

Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,995 SF	75%
LANDSCAPED AREA:	138,389 SF	15%

LANDSCAPE AREA REQUIREMENTS
 NET LOT AREA: (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)
 LANDSCAPE REQUIREMENT (15%): 127,108 SF
 LANDSCAPE PROVIDED: 138,389 SF

PROPOSED USE: AMUSEMENT, MOVIE THEATRE

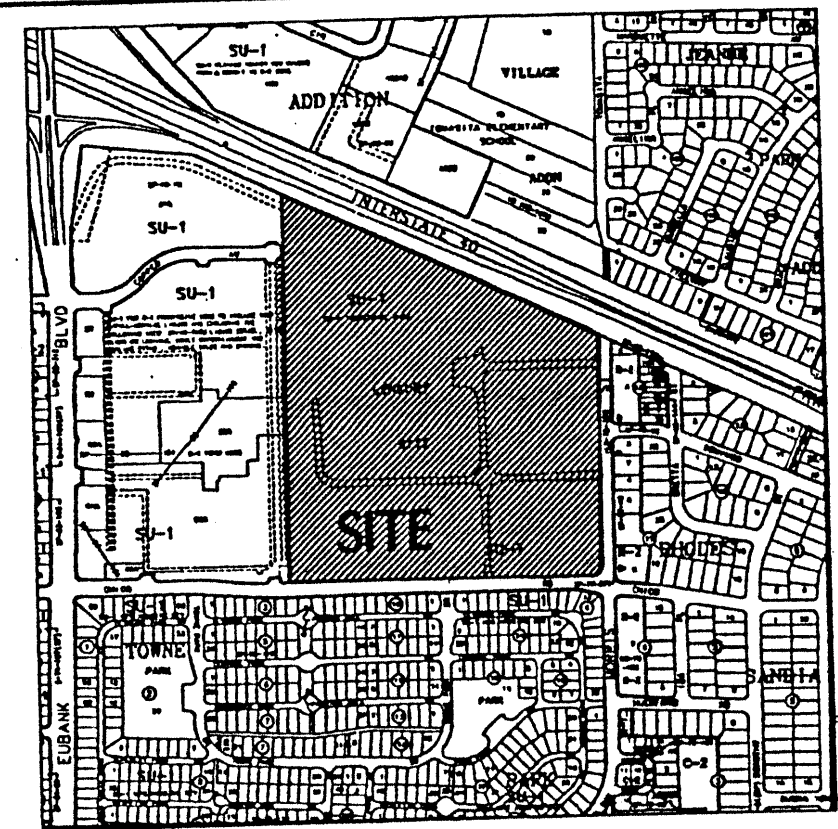
BUILDING AREAS
 SEATING AREAS: 55,600 SF
 SUPPORT AREAS: 17,200 SF
 CIRCULATION SPACE: 18,700 SF

TOTAL NET AREA: 91,500 SF
 TOTAL GROSS AREA: 96,000 SF

PARKING SPACES
 PARKING REQUIRED: 1 PER 4.0 SEATS (850 SEATS) = 213 SEAT SPACES
 PARKING DESIRED: 1 PER 3.0 SEATS (850 SEATS) = 1,817 SEAT SPACES
 PARKING PROVIDED: 1 PER 3.3 SEATS (850 SEATS) = 1,481 SEAT SPACES

H.C. PARKING REQUIRED: 25 SPACES
 H.C. PARKING PROVIDED: 27 SPACES

BICYCLE PARKING
 PARKING REQUIRED: 1:20 REQUIRED FOR AUTOS = 75 SPACES
 PARKING PROVIDED: 84 SPACES



Vicinity Map
K-21-Z

Keyed Notes for Building Purposes

- ASPHALT PAVING.
- 6" CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK.
- CONCRETE PAVING.
- ENTRY.
- COURTYNE REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
- LIGHT POLE, TYP. REFER TO ELEVATION 2, SHEET 7.
- NOT USED.
- 30' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SCORED COLORED CONCRETE.
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA.
- BIKE BACK PARKING FOR 42 EACH SIDE, REFER TO ELEVATION 3, SHEET 7.
- 9'X20' TYPICAL STRIPPED PARKING SPACE.
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
- SERVICE DELIVERY AREA.
- TREE GRATES.
- SPEED TABLES, TYP.
- BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12" WIDE TREETEED PEDESTRIANWAY WITH PARKING AREA.
- CONCRETE PARKING STOPS, TYPICAL.
- WAY FINDING SIGNAGE VIA COPPER AVENUE.

General Notes for Building Purposes

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINAIRE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINAIRE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- 1/4" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- BUILDING MOUNTED SITE LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HSP FIXTURE @ 18" ABOVE GRADE.
- 1/2" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 16, 1998, AND THAT THE FINANCING AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS AND RECREATION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE DEVELOPER'S PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLN2 (10700) 4/98	

Facility Re-utilization:

501 MORRIS
Albuquerque, New Mexico

7/28/98	REVISION 10/7/98	REVISION 9/22/98	REVISION 9/16/98
	REVISION 9/19/00	REVISION 9/2/98	REVISION 8/31/98
	REVISION 1/25/99	REVISION 9/2/98	
	REVISION 12/29/98	REVISION 8/31/98	

501 MORRIS
ADMINISTRATIVE AMENDMENT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

ENGINEER'S SEAL: RONALD R. BOHANNAN, P.E. #7868

DRAWN BY: JON
DATE: 09-19-00
AMENDSP1.DWG
SHEET # 13
JOB # 990029W

Lot Summary

Lot No.	Acres	Use	Building SF	F.A.R.	Max. Bldg. Ht.	Min. Building Setbacks
						North South East West
1	12.86	OFFICE/MANUFACTURING	200,000	.36	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	20' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	75' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	.08	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	36,000	.32	32'	20' 100' 20' 20'
4	4.37	RETAIL PARKING	NONE	N/A	N/A	75' 20' 20' 20'
5	2.82	HOTEL/RESTAURANT	39,000	.32	84'	75' 20' 20' 20'
TOTAL	48.09		365,000	.17		

ISAACSON & ARPMAN, P.A.
Consulting Engineering Associates
Albuquerque, New Mexico

Legal Description

BEING A PART WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT 7-A-1-A, TOWNE PARK PLAZA AND BY TRACTS 8-1A, 8-2A AND 8-3A, REPLAT OF TOWNE PARK PLAZA ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40 ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

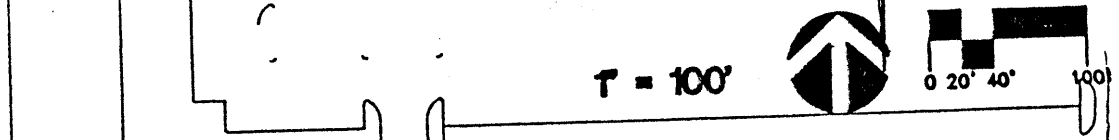
THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.19.

