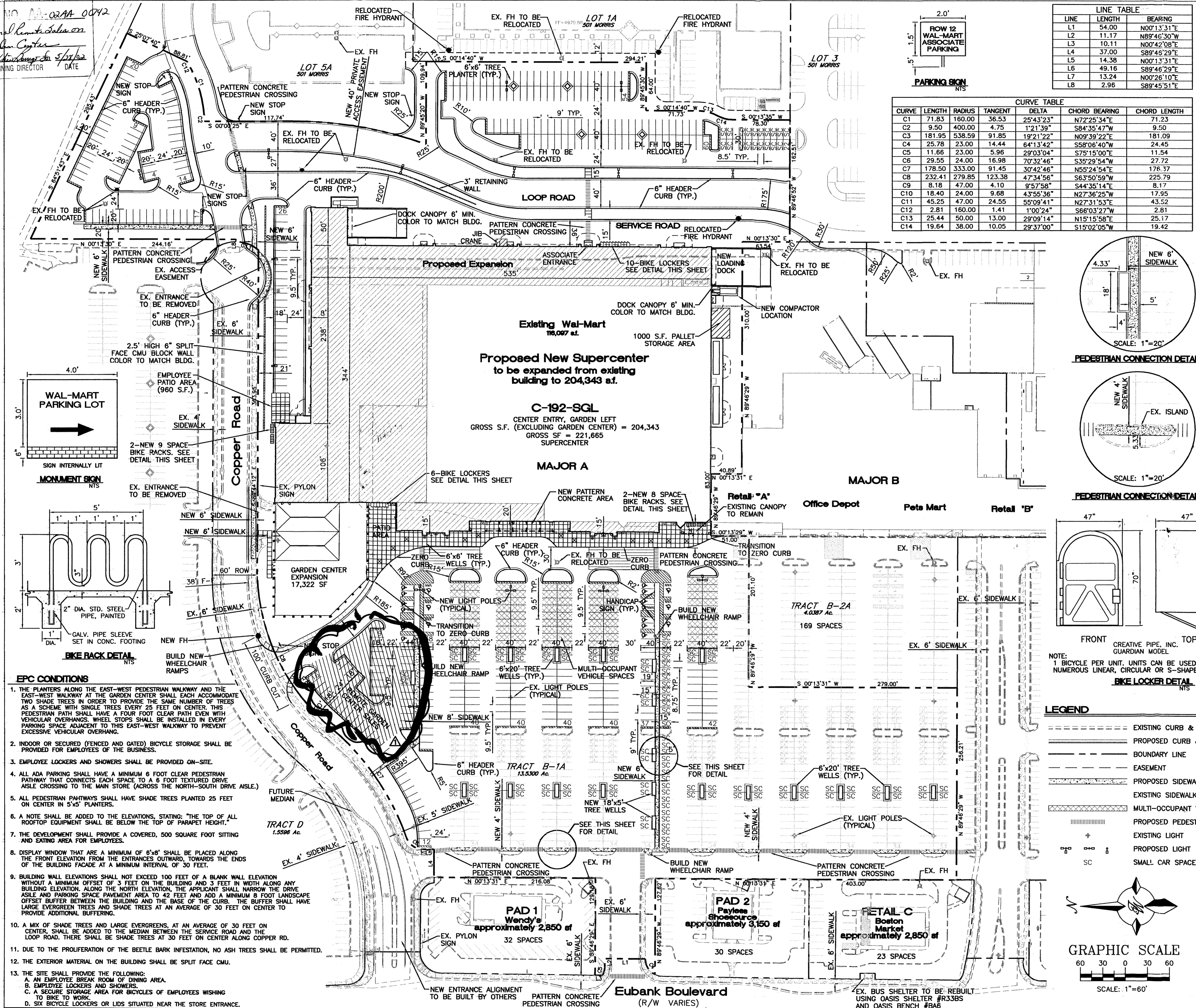


ADMINISTRATIVE  
DEVELOPMENT PLAN AMENDMENT  
FILE NO. 02AA 00742  
Seasonal Remote Sales Area  
Sabin Center  
Copper Road  
PLANNING DIRECTOR DATE

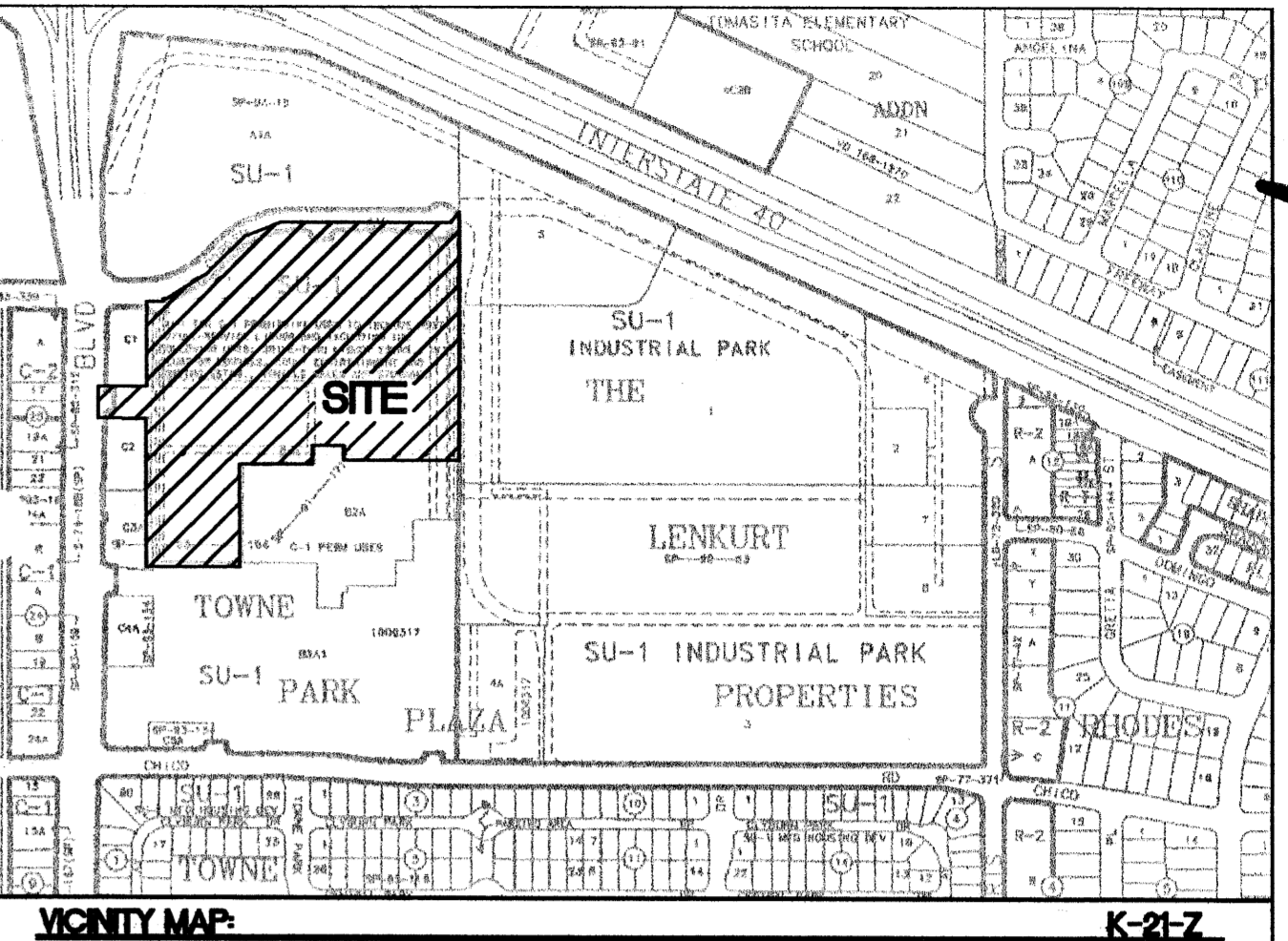


**LINE TABLE**

LINE	LENGTH	BEARING
L1	54.00	N00°13'31"E
L2	11.17	N89°46'30"W
L3	10.11	N00°42'08"E
L4	37.00	S89°46'29"E
L5	14.38	N00°13'31"E
L6	49.16	S89°46'29"E
L7	13.24	N00°26'10"E
L8	2.96	S89°45'51"E

**CURVE TABLE**

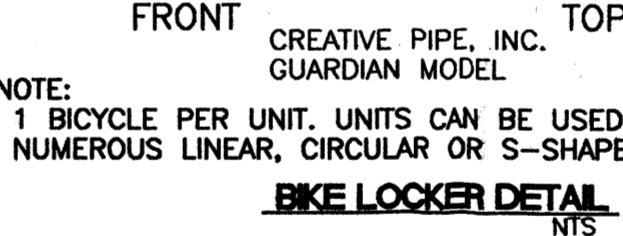
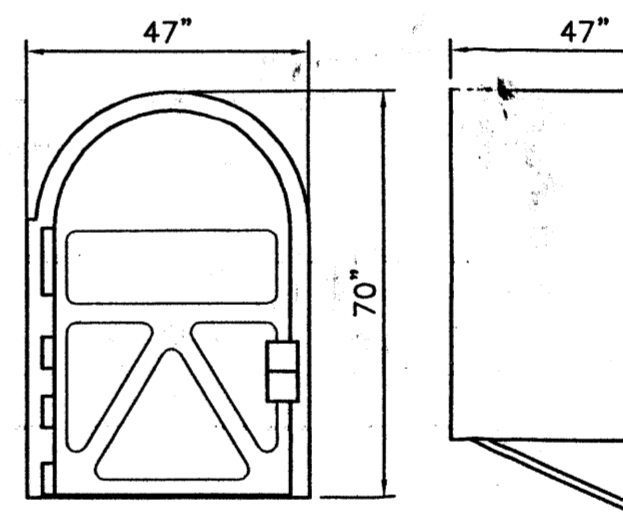
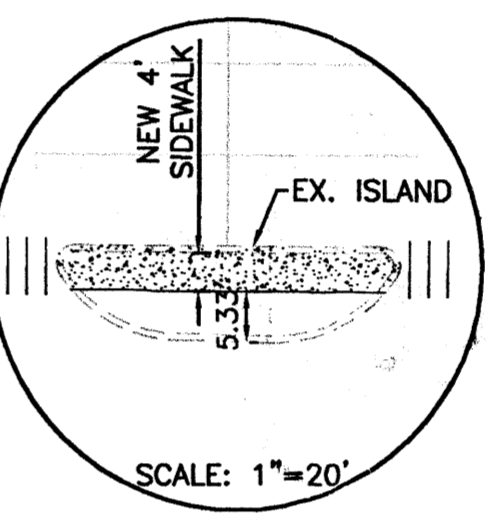
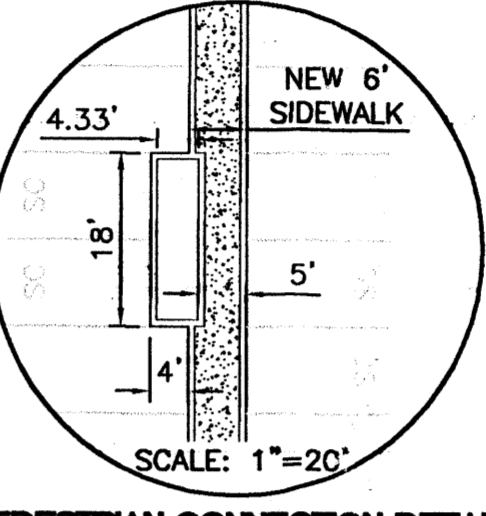
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	71.83	160.00	36.53	25°43'23"	N72°25'34"E	71.23
C2	9.50	400.00	4.75	1°21'39"	S84°35'47"W	9.50
C3	181.95	538.59	91.85	19°21'22"	N09°39'22"E	181.09
C4	25.78	23.00	14.44	64°13'42"	S58°06'40"W	24.45
C5	11.66	23.00	5.96	29°03'04"	S75°15'00"E	11.54
C6	29.55	24.00	16.98	70°32'46"	S35°29'54"W	27.72
C7	178.50	333.00	91.45	30°42'46"	N55°24'54"E	176.37
C8	232.41	279.85	123.38	47°34'56"	S63°50'59"W	225.79
C9	8.18	47.00	4.10	9°57'58"	S44°35'14"E	8.17
C10	18.40	24.00	9.68	43°55'36"	N27°36'25"W	17.95
C11	45.25	47.00	24.55	55°09'41"	N27°31'53"E	43.52
C12	2.81	160.00	1.41	1°00'24"	S66°03'27"W	2.81
C13	25.44	50.00	13.00	29°09'14"	N15°15'58"E	25.17
C14	19.64	38.00	10.05	29°37'00"	S15°02'05"W	19.42



**LEGAL DESCRIPTION**  
TRACT B-1A TOWN PARKE PLAZA

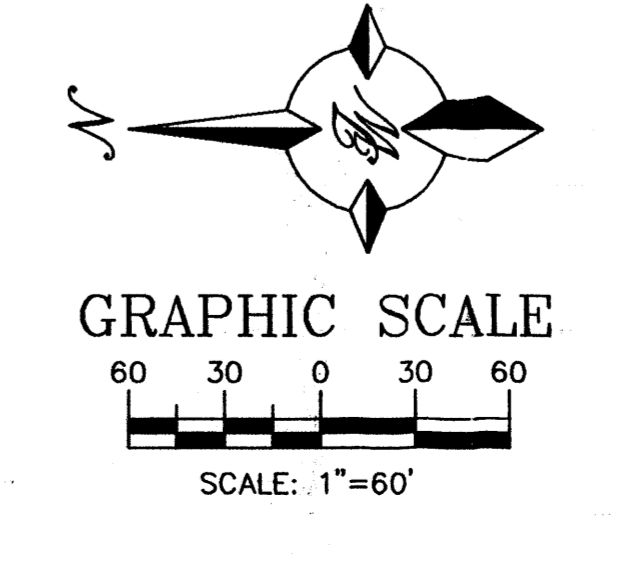
**PROPOSED SITE DATA**

PROPOSED USAGE:	RETAIL
LOT AREA:	
EXISTING LOT AREA:	13,5432 AC
LOTS 1 & 5 EXPANSION:	4,3749 AC
TOTAL LOT AREA:	17,9181 AC
BUILDING AREA:	
EXISTING BUILDING:	116,097 SF
PROPOSED BUILDING EXPANSION:	88,246 SF
PROPOSED GARDEN CENTER BUILDING:	17,322 SF
TOTAL BUILDING AREA:	221,665 SF
FLOOR AREA RATIO:	
EXISTING BUILDING:	0.20
WITH PROPOSED BUILDING EXPANSION:	0.28
PARKING CALCULATIONS:	
PARKING REQUIRED FOR EX. BUILDING:	580 SPACES
10% BUS CREDIT:	-58 SPACES
5% EXISTING BUS SHELTER:	-29 SPACES
TOTAL PARKING REQUIRED:	493 SPACES
TOTAL PARKING PROVIDED FOR EX. BUILDING:	908 SPACES
PARKING REQUIRED FOR BUILDING W/EXPANSIONS:	1108 SPACES
10% BUS CREDIT:	-111 SPACES
5% EXISTING BUS SHELTER:	-55 SPACES
TOTAL PARKING REQUIRED:	942 SPACES
TOTAL PARKING PROVIDED FOR BLDG. W/ EXP.:	1005 SPACES
HC PARKING REQUIRED:	20 SPACES
HC PARKING PROVIDED:	20 SPACES
8 SPACES VAN ACCESSIBLE	
BIKE SPACE CALCULATIONS:	
SPACES REQUIRED (CAR SPACES/20):	50 SPACES
SPACES PROVIDED:	50 SPACES



**LEGEND**

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- MULTI-OCCUPANT VEHICLE SPACES
- PROPOSED PEDESTRIAN CONNECTION
- EXISTING LIGHT
- PROPOSED LIGHT
- SMALL CAR SPACE



- EPC CONDITIONS**
- THE PLANTERS ALONG THE EAST-WEST PEDESTRIAN WALKWAY AND THE EAST-WEST WALKWAY AT THE GARDEN CENTER SHALL EACH ACCOMMODATE TWO SHADE TREES IN ORDER TO PROVIDE THE SAME NUMBER OF TREES AS A SCHEME WITH SINGLE TREES EVERY 25 FEET ON CENTER. THIS PEDESTRIAN PATH SHALL HAVE A FOUR FOOT CLEAR PATH EVEN WITH VEHICULAR OVERHANGS. WHEEL STOPS SHALL BE INSTALLED IN EVERY PARKING SPACE ADJACENT TO THIS EAST-WEST WALKWAY TO PREVENT EXCESSIVE VEHICULAR OVERHANG.
  - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
  - EMPLOYEE LOCKERS AND SHOWERS SHALL BE PROVIDED ON-SITE.
  - ALL ADA PARKING SHALL HAVE A MINIMUM 6 FOOT CLEAR PEDESTRIAN PATHWAY THAT CONNECTS EACH SPACE TO A 6 FOOT TEXTURED DRIVE AISLE CROSSING TO THE MAIN STORE (ACROSS THE NORTH-SOUTH DRIVE AISLE).
  - ALL PEDESTRIAN PATHWAYS SHALL HAVE SHADE TREES PLANTED 25 FEET ON CENTER IN 5'x5' PLANTERS.
  - A NOTE SHALL BE ADDED TO THE ELEVATIONS, STATING: "THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET HEIGHT."
  - THE DEVELOPER SHALL PROVIDE A COVERED, 500 SQUARE FOOT SITTING AND EATING AREA FOR EMPLOYEES.
  - DISPLAY WINDOW THAT ARE A MINIMUM OF 6'x8' SHALL BE PLACED ALONG THE FRONT ELEVATION FROM THE ENTRANCES OUTWARD, TOWARDS THE ENDS OF THE BUILDING FACADE AT A MINIMUM INTERVAL OF 30 FEET.
  - BUILDING WALL ELEVATIONS SHALL NOT EXCEED 100 FEET OF A BLANK WALL ELEVATION WITHOUT A MINIMUM OFFSET OF 3 FEET ON THE BUILDING AND 3 FEET IN WIDTH ALONG ANY BUILDING ELEVATION. ALONG THE NORTH ELEVATION, THE APPLICANT SHALL NARROW THE DRIVE AISLE AND PARKING SPACE PAVEMENT AREA TO 42 FEET AND ADD A MINIMUM 8 FOOT LANDSCAPE OFFSET BUFFER BETWEEN THE BUILDING AND THE BASE OF THE CURB. THE BUFFER SHALL HAVE LARGE EVERGREEN TREES AND SHADE TREES AT AN AVERAGE OF 30 FEET ON CENTER TO PROVIDE ADDITIONAL BUFFERING.
  - A MIX OF SHADE TREES AND LARGE EVERGREENS, AT AN AVERAGE OF 30 FEET ON CENTER, SHALL BE ADDED TO THE MEDIAN BETWEEN THE SERVICE ROAD AND THE LOOP ROAD. THERE SHALL BE SHADE TREES AT 30 FEET ON CENTER ALONG COPPER RD.
  - DUE TO THE PROLIFERATION OF THE BEETLE BARK INFESTATION, NO ASH TREES SHALL BE PERMITTED.
  - THE EXTERIOR MATERIAL ON THE BUILDING SHALL BE SPLIT FACE CMU.
  - THE SITE SHALL PROVIDE THE FOLLOWING:
    - AN EMPLOYEE BREAK ROOM OF DINING AREA.
    - EMPLOYEE LOCKERS AND SHOWERS.
    - A SECURE STORAGE AREA FOR BICYCLES OF EMPLOYEES WISHING TO BIKE TO WORK.
    - SIX BICYCLE LOCKERS OR LIDS SITUATED NEAR THE STORE ENTRANCE.

**SHOPPING CENTER PARKING RATIO**

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
WAL-MART W/ EXP. & GARDEN CENTER	1005	221,665 SF	4.53
EXISTING WAL-MART	908	116,097 SF	7.82

**CASE NUMBER:**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [ ] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
Solid Waste	Date

PLNZ (10706) 4/96

**REVISIONS**

NO.	DATE	REMARKS	RRB	BY
05-14-02		ADD REMOTE GARDEN SALES AREA		

**ENGINEER'S SEAL**

**ALBUQUERQUE WAL-MART EXPANSION: 835-02 ADMINISTRATIVE AMENDMENT**

TIERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

RONALD R. BOHANNAN  
P.E. #7868

DRAWN BY JDN  
DATE 05-14-02  
9929WAW.DWG  
SHEET # 3  
JOB # 990029W

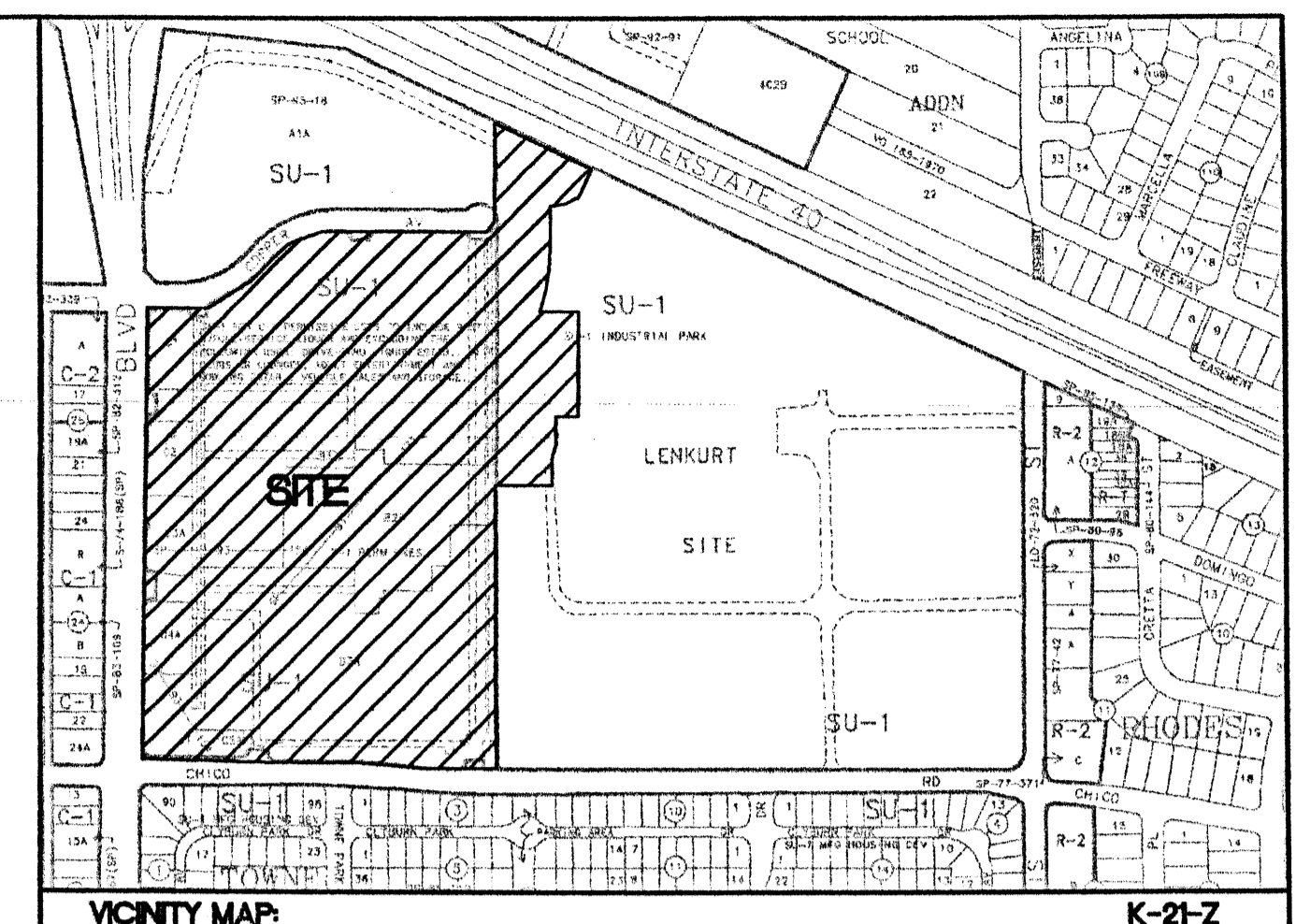
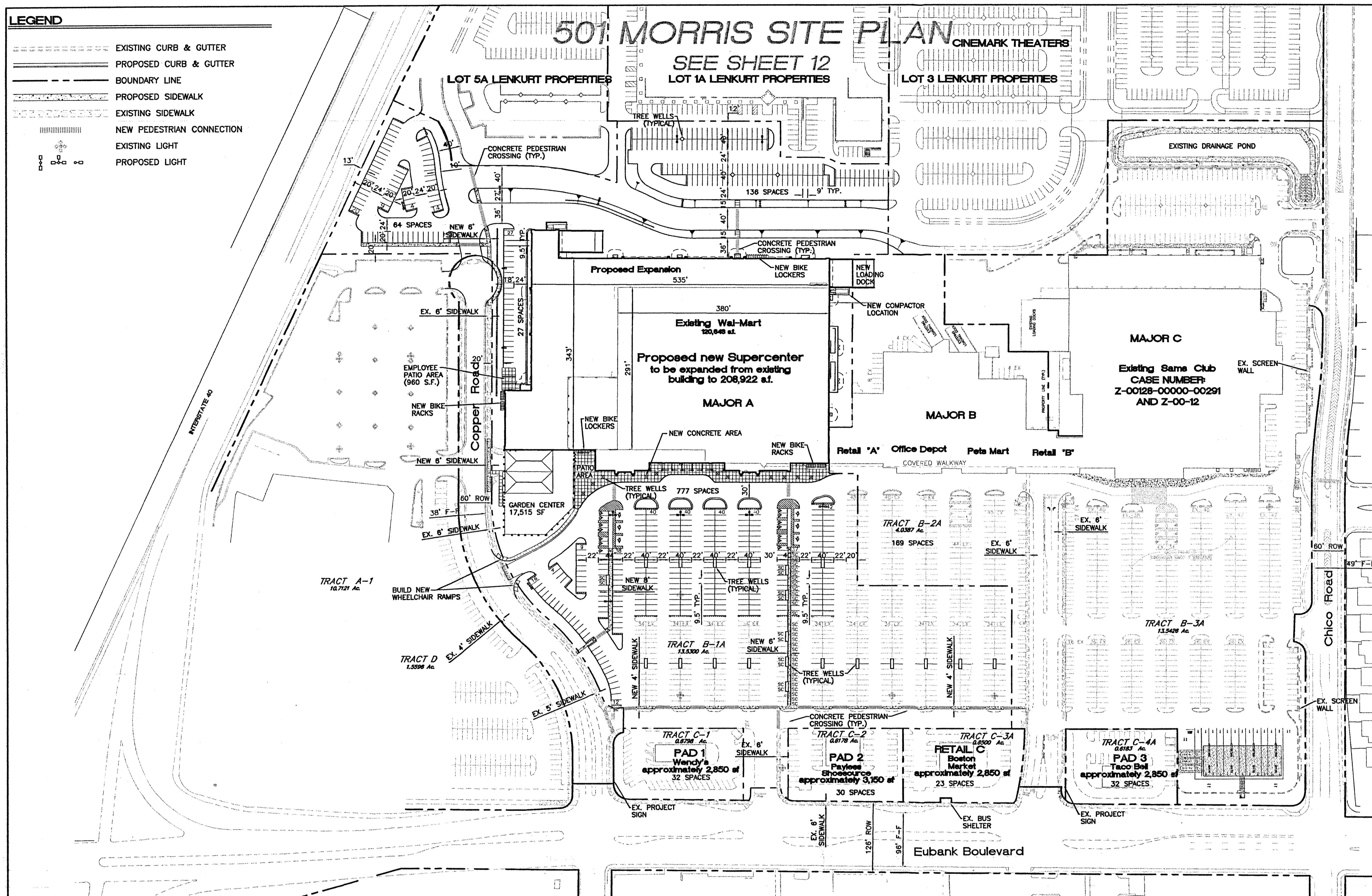
PROJECT

DRAWN

DRAWN 1000508

**LEGEND**

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	NEW PEDESTRIAN CONNECTION
	EXISTING LIGHT
	PROPOSED LIGHT



- SITE PLAN NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
  - CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
  - CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF WAL-MART.
  - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS, PORCH AND RAMP LOCATIONS.
  - GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
  - CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA, AS WELL AS, TO PROTECT ALL ACCESSIBLE SIGNS.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECS. FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, SANITARY AND FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ALL UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-IN/ CONNECTIONS TO THEIR FACILITIES.
  - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
  - CONTRACTOR SHALL TOUCH-UP PAINT ALL LIGHT POLE BASES, FIRE HYDRANTS, CURB CORNERS, PIPE BOLLARDS, AND CURBS WHICH ARE CURRENTLY PAINTED. COST SHALL BE INCLUDED IN THE BASE BID.
  - SITING FOR THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART SITING SPECIFICATIONS".
  - CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONCRETE IMPROVEMENTS, DRAIN PIPES, SANITARY AND FIRE PROTECTION WATER SERVICE, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
  - CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
  - ALL PAINT USED FOR PARKING STRIPING SHALL BE PER WAL-MART SPECIFICATIONS.
  - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
  - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO REFER TO LANDSCAPING AND IRRIGATION PLAN FOR RELOCATIONS, AND ADDITIONS TO SUCH.
  - EXISTING ACCESSIBLE PARKING SIGNS TO BE REUSED WHEN POSSIBLE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SIGNS NEEDED. ALL ACCESSIBLE SIGNS SHALL BE BUILT INSIDE PIPE BOLLARD PER DETAIL LOCATED ON DETAIL SHEET.
  - EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
  - CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND/OR PLACING PEDESTRIAN CROSSING SIGNS IN NEW LOCATION AS INDICATED ON PLANS. CONTRACTOR TO VERIFY EXACT NUMBER OF SIGNS REQUIRED.
  - ALL EXISTING PAINT STRIPING TO BE REMOVED FIRST. CONTRACTOR WILL THEN RESEAL THE PARKING LOT WITH AN APPROVED SEALER PER SPECIFICATION WHEN REQUIRED (COORDINATE WITH THE WAL-MART CONSTRUCTION MANAGER). THE PARKING LOT WILL BE RESTRICTED WITH 2 COATS OF PAINT PER THE PLANS AND SPECIFICATIONS. THIS WORK MUST BE COORDINATED WITH THE CONSTRUCTION MANAGER. THE PARKING LOT MUST BE DONE IN SECTIONS SO THAT IT DOES NOT INTERRUPT THE STORE OPERATIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
  - REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL ROUTING.
  - ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
  - NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FLIGHT LIGHT.
  - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
  - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
  - EXISTING BUS ROUTE IS ON EUBANK BOULEVARD AND NOT ON SITE.

