utility easements Grant recorded as document no. 97 035979, records of Bernalillo County, New Mexico.
- Seven foot (7') wide public utility easement granted by final plat.