DRB Submittal for Case Z-98-114:
IP Master Plan/Site Plan for Subdivision

Alternate Entry at Copper Ave.



GENERAL NOTES

- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

General Notes

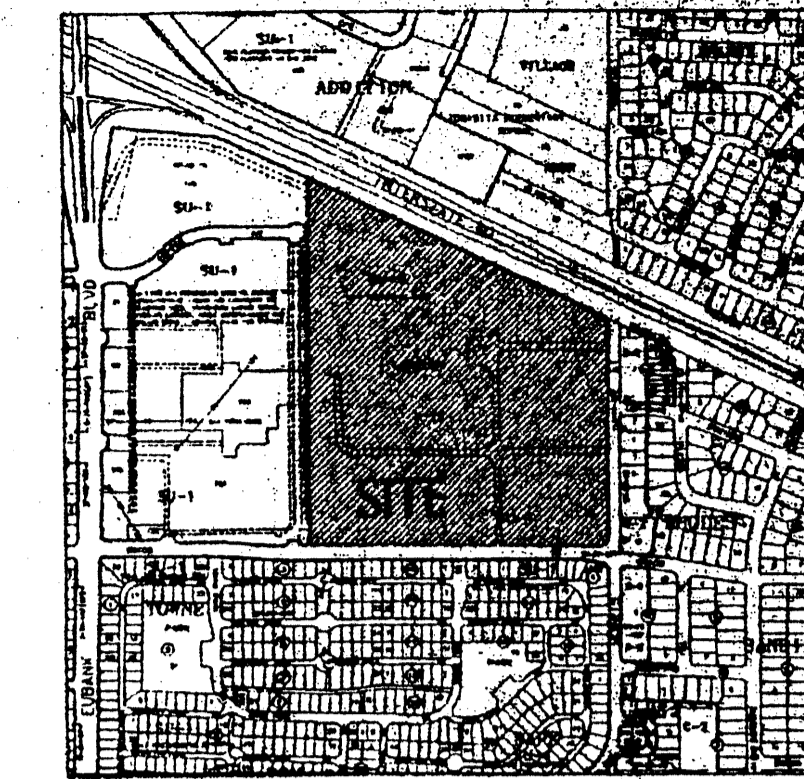
- ALL INTERNAL STREET CURBS SHALL BE 25" MIN. PER DPM STANDARDS.
- DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO DPM STANDARDS.
- LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
- ALL H.C. RAMP AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
- SHADED 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PEDESTRIAN ACCESS TO THE SITE, AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
- RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE.
- REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
- NO GENERAL BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
- LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOWBOX FEATURE.
- THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
- PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
- SIGNAGE SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
- NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
- AN 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
- NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
- ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 2A, 2B, AND 2C SHALL HAVE LETTERS OF 3" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 5 SHALL HAVE LETTERS OF 4" HIGH, MAX. BUILDING MOUNTED SIGNAGE ON THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
- NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
- BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED. (CONDITION 2)
- POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNAGE SHALL BE MONUMENT SIGNAGE. (CONDITIONS 3 & 11)
- CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 9)
24. SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT). (CONDITION 9)
25. CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 9)
26. SIGNAGE SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL, AT 400 SQUARE FEET (WITHIN EACH ESTABLISHMENT). (CONDITION 9)
27. THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MAXIMUM PER THE DESIGNATED ZONING. (CONDITION 13)
28. STREET LIGHTS ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MAXIMUM PER THE DESIGNATED ZONING. (CONDITION 14)
29. ALL H.W. LINES WILL BE SCREENED WITH THE ENCLOSURE AT AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 10)
30. ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PARKS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE AND DESIGN FEATURES. (CONDITION 10)
31. LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
32. CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATHS AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Copy for Applicant

FOR REFERENCE ONLY

Site Data for Building Purposes

TOTAL LOT AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,995 SF	75%
LANDSCAPED AREA:	138,389 SF	15%
LANDSCAPE AREA REQUIREMENTS		
NET LOT AREA (943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)		
LANDSCAPE REQUIREMENT (15%):	127,108 SF	
LANDSCAPE PROVIDED:	138,389 SF	
PROPOSED USE: AMUSEMENT, MOVIE THEATRE		
BUILDING AREAS: 55,600 SF		
SEATING AREAS: 17,200 SF		
SUPPORT AREAS: 16,700 SF		
CIRCULATION SPACE: 91,500 SF		
TOTAL GROSS AREA: 96,000 SF		
PARKING SPACES:		
PARKING REQUIRED:	1 PER 4.0 SEATS (4550 SEATS) = 1,133 SPACES	
PARKING DESIRED:	1 PER 3.0 SEATS (4550 SEATS) = 1,517 SPACES	
PARKING PROVIDED:	1 PER 3.3 SEATS (4550 SEATS) = 1,467 SPACES	
H.C. PARKING REQUIRED: 26 SPACES		
H.C. PARKING PROVIDED: 27 SPACES		
BICYCLE PARKING:		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS = 75 SPACES	
PARKING PROVIDED:	84 SPACES	



Vicinity Map

K-21-Z

Keyed Notes for Building Purposes

- ASPHALT PAVING
- 6" CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK
- CONCRETE PAVING
- ENTRY
- EXTERIOR REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7
- LIGHT POLE, TYP., REFER TO ELEVATION 2, SHEET 7
- NOT USED
- 35' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SOBBET COLORED CONCRETE
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA
- BIKE RACK PARKING FOR #2 EACH SIDE, REFER TO ELEVATION 3, SHEET 7
- 8"x20" TYPICAL STRIPED PARKING SPACE
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET
- SERVICE/DELIVERY AREA
- TREE GRATES
- SPEED TABLES, TYP.
- BOLLARD TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12" WIDE TREE-LINED PEDESTRIANWAY WITH PARKING AREA
- CONCRETE PARKING STOPS, TYPICAL
- WAY FINDING SIGNAGE VIA COPPER AVENUE

General Notes for Building Purposes

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE, TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINAIRE GREATER THAN 1,000 FOOT-LAMBERTS AND IT SHALL NOT HAVE AN OFF-SITE LUMINAIRE OF GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL PERFORMED UTILITY INFORMATION.