**EXISTING SITE DATA**

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	13.5432 Ac.	WAL-MART	116,097 SF	0.1968	580 (16 HANDICAP)	522	493	908 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	33.3933 Ac.	SHOPPING CENTER	313,799 SF	0.2157	1,592 (45 HANDICAP)	1,432	1,352	1,955 (52 HANDICAP)	40.0'	15.0'

**SITE DATA W/ WAL-MART EXPANSION**

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	17.9181 Ac.	SUPER WAL-MART	221,665 SF	0.2840	1,108 (20 HANDICAP)	997	942	1,005 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	37.7682 Ac.	SHOPPING CENTER	419,357 SF	0.2549	2,120 (49 HANDICAP)	1,907	1,801	2,052 (52 HANDICAP)	40.0'	15.0'

\* PARKING CALCULATIONS  
 RETAIL STORES: 1 SPACE PER 200 SF OF LEASEABLE AREA.  
 RESTAURANTS: WENDY'S: 104 SEATS / 4 PEOPLE PER CAR.  
 BOSTON MARKET: 76 SEATS / 4 PEOPLE PER CAR.  
 TACO BELL: 80 SEATS / 4 PEOPLE PER CAR.

- SHEET INDEX**
- TOWN PARK PLAZA**
- AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
  - APPROVED AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (PROJECT #1000317) (FOR REFERENCE ONLY)
  - SITE PLAN FOR BUILDING PERMIT (WAL-MART EXPANSION)
  - LANDSCAPING PLAN
  - GRADING AND DRAINAGE PLAN SHEET "A"
  - GRADING AND DRAINAGE PLAN SHEET "B"
  - DETAIL SHEET
  - MASTER UTILITY PLAN SHEET "A"
  - MASTER UTILITY PLAN SHEET "B"
  - BUILDING ELEVATIONS
  - SIGNAGE ELEVATIONS
  - GARDEN CENTER ELEVATIONS
- 501 MORRIS**
- AMENDED SITE PLAN FOR SUBDIVISION FOR LENKURT PROPERTIES APPROVED SITE PLAN FOR SUBDIVISION FOR LENKURT PROPERTIES (Z-90-21-2) (FOR REFERENCE ONLY)

**EPC 00128-00000-01182**

**PROJECT NUMBER: 01450-00000-01029**

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

*Shahid D. ...*  
 Traffic Engineer, Transportation Division  
 Date: 6/3/01

*Adrian E. ...*  
 Parks & General Services Department  
 Date: 4/13/01

*David ...*  
 Public Works, Water Utilities Division  
 Date: 6/13/01

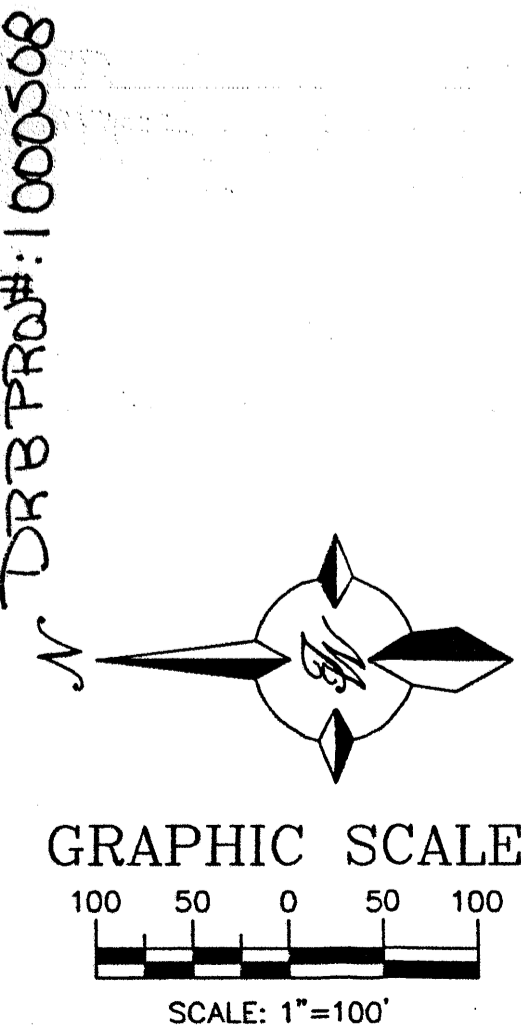
*...*  
 City Engineer, Engineering Division / AMAFCA  
 Date: 8-28-01

*...*  
 Solid Waste  
 Date: 8-16-01

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

*...*  
 City Planner, Albuquerque / Bernalillo  
 County Planning Division  
 Date: 9/12/01

PLN# (10706) 4/96

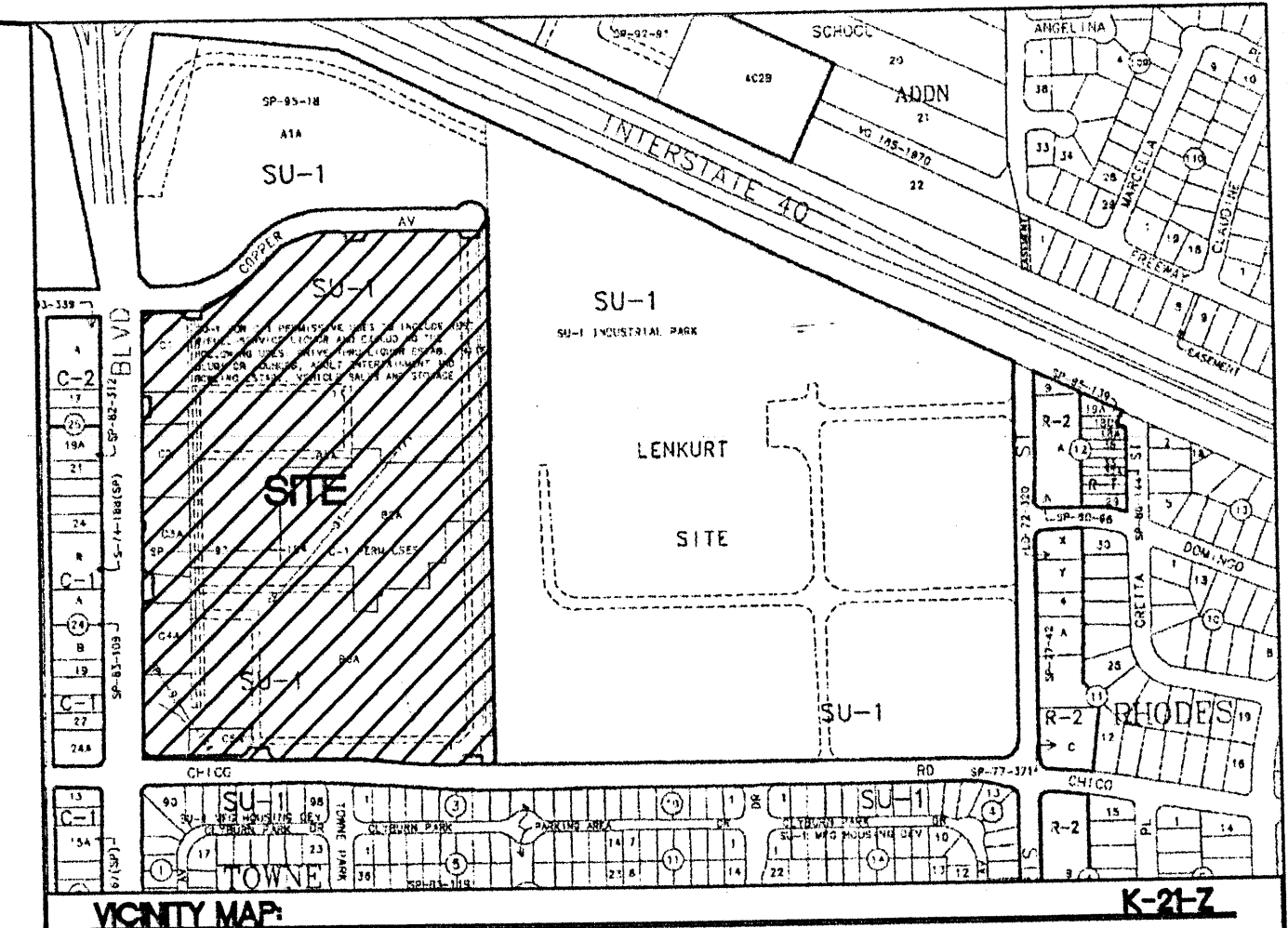
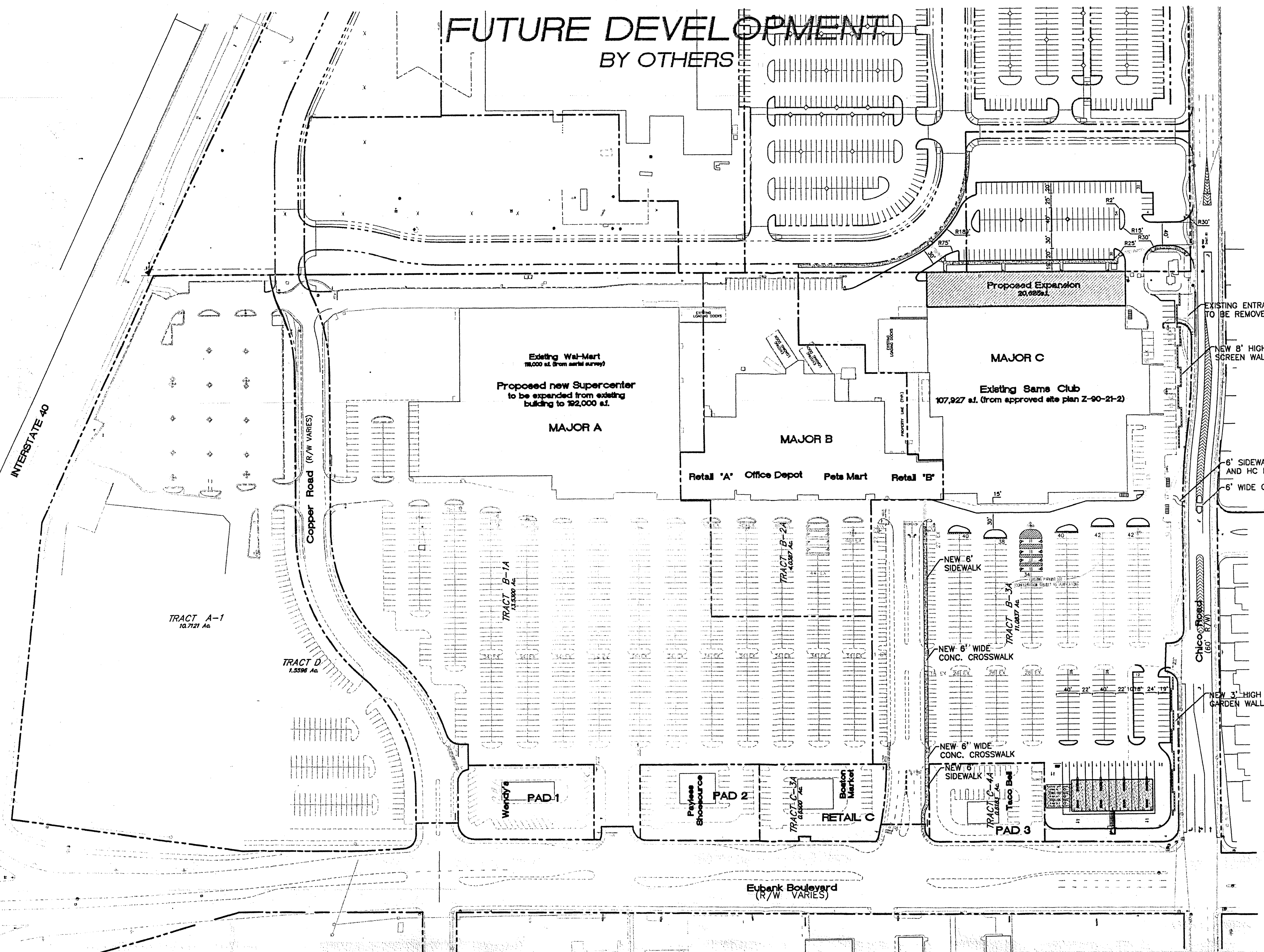


**LEGAL DESCRIPTION:**  
 TRACTS A-1, B-1A, B-2A, B-3A C-1A, C-2A, C-3A, C-4A AND TRACT D OF TOWNE PARK PLAZA

**ZONING:**  
 SU-1 FOR C-1 PERMISSIVE USES TO INCLUDE RESTAURANT WITH FULL SERVICE LIQUOR AND EXCLUDING THE FOLLOWING USES: DRIVE-THRU LIQUOR ESTABLISHMENTS, NIGHT CLUBS OR LOUNGES, ADULT ENTERTAINMENT ESTABLISHMENTS, AND VEHICLE SALES AND STORAGE.

<b>ENGINEER'S SEAL</b>	<b>ALBUQUERQUE WAL-MART EXPANSION AMENDED SITE PLAN FOR SUBDIVISION</b>	<b>DRAWN BY</b> JDN
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	<b>DATE</b> 06-08-01
<b>RONALD R. BOHANNAN</b> P.E. #7868		<b>9929WSP51.DWG</b>
		<b>SHEET #</b> 1
		<b>JOB #</b> 990029W

# FUTURE DEVELOPMENT BY OTHERS



**LEGAL DESCRIPTION**  
TRACT B-3A LENKURT SITE

**PROPOSED SITE DATA**

PROPOSED USAGE:	RETAIL
LOT AREA:	11,0837 ACRE
EXISTING LOT AREA:	11,0837 AC
LOT 4 EXPANSION:	2,1618 AC
TOTAL LOT AREA:	13,2455 AC
BUILDING AREA:	111,434 SF
EXISTING BUILDING:	21,758 SF
PROPOSED BUILDING EXPANSION:	136,082 SF
TOTAL BUILDING AREA:	157,840 SF
PARKING REQUIRED W/EXPANSION	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION	151 SPACES
NEW PARKING PROVIDED	154 SPACES
TOTAL PARKING PROVIDED IN BACK	121 SPACES
TOTAL PARKING PROVIDED ON SIDES	46 SPACES
TOTAL PARKING PROVIDED IN FRONT	516 SPACES
TOTAL PARKING PROVIDED	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES 2 SPACES VAN ACCESSIBLE

**SHOPPING CENTER PARKING RATIO**

	NO. of SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	128,612 SF	5.31
EXISTING SAM'S CLUB	702	107,927 SF	6.50

**GENERAL NOTES:**  
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

**PROJECT # 1000317**  
**CASE NUMBER: Z-00128-00000-00291 AND Z-00-12**

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 7/19/00 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

<i>[Signature]</i>	7-19-00
Traffic Engineer, Transportation Division	Date
<i>[Signature]</i>	7-19-00
Parks & General Services Department	Date
<i>[Signature]</i>	7-19-00
Public Works, Water Utilities Division	Date
<i>[Signature]</i>	1/19/01
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

*[Signature]* 1/22/01  
City Planner, Albuquerque / Bernalillo County Planning Division

*[Signature]* 12-12-00  
Solid Waste

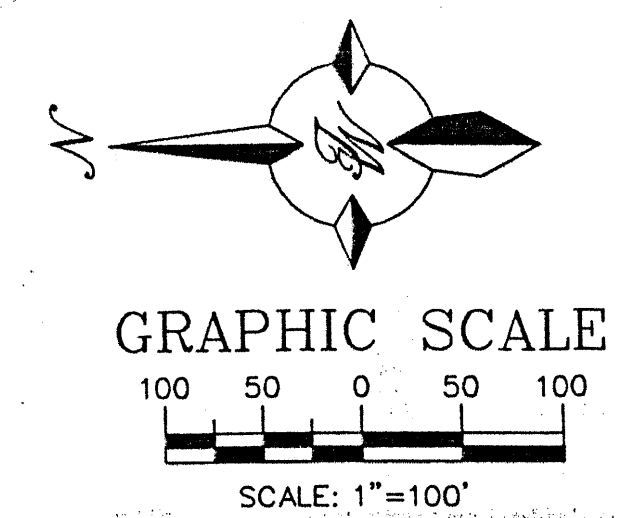
PLNZ (10706) 4/96

**EXISTING PARKING DATA (from approved site plan Z-90-21-2)**

	BUILDING SIZE	PARKING REQUIRED *	PARKING PROVIDED
MAJOR A	120,643	603	921
MAJOR B	49,920	250	203
MAJOR C	107,927	540	702
RETAIL A	6,240	32	0
RETAIL B	7,727	39	0
RETAIL C	8,000	40	130
PAD 1-4	28,500	143	
TOTAL	328,957	1645	1956
OVERALL RATIO:		5.01:1	5.951
MAJOR C EXPANSION	20,685	103	43
TOTAL	349,642	1748	1999
OVERALL RATIO W/EXPANSIONS:			5.72

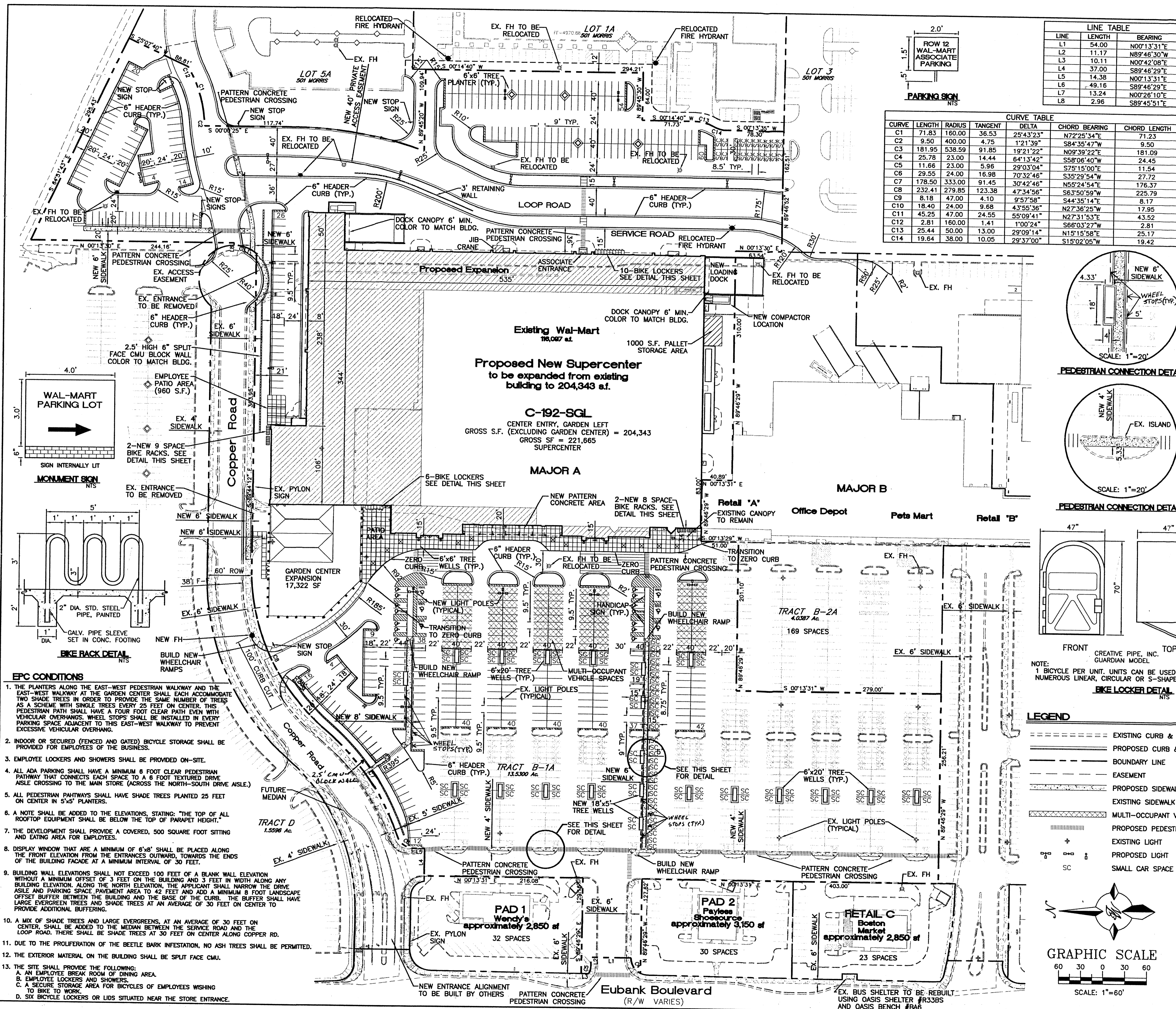
\* CALCULATED AT 1 PARKING SPACE PER 200 SF OF LEASEABLE SPACE.

- SHEET INDEX**
- TOWN PARK PLAZA**
- AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
  - APPROVED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (Z-90-21-2) (FOR REFERENCE ONLY)
  - SITE PLAN FOR BUILDING PERMIT (SAM'S CLUB EXPANSION)
  - LANDSCAPING PLAN
  - MASTER UTILITY PLAN
  - GRADING AND DRAINAGE PLAN
  - BUILDING ELEVATIONS
- 501 MORRIS**
- AMENDED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS
  - APPROVED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS (Z-90-21-2) (FOR REFERENCE ONLY)
- SERVICE STATION**
- SITE PLAN FOR BUILDING PERMIT
  - GRADING AND DRAINAGE PLAN
  - ELEVATIONS



**FOR REFERENCE ONLY**

ENGINEER'S SEAL	ALBUQUERQUE SAM'S EXPANSION AND GAS STATION	DRAWN BY BDC
<i>[Signature]</i>	AMENDED SITE PLAN FOR SUBDIVISION	DATE 7-07-00
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	9929SPS.DWG
		SHEET # 2
		JOB # 990029

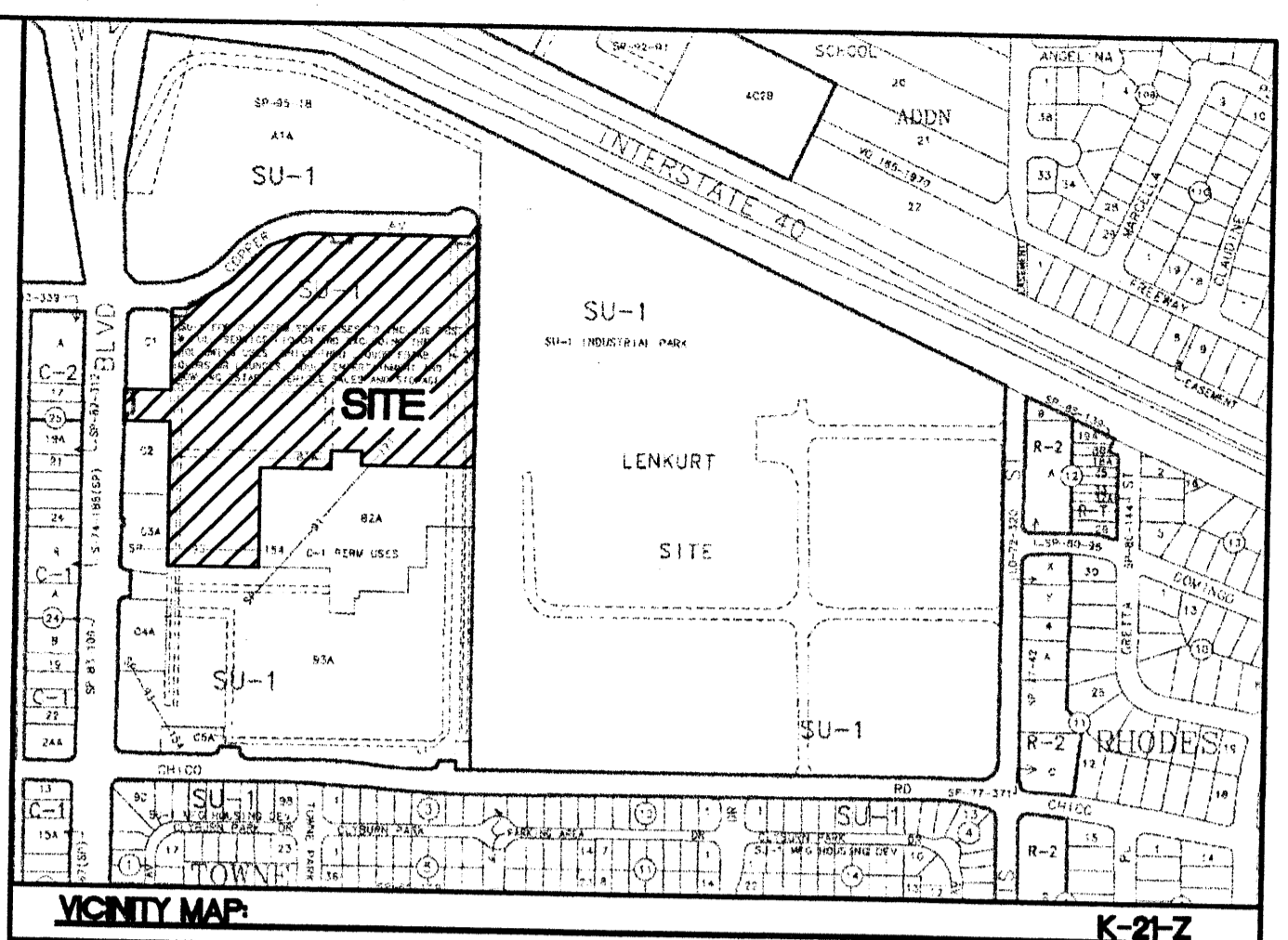


**LINE TABLE**

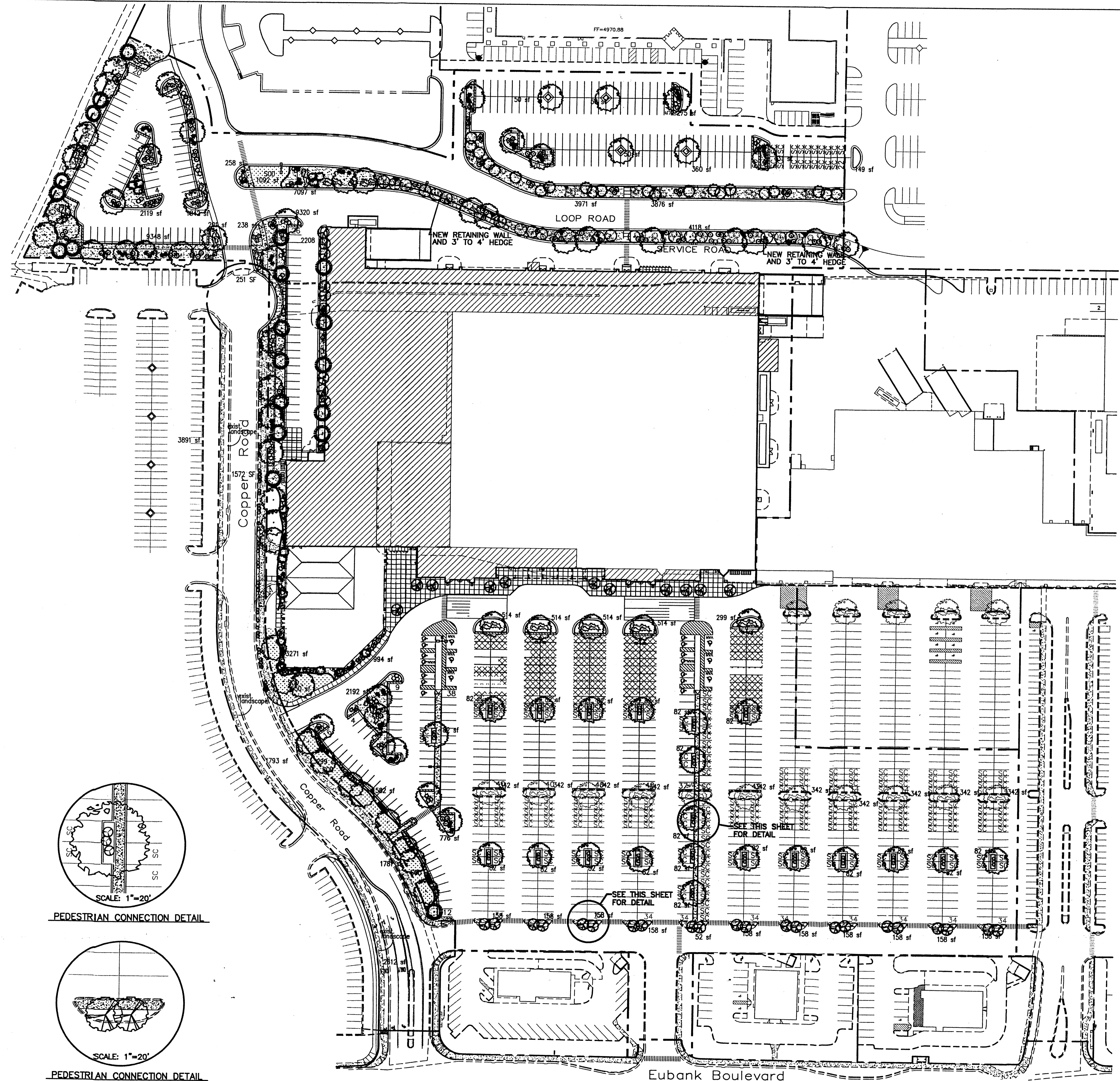
LINE	LENGTH	BEARING
L1	54.00	N00°13'31"E
L2	11.17	N89°46'30"W
L3	10.11	N00°42'08"E
L4	37.00	S89°46'29"E
L5	14.38	N00°13'31"E
L6	49.16	S89°46'29"E
L7	13.24	N00°26'10"E
L8	2.96	S89°45'51"E

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	71.83	160.00	36.53	25°43'23"	N72°25'34"E	71.23
C2	9.50	400.00	4.75	1°21'39"	S84°35'47"W	9.50
C3	181.95	538.59	91.85	19°21'22"	N09°39'22"E	181.09
C4	25.78	23.00	14.44	64°13'42"	S58°06'40"W	24.45
C5	11.66	23.00	5.96	29°03'04"	S75°15'00"E	11.54
C6	29.55	24.00	16.98	70°32'46"	S35°29'54"W	27.72
C7	178.50	333.00	91.45	30°42'46"	N55°24'54"E	176.37
C8	232.41	279.85	123.38	47°34'56"	S63°50'59"W	225.79
C9	8.18	47.00	4.10	9°57'58"	S44°35'14"E	8.17
C10	18.40	24.00	9.68	43°55'36"	N27°36'25"W	17.95
C11	45.25	47.00	24.55	55°09'41"	N27°31'53"E	43.52
C12	2.81	160.00	1.41	1°00'24"	S66°03'27"W	2.81
C13	25.44	50.00	13.00	29°09'14"	N15°15'58"E	25.17
C14	19.64	38.00	10.05	29°37'00"	S15°02'05"W	19.42



- EPC CONDITIONS**
- THE PLANTERS ALONG THE EAST-WEST PEDESTRIAN WALKWAY AND THE EAST-WEST WALKWAY AT THE GARDEN CENTER SHALL EACH ACCOMMODATE TWO SHADE TREES IN ORDER TO PROVIDE THE SAME NUMBER OF TREES AS A SCHEME WITH SINGLE TREES EVERY 25 FEET ON CENTER. THIS PEDESTRIAN PATH SHALL HAVE A FOUR FOOT CLEAR PATH EVEN WITH VEHICULAR OVERHANGS. WHEEL STOPS SHALL BE INSTALLED IN EVERY PARKING SPACE ADJACENT TO THIS EAST-WEST WALKWAY TO PREVENT EXCESSIVE VEHICULAR OVERHANG.
  - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
  - EMPLOYEE LOCKERS AND SHOWERS SHALL BE PROVIDED ON-SITE.
  - ALL ADA PARKING SHALL HAVE A MINIMUM 8 FOOT CLEAR PEDESTRIAN PATHWAY THAT CONNECTS EACH SPACE TO A 6 FOOT TEXTURED DRIVE AISLE CROSSING TO THE MAIN STORE (ACROSS THE NORTH-SOUTH DRIVE AISLE).
  - ALL PEDESTRIAN PATHWAYS SHALL HAVE SHADE TREES PLANTED 25 FEET ON CENTER IN 5'x5' PLANTERS.
  - A NOTE SHALL BE ADDED TO THE ELEVATIONS, STATING: "THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET HEIGHT."
  - THE DEVELOPMENT SHALL PROVIDE A COVERED, 500 SQUARE FOOT SITTING AND EATING AREA FOR EMPLOYEES.
  - DISPLAY WINDOW THAT ARE A MINIMUM OF 6'x8' SHALL BE PLACED ALONG THE FRONT ELEVATION FROM THE ENTRANCES OUTWARD, TOWARDS THE ENDS OF THE BUILDING FACADE AT A MINIMUM INTERVAL OF 30 FEET.
  - BUILDING WALL ELEVATIONS SHALL NOT EXCEED 100 FEET OF A BLANK WALL ELEVATION WITHOUT A MINIMUM OFFSET OF 3 FEET ON THE BUILDING AND 3 FEET IN WIDTH ALONG ANY BUILDING ELEVATION. ALONG THE NORTH ELEVATION, THE APPLICANT SHALL NARROW THE DRIVE AISLE AND PARKING SPACE PAVEMENT AREA TO 42 FEET AND ADD A MINIMUM 8 FOOT LANDSCAPE OFFSET BUFFER BETWEEN THE BUILDING AND THE BASE OF THE CURB. THE BUFFER SHALL HAVE LARGE EVERGREEN TREES AND SHADE TREES AT AN AVERAGE OF 30 FEET ON CENTER TO PROVIDE ADDITIONAL BUFFERING.
  - A MIX OF SHADE TREES AND LARGE EVERGREENS, AT AN AVERAGE OF 30 FEET ON CENTER, SHALL BE ADDED TO THE MEDIAN BETWEEN THE SERVICE ROAD AND THE LOOP ROAD. THERE SHALL BE SHADE TREES AT 30 FEET ON CENTER ALONG COPPER RD.
  - DUE TO THE PROLIFERATION OF THE BEETLE BARK INFESTATION, NO ASH TREES SHALL BE PERMITTED.
  - THE EXTERIOR MATERIAL ON THE BUILDING SHALL BE SPLIT FACE CMU.
  - THE SITE SHALL PROVIDE THE FOLLOWING:  
 A. AN EMPLOYEE BREAK ROOM OF DINING AREA.  
 B. EMPLOYEE LOCKERS AND SHOWERS.  
 C. A SECURE STORAGE AREA FOR BICYCLES OF EMPLOYEES WISHING TO BIKE TO WORK.  
 D. SIX BICYCLE LOCKERS OR LIDS SITUATED NEAR THE STORE ENTRANCE.



**PLANT LEGEND**

- |  |   |
|--|---|
| EXISTING LANDSCAPING   | ○ RUSSIAN SAGE (M) 125<br>Perovskia atriplicifolia<br>5 gal                   |
| HONEY LOCUST (H) 88<br>Gleditsia triacanthos<br>2" Cal           | ○ AUTUMN SAGE (M) 78<br>Salvia gregii<br>5 gal                                |
| LEYLANDII CYPRESS(M) 20<br>Cupressocyparis leylandii<br>15 GAL   | ○ CHAMISA (L) 158<br>Chrysothamnus nauseosus<br>1 gal                         |
| AUSTRIAN PINE (H) 13<br>Pinus nigra<br>6-8"                      | * MAIDEN GRASS (M) 83<br>Miscanthus sinensis<br>5 gal                         |
| DESERT WILLOW (M) 22<br>Chilopsis linearis<br>15 GAL             | ○ WILDFLOWER 146<br>1 GAL   |
| BRADFORD PEAR (M) 47<br>Pyrus californica brodford<br>1 1/2" Cal | ○ TAM JUNIPER (L) 51<br>Juniperus sabina<br>5 gal                             |
| NEW MEXICO OLIVE (M) 16<br>Forestiera neomexicana<br>15 GAL      | ○ OVERSIZE GRAVEL & BOULDERS<br>3/4" SANTA ANA TAN GRAVEL<br>W/ FILTER FABRIC |
| APACHE PLUME (L) 21<br>Fallugia paradoxa<br>5 gal                | ○ SOD   |
| POTENTILLA (M) 50<br>Potentilla fruticosa<br>5 gal               | ○ COMMERCIAL GRADE<br>STEEL EDGING  |

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters  
Shrubs to receive (2) 1.0 GPH Drip Emitters  
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property

Owner:  
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**LANDSCAPE CALCULATIONS**

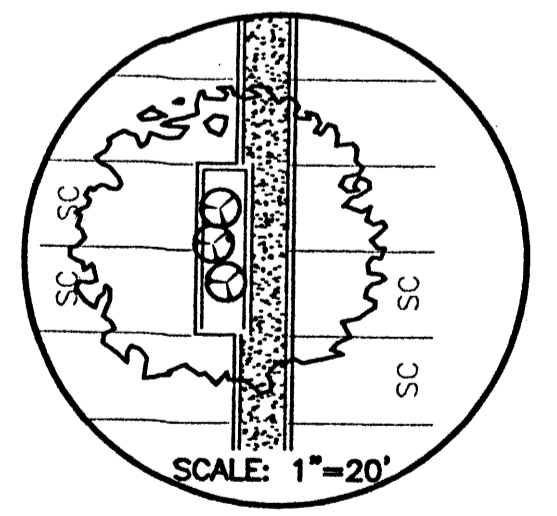
NET LANDSCAPE AREA	772,881	square feet
TOTAL LOT AREA		
TOTAL BUILDINGS AREA	216,020	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	554,661	square feet
LANDSCAPE REQUIREMENT	15	percent
TOTAL LANDSCAPE REQUIREMENT	83,199	square feet
TOTAL NEW LANDSCAPE PROVIDED	76,474	square feet
TOTAL REPLACEMENT SOD PROVIDED	11,722	square feet
TOTAL NEW BED PROVIDED	64,752	square feet
TOTAL EXISTING LANDSCAPE PROVIDED	11,865	square feet
TOTAL LANDSCAPE PROVIDED	88,339	square feet



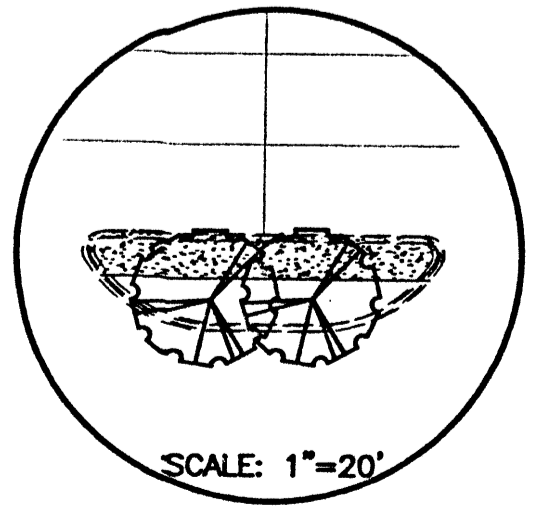
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

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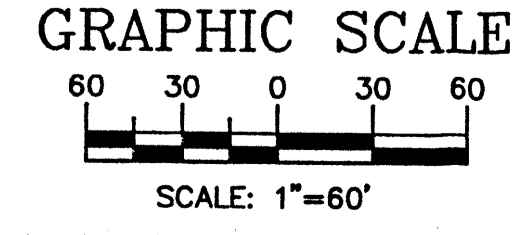
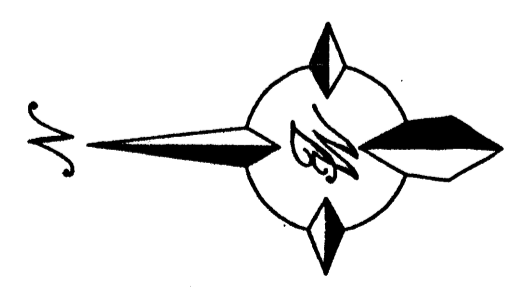
THE HILLTOP



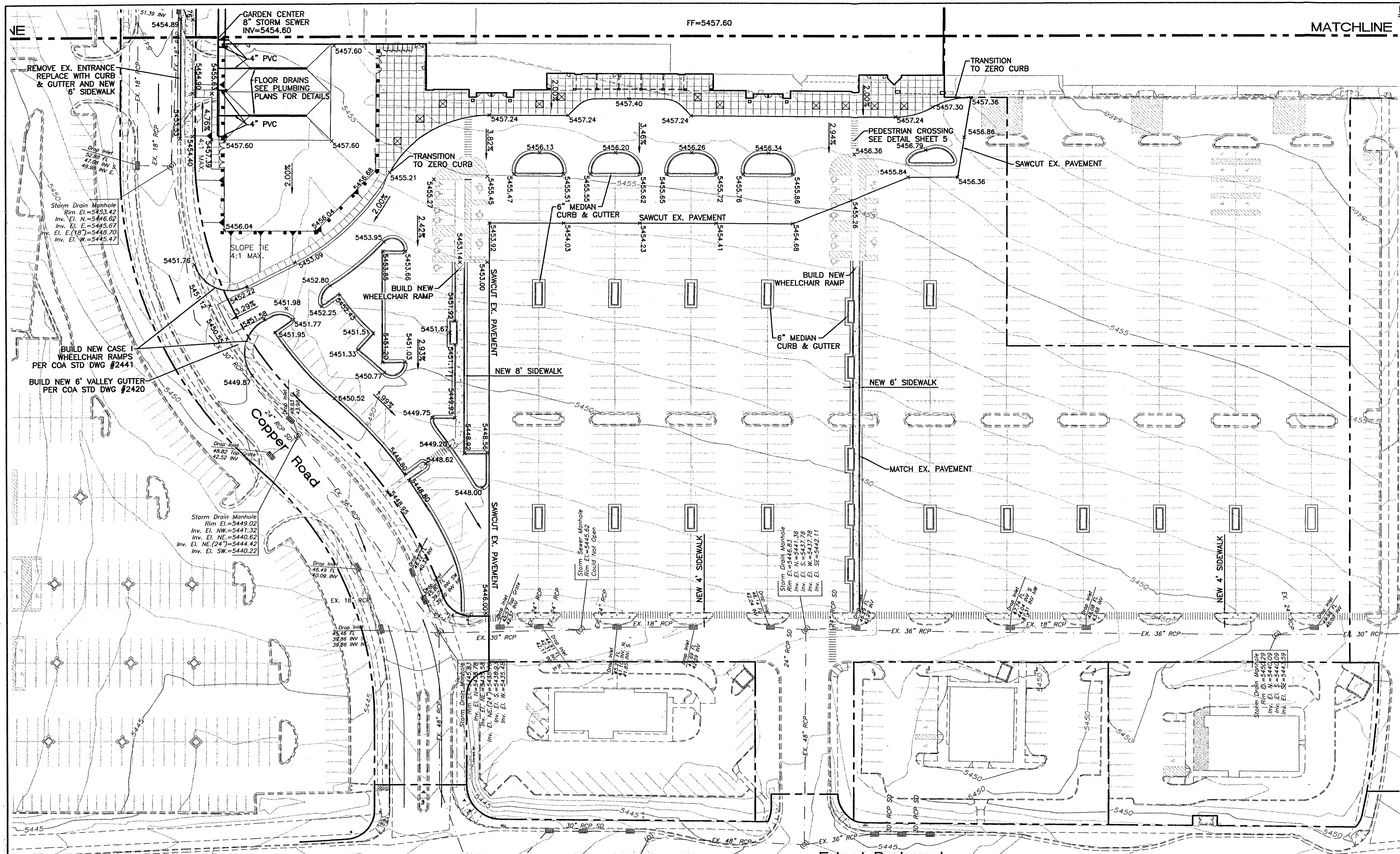
PEDESTRIAN CONNECTION DETAIL



PEDESTRIAN CONNECTION DETAIL

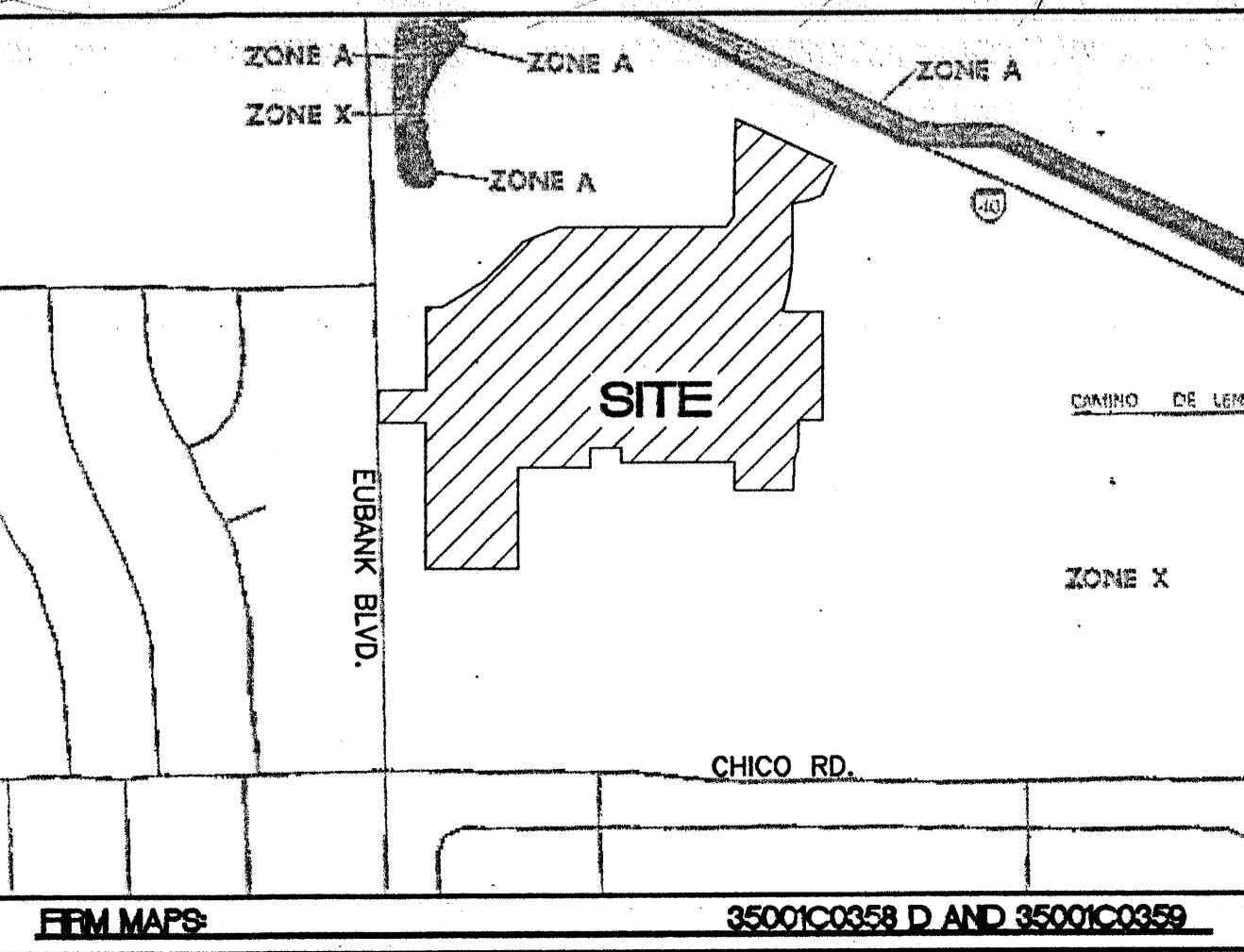
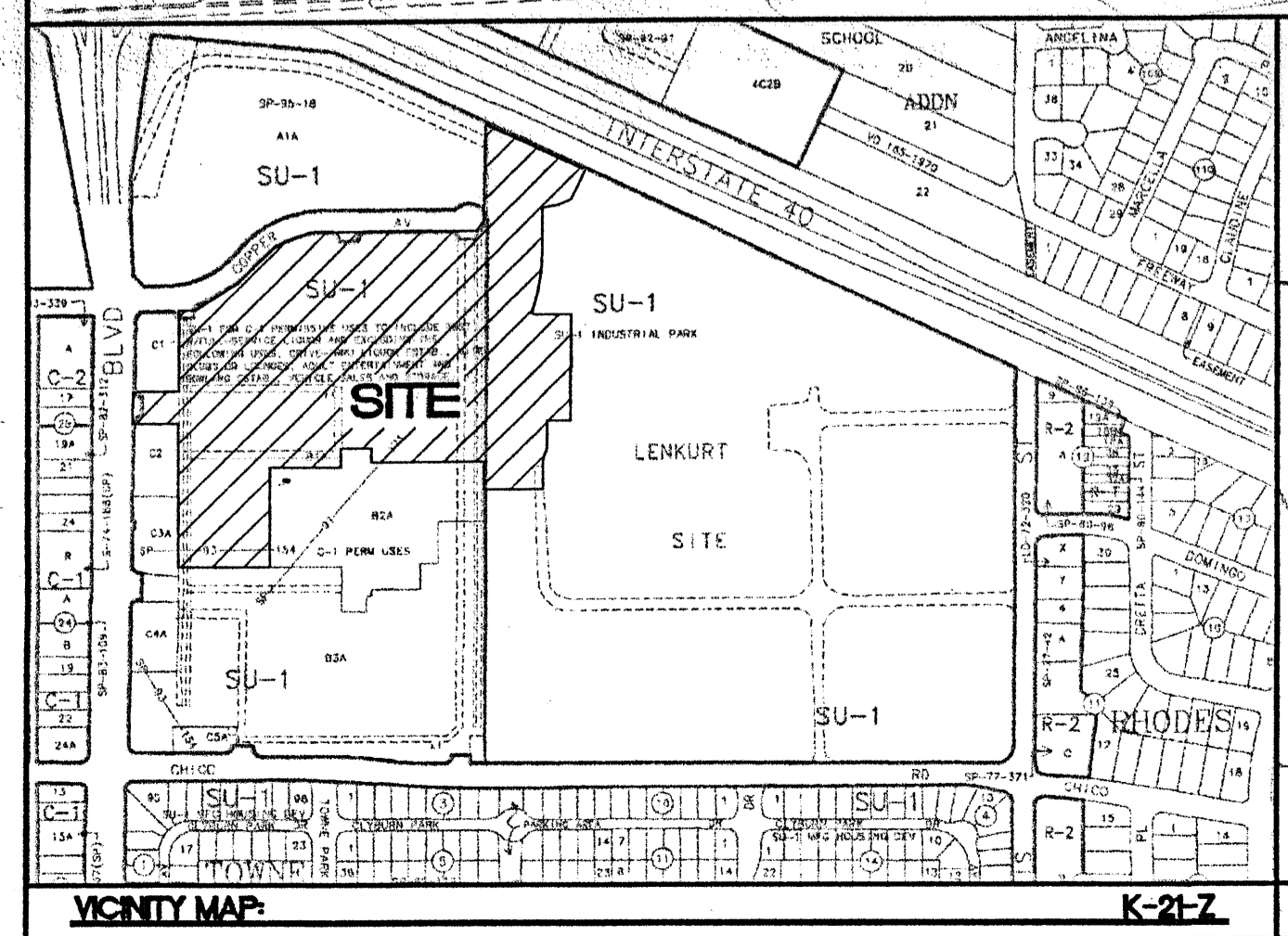
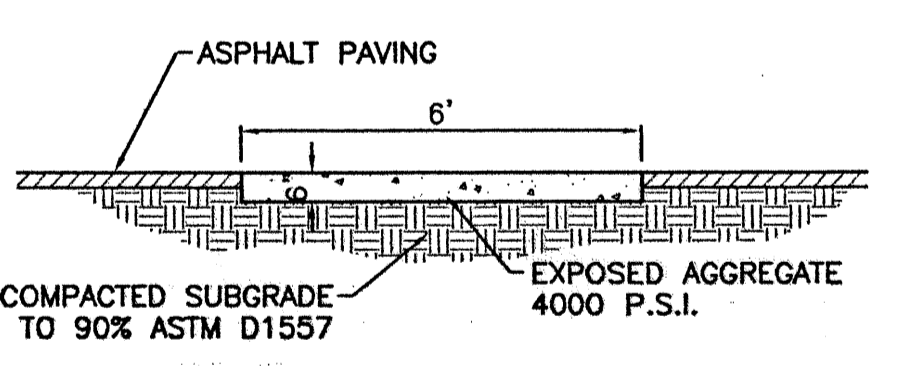
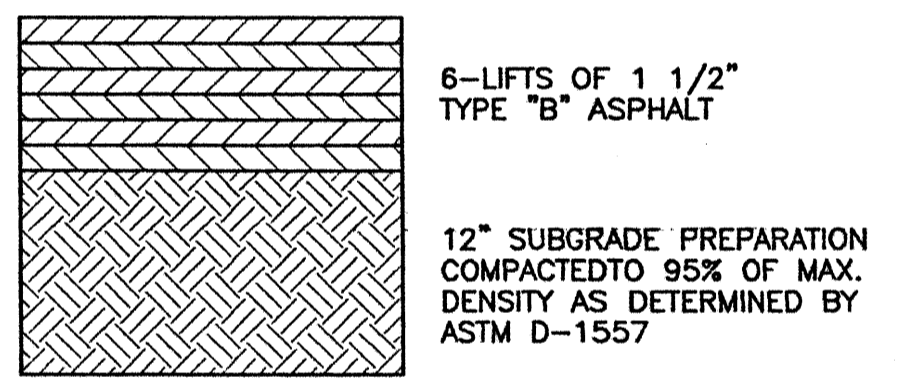
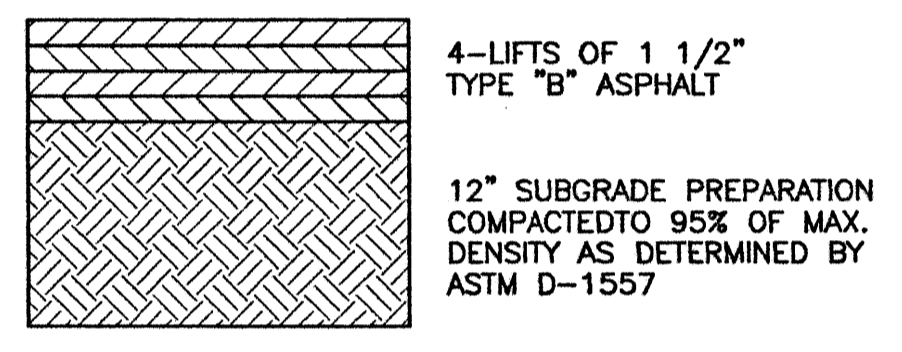


NO.	DATE	REMARKS	BY
REVISIONS			
		LANDSCAPE ARCHITECT'S SEAL	
		ALBUQUERQUE WAL-MART EXPANSION: 835-02	DRAWN BY JDN
		LANDSCAPING PLAN	DATE 04-10-01
			9929WLP1.DWG
			SHEET #
			4
			JOB # 99029W



**LEGEND**

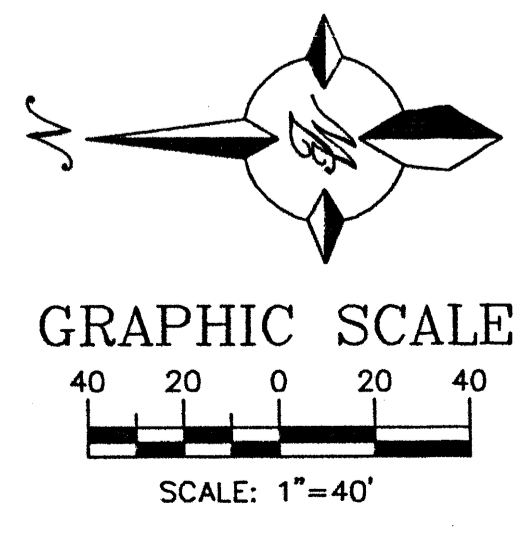
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "C" INLET
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	FUTURE SIDEWALK
	PROPOSED PERIMETER WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	MATCH LINE



- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

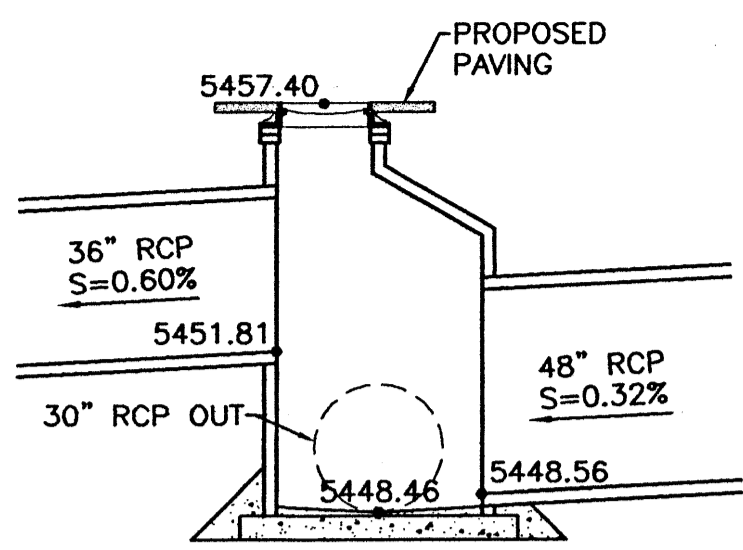
- NOTES:**
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
  - ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
  - ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
  - ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.
  - SEE SHEET 7 FOR RCP INLET DETAIL.

CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

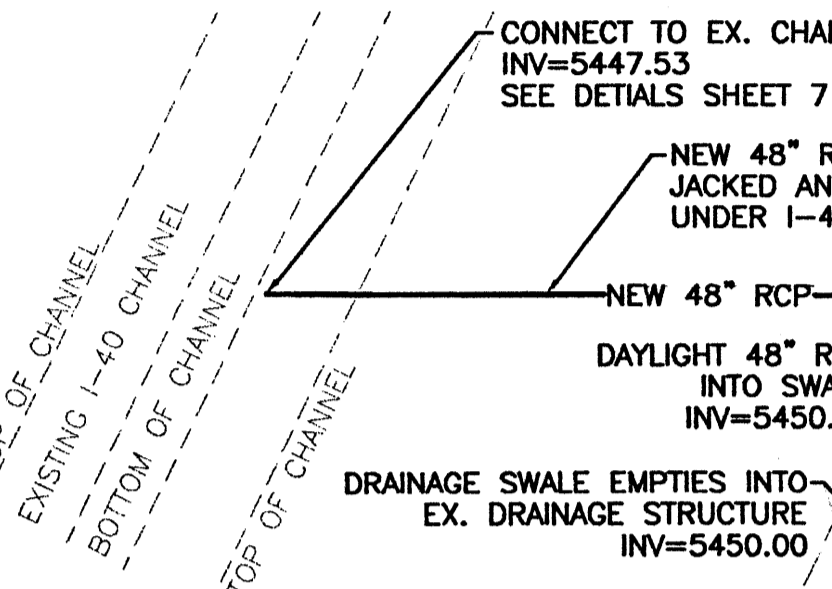


ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

NO.	DATE	REMARKS	BY
REVISIONS			
<b>ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET 'A'</b>			
		<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
ENGINEER'S SEAL RONALD R. BOHANNON P.E. #7868		DRAWN BY JDN DATE 06-08-01 9925WR1.DWG SHEET # <b>5</b> JOB # 990025W	



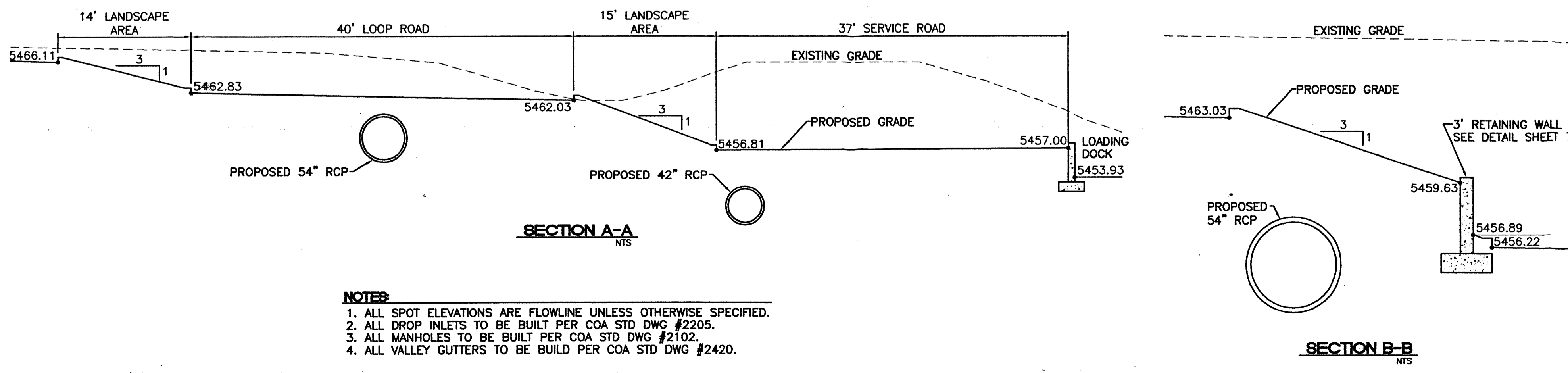
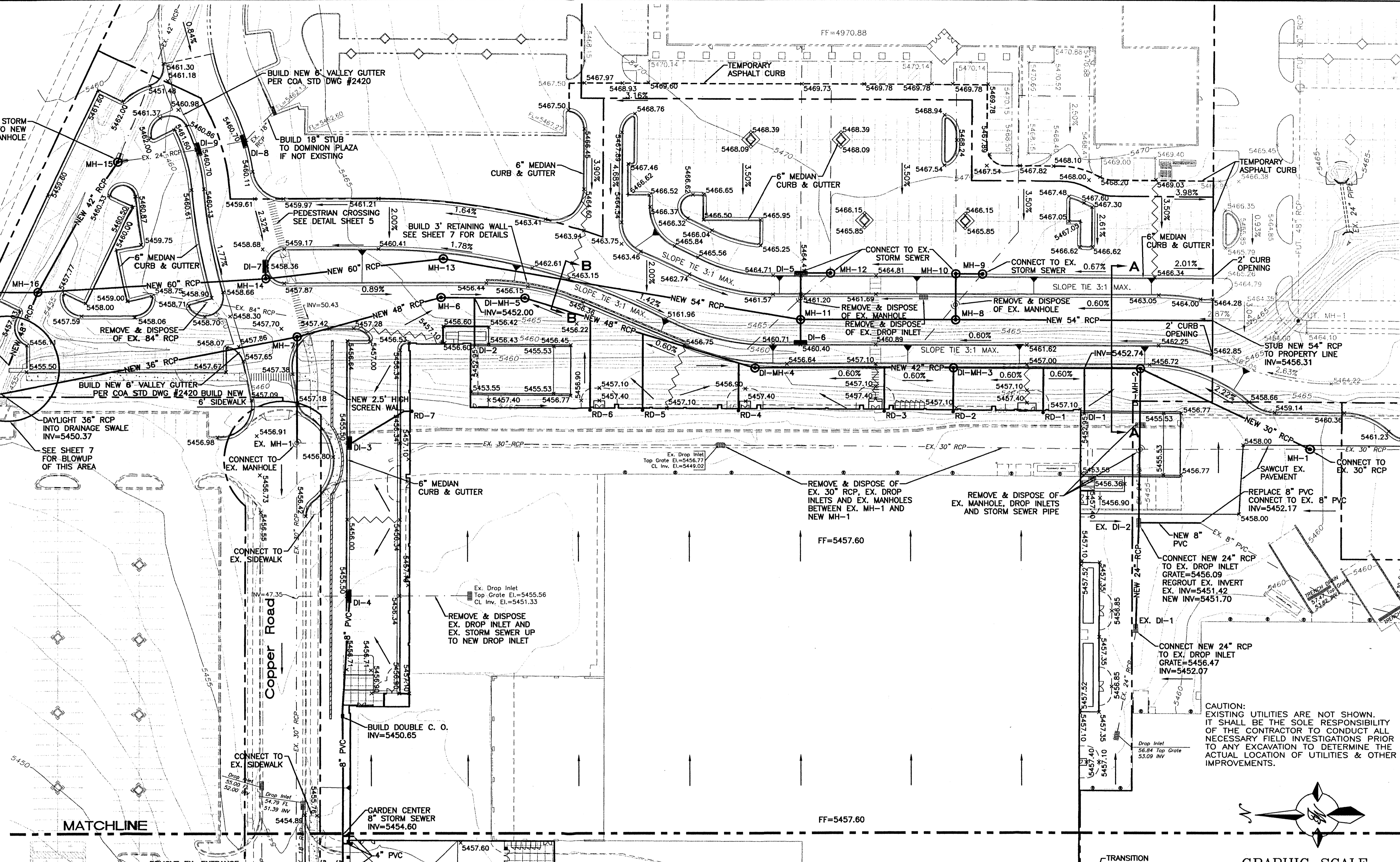
**MH-7 CONNECTION DETAIL**  
NTS



FROM	TO	SIZE	SLOPE
MH-1	DI-MH-2	30" RCP	0.47%
EX. DI-1	EX. DI-2	24" RCP	0.44%
EX. DI-2	DI-MH-2	24" RCP	0.44%
DI-1	DI-MH-2	8" PVC	0.60%
DI-MH-2	DI-MH-3	42" RCP	0.32%
DI-MH-3	DI-MH-4	42" RCP	0.32%
DI-MH-4	DI-MH-5	48" RCP	0.32%
DI-2	DI-MH-5	8" PVC	2.48%
DI-MH-5	MH-6	48" RCP	0.32%
MH-6	MH-7	48" RCP	0.32%
MH-7	EX. MH-1	30" RCP	0.32%
DI-3	EX. MH-1	EX. 30" RCP	0.26%
DI-4	EX. 30" RCP	EX. 18" RCP	2.91%
FUT. MH-1	MH-8	54" RCP	0.58%
MH-9	MH-10	12" RCP	5.02%
MH-10	MH-11	12" RCP	17.10%
MH-11	DI-5	54" RCP	0.58%
MH-12	DI-5	8" PVC	8.42%
DI-5	MH-11	12" RCP	17.46%
DI-6	MH-11	24" RCP	4.90%
MH-11	MH-13	54" RCP	0.58%
MH-13	MH-14	60" RCP	0.58%
DI-7	MH-14	18" RCP	28.35%
MH-14	MH-16	60" RCP	0.58%
DI-8	DI-9	EX. 18" RCP	0.10%
DI-9	MH-15	EX. 24" RCP	0.53%
MH-15	MH-16	42" RCP	1.20%
MH-16	CHANNEL	48" RCP	0.58%
MH-16	SWALE	48" RCP	0.38%
MH-7	SWALE	36" RCP	0.60%

ITEM #	TYPE	RIM/GRATE	INV IN	INV OUT
EX. MH-1	EX. TYPE "E"	5457.75	5448.15	5448.05
MH-1	4" DIA. TYPE "E"	5459.70	5451.73	5451.63
DI-MH-2	RCP INLET*	5456.50	5451.15	5451.05
DI-MH-3	RCP INLET*	5456.72	5450.62	5450.52
DI-MH-4	6" RCP INLET*	5456.52	5450.06	5449.96
DI-MH-5	6" RCP INLET*	5455.95	5449.35	5449.25
MH-6	4" DIA. TYPE "E"	5456.73	5449.04	5448.94
MH-7	6" DIA. TYPE "E"	5457.40	5448.56	5448.46 (N)
SEE THIS SHEET FOR DETAIL 5451.81 (N)				
FUT. MH-1	8" DIA. TYPE "E"	5464.50	5456.82	5456.72
MH-8	6" DIA. TYPE "E"	5461.62	5455.12	5455.02
MH-9	4" DIA. TYPE "E"	5465.50	5462.63	5462.53
MH-10	4" DIA. TYPE "E"	5465.36	5462.40 (E)	5461.36
			5461.46 (S)	
MH-11	6" DIA. TYPE "E"	5460.80	5454.30	5454.20
MH-12	4" DIA. TYPE "E"	5464.60	5462.60	5462.50
MH-13	6" DIA. TYPE "E"	5459.90	5452.53	5452.43
MH-14	6" DIA. TYPE "E"	5458.15	5451.61	5451.51
MH-15	8" DIA. TYPE "E"	5460.94	5452.00	5451.90
MH-16	12" DIA. TYPE "E"	5457.45	5450.45	5450.35
DI-1	DOCK DRAIN**	N/A	N/A	5452.95
DI-2	DOCK DRAIN**	N/A	N/A	5452.95
DI-3	SINGLE "C" INLET	5455.50	5451.50	5448.25
DI-4	SINGLE "C" INLET	5455.50	5448.80	5448.50
DI-5	SINGLE "C" INLET	5464.41	5462.35 (E)	5460.41
			5460.51 (S)	
DI-6	SINGLE "C" INLET	5459.28	N/A	5455.23
DI-7	SINGLE "C" INLET	5458.36	N/A	5454.36
DI-8	SINGLE "C" INLET	5460.70	5455.50	5455.40
DI-9	SINGLE "C" INLET	5460.70	5455.10	5455.00

ITEM #	TYPE	INV BLDG.	INV RCP	SIZE	SLOPE
RD-1	ROOF DRAIN	5454.60	5453.30	10" PVC	3.76%
RD-2	ROOF DRAIN	5454.60	5453.00	10" PVC	4.67%
RD-3	ROOF DRAIN	5454.60	5452.84	10" PVC	5.18%
RD-4	ROOF DRAIN	5454.60	5452.42	10" PVC	5.85%
RD-5	ROOF DRAIN	5454.60	5452.16	10" PVC	4.08%
RD-6	ROOF DRAIN	5454.60	5452.00	10" PVC	3.60%
RD-7	ROOF DRAIN	5454.60	5451.50	10" PVC	5.69%



- NOTES**
1. ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
  2. ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
  3. ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
  4. ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.

NO.	DATE	REVISIONS	BY

ENGINEER'S SEAL: **ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET "B"**

ENGINEER: **RONALD R. BOHANNAN P.E. #7868**

DRAWN BY: **JDN**

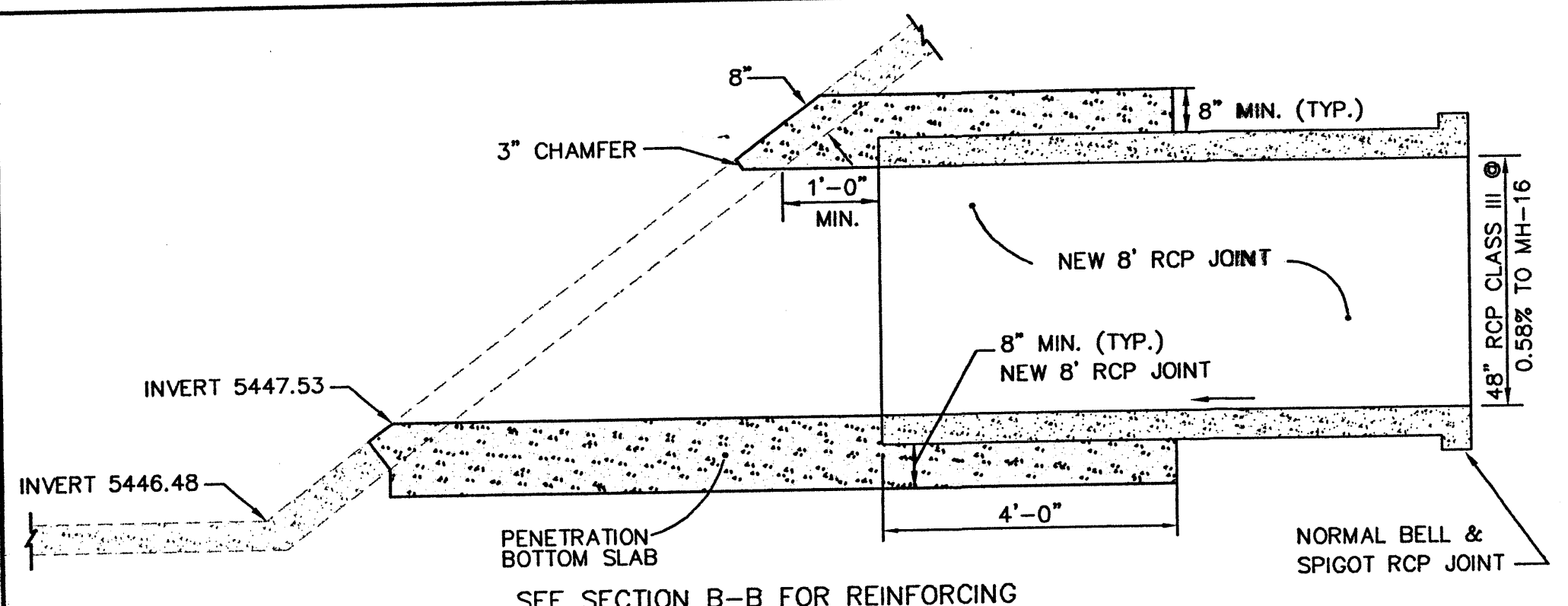
DATE: **06-08-01**

PROJECT: **9929WGR1.DWG**

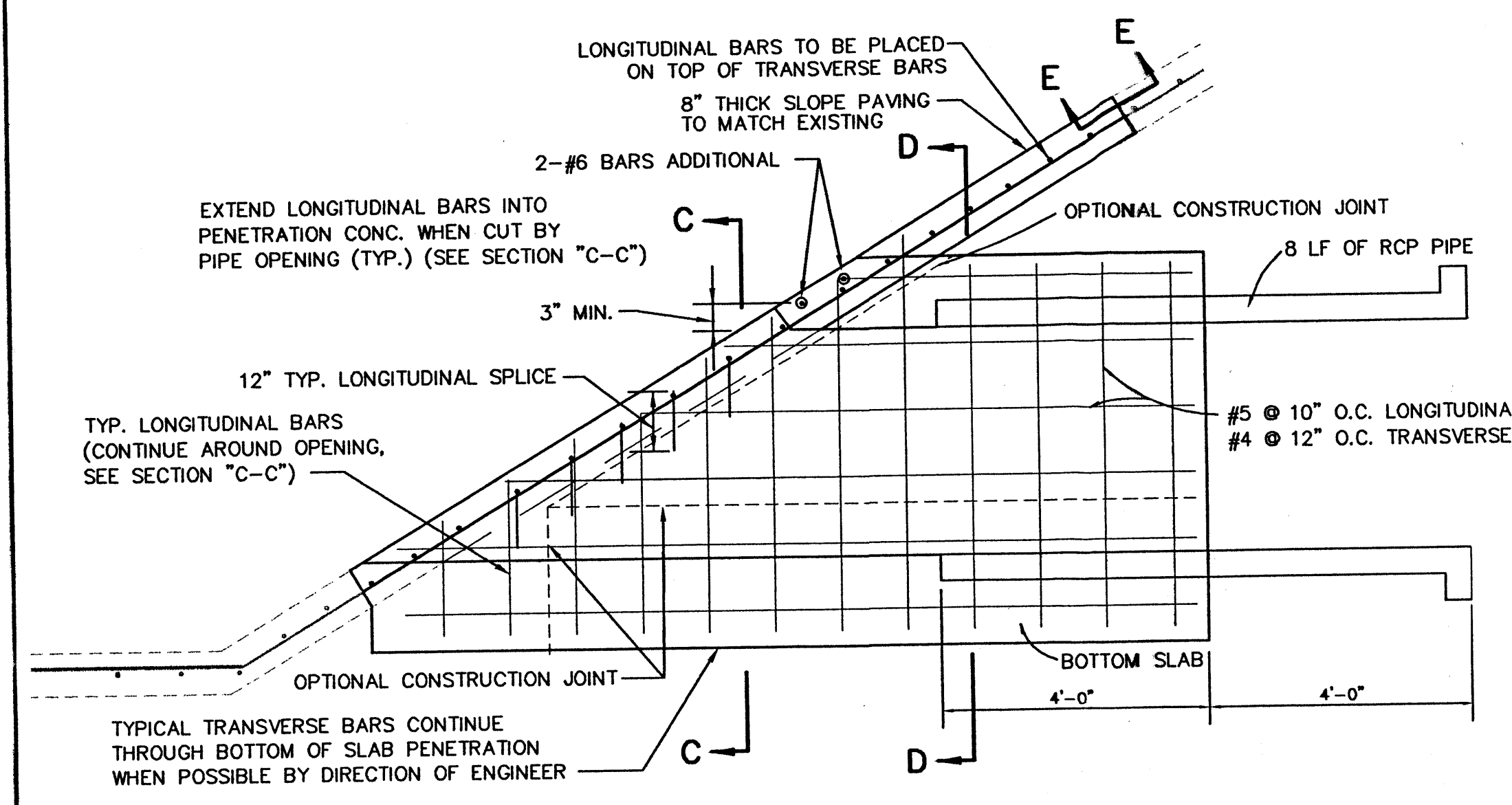
SHEET #: **6**

JOB #: **990029W**

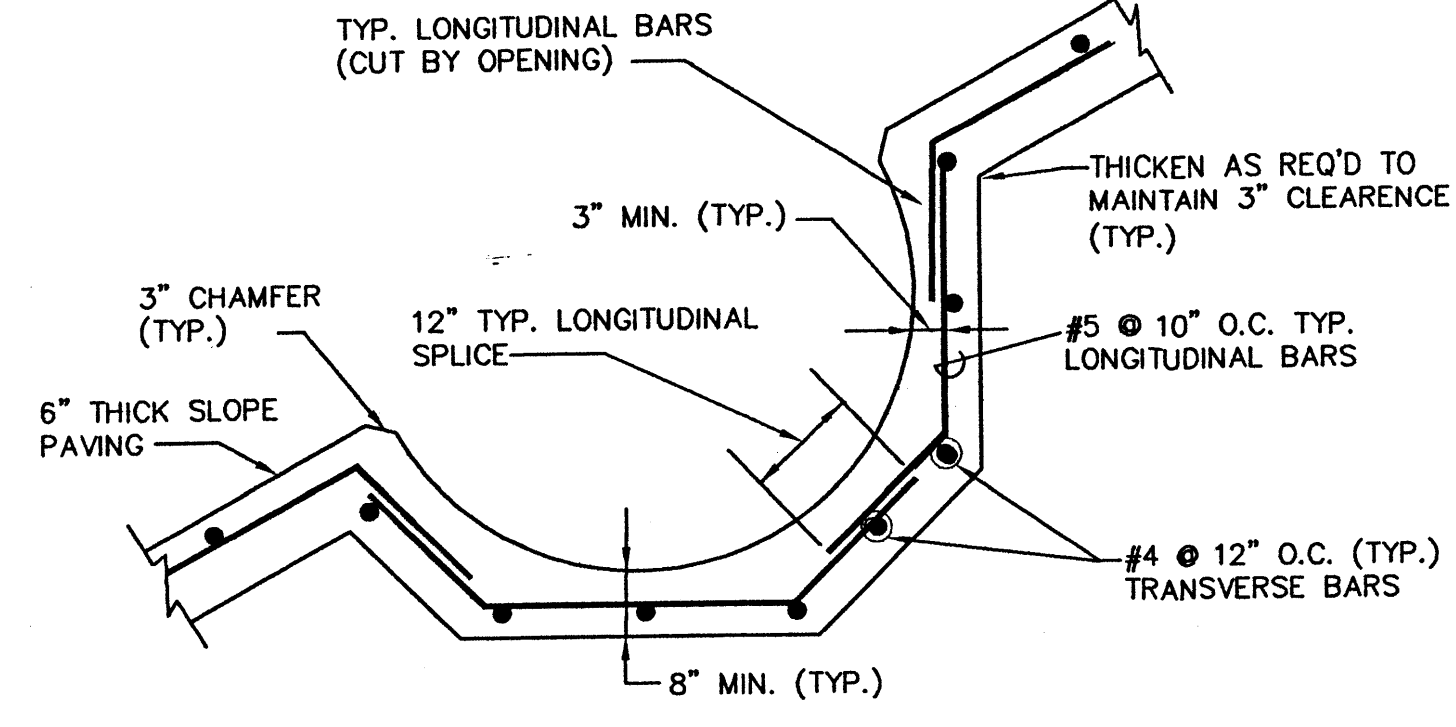
CONTRACTOR: **TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100