Legend

- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 2, SHEET 7
- 18" HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 1, SHEET 7
- BUILDING MOUNTED SITE LIGHTING, 15" CUT OFF, FORWARD THROW 250W HPS FUTURE, REFER TO ELEVATION 1, SHEET 7
- 18" HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 14" CUT OFF, FORWARD THROW 150W FUTURE, REFER TO ELEVATION 1, SHEET 7

CASE NUMBER: Z-98-114
 THIS PLAN IS CONSIDERED TO BE THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE PROVISIONS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CIVIL	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMARC	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLAN# (1/17/98) 4/98	

FOR REFERENCE ONLY

Facility Re-utilization

501 Morris
 Albuquerque, New Mexico

7/28/98

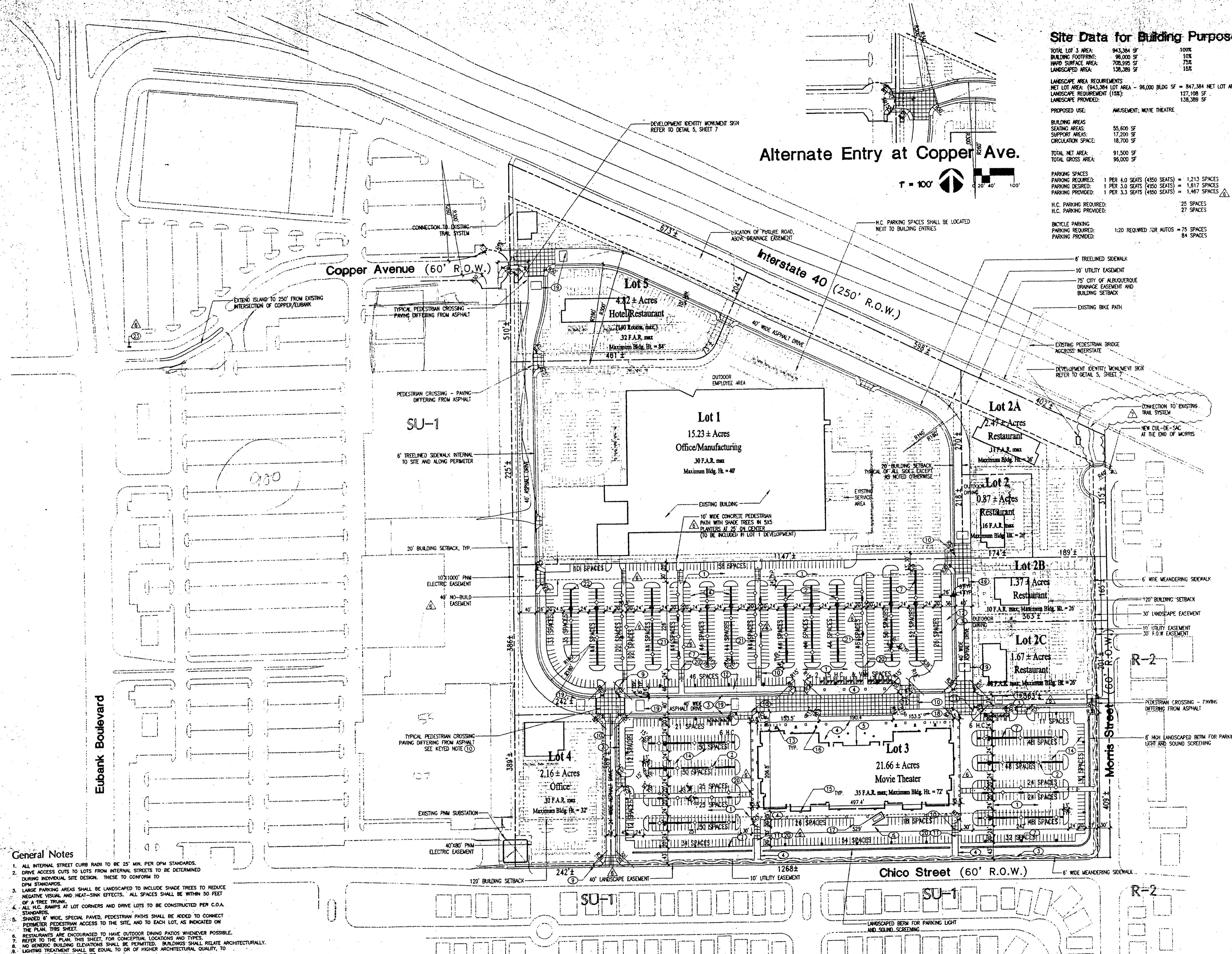
Site Plan

REVISED 10/7/98
 REVISED 9/22/98
 REVISED 9/16/98
 REVISED 11/25/98
 REVISED 12/29/98
 REVISED 8/31/98

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Avenue Street, N.E.
 Albuquerque, New Mexico

Dekker/Perich/Sabatini
 architecture • interiors • planning • engineering
 6801 Jefferson NE, Suite 100
 Albuquerque, NM 87109

Alternate Entry at Copper Ave.



- General Notes**
- ALL INTERNAL STREET CURB RADIUS TO BE 25' MIN. PER OPM STANDARDS.
 - DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO OPM STANDARDS.
 - LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 - ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. SHADING 6" WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT PERIMETER PEDESTRIAN ACCESS TO THE SITE AND TO EACH LOT, AS INDICATED ON THE PLAN, THIS SHEET.
 - RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
 - NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
 - LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDARD SHOWBOX FEATURE.
 - THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
 - PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
 - SHOWBOXES SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
 - NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
 - NO 8" HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
 - NO DRIVE-THRU RESTAURANTS WILL BE ALLOWED.
 - ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE EAST AND SOUTH. BUILDING MOUNTED SIGNAGE ON LOTS 2, 5B, AND 2C SHALL HAVE LETTERS OF 3" HIGH. MAX. BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 1 SHALL HAVE LETTERS OF 4" HIGH. MAX.
 - THE MAXIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 3A, 2B, 2C, 4, AND 5.
 - NO DRIVE-THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
 - NO LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
 - NO DRIVE-THRU FACILITIES WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
 - OFF-HOURS BILLBOARD SIGNS WILL NOT BE ALLOWED. (CONDITION 4)
 - ILLUMINATION (IF ANY) WILL BE INTERIOR-ORIENTED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
 - ILLUMINATION SHALL BE PROVIDED AT THE THEATRE AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 6)
 - MINIMUM LETTER SIZE OF SIGNAGE SHALL BE LIMITED AS FOLLOWS: POSSES LESS THAN 10,000 SF 3" HIGH. POSSES GREATER THAN 10,000 SF 4" HIGH.
 - BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 7)
 - THE SIGNAGE SHALL BE LIMITED TO THE MAXIMUM FROM THE DECORATED USE. (CONDITION 8)
 - STREET TREES ALONG CHICO AND MORRIS SHALL BE SPECIALLY 3 1/2" CALIPER, 10'4" (CONDITION 14)
 - ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 15)
 - ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PLOTS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE EPC PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITHIN THE DECORATED USE. (CONDITION 16)
 - LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT-OF-WAY (P.R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID PLANS.
 - CONNECTION TO THE EXISTING TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PAVING AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Legal Description

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWN PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAT OF TOWN PARK PLAZA, ON THE NORTH BY THE SOUTHWEST RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT. IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Lot Summary

Lot No.	Acres	Uses	Building GSF	F.A.R.*	Bldg. Ht.	Minimum Building Setbacks
						North South East West
1	15.23	OFFICE/MANUFACTURING	200,000	.30	40'	75' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	26' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	26' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	26' 20' 120' 20'
2C	1.67	RESTAURANT	8,000	.08	26'	26' 20' 120' 20'
3	21.66	MANAGEMENT	96,000	.10	12'	40' 120' 120' 20'
4	2.16	OFFICE	30,000	.32	32'	20' 120' 20' 20'
5	4.82	HOTEL/RESTAURANT	98,000	.32	84'	75' 20' 20' 20'
Totals	50.26		424,000	.19		

*F.A.R. = FLOOR AREA RATIO

NOTE: BUILDING SQUARE FOOTAGES MAY BE HIGHER, BUT SHALL NOT SUBSTANTIALLY EXCEED WITHOUT PROVIDING AN AMENDMENT FOR STAFF REVIEW.

Minimum Building Setbacks

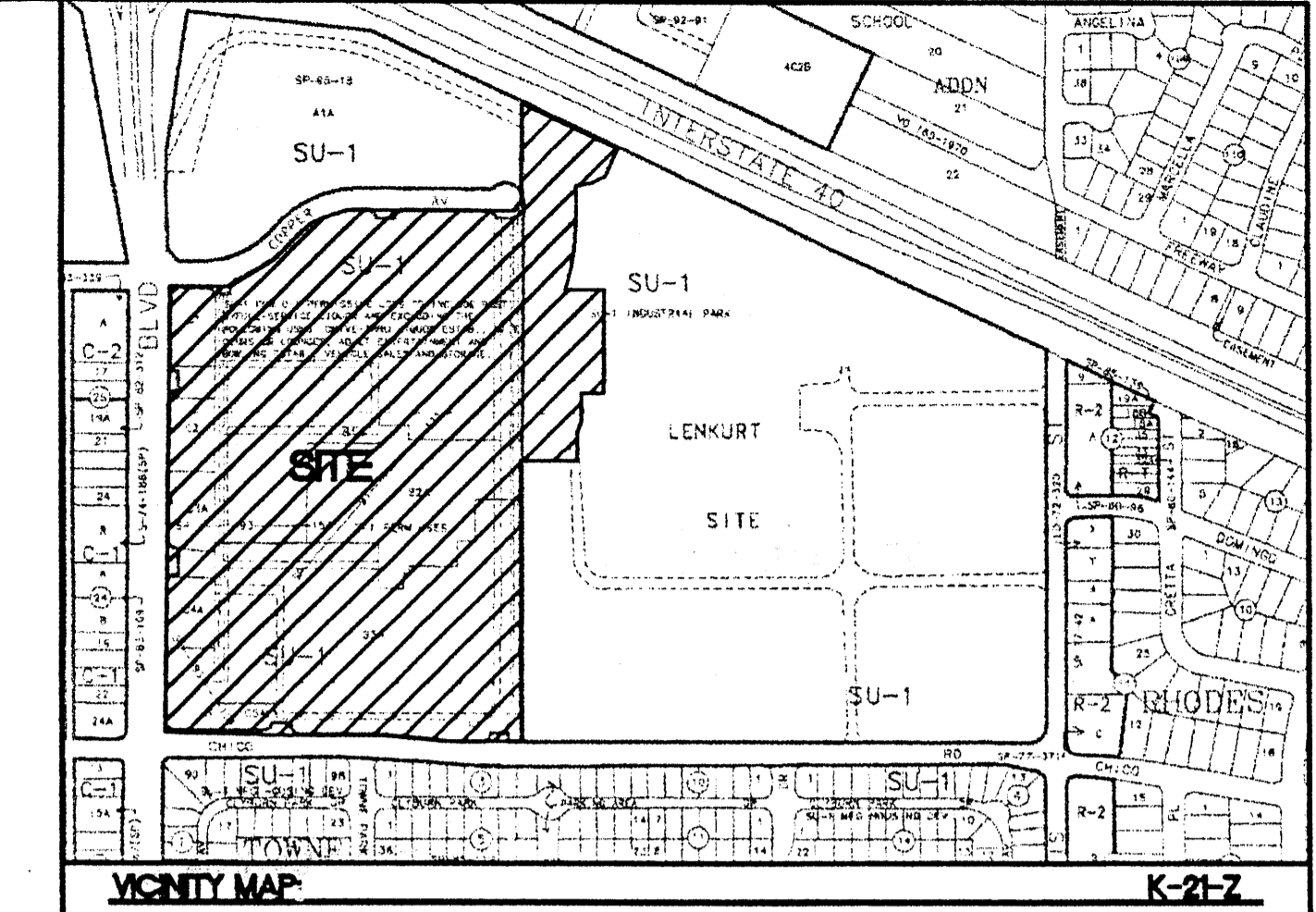
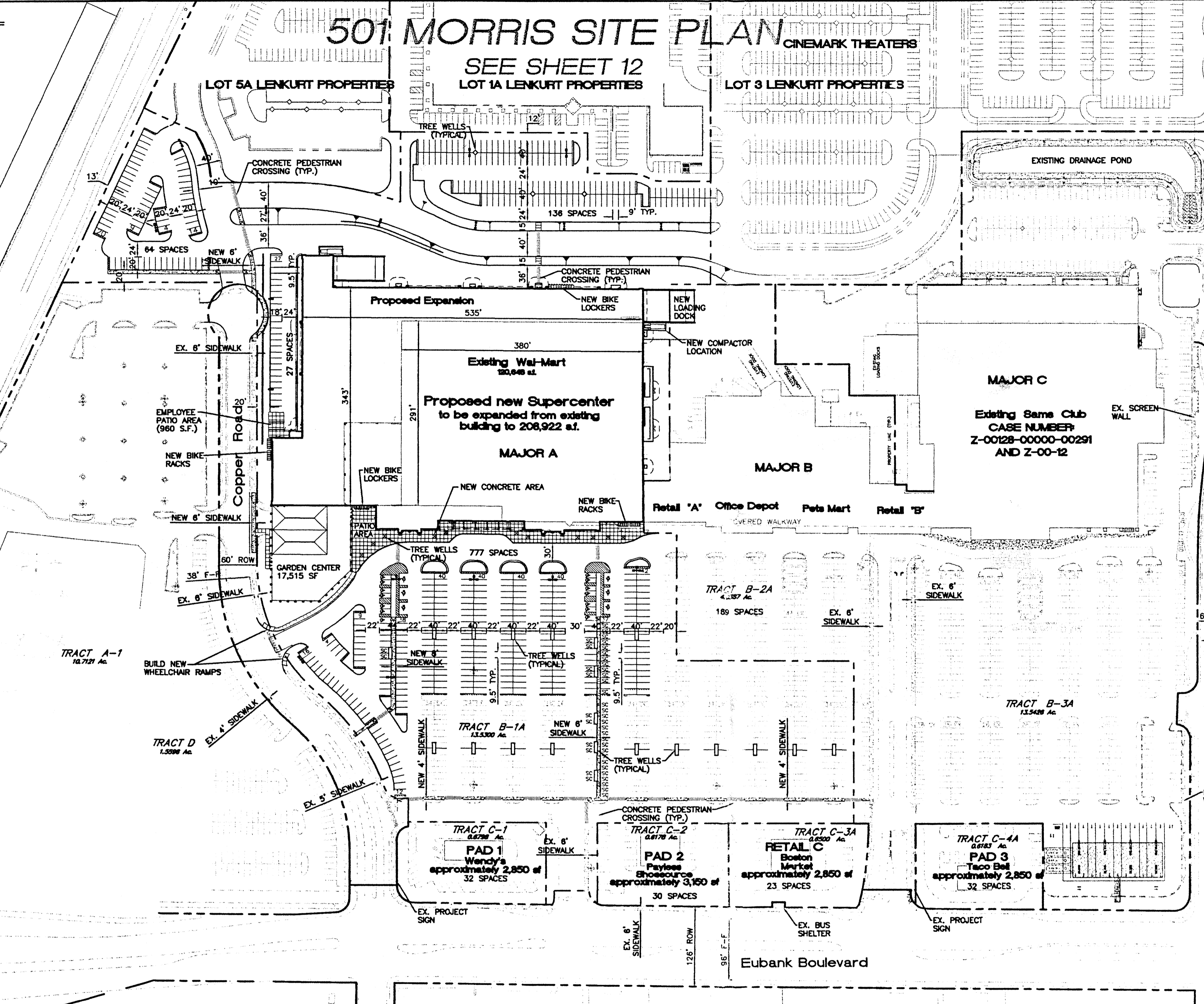
Minimum Building Setbacks	North	South	East	West
Lot 1	75'	20'	20'	20'
Lot 2	26'	20'	20'	20'
Lot 2A	26'	20'	120'	20'
Lot 2B	26'	20'	120'	20'
Lot 2C	26'	20'	120'	20'
Lot 3	40'	120'	120'	20'
Lot 4	20'	120'	20'	20'
Lot 5	75'	20'	20'	20'