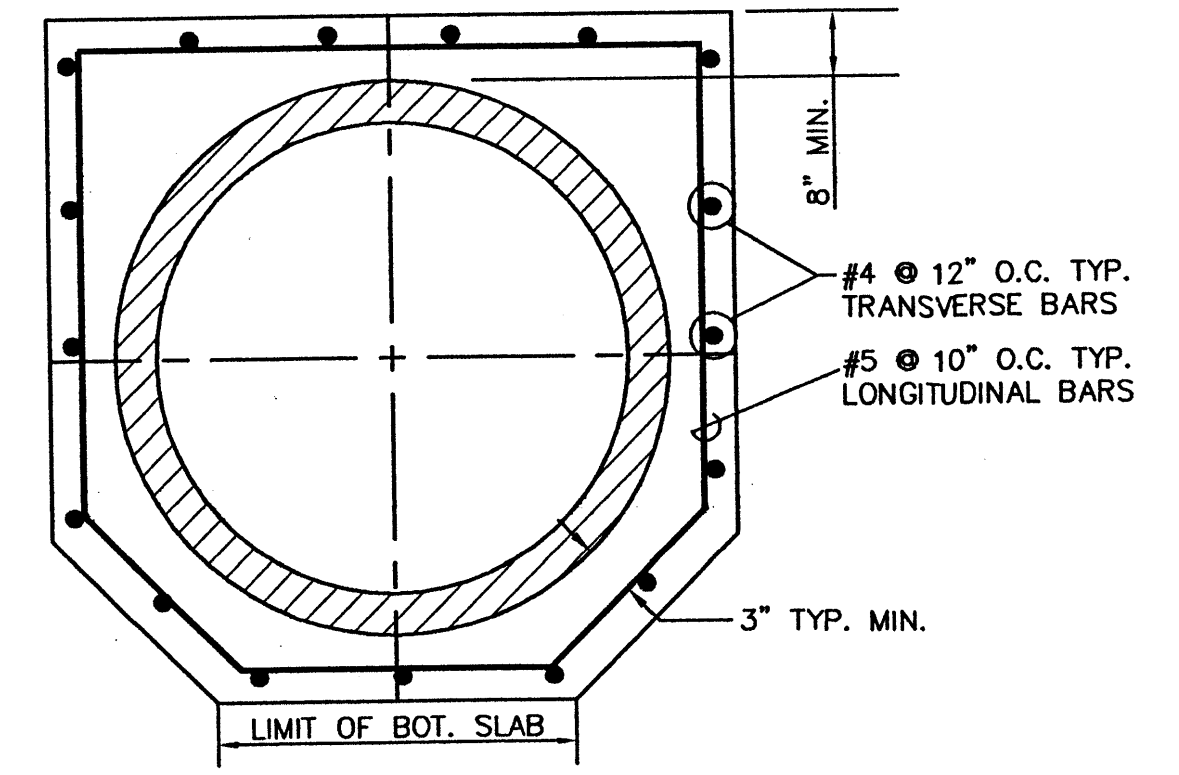
**SECTION A-A**  
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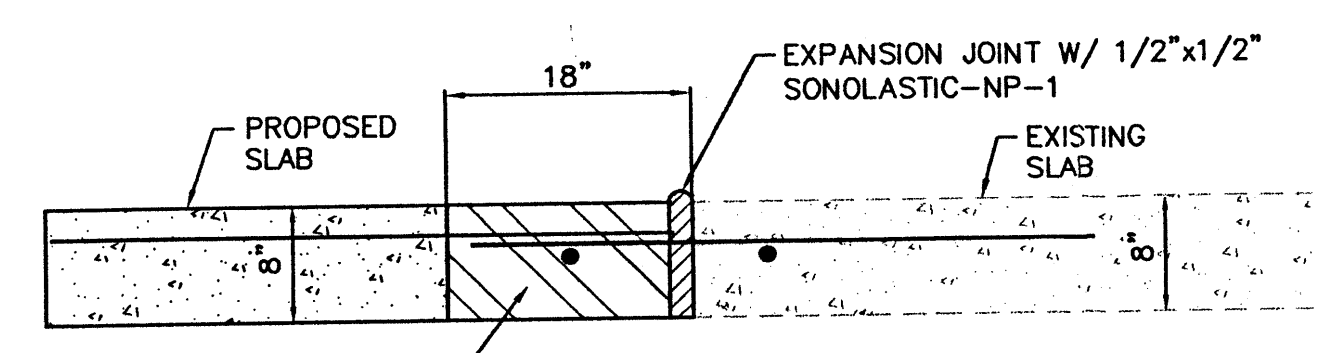
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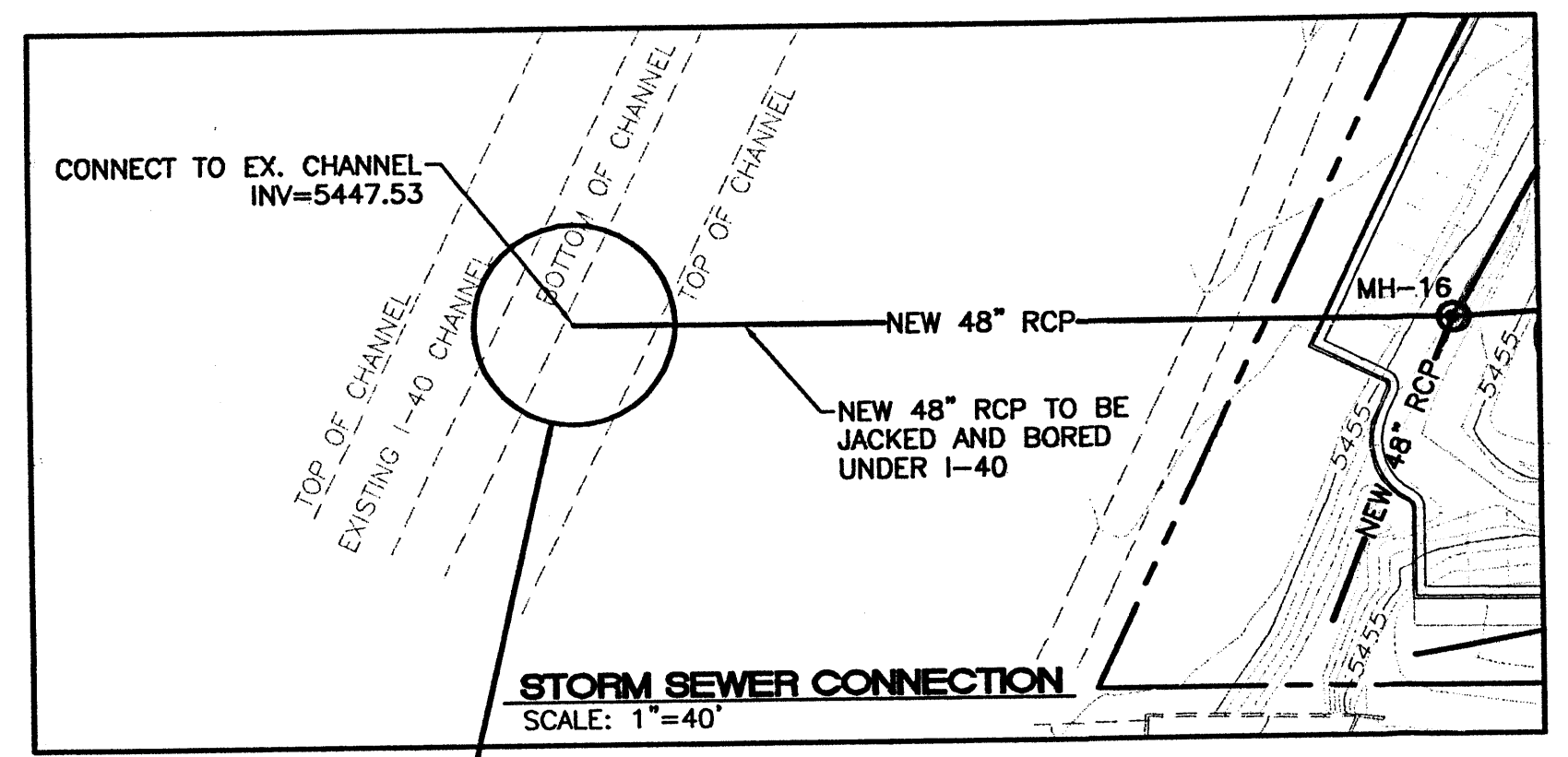
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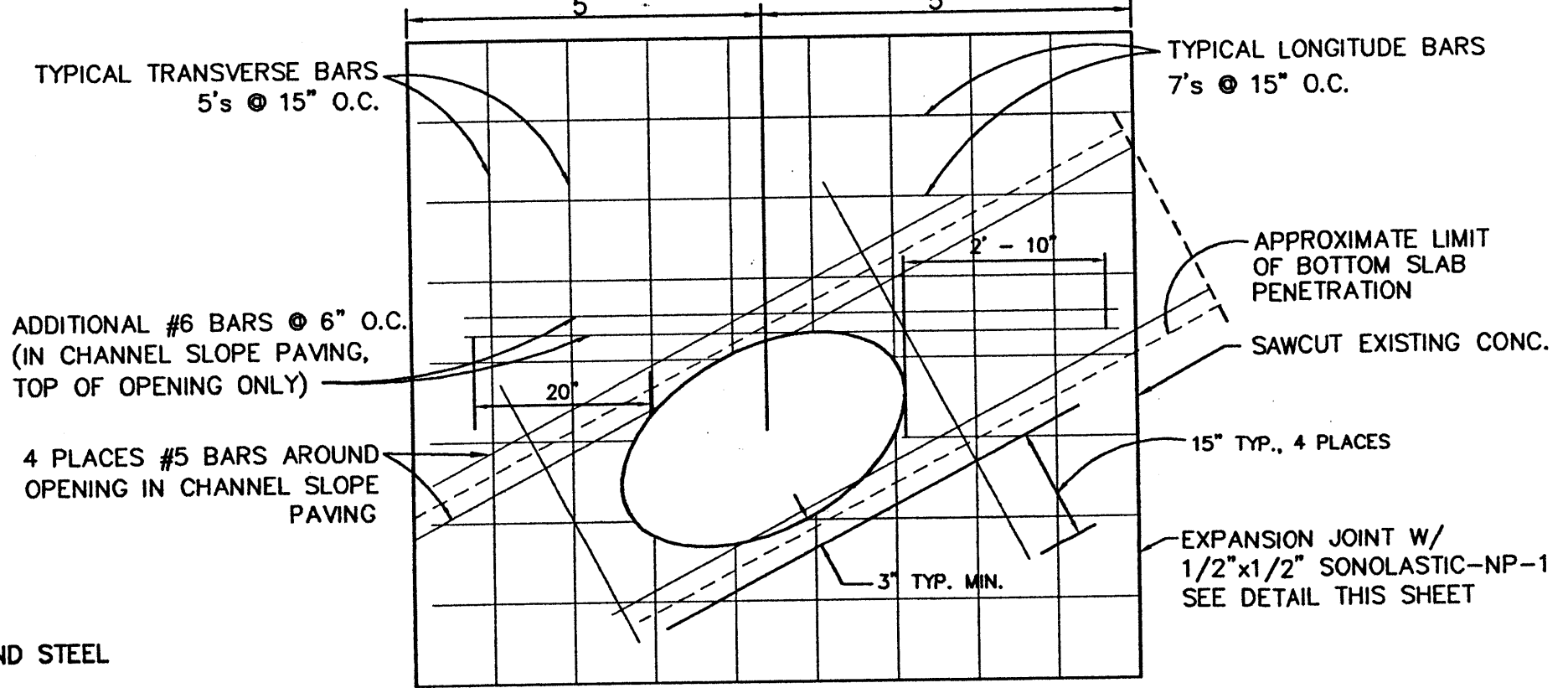
**SECTION D-D**  
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**SECTION E-E**  
NTS



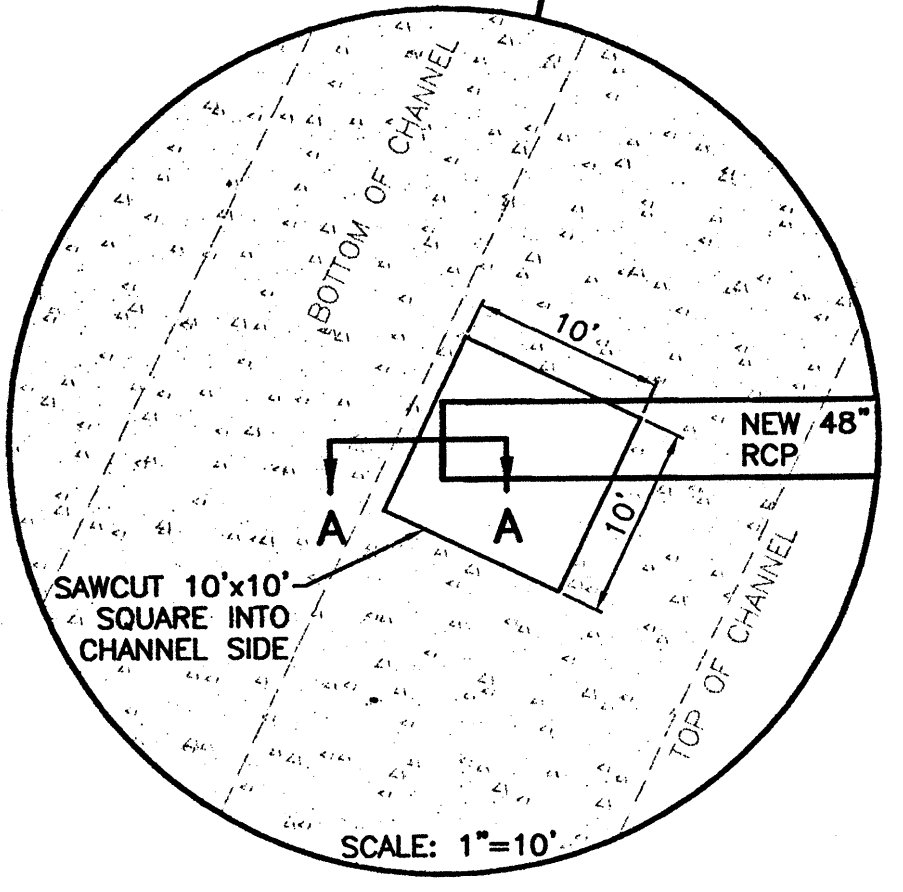
**STORM SEWER CONNECTION**  
SCALE: 1"=40'



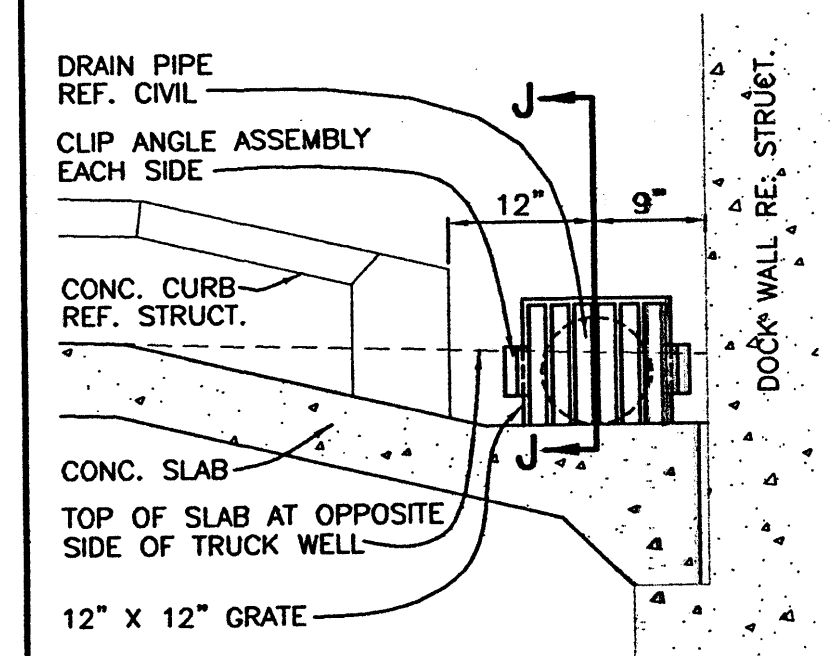
**PLAN VIEW OF 48\"/>**

- NOTES:**
1. CONCRETE TO BE 4,000 PSI AND STEEL TO BE GRADE 60.
  2. ALL SUBGRADE AND BACKFILL PLACED AT 95% MODIFIED PROCTOR MOISTURE AT OPTIMUM TO PLUS 3% OF OPTIMUM.

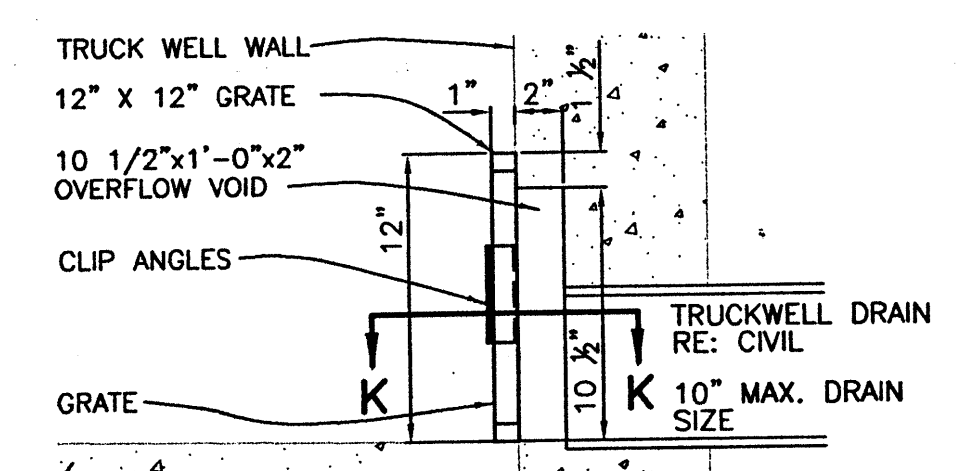
CONCRETE SPECIFICATIONS:  
4000 PSI CONCRETE W/4-6% AIR INTRINMENT  
20% FLYASH BY WEIGHT OF CEMENT



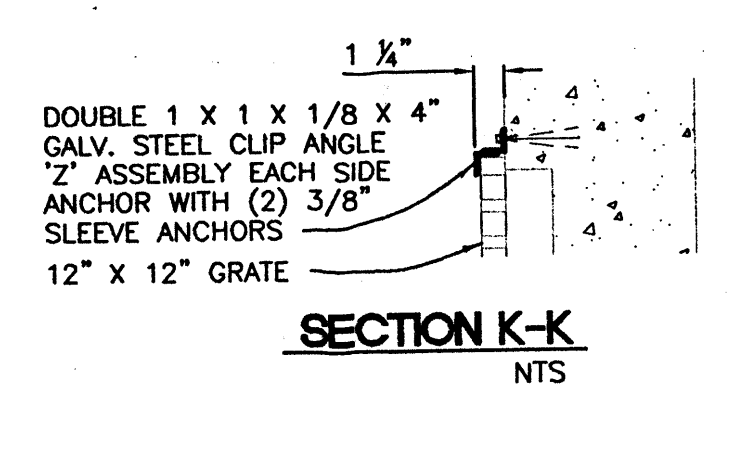
**CHANNEL CONNECTION DETAILS**



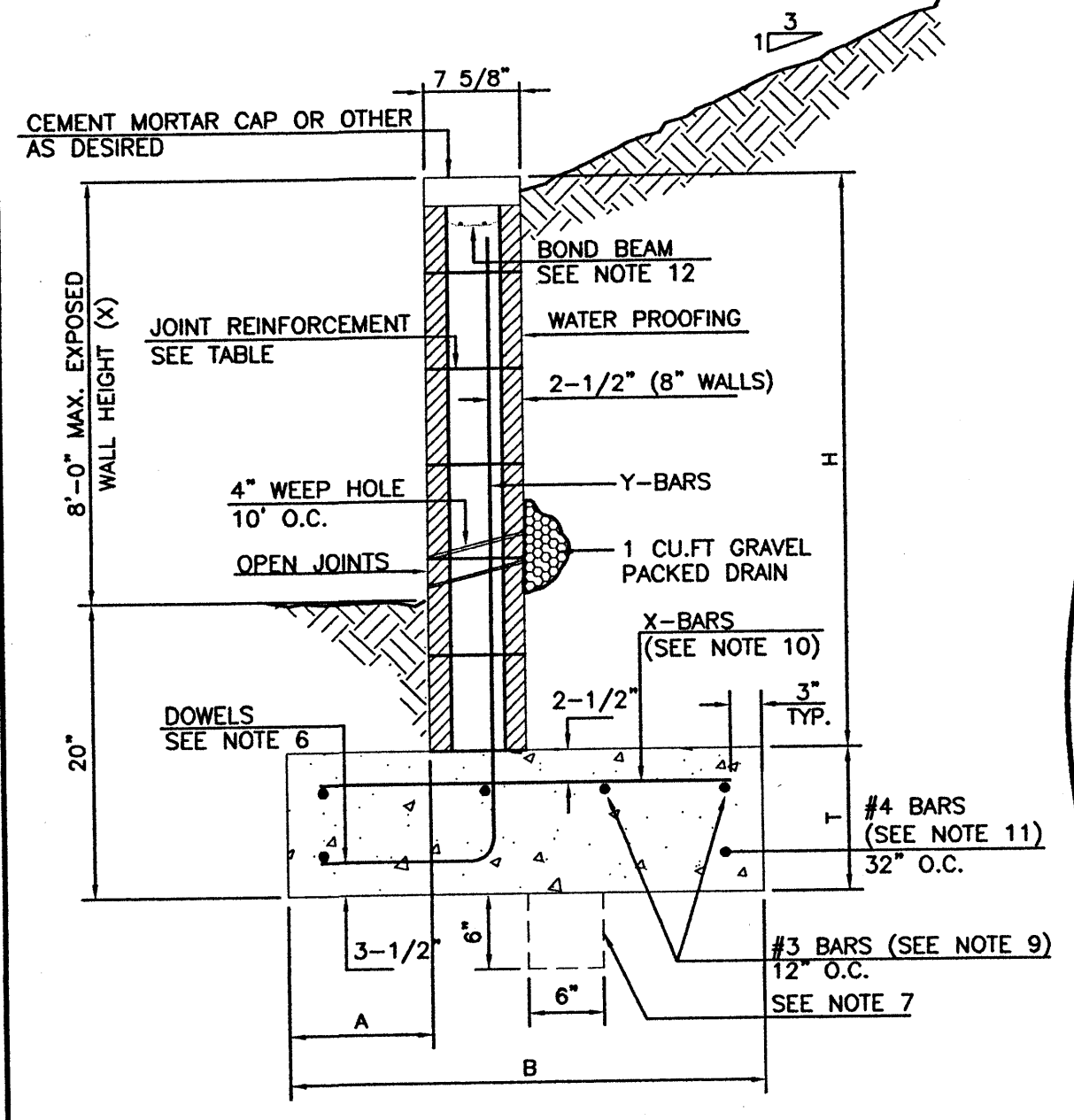
**DRAIN FACE DETAIL**  
NTS



**SECTION J-J**  
NTS



**SECTION K-K**  
NTS

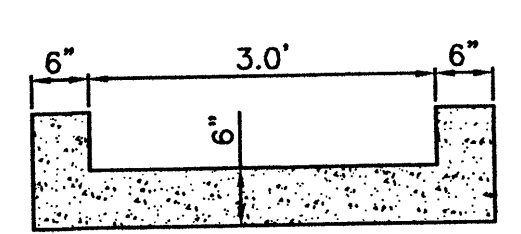


**8 INCH REINFORCED CONCRETE MASONRY WALL**

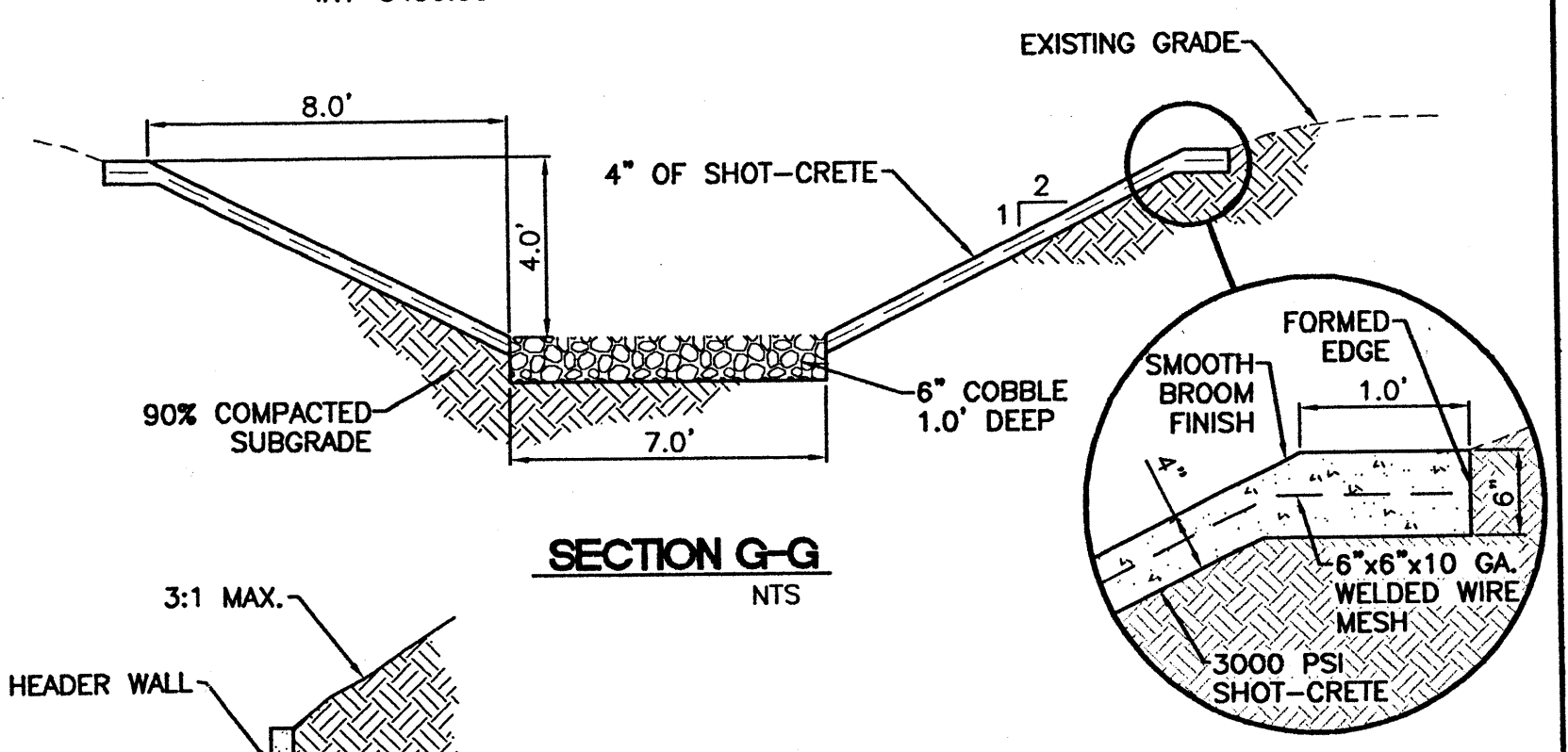
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @ 32" O.C.	#3 @ 27" O.C.
5'-4"	4'-12"	14"	3'-8"	10"	#4 @ 16" O.C.	#4 @ 30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @ 24" O.C.	#4 @ 25" O.C.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
  5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
  7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" HEIGHT.
  8. USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16".
  9. #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
  10. X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
  11. #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4" HEIGHT.
  12. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

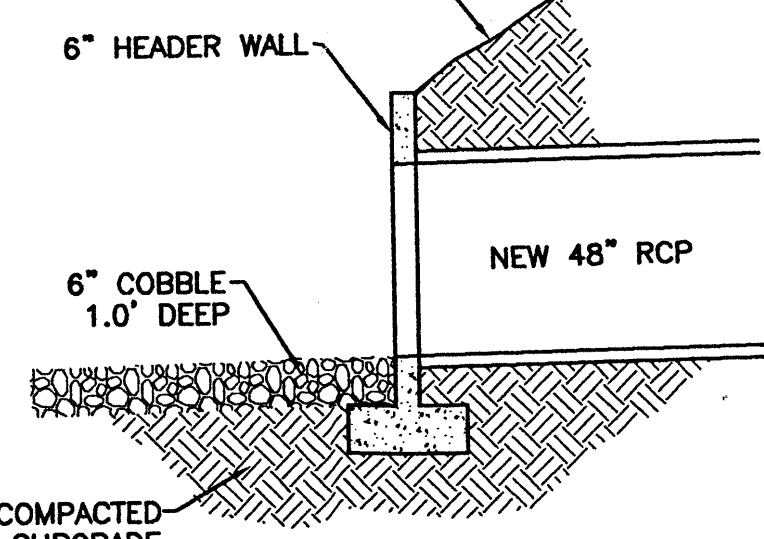
**RETAINING WALL DETAIL**  
NTS



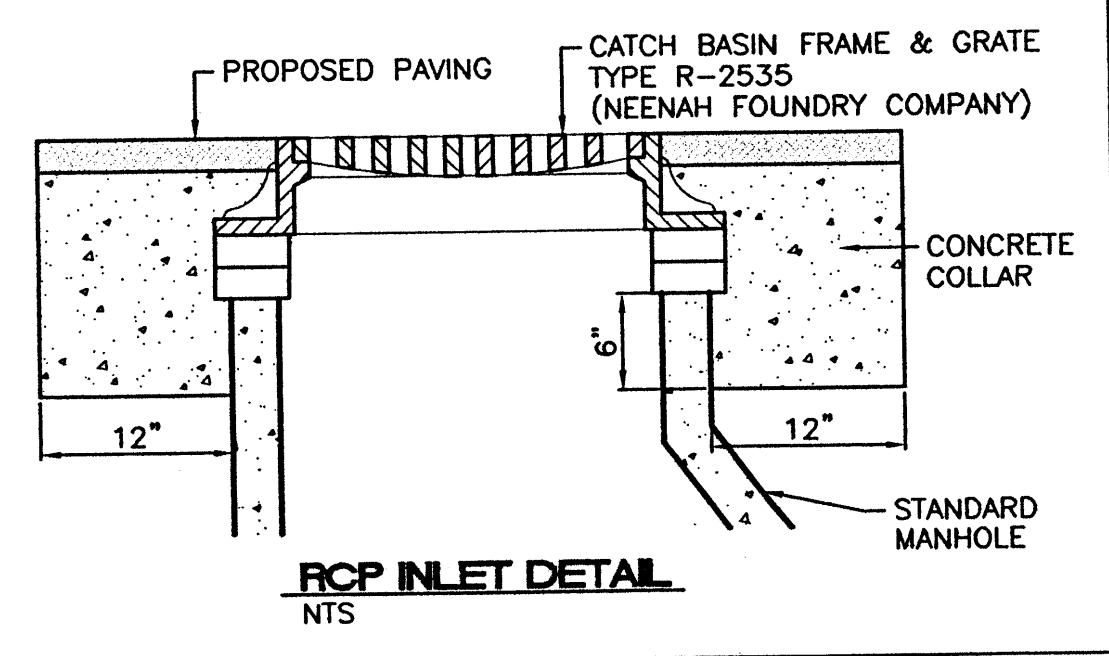
**SECTION F-F**  
NTS



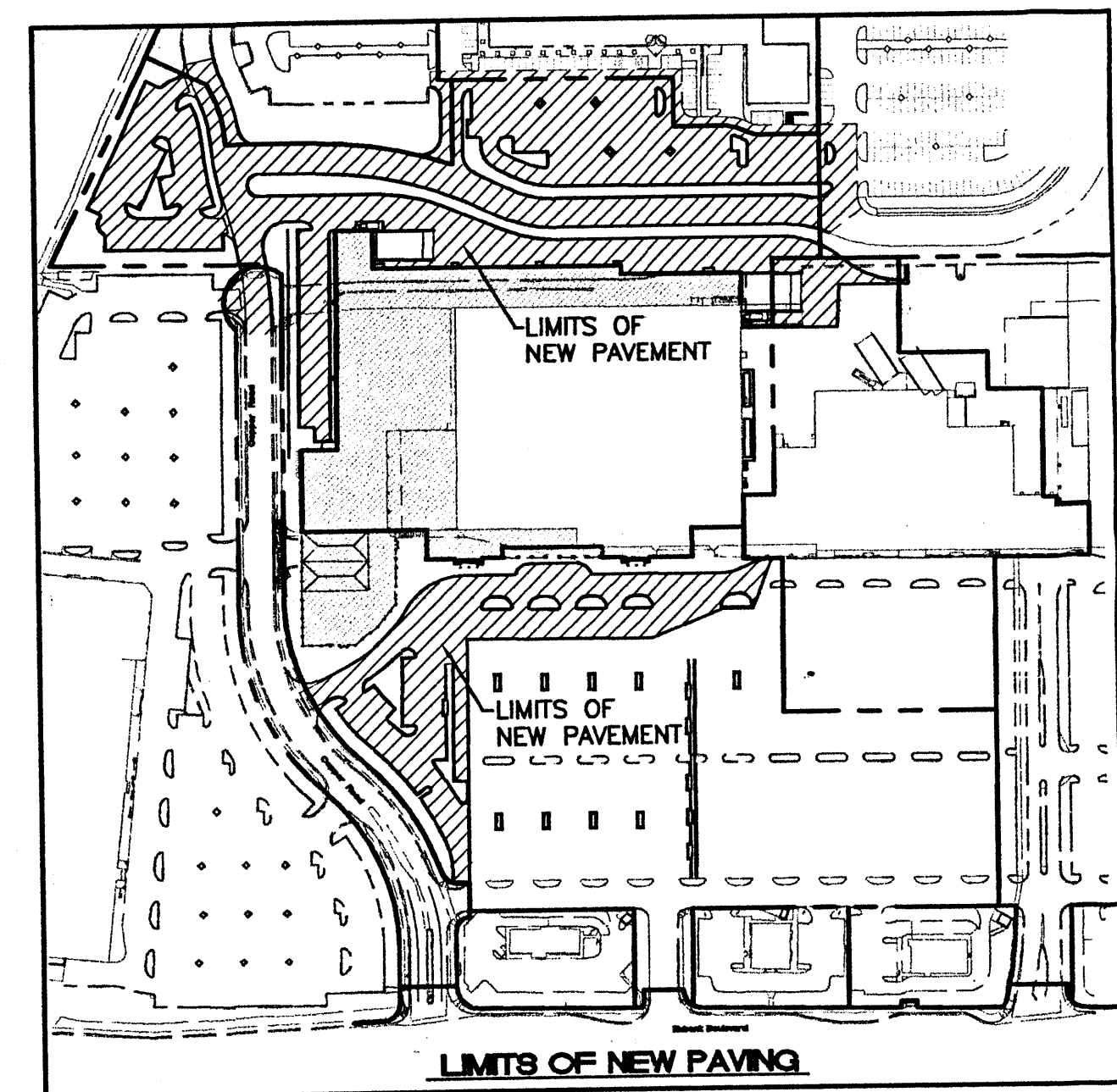
**SECTION G-G**  
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**SECTION H-H**  
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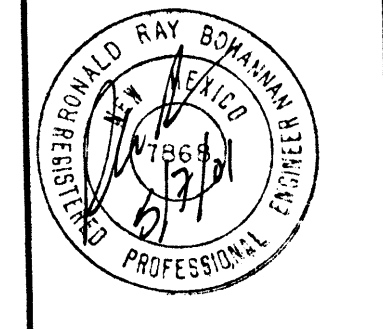