**DRB Submittal for Case Z-98-114:
 IP Master Plan/Site Plan for Subdivision**

LEGEND

---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	NEW PEDESTRIAN CONNECTION
---	EXISTING LIGHT
---	PROPOSED LIGHT

501 MORRIS SITE PLAN



- SITE PLAN NOTES**
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
 - CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF WAL-MART.
 - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS, PORCH AND RAMP LOCATIONS.
 - GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
 - CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA AS WELL AS TO PROTECT ALL ACCESSIBLE SIGNS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECS. FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/ CONNECTIONS TO THEIR FACILITIES.
 - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 - CONTRACTOR SHALL TOUCH-UP PAINT ALL LIGHT POLE BASES, FIRE HYDRANTS, CART CORNERS, PIPE BOLLARDS, AND CURBS WHICH ARE CURRENTLY PAINTED. COST SHALL BE INCLUDED IN THE BASE BID.
 - SITING FOR THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART SITING SPECIFICATIONS".
 - CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
 - CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
 - ALL PAINT USED FOR PARKING STRIPING SHALL BE PER WAL-MART SPECIFICATIONS.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO REFER TO LANDSCAPING AND IRRIGATION PLAN FOR RELOCATIONS, AND ADDITIONS TO SUCH.
 - EXISTING ACCESSIBLE PARKING SIGNS TO BE REUSED WHEN POSSIBLE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SIGNS NEEDED. ALL ACCESSIBLE SIGNS SHALL BE BUILT INSIDE PIPE BOLLARD PER DETAIL LOCATED ON DETAIL SHEET.
 - EXISTING SPEED BUMPS TO REMAIN AND TO BE REPAINTED TRAFFIC YELLOW.
 - CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND/OR PLACING PEDESTRIAN CROSSING SIGNS IN NEW LOCATION AS INDICATED ON PLANS. CONTRACTOR TO VERIFY EXACT NUMBER OF SIGNS REQUIRED.
 - ALL EXISTING PAINT STRIPING TO BE REMOVED FIRST. CONTRACTOR WILL THEN RESEAL THE PARKING LOT WITH AN APPROVED SEALER PER SPECIFICATION WHEN REQUIRED (COORDINATE WITH THE WAL-MART CONSTRUCTION MANAGER). THE PARKING LOT SHALL BE RESTRICTED WITH 2 COATS OF PAINT PER THE PLANS AND SPECIFICATIONS. THIS WORK MUST BE COORDINATED WITH THE CONSTRUCTION MANAGER. THE PARKING LOT MUST BE DONE IN SECTIONS SO THAT IT DOES NOT INTERRUPT THE STORE OPERATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
 - REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL ROUTING.
 - ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW 1000 WATT FIXTURE PER WAL-MART SPECIFICATIONS, UNLESS OTHERWISE NOTED.
 - NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
 - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
 - EXISTING BUS ROUTE IS ON EUBANK BOULEVARD AND NOT ON SITE.

EXISTING SITE DATA

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	13.5432 Ac.	WAL-MART	116,097 SF	0.1968	580 (16 HANDICAP)	522	493	908 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	33.3933 Ac.	SHOPPING CENTER	313,799 SF	0.2157	1,592 (45 HANDICAP)	1,432	1,352	1,955 (52 HANDICAP)	40.0'	15.0'

SITE DATA W/ WAL-MART EXPANSION

TRACT	LOT AREA	USE	BUILDING AREA	F.A.R.	PARKING REQUIRED*	MINUS 10% BUS CREDIT	MINUS 5% BUS SHELTER	PARKING PROVIDED	MAX. BLDG. HEIGHT	MIN. BLDG. SETBACK
B-1A	17.9181 Ac.	SUPER WAL-MART	221,665 SF	0.2840	1,108 (20 HANDICAP)	997	942	1,005 (20 HANDICAP)	40.0'	15.0'
B-2A	4.0387 Ac.	RETAIL SHOPS	49,920 SF	0.2838	250 (8 HANDICAP)	225	212	250 (8 HANDICAP)	40.0'	15.0'
B-3A	13.2455 Ac.	SAM'S CLUB	136,082 SF	0.2359	681 (16 HANDICAP)	613	579	680 (16 HANDICAP)	40.0'	15.0'
C-1	0.6798 Ac.	WENDY'S	2,850 SF	0.0962	26 (2 HANDICAP)	23	22	32 (2 HANDICAP)	40.0'	15.0'
C-2	0.6178 Ac.	PAYLESS	3,150 SF	0.1171	16 (1 HANDICAP)	14	13	30 (2 HANDICAP)	40.0'	15.0'
C-3A	0.6500 Ac.	BOSTON MARKET	2,850 SF	0.1007	19 (1 HANDICAP)	17	16	23 (2 HANDICAP)	40.0'	15.0'
C-4A	0.6183 Ac.	TACO BELL	2,850 SF	0.1058	20 (1 HANDICAP)	18	17	32 (2 HANDICAP)	40.0'	15.0'
OVERALL	37.7682 Ac.	SHOPPING CENTER	419,357 SF	0.2549	2,120 (49 HANDICAP)	1,907	1,801	2,052 (52 HANDICAP)	40.0'	15.0'

* PARKING CALCULATIONS
 RETAIL STORES: 1 SPACE PER 200 SF OF LEASEABLE AREA.
 RESTAURANTS: WENDY'S: 104 SEATS / 4 PEOPLE PER CAR.
 BOSTON MARKET: 76 SEATS / 4 PEOPLE PER CAR.
 TACO BELL: 80 SEATS / 4 PEOPLE PER CAR.

- SHEET INDEX**
- AMENDED SITE PLAN FOR SUBMISSION FOR TOWN PARK PLAZA
 - APPROVED AMENDED SITE PLAN FOR SUBMISSION FOR TOWN PARK PLAZA (PROJECT #1000317) (FOR REFERENCE ONLY)
 - SITE PLAN FOR BUILDING PERMIT (WAL-MART EXPANSION)
 - LANDSCAPING PLAN
 - GRADING AND DRAINAGE PLAN SHEET "A"
 - GRADING AND DRAINAGE PLAN SHEET "B"
 - DETAIL SHEET
 - MASTER UTILITY PLAN SHEET "A"
 - MASTER UTILITY PLAN SHEET "B"
 - BUILDING ELEVATIONS
 - SIGNAGE ELEVATIONS
 - GARDEN CENTER ELEVATIONS
 - 501 MORRIS
 - AMENDED SITE PLAN FOR SUBMISSION FOR LENKURT PROPERTIES
 - APPROVED SITE PLAN FOR SUBMISSION FOR LENKURT PROPERTIES (Z-90-21-2) (FOR REFERENCE ONLY)

EPC 00128-00000-01182

PROJECT NUMBER: 0156-0000-01029

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 11/14/2000 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>[Signature]</i>	Date
Traffic Engineer, Transportation Division	6/3/01
<i>[Signature]</i>	Date
Public Works, Water Utilities Division	6/13/01
<i>[Signature]</i>	Date
City Engineer, Engineering Division / AMAFCA	8-28-01
<i>[Signature]</i>	Date
Solid Waste	8-16-01

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

<i>[Signature]</i>	Date
City Planner, Albuquerque / Bernalillo	9/10/01
City Planning Division	