**RCP INLET DETAIL**  
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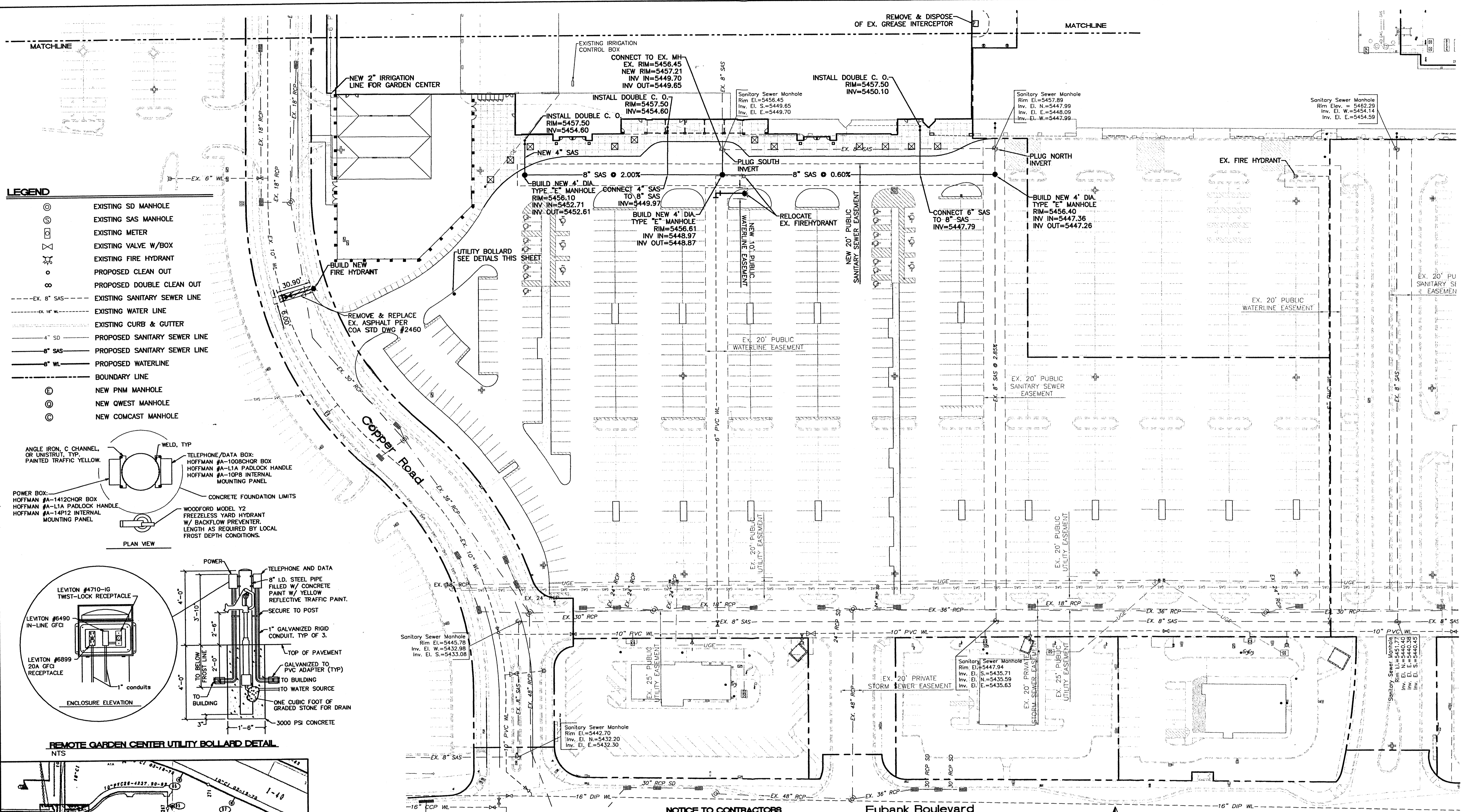
**LIMITS OF NEW PAVING**

NO.	DATE	REMARKS	BY
<b>REVISIONS</b>			
ENGINEER'S SEAL		<b>ALBUQUERQUE WAL-MART EXPANSION: 835-02</b>	DRAWN BY JDN
DATE		04-26-01	
9929WDET.DWG			
SHEET #		7	
JOB #		990029W	

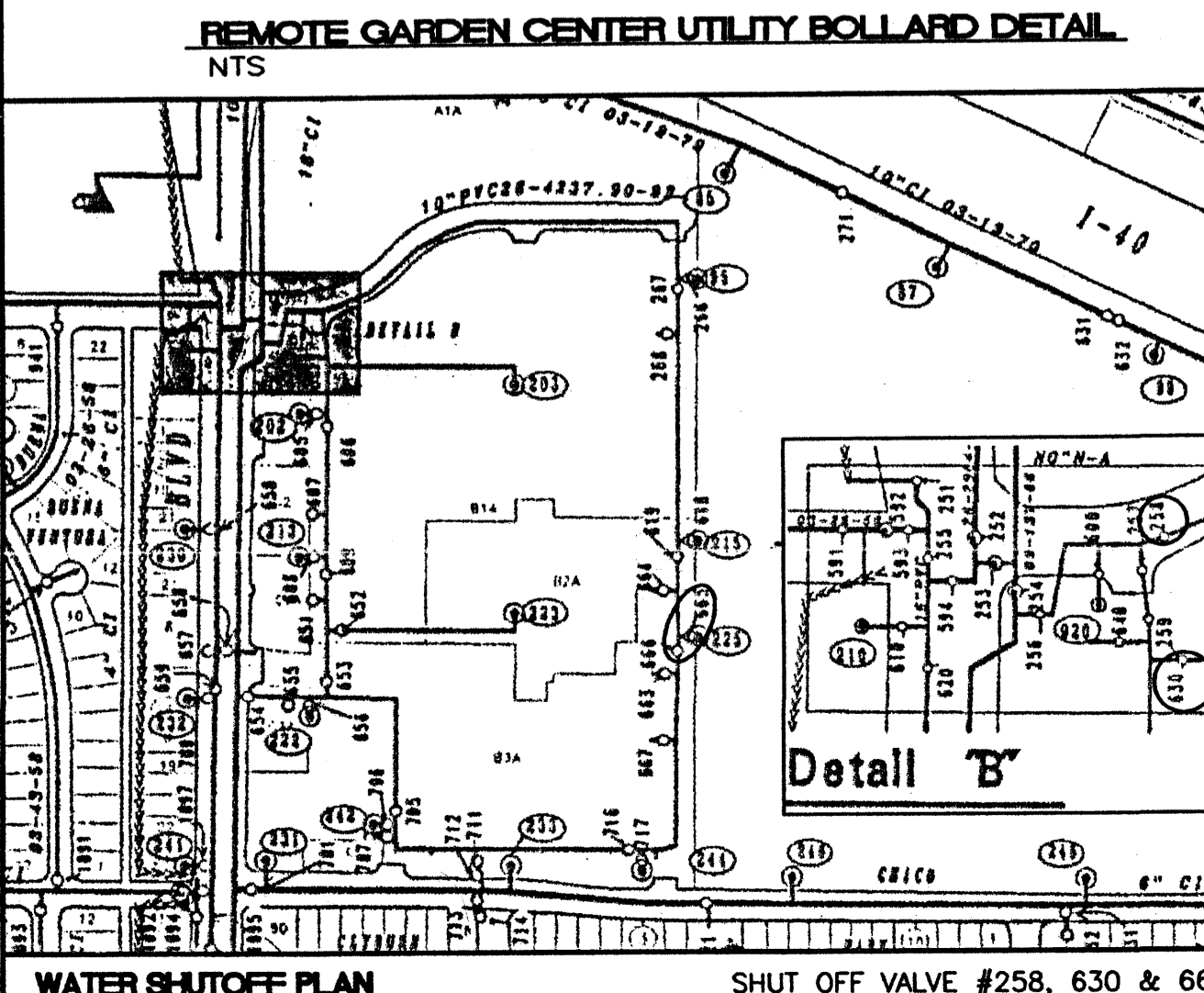
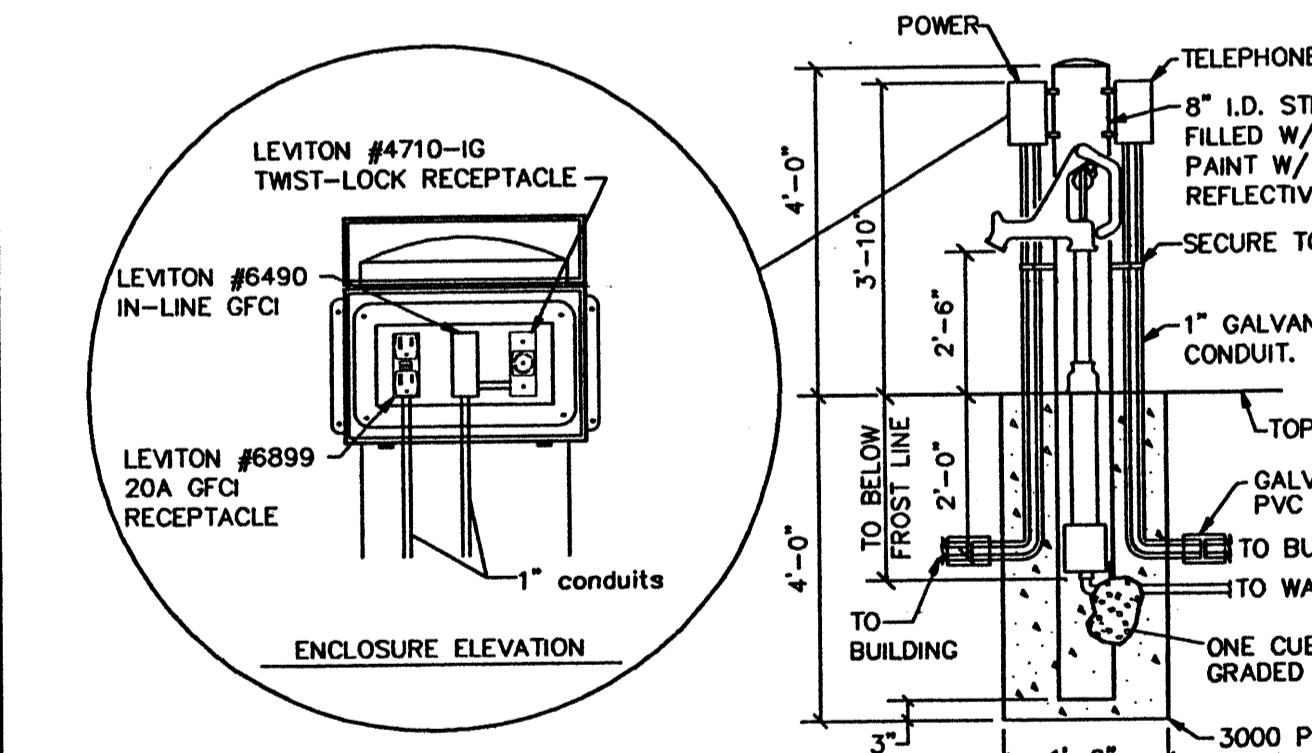
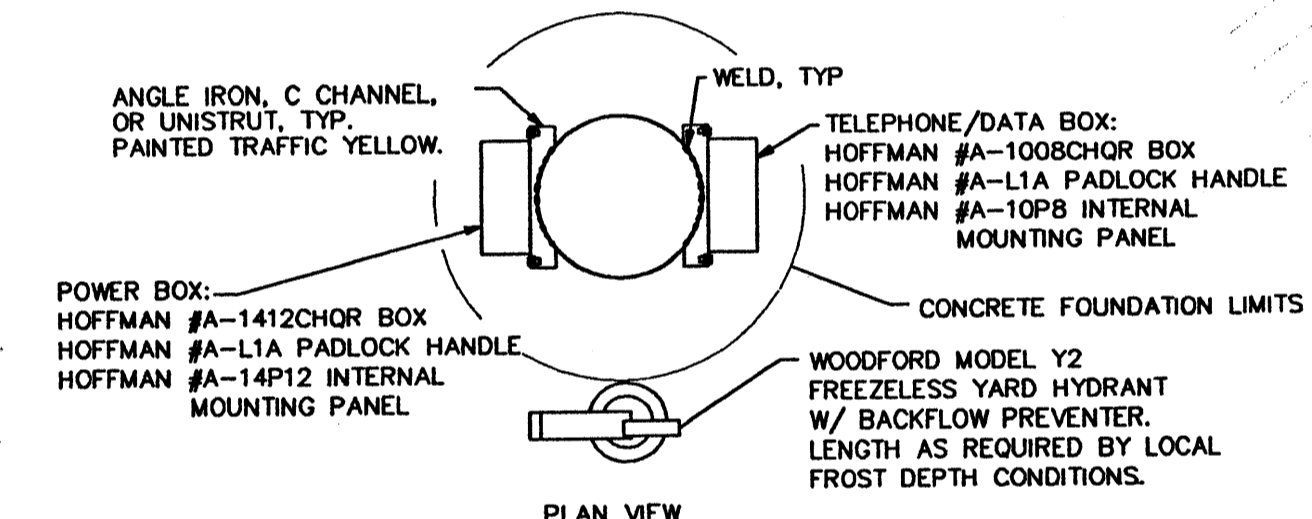


**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100





- LEGEND**
- ⊙ EXISTING SD MANHOLE
  - ⊙ EXISTING SAS MANHOLE
  - ⊙ EXISTING METER
  - ⊙ EXISTING VALVE W/BOX
  - ⊙ EXISTING FIRE HYDRANT
  - ⊙ PROPOSED CLEAN OUT
  - ⊙ PROPOSED DOUBLE CLEAN OUT
  - - - EX. 8" SAS - - - EXISTING SANITARY SEWER LINE
  - - - EX. 16" WL - - - EXISTING WATER LINE
  - - - EX. 4" SD - - - EXISTING CURB & GUTTER
  - - - 4" SD - - - PROPOSED SANITARY SEWER LINE
  - - - 8" SAS - - - PROPOSED SANITARY SEWER LINE
  - - - 8" WL - - - PROPOSED WATERLINE
  - - - - - - - - - BOUNDARY LINE
  - ⊙ NEW PNM MANHOLE
  - ⊙ NEW QWEST MANHOLE
  - ⊙ NEW COMCAST MANHOLE



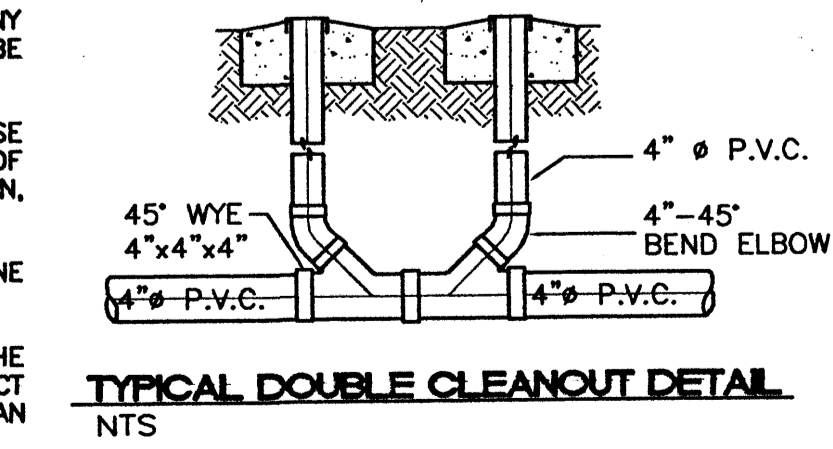
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

- NOTES:**
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  - SHUTOFF THE VALVES INDICATED IN THE PLAN ON THE LEFT.

**NOTICE TO CONTRACTORS**

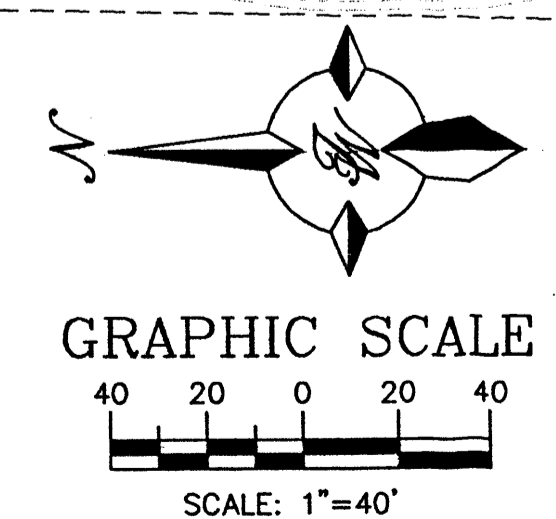
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

**Eubank Boulevard**



**TYPICAL DOUBLE CLEANOUT DETAIL**  
NTS

| NO. | DATE | REMARKS | BY |
|-----|------|---------|----|
|     |      |         |    |
|     |      |         |    |

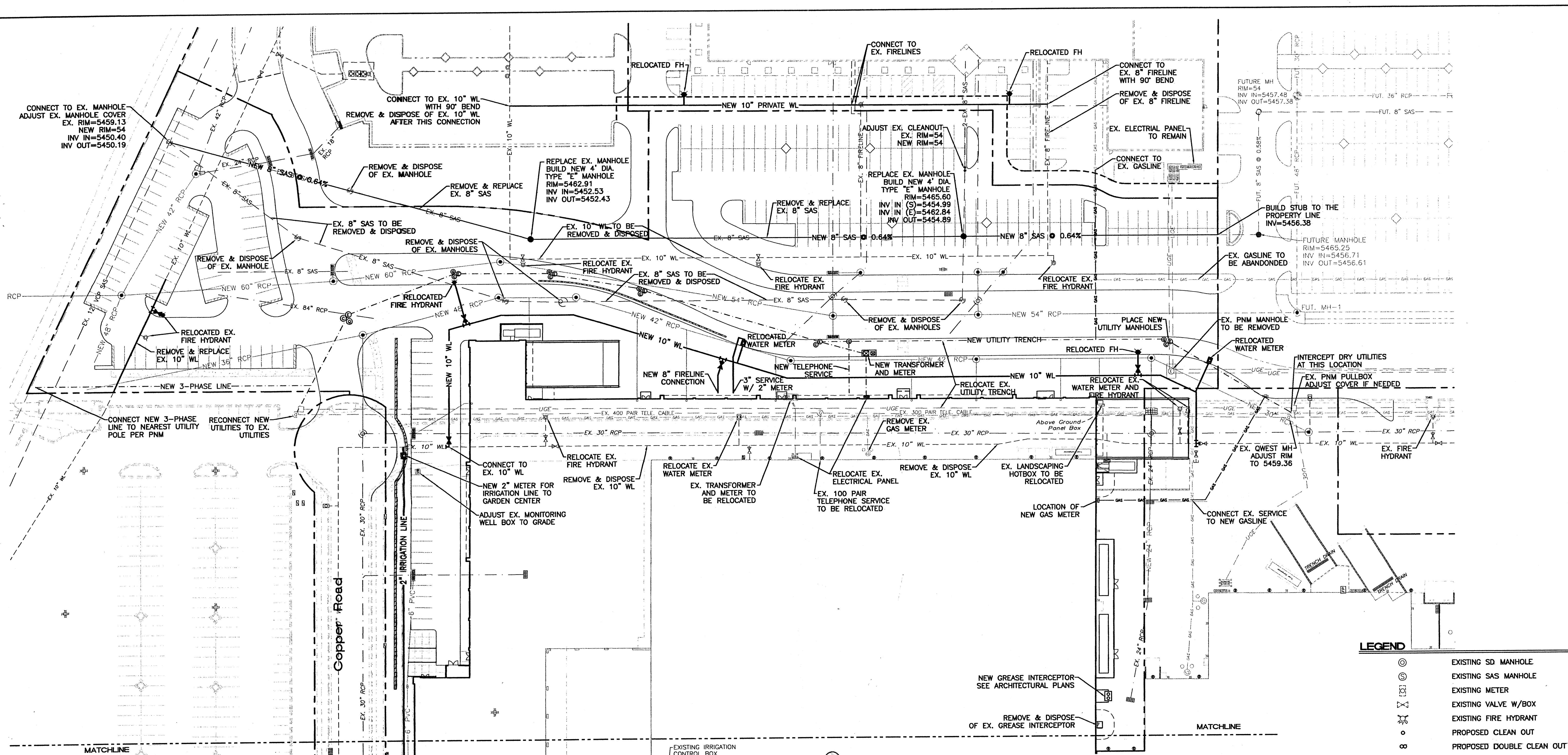


ENGINEER'S SEAL  
RONALD R. BOHANNAN  
P.E. #7868

**ALBUQUERQUE WAL-MART EXPANSION: 835-02**  
**MASTER UTILITY PLAN SHEET 'A'**

TERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

DRAWN BY JDN  
DATE 06-08-01  
9929MMJ.DWG  
SHEET # **8**  
JOB # 990029W

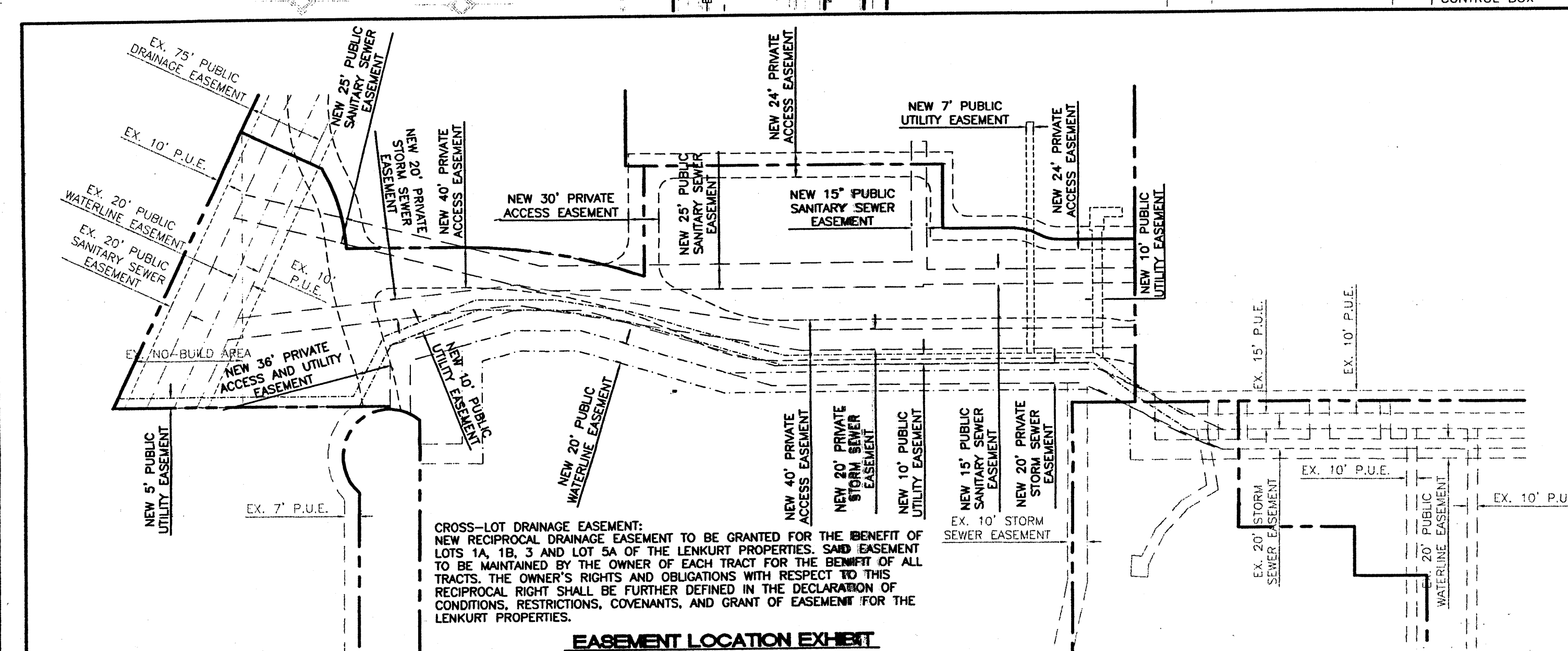
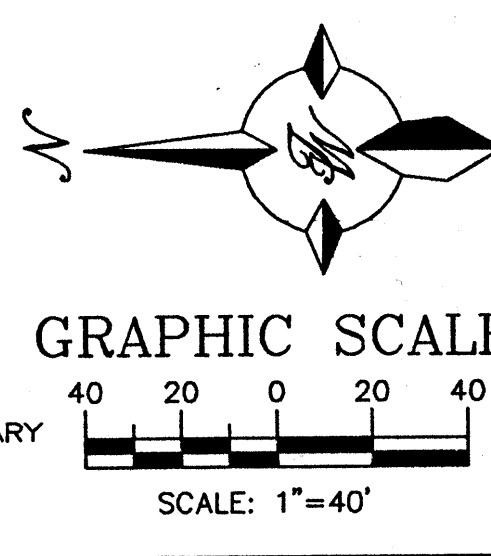
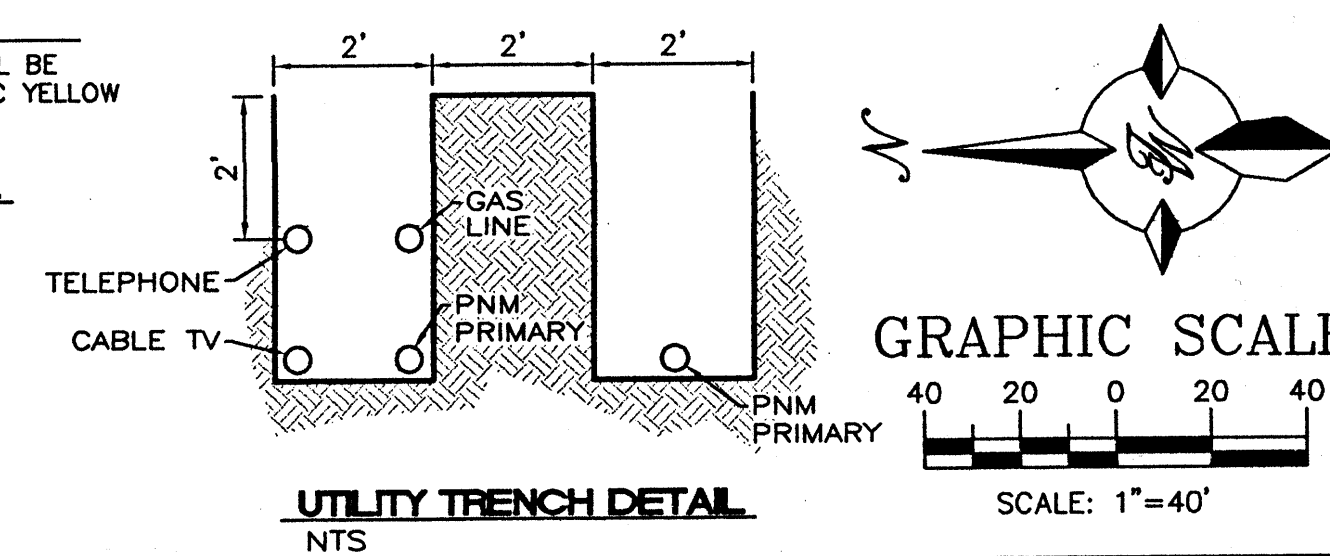
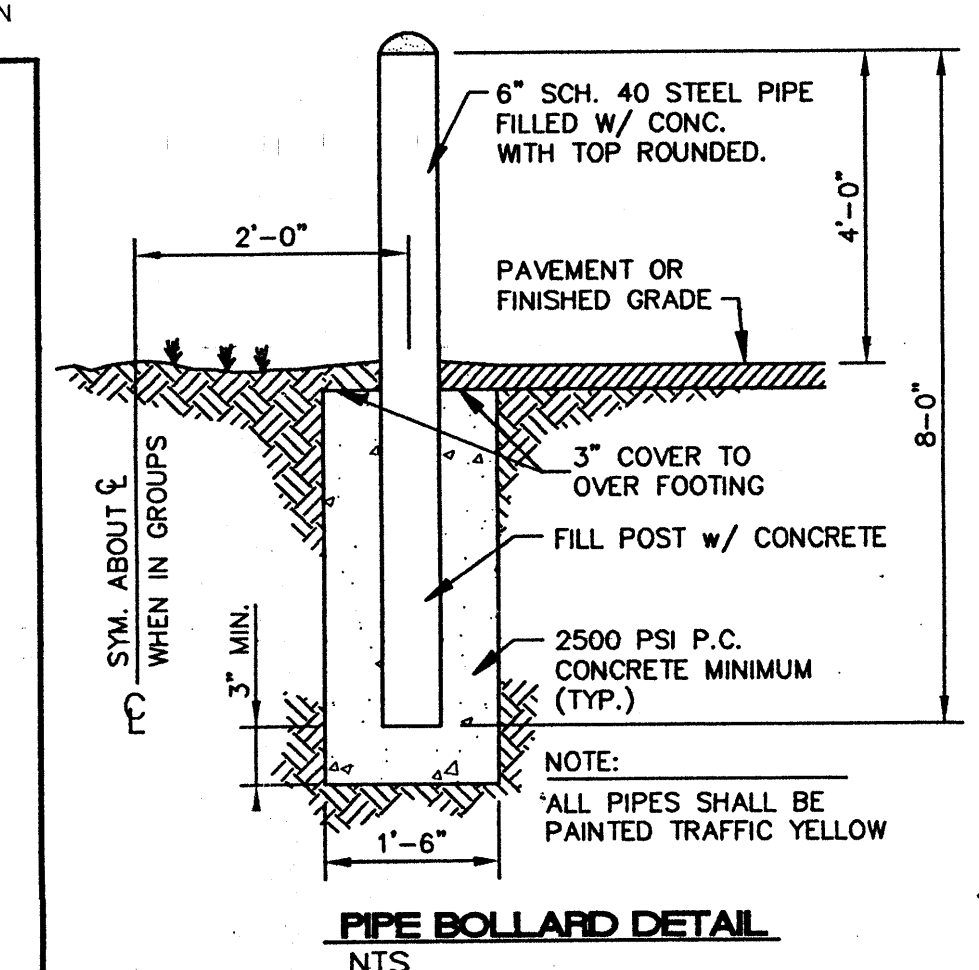