PLNZ (10706) 4/96

PROJ 1600508

DR B PROJ 1000308

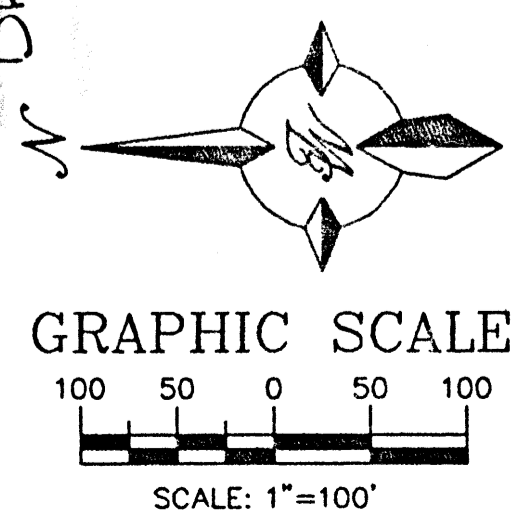
LEGAL DESCRIPTION

TRACTS A-1, B-1A, B-2A, B-3A C-1A, C-2A, C-3A, C-4A AND TRACT D OF TOWNE PARKE PLAZA

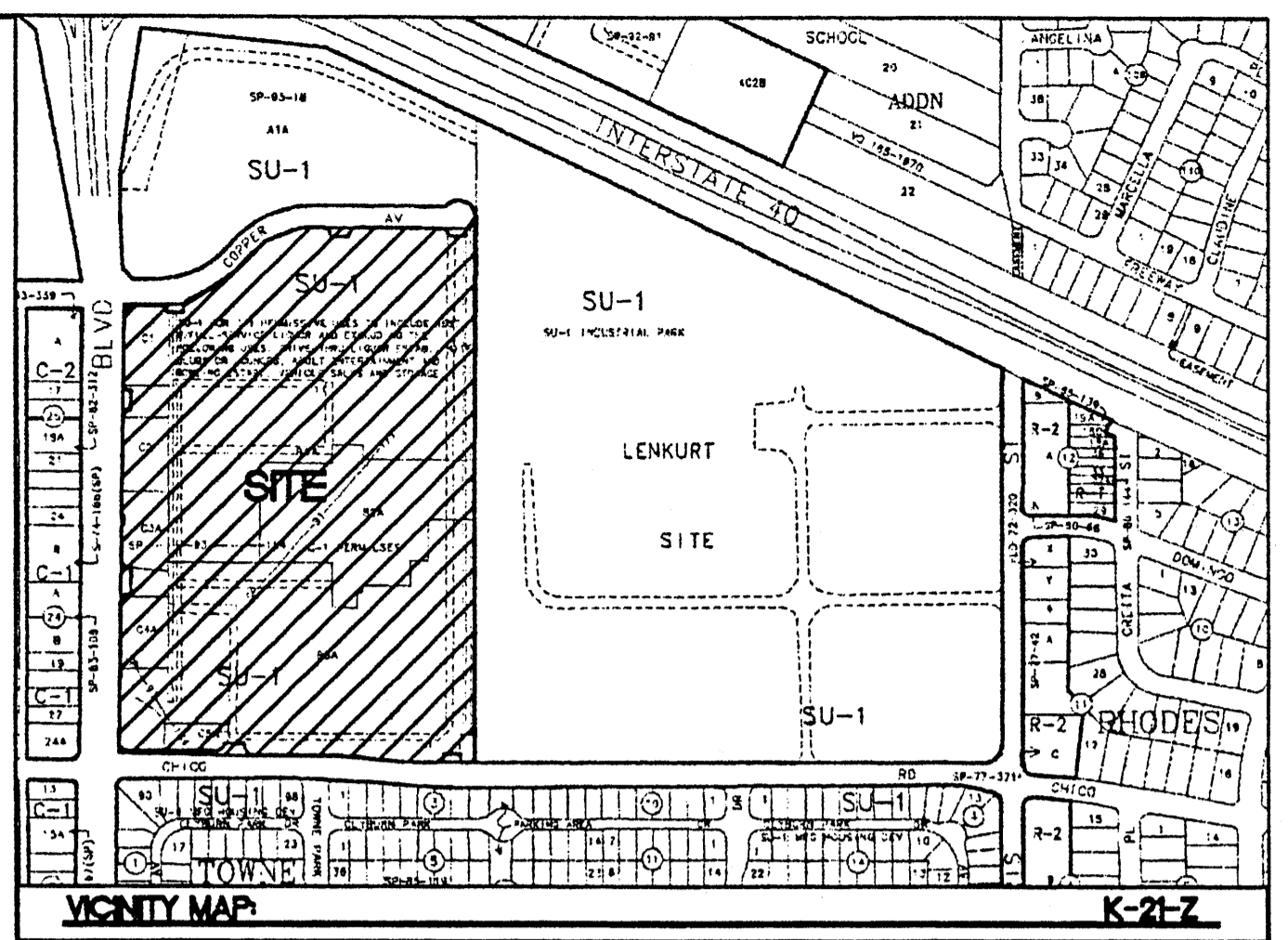
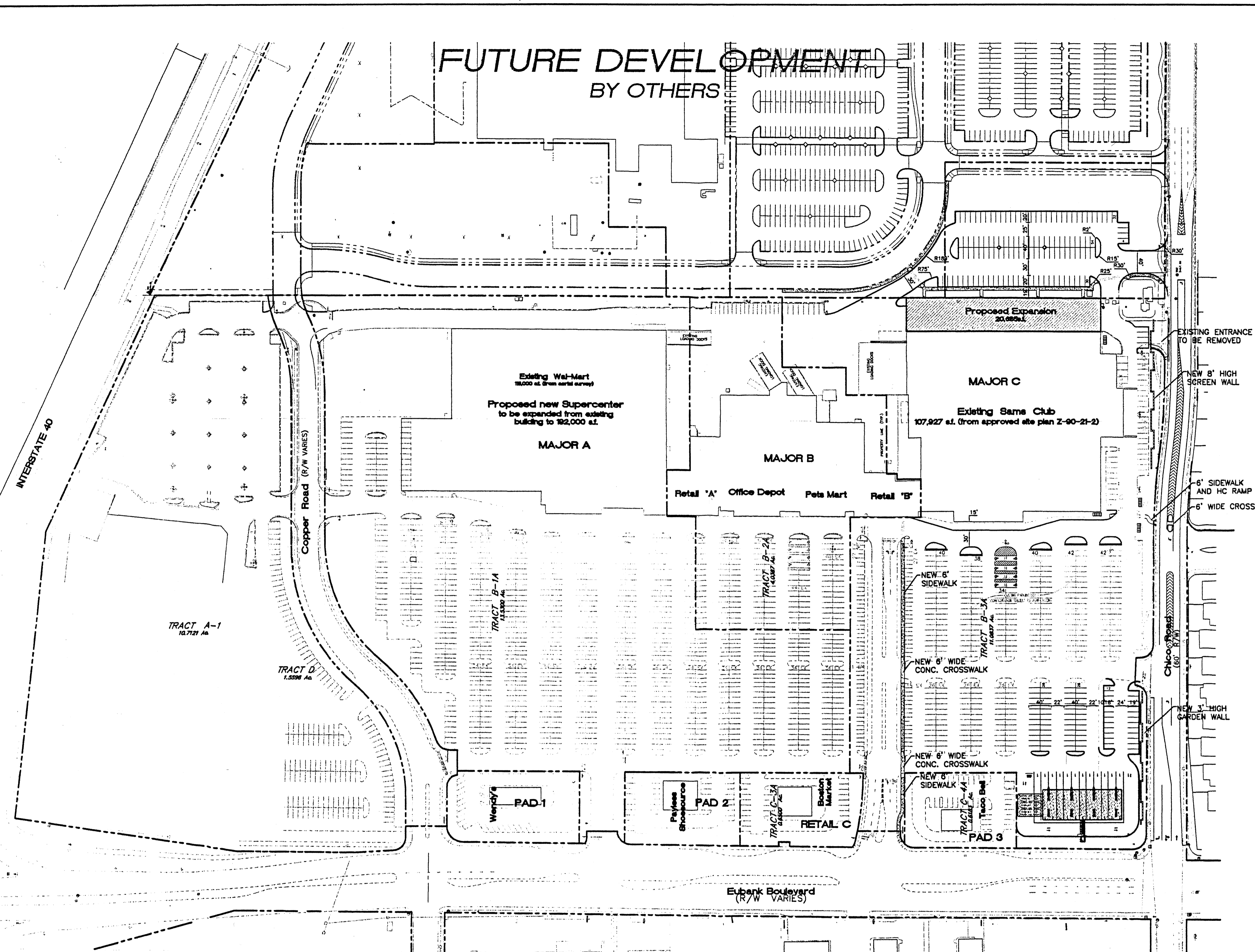
ZONING

SU-1 FOR C-1 PERMISSIVE USES TO INCLUDE RESTAURANT WITH FULL SERVICE LIQUOR AND EXCLUDING THE FOLLOWING USES: DRIVE-THRU LIQUOR ESTABLISHMENTS, NIGHT CLUBS OR LOUNGES, ADULT ENTERTAINMENT ESTABLISHMENTS, AND VEHICLE SALES AND STORAGE.

ENGINEER'S SEAL	ALBUQUERQUE WAL-MART EXPANSION	DRAWN BY JDN
	AMENDED SITE PLAN FOR SUBDIVISION	DATE 06-08-01
	TERRA WEST, LLC	9929WSPS1.DWG
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)958-3100	SHEET # 1
RONALD R. BOHANNAN P.E. #7868		JOB # 990029W



FUTURE DEVELOPMENT BY OTHERS



LEGAL DESCRIPTION:
TRACT B-3A LENKURT SITE

PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	11.0837 ACRE
EXISTING LOT AREA:	11.0837 AC
LOT 4 EXPANSION:	2.1618 AC
TOTAL LOT AREA:	13.2455 AC
BUILDING AREA:	111,434 SF
EXISTING BUILDING:	21,758 SF
PROPOSED BUILDING EXPANSION:	136,082 SF
TOTAL BUILDING AREA:	157,840 SF
PARKING REQUIRED W/EXPANSION:	680 SPACES
PARKING LOST DUE TO EXP. & GAS STATION:	151 SPACES
NEW PARKING PROVIDED:	154 SPACES
TOTAL PARKING PROVIDED IN BACK:	121 SPACES
TOTAL PARKING PROVIDED ON SIDES:	46 SPACES
TOTAL PARKING PROVIDED IN FRONT:	516 SPACES
TOTAL PARKING PROVIDED:	680 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES
	2 SPACES VAN ACCESSIBLE

SHOPPING CENTER PARKING RATIO

	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
SAM'S CLUB w/EXP. & GAS STATION	683	128,612 SF	5.31
EXISTING SAM'S CLUB	702	107,927 SF	6.50

GENERAL NOTES:
1. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.