**LEGEND**

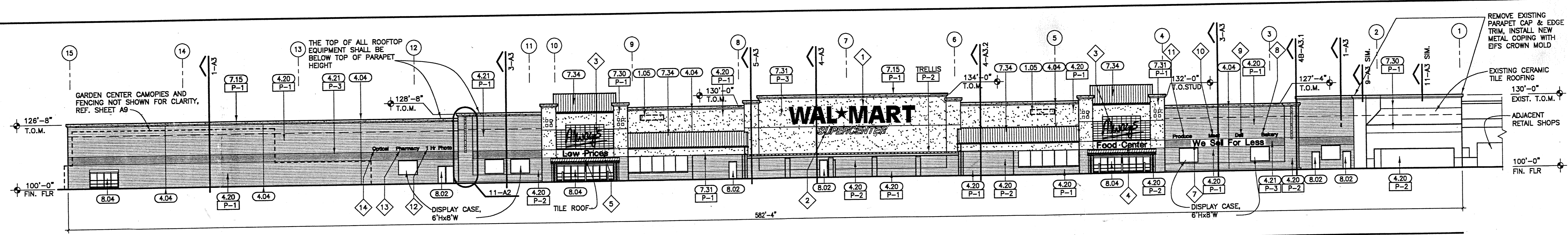
|  |                           |
|--|---------------------------|
|  | EXISTING SD MANHOLE       |
|  | EXISTING SAS MANHOLE      |
|  | EXISTING METER            |
|  | EXISTING WATER W/BOX      |
|  | EXISTING FIRE HYDRANT     |
|  | PROPOSED CLEAN OUT        |
|  | PROPOSED DOUBLE CLEAN OUT |
|  |                           |
|  |                           |
|  | EXISTING CURB & GUTTER    |
|  |                           |
|  |                           |
|  |                           |
|  | BOUNDARY LINE             |

- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  - ALL PIPE MATERIAL TO BE USED PER UPC.

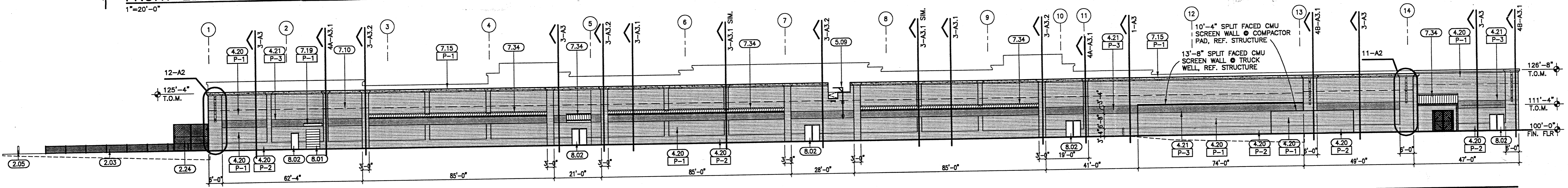
**CAUTION:**  
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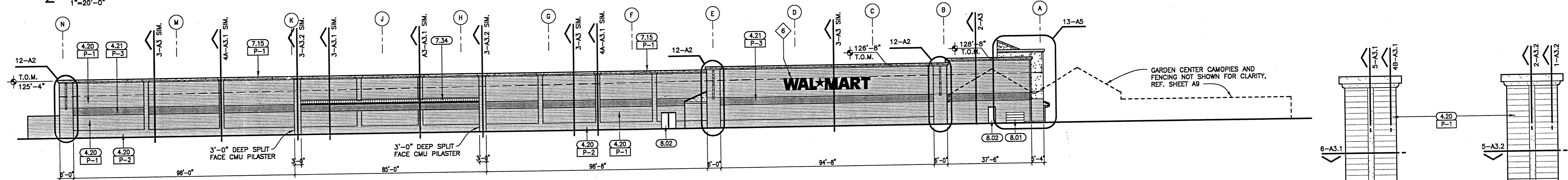
| NO.  | DATE | REMARKS   | BY                  |
|--|------|---|---------------------|
| REVISIONS  |      |   |                     |
| ENGINEER'S SEAL  |      | <b>ALBUQUERQUE<br/>WAL-MART<br/>EXPANSION: 835-02<br/>MASTER UTILITY PLAN<br/>SHEET 'B'</b> | DRAWN<br>BY JDN     |
|  |      |   | DATE<br>06-08-01    |
| <b>TIERRA WEST, LLC</b><br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 |      | 9929MMU.DWG   | SHEET #<br><b>9</b> |
| RONALD R. BOHANNAN<br>P.E. #7868   |      |   | JOB #<br>990029W    |



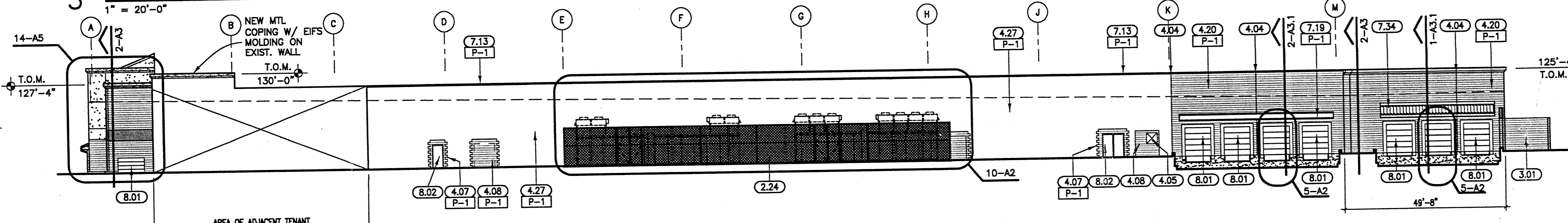
1 FRONT ELEVATION  
1" = 20'-0"



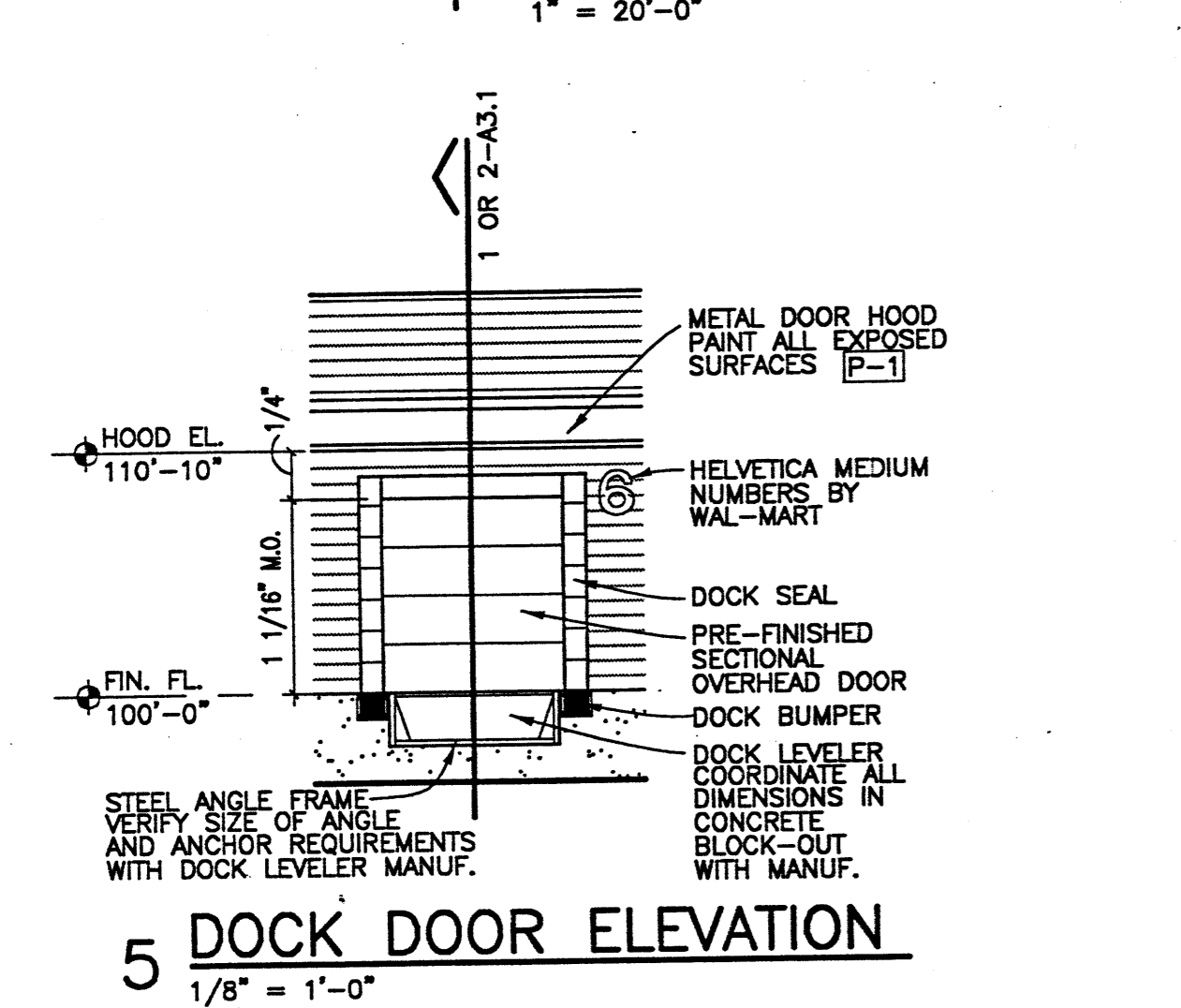
2 REAR ELEVATION  
1" = 20'-0"



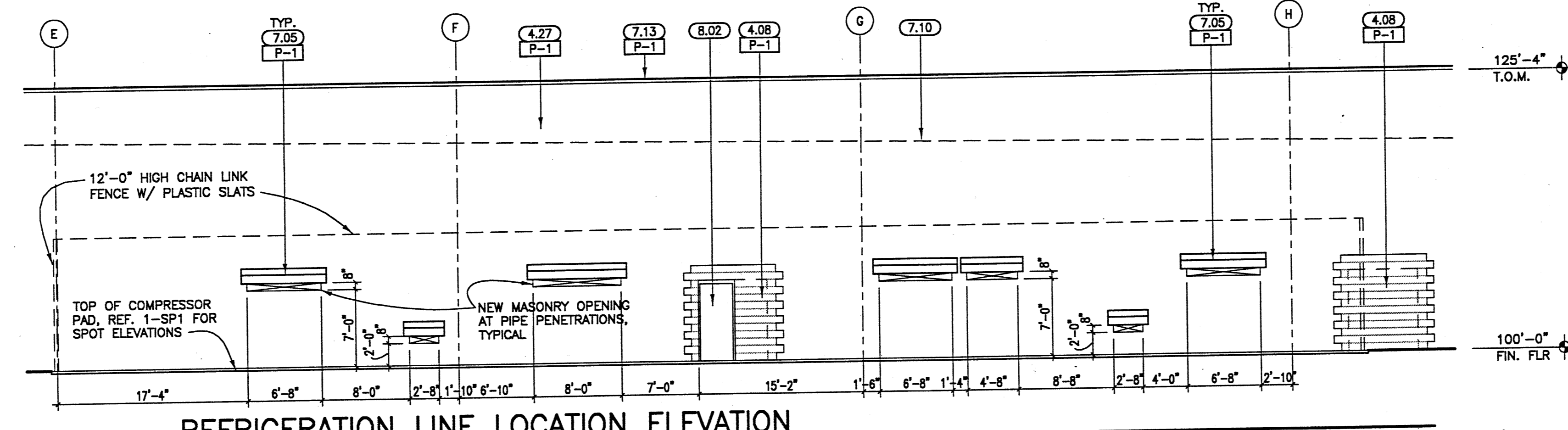
3 LEFT SIDE ELEVATION  
1" = 20'-0"



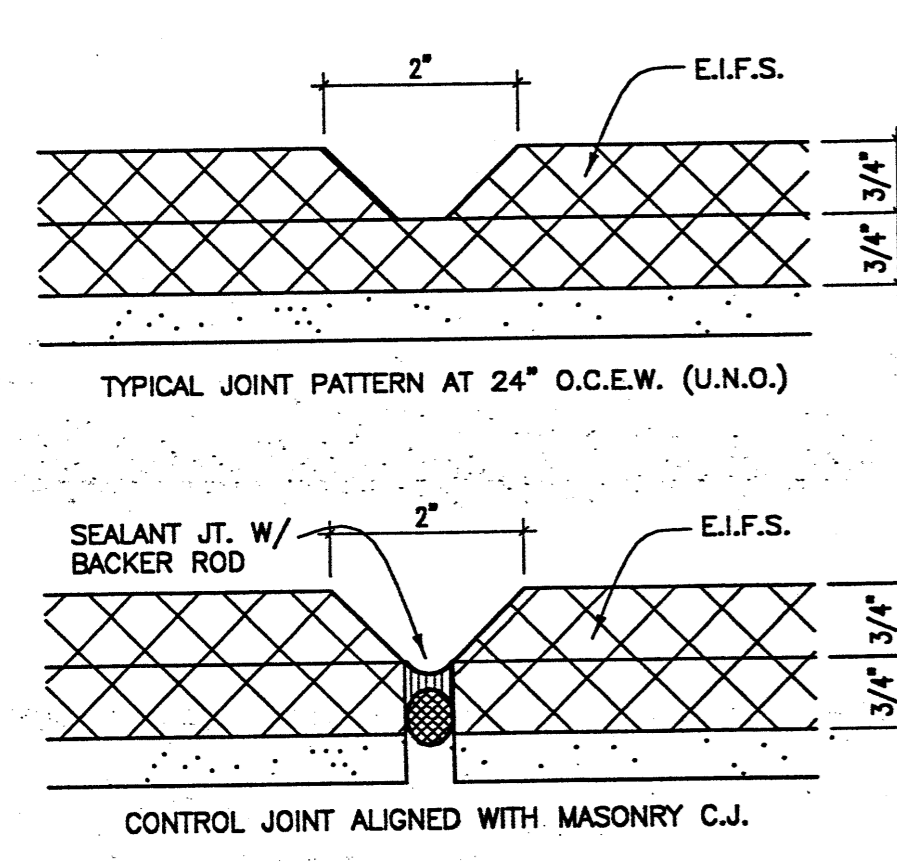
4 RIGHT SIDE ELEVATION  
1" = 20'-0"



5 DOCK DOOR ELEVATION  
1/8" = 1'-0"

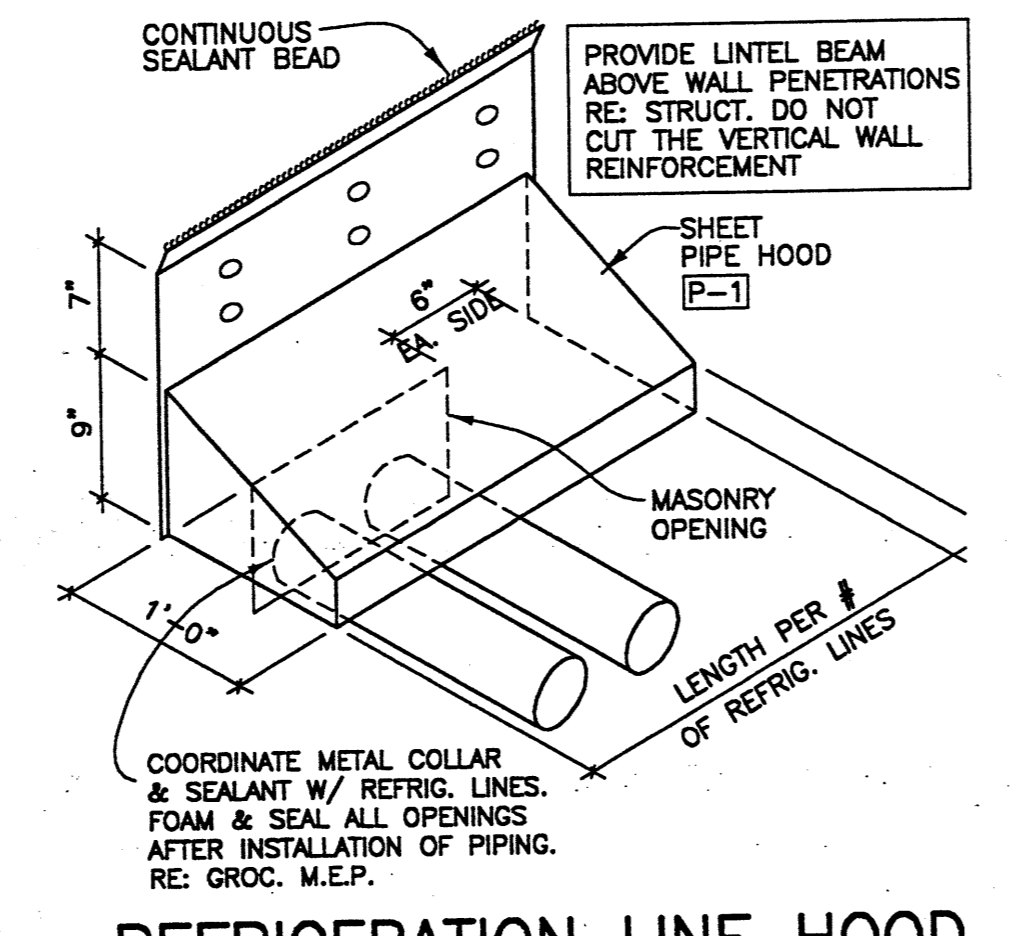


10 REFRIGERATION LINE LOCATION ELEVATION  
1/8" = 1'-0"

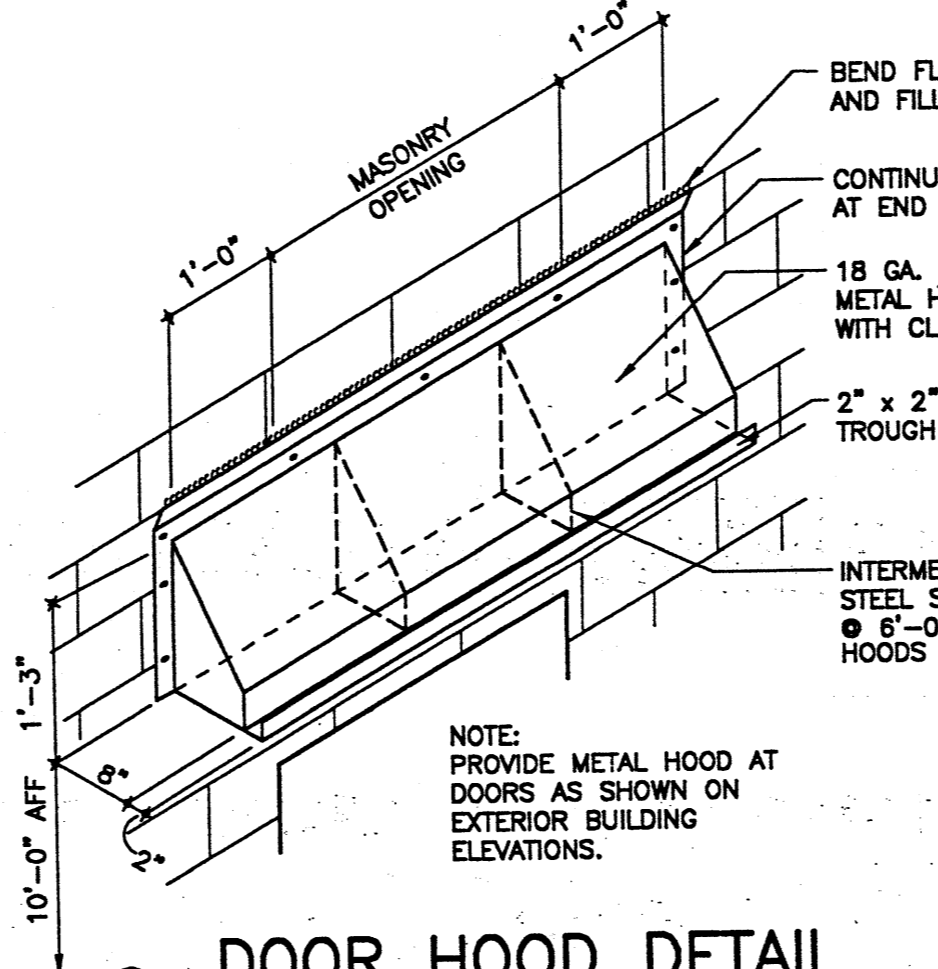


6 E.I.F.S. JOINT DETAILS  
HALF SIZE

7 NOT USED



8 REFRIGERATION LINE HOOD  
N.T.S.



9 DOOR HOOD DETAIL  
N.T.S.

| KEYNOTES   |   | COLOR SCHEDULE   |
|--|---|--|
| 1.01 SIGNAGE FURNISHED AND INSTALLED BY WAL-MART (TYPICAL).  | 4.08 INFILL EXISTING OPENING WITH NEW CMU, MATCH ADJACENT CMU SIZE, TYPE AND FINISH.  | P-1 MATCH DRYTIP COLOR #12 (SANDLEWOOD BEIGE)  |
| 1.02 EXISTING SIGNAGE TO BE REMOVED BY WAL-MART, CONTRACTOR TO REMOVE ALL REMAINING FASTENING DEVICES AND PATCH WALL TO MATCH ADJACENT WALL. | 4.20 8" SPLIT FACE CMU, PAINT.  | P-2 MATCH SW #1027 (BROWN)   |
| 1.03 EXISTING SIGNAGE TO BE REPLACED WITH NEW BY WAL-MART (EXISTING NOT SHOWN).  | 4.21 8" SMOOTH FACE CMU, PAINT.   | P-3 MATCH SW #1504 (BLUE)  |
| 1.05 ILLUMINATED TENANT SIGN TO BE PLACED AS INDICATED. TENANT SHALL BE RESPONSIBLE FOR ALL INSTALLATIONS, PERMIT COSTS AND SIGN COSTS.      | 4.27 EXISTING CMU, PAINT.   | RE. SPECIFICATIONS FOR ADDITIONAL INFORMATION.   |
| 2.03 42" HIGH CHAIN LINK FENCE WITH POSTS AT MAX. 9'-0" O.C.   | 4.30 PARAPET AT FRONT WALL BEYOND.  | GENERAL NOTES  |
| 2.04 11'-0" HIGH CHAIN LINK FENCE WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY, SLAT COLOR TO MATCH ADJ. BUILDING COLOR.                | 5.09 ROOF ACCESS WITH PARAPET DOOR AND JIB CRANE, REF. 1 & 2 A3.3 JIB CRANE HOIST ASSEMBLY FURNISHED BY WAL-MART & INSTALLED BY CONTRACTOR. | 1. ALL SIGNAGE BY WAL-MART.  |
| 2.05 BOLLARD, REF. 1-SP2.  | 7.05 SHEET STEEL REFRIGERATION LINE HOOD, PAINT. RE: 8-A2.  | 2. ALL NEW EXTERIOR MASONRY WALLS SHALL BE PAINTED WITH MASONRY WATERPROOF SYSTEM (RE. SPECS.). PAINT COLOR BANDS ON MASONRY (RE. SPECS.). PAINT COLOR BANDS ON E.I.F.S. (RE. SPECS.). PAINT EXISTING WALLS WHERE NOTED. |
| 2.06 BOLLARD, REF. 2-SP2, (FOR REQUIRED PLACEMENT).  | 7.10 ROOF LINE BEYOND PARAPET.  | 3. PAINT EXISTING EXTERIOR H.M. DOORS, FRAMES, METAL DOOR HOODS, RAILINGS, PIPE COLUMNS, AND EDGE TRIM, MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE.  |
| 2.24 12'-0" HIGH CHAIN LINK FENCE WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY, SLAT COLOR TO MATCH ADJ. BUILDING COLOR.                | 7.13 EXISTING METAL EDGE TRIM, PAINT.   | 4. MASONRY CONTROL JOINTS "C.J." MAX. 40'-0" O.C. RE: SHEET A8 FOR ADDITIONAL C.J. CONDITIONS.   |
| 3.01 CONCRETE RETAINING WALL, CURB AND GUARD RAIL AT TRUCK WELL, REF. 26-SP2.  | 7.14 METAL EDGE TRIM, PAINT.  | 5. NEW OPENINGS AT EXISTING CMU WALLS, TOOTH-IN NEW CMU TO MATCH EXISTING. PAINT TO MATCH ADJACENT BUILDING COLOR.   |
| 3.04 FOUNDATION, REF. STRUCTURAL.  | 7.15 METAL COPING WITH EIFS CROWN MOLD, PAINT.  | 6. PAINT ALL NEW AND EXISTING E.I.F.S.   |
| 3.05 8" x 8" CONCRETE CURB, REF. 19-SP2.   | 7.19 METAL DOOR HOOD, REF. 9-A2, PAINT.   | 7. INSTALL SEALANT AT EXTERIOR WALL EXPANSION & CONTROL JOINTS, & APPLY EXT. WALL SPECIAL COATINGS (RE. SPECS.) PRIOR TO INSTALLATION OF GUTTERS & DOWNSPOUTS.   |
| 4.03 EXPANSION JOINT (E.J.).   | 7.21 SHEETMETAL HOOD, REF. 1&2-A3.1.  | 8. CONTRACTOR TO RETAIN SAMPLES OF ALL EXISTING EXTERIOR COLORS AND FINISHES AT START OF CONSTRUCTION. VERIFY THAT NEW COLORS AND FINISHES MATCH EXISTING.   |
| 4.04 MASONRY CONTROL JOINT (C.J.), TYPICAL (RE. NOTE 5).   | 7.30 EXISTING EXTERIOR INSULATION FINISH SYSTEM (EIFS).   |  |
| 4.05 40" x 40" MAS. OPENING AT TRASH COMPACTOR, BOTTOM OF OPENING AT 48" A.F.F.  | 7.31 EXTERIOR INSULATION FINISH SYSTEM (EIFS), REF. 6-A2.   |  |
| 4.07 TOOTH IN NEW CMU JAMB UNITS AT NEW OPENING, MATCH ADJACENT CMU.   | 7.32 EXISTING METAL CANOPY.   |  |
|  | 7.33 METAL CANOPY, RE. STRUCT.  |  |
|  | 7.34 CERAMIC ROOF TILE (ROYAL BLUE).  |  |
|  | 7.90 STANDING SEAM METAL ROOF.  |  |
|  | 8.01 SECTIONAL OVERHEAD DOOR.   |  |
|  | 8.02 HOLLOW METAL DOOR AND FRAME, PAINT.  |  |
|  | 8.04 BREAKAWAY SLIDING ALUMINUM ENTRANCE DOORS.   |  |

Raymond Harris & Associates  
211 N. Reed St. Suite 202  
Albuquerque, NM 87104  
Telephone: 505/748-0088

STIPULATION FOR REUSE  
THIS DRAWING AND ANY PART THEREOF IS THE PROPERTY OF RAYMOND HARRIS & ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RAYMOND HARRIS & ASSOCIATES.

CONSULTANTS

WALMART  
SUPERCENTER  
ALBUQUERQUE, NM  
STORE NO. 835  
JOB NUMBER: 99130A2

ISSUE BLOCK

|     |      |             |
|-----|------|-------------|
| NO. | DATE | DESCRIPTION |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

CHECKED BY:  
DRAWN BY: 99130A2  
FILE NAME:  
PHOTO CYCLE: 01-26-01  
MODIFIED DATE: 04-27-01

RAYMOND H. HARRIS  
REGISTERED ARCHITECT  
NO. 2222  
MAY 08 2001

EXTERIOR ELEVATIONS  
SHEET: 10





**Site Data for Building Purposes**

|                     |            |      |
|---------------------|------------|------|
| TOTAL LOT 3 AREA:   | 943,384 SF | 100% |
| BUILDING FOOTPRINT: | 96,000 SF  | 10%  |
| HARD SURFACE AREA:  | 708,955 SF | 75%  |
| LANDSCAPED AREA:    | 138,389 SF | 15%  |

|                              |   |            |
|------------------------------|---|------------|
| LANDSCAPE AREA REQUIREMENTS: | NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA) | 127,108 SF |
| LANDSCAPE REQUIREMENT (15%): |   | 127,108 SF |
| LANDSCAPE PROVIDED:          |   | 138,389 SF |

|                    |                          |
|--------------------|--------------------------|
| PROPOSED USE:      | AMUSEMENT; MOVIE THEATRE |
| BUILDING AREAS:    | 55,600 SF                |
| SEATING AREAS:     | 17,200 SF                |
| SUPPORT AREAS:     | 18,700 SF                |
| CIRCULATION SPACE: | 91,500 SF                |
| TOTAL NET AREA:    | 96,000 SF                |
| TOTAL GROSS AREA:  | 96,000 SF                |

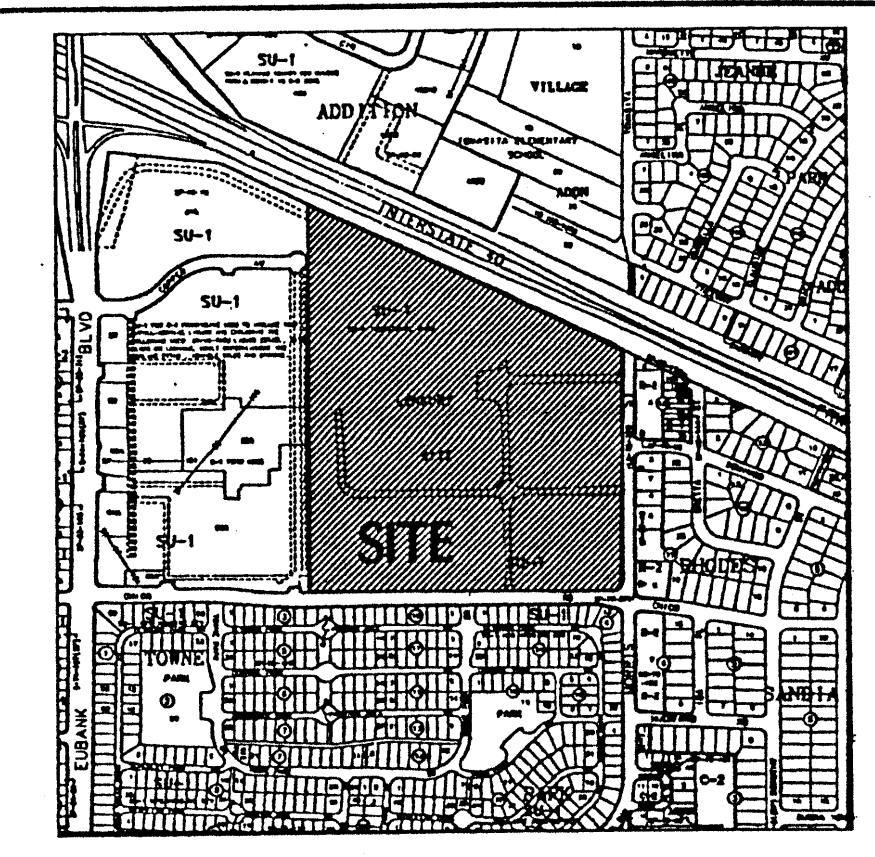
|                   |  |
|-------------------|--|
| PARKING SPACES:   | 1 PER 4.0 SEATS (480 SEATS) = 120 SPACES |
| PARKING REQUIRED: | 1 PER 3.0 SEATS (480 SEATS) = 160 SPACES |
| PARKING PROVIDED: | 1 PER 3.3 SEATS (480 SEATS) = 147 SPACES |

|                        |           |
|------------------------|-----------|
| H.C. PARKING REQUIRED: | 25 SPACES |
| H.C. PARKING PROVIDED: | 27 SPACES |

|                   |                                     |
|-------------------|-------------------------------------|
| BICYCLE PARKING:  | 1:20 REQUIRED FOR AUTOS = 75 SPACES |
| PARKING PROVIDED: | 84 SPACES                           |



**Vicinity Map**  
K-21-Z

**Keyed Notes for Building Purposes**

- ASPHALT PAVING.
- 6" CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK.
- CONCRETE PAVING.
- EARTHSTONE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
- LIGHT POLE, TYP, REFER TO ELEVATION 2, SHEET 7.
- NOT USED.
- 30" CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SCORED COLORED CONCRETE.
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA.
- EMERGENCY BACK PARKING FOR 43 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
- 8'X20' TYPICAL STRIPPED PARKING SPACE.
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
- SERVICE DELIVERY AREA.
- TREE GRATES.
- SPEED TABLES, TYP.
- BOLLARDS TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12" WIDE TREE-LINED PEDESTRIANWAY WITHIN PARKING AREA.
- CONCRETE PARKING STOPS, TYPICAL.
- WAY FINDING SIGNAGE VIA COPPER AVENUE.

**General Notes for Building Purposes**

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

**Legend**

- 15' HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- 18' HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HPS FIXTURE @ 15' ABOVE GRADE.
- 12' HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 110W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

**CASE NUMBER:**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

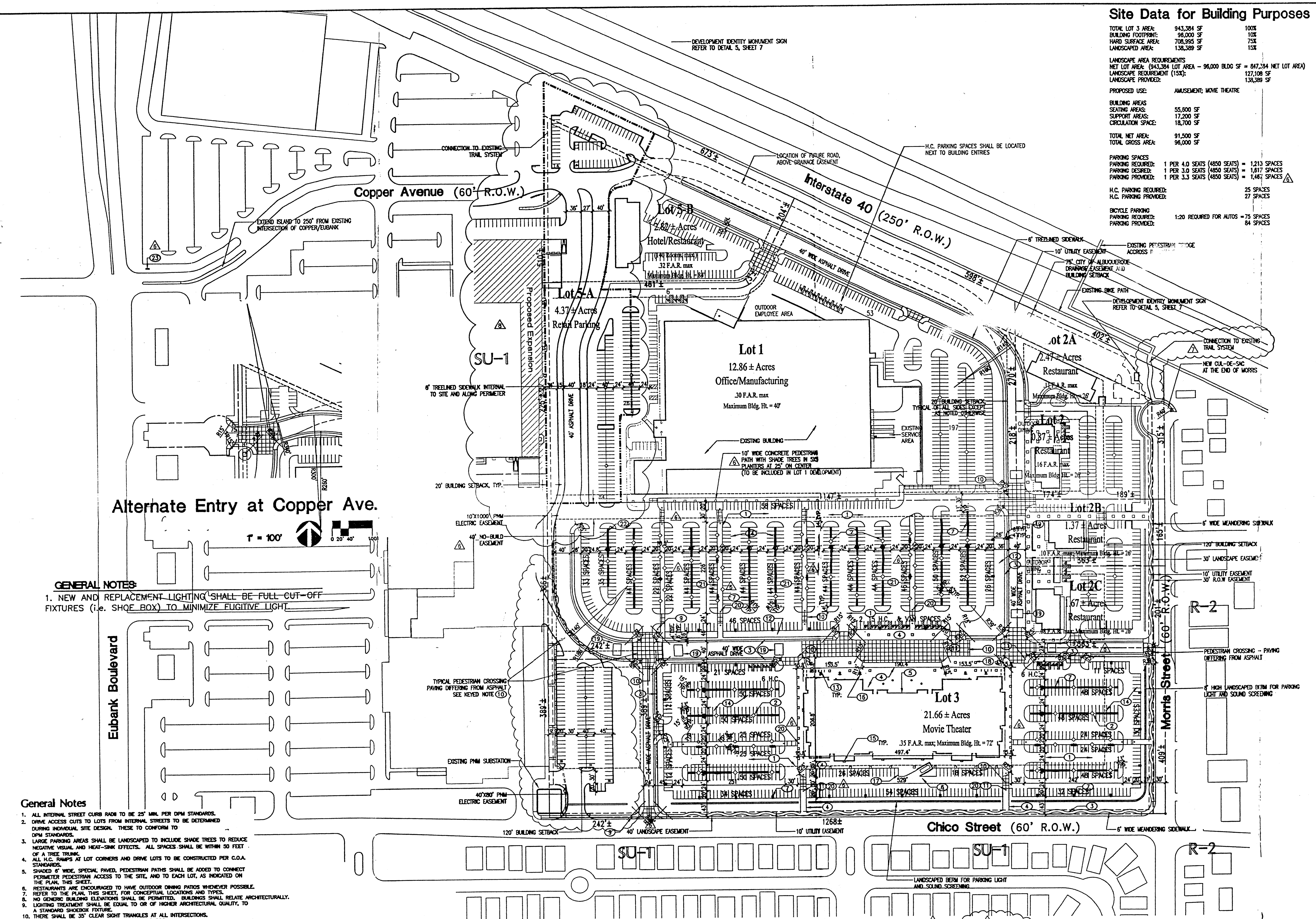
|  |      |
|--|------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION  | DATE |
| PARKS AND RECREATION   | DATE |
| PUBLIC WORKS, WATER UTILITIES DIVISION   | DATE |
| CITY ENGINEER, ENGINEERING DIVISION / AMAFCA   | DATE |
| APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL. | DATE |
| CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION                      | DATE |
| PLN2 (10708) 4/98  |      |

**Facility Re-utilization:**  
**501 Morris**  
Albuquerque, New Mexico

**Site Plan**  
7/28/98

|                               |                   |               |
|-------------------------------|-------------------|---------------|
| ENGINEER'S SEAL               | 501 MORRIS        | DRAWN BY JON  |
| ADMINISTRATIVE AMENDMENT      | AMENDSPT.DWG      | DATE 09-19-00 |
| TERRA WEST, LLC               | 8509 JEFFERSON NE | SHEET 1       |
| ALBUQUERQUE, NEW MEXICO 87113 | (505)858-3100     | 13            |
| RONALD R. BOHANNAN P.E. #7868 |                   | JOB # 990029W |

FOR REFERENCE ONLY



**GENERAL NOTES**

- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
- ALL INTERNAL STREET CURB RADI TO BE 25' MIN. PER DPM STANDARDS.
- DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
- LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
- ALL H.C. RAMP ARE AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
- SHADED 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
- RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
- NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
- LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOEBOX FIXTURE.
- THERE SHALL BE 30" CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
- PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
- SPACING SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
- NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
- AN 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
- NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
- ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5A, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 3 SHALL HAVE LETTERS OF 4" HIGH, MAX.
- THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
- NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
- ALL LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
- POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
- OFF-ROAD SIGNAGE SHALL NOT BE PERMITTED. (CONDITION 14)
- CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 8)
- BASE SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 4)
- GENERIC SIGNAGE SHALL BE LIMITED AS FOLLOWS: SIGNS LESS THAN 10,000 SF 3" MAX. PADS GREATER THAN 10,000 SF 4" MAX. (CONDITION 7)
- NO SIGNAGE SHALL BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 8)
- THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MAXIMUM PER THE DESIGNATED USE. (CONDITION 13)
- STREET TREES ALONG CHICO AND MORRIS SHALL BE CHARMMERS, 3 1/2" CALLIPER, MIN. (CONDITION 14)
- ALL HANG UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 10)
- ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITHIN THE EXISTING 90-DAY PERIOD. (CONDITION 17)
- LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (P.R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
- CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10" WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

**General Notes**

- ALL INTERNAL STREET CURB RADI TO BE 25' MIN. PER DPM STANDARDS.
- DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
- LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
- ALL H.C. RAMP ARE AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
- SHADED 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
- RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
- NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
- LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOEBOX FIXTURE.
- THERE SHALL BE 30" CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
- PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
- SPACING SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
- NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
- AN 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
- NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
- ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5A, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 3 SHALL HAVE LETTERS OF 4" HIGH, MAX.
- THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
- NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
- ALL LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
- POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
- OFF-ROAD SIGNAGE SHALL NOT BE PERMITTED. (CONDITION 14)
- CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 8)
- BASE SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 4)
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- LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (P.R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
- CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10" WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

**Legal Description**

BEING A PART WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAT OF OF TOWNE PARK PLAZA ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

**Existing Zoning**

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

**Subdivision Concept**

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

**Land Utilization**

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.19.

**Lot Summary**

| Lot No. | Acres | Use                  | Building CSF | F.A.R.* | Max. Bldg. Ht. | Minimum Building Setbacks |
|---------|-------|----------------------|--------------|---------|----------------|---------------------------|
|         |       |                      |              |         |                | North South East West     |
| 1       | 12.86 | OFFICE/MANUFACTURING | 200,000      | .38     | 40'            | 75' 20' 20' 20'           |
| 2       | 0.87  | RESTAURANT           | 8,000        | .16     | 26'            | 20' 20' 20' 20'           |
| 2A      | 2.47  | RESTAURANT           | 12,000       | .11     | 26'            | 75' 20' 120' 20'          |
| 2B      | 1.37  | RESTAURANT           | 8,000        | .10     | 26'            | 20' 20' 120' 20'          |
| 2C      | 1.67  | RESTAURANT           | 8,000        | .08     | 26'            | 20' 20' 120' 20'          |
| 3       | 21.66 | AMUSEMENT            | 96,000       | .10     | 72'            | 40' 120' 120' 20'         |
| 5A      | 2.16  | OFFICE               | 96,000       | .32     | 32'            | 20' 120' 20' 20'          |
| 5B      | 4.37  | RESTAURANT           | 39,000       | .32     | 94'            | 75' 20' 20' 20'           |
| Totals  | 48.00 |                      | 365,000      | .17     |                |                           |

\*F.A.R. = FLOOR AREA RATIO  
\*\* LOT 4 DEDICATED & CHANGED TO DRAINAGE POND AND RETAIL INCORPORATED IN CASE #Z-98-114 AND 2-10-12 TOWNE PARK SITE DEVELOPMENT PLAN

NOTES: BUILDING SQUARE FOOTINGS MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WIDTH PROVIDED IN AMENDMENT FOR STAFF REVIEW.

**DRB Submittal for Case Z-98-114:**  
**IP Master Plan/Site Plan for Subdivision**

ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
122 Avenue Street, N.E.  
Albuquerque, New Mexico

Copy for Applicant

### Site Data for Building Purposes

|                       |            |      |
|-----------------------|------------|------|
| TOTAL LOT AREA:       | 943,384 SF | 100% |
| BUILDING FOOTPRINT:   | 96,000 SF  | 10%  |
| HAZARDOUS WASTE AREA: | 78,258 SF  | 8%   |
| LANDSCAPED AREA:      | 138,389 SF | 15%  |

|  |            |
|--|------------|
| LANDSCAPE AREA REQUIREMENTS  |            |
| NET LOT AREA: (843,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA) |            |
| LANDSCAPE REQUIREMENT (15%):   | 127,108 SF |
| LANDSCAPE PROVIDED:  | 138,389 SF |

|                         |  |
|-------------------------|--|
| PROPOSED USE:           |  |
| AMUSEMENT: MORE THEATRE |  |

|                    |           |
|--------------------|-----------|
| BUILDING AREAS:    | 55,600 SF |
| SUPPORT AREAS:     | 17,200 SF |
| CIRCULATION SPACE: | 18,700 SF |
| TOTAL NET AREA:    | 91,500 SF |
| TOTAL GROSS AREA:  | 96,000 SF |

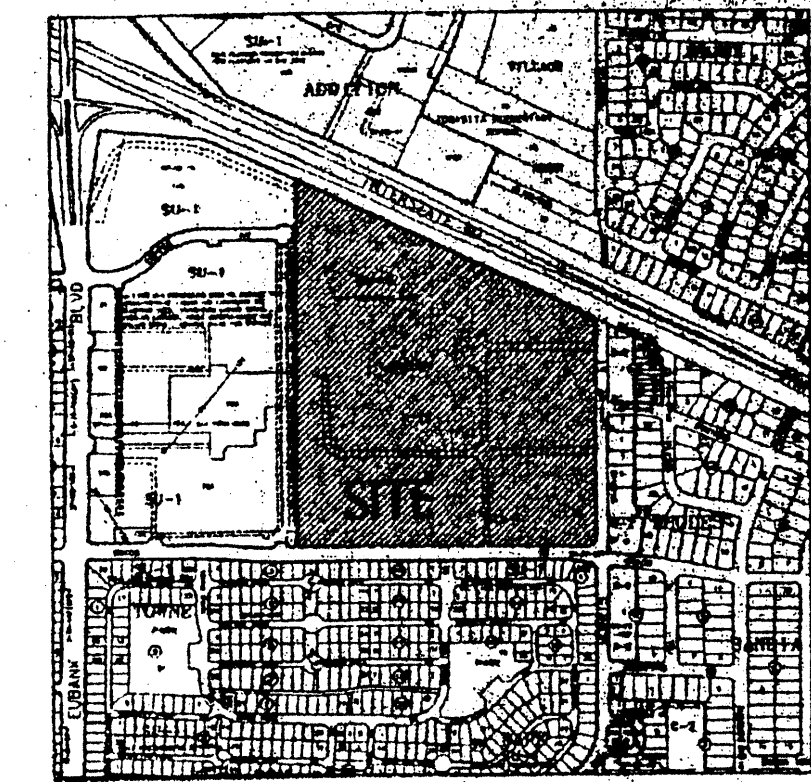
|                   |   |
|-------------------|---|
| PARKING SPACES    |   |
| PARKING REQUIRED: | 1 PER 4.0 SEATS (4350 SEATS) = 1,213 SPACES |
| PARKING DESIRED:  | 1 PER 3.0 SEATS (4350 SEATS) = 1,617 SPACES |
| PARKING PROVIDED: | 1 PER 3.3 SEATS (4350 SEATS) = 1,467 SPACES |

|                        |           |
|------------------------|-----------|
| H.C. PARKING REQUIRED: | 25 SPACES |
| H.C. PARKING PROVIDED: | 27 SPACES |

|                   |                                     |
|-------------------|-------------------------------------|
| BICYCLE PARKING   |                                     |
| PARKING REQUIRED: | 1:20 REQUIRED FOR AUTOS = 75 SPACES |
| PARKING PROVIDED: | 84 SPACES                           |



Vicinity Map  
K-21-Z

### Keyed Notes for Building Purposes

- ASPHALT PAVING.
- CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK.
- CONCRETE PAVING.
- ENTRANCE.
- EARTHSTONE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET.
- LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
- NOT USED.
- 35' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SMOOTH COLORED CONCRETE.
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA.
- BACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
- 9'x20' TYPICAL STRIPED PARKING SPACE.
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
- PEDESTRIAN SCALD LIGHTING, REFER TO LEGEND, THIS SHEET.
- SERVICE DELIVERY AREA.
- TREE GRATES.
- SPEED TABLES, TYP.
- BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 15' WIDE TREATED PEDESTRIANWAY WITH PARKING AREA.
- CONCRETE PARKING STOPS, TYPICAL.
- WAY FINDING SIGNAGE VIA COPPER AVENUE.

### General Notes for Building Purposes

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SHORE LUMINANCE GREATER THAN 1,000 FOOT-CANDERELS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-CANDERELS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

### Legend

- CHD 18' HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- HO 18' HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- TP BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HPS FIXTURE @ 18' ABOVE GRADE.
- HO 12' HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER: Z-98-114  
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

|   |      |
|---|------|
| TRAFFIC ENGINEER TRANSPORTATION DIVISION  | DATE |
| DESIGN AND DEVELOPMENT, CIV   | DATE |
| PUBLIC WORKS, WATER UTILITIES DIVISION  | DATE |
| CITY ENGINEER, ENGINEERING DIVISION / AMAFCA  | DATE |
| APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL | DATE |
| CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION                     | DATE |
| PLN2 (10/27/98) 4/96  |      |

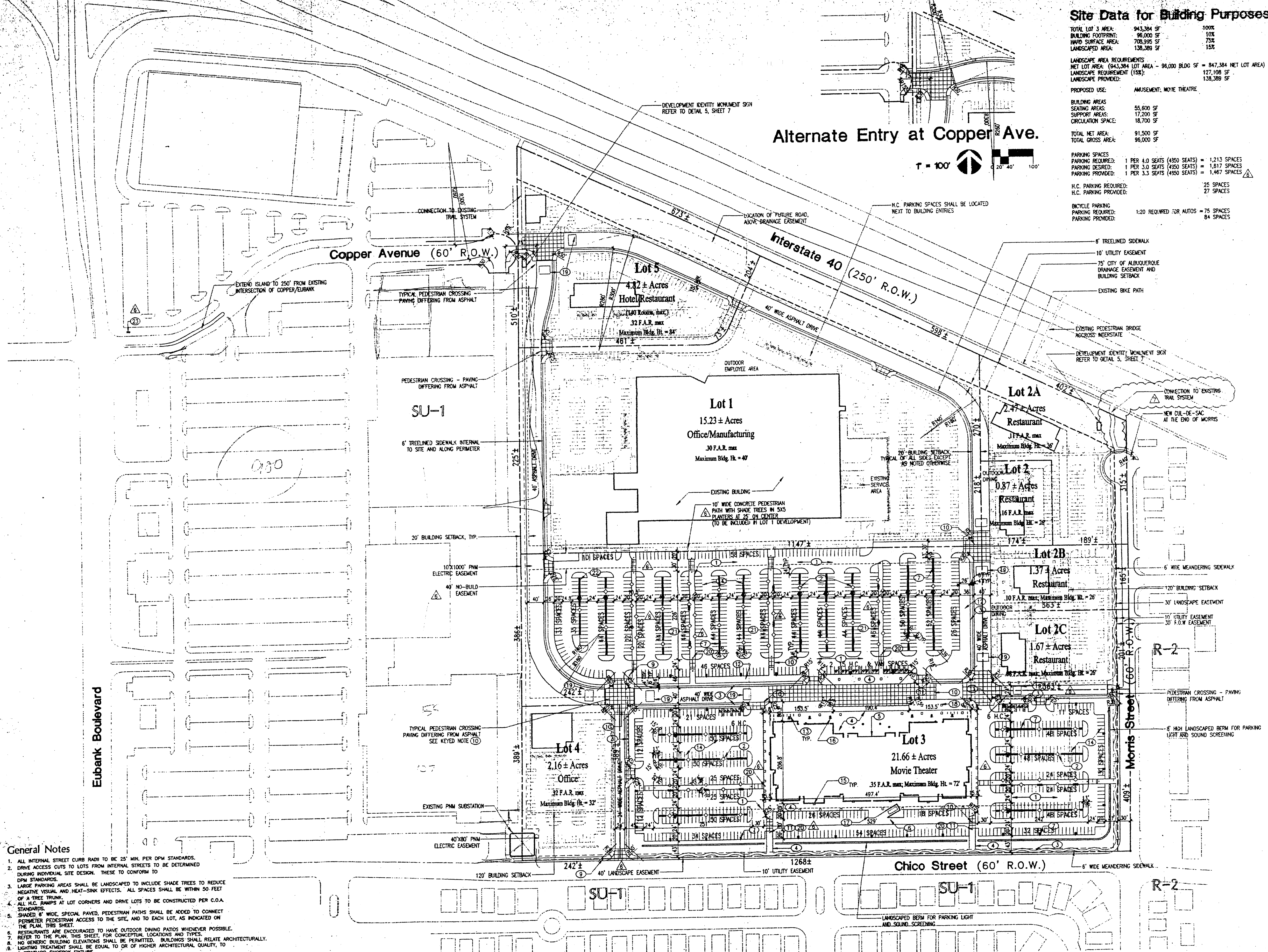
FOR REFERENCE ONLY  
Facility Re-utilization:  
**501 Morris**  
Albuquerque, New Mexico  
7/28/98

REVISIONS:  
REVISED 10/27/98  
REVISED 9/22/98  
REVISED 9/16/98  
REVISED 9/2/98  
REVISED 12/29/98  
REVISED 8/31/98

ISAACSON & ARPMAN, P.A.  
Consulting Engineering Associates  
128 Morris Street N.E.  
Albuquerque, New Mexico

**Dekker/Perich/Sabatini**  
architecture • interiors • planning • signage  
6801 Jefferson NE, Suite 100 • 505 761-9700  
Albuquerque, NM 87109 • fax 761-4222

### Alternate Entry at Copper Ave.



### General Notes

- ALL INTERNAL STREET CURB RADIUS TO BE 25' MIN PER DPM STANDARDS.
- DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
- LANDSCAPED AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
- ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
- SHADED 6' WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERIMETER PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
- RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
- REFER TO THE PLAN, THIS SHEET FOR CONCEPTUAL LOCATIONS AND TYPES.
- NO REINFORCING BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
- LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SIGNATURE FIXTURE.
- THERE SHALL BE 35' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
- PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
- SHOWAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
- NO THROUGH TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
- NO SIDEWALK OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
- NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
- NO SIGNAGE OTHER THAN THAT SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
- ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 3B, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH, MAX.
- THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 2, 3, 4, 5, 2B, 2C, 4, AND 5.
- NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
- UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
- POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 13)
- OFF-PARKING BILLBOARD SIGNAGE WILL NOT BE ALLOWED. (CONDITION 4)
- RELATING MONUMENT SIGNS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
- RELATING MONUMENT SIGNS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 6)
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- RELATING MONUMENT SIGNS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 50)

### Legal Description

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1-A, B-2A AND B-3A, REPLAT OF TOWNE PARK PLAZA ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

### Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

### Subdivision Concept

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

### Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A MAX. OF 0.14.

### Lot Summary

| Lot No. | Acres | Uses                 | Building CSF | F.A.R. | Max. Bldg. Ht. | Minimum Building Setbacks |
|---------|-------|----------------------|--------------|--------|----------------|---------------------------|
| 1       | 15.23 | OFFICE/MANUFACTURING | 200,000      | 30     | 40'            | 20' 20' 20' 20'           |
| 2A      | 0.87  | RESTAURANT           | 6,000        | 16     | 28'            | 20' 20' 20' 20'           |
| 2B      | 1.37  | RESTAURANT           | 12,000       | 11     | 28'            | 20' 20' 120' 20'          |
| 2C      | 1.67  | RESTAURANT           | 8,000        | 08     | 28'            | 20' 20' 120' 20'          |
| 3       | 21.66 | AMUSEMENT            | 96,000       | 10     | 22'            | 40' 120' 120' 20'         |
| 4       | 2.16  | OFFICE               | 30,000       | 32     | 32'            | 20' 120' 20' 20'          |
| 4       | 4.82  | HOTEL/RESTAURANT     | 68,000       | 32     | 34'            | 75' 20' 20' 20'           |
| Totals  | 50.26 |                      | 424,000      | 19     |                |                           |

\*F.A.R. = FLOOR AREA RATIO  
NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

## DRB Submittal for Case Z-98-114: IP Master Plan/Site Plan for Subdivision

Contents:

|         |                                       |
|---------|---------------------------------------|
| Sheet 1 | Site Development Plan for Subdivision |
| Sheet 3 | Landscape Plan                        |
| Sheet 4 | Conceptual Grading and Drainage Plan  |
| Sheet 6 | Master Utility Plan                   |
| Sheet 8 | Design Guidelines                     |