PROJECT #1000317
CASE NUMBER: Z-00128-00000-00291 AND Z-00-12

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 7/19/00 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

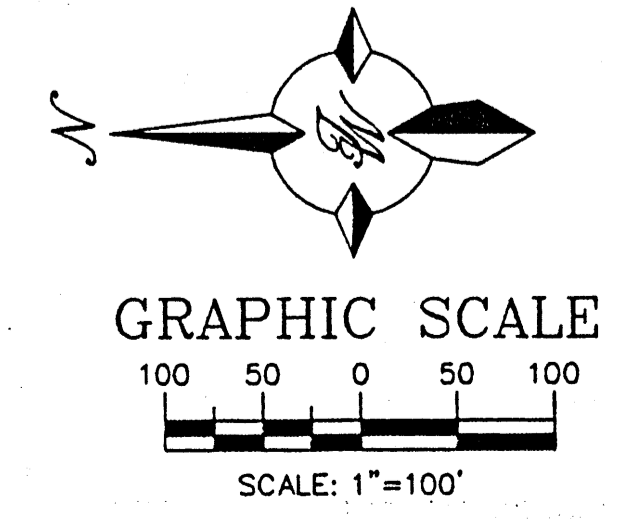
<i>[Signature]</i> Traffic Engineer, Transportation Division	7-19-00 Date
<i>[Signature]</i> Parks & General Services Department	7-19-00 Date
<i>[Signature]</i> Public Works, Water Utilities Division	7-19-00 Date
<i>[Signature]</i> City Engineer, Engineering Division / AMAFCA	1/19/01 Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
<i>[Signature]</i> City Planner, Albuquerque / Bernalillo County Planning Division	1/22/01 Date
<i>[Signature]</i> Solid Waste	12-12-00 Date

PLNZ (10706) 4/96

EXISTING PARKING DATA (from approved site plan Z-90-21-2)

	BUILDING SIZE	PARKING REQUIRED *	PARKING PROVIDED
MAJOR A	120,643	603	921
MAJOR B	49,920	250	203
MAJOR C	107,927	540	702
RETAIL A	6,240	32	0
RETAIL B	7,727	39	0
RETAIL C	8,000	40	130
PAD 1-4	28,500	143	
TOTAL	328,957	1645	1956
OVERALL RATIO:		5.01:1	5.951
MAJOR C EXPANSION	20,685	103	43
TOTAL	349,642	1748	1999
OVERALL RATIO W/EXPANSIONS:			5.72

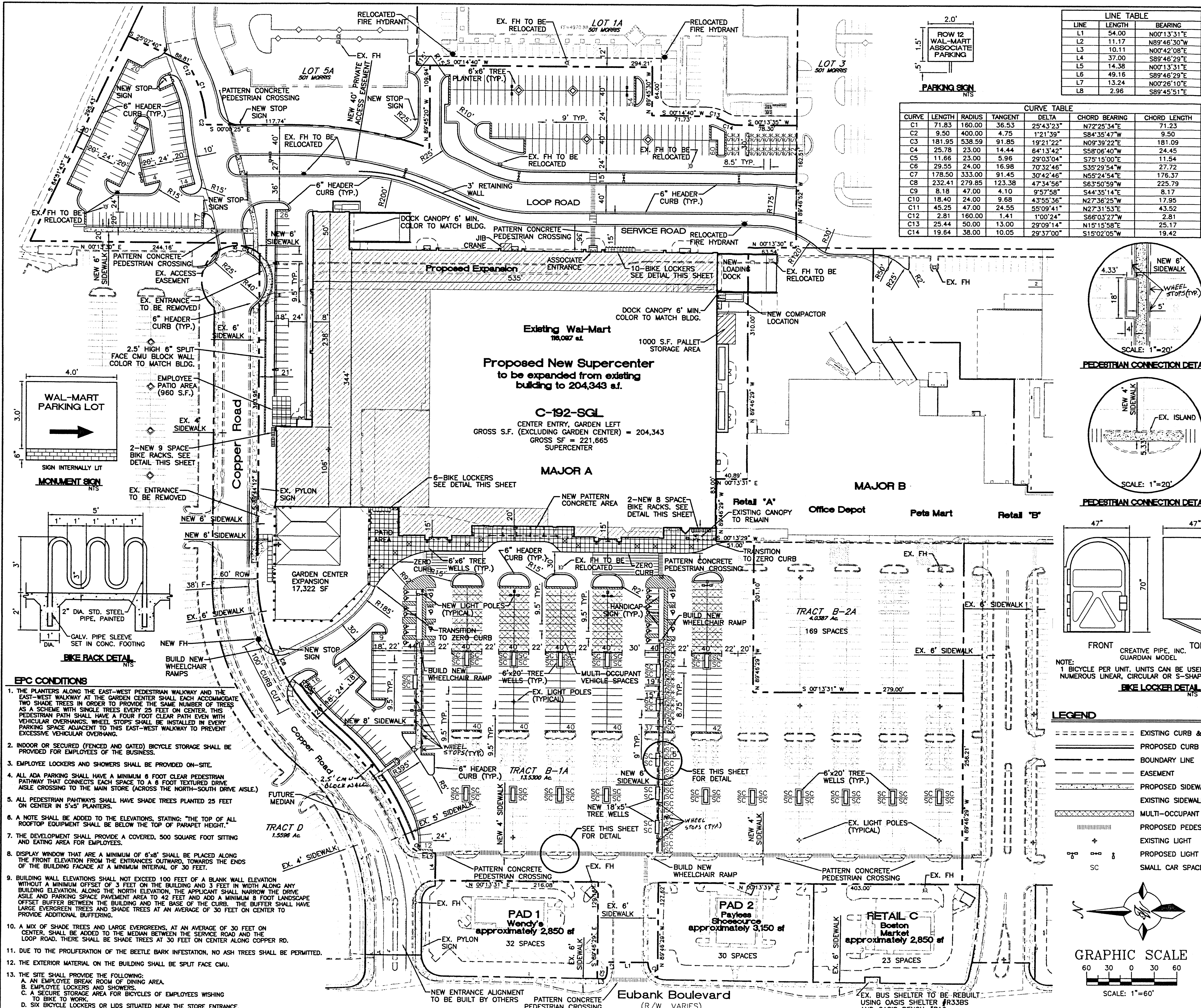
- SHEET INDEX**
- TOWN PARK PLAZA**
1. AMENDED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA
 2. APPROVED SITE PLAN FOR SUBDIVISION FOR TOWN PARK PLAZA (Z-90-21-2) (FOR REFERENCE ONLY)
 3. SITE PLAN FOR BUILDING PERMIT (SAM'S CLUB EXPANSION)
 4. LANDSCAPING PLAN
 5. MASTER UTILITY PLAN
 6. GRADING AND DRAINAGE PLAN
 7. BUILDING ELEVATIONS
- 501 MORRIS**
8. AMENDED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS
 9. APPROVED SITE PLAN FOR SUBDIVISION FOR 501 MORRIS (Z-90-21-2) (FOR REFERENCE ONLY)
- SERVICE STATION**
10. SITE PLAN FOR BUILDING PERMIT
 11. GRADING AND DRAINAGE PLAN
 12. ELEVATIONS



* CALCULATED AT 1 PARKING SPACE PER 200 SF OF LEASEABLE SPACE.

FOR REFERENCE ONLY

ENGINEER'S SEAL	ALBUQUERQUE SAM'S EXPANSION AND GAS STATION	DRAWN BY BDG
<i>[Signature]</i>	AMENDED SITE PLAN FOR SUBDIVISION	DATE 7-07-00
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	9929SPS.DWG
		SHEET # 2
		JOB # 990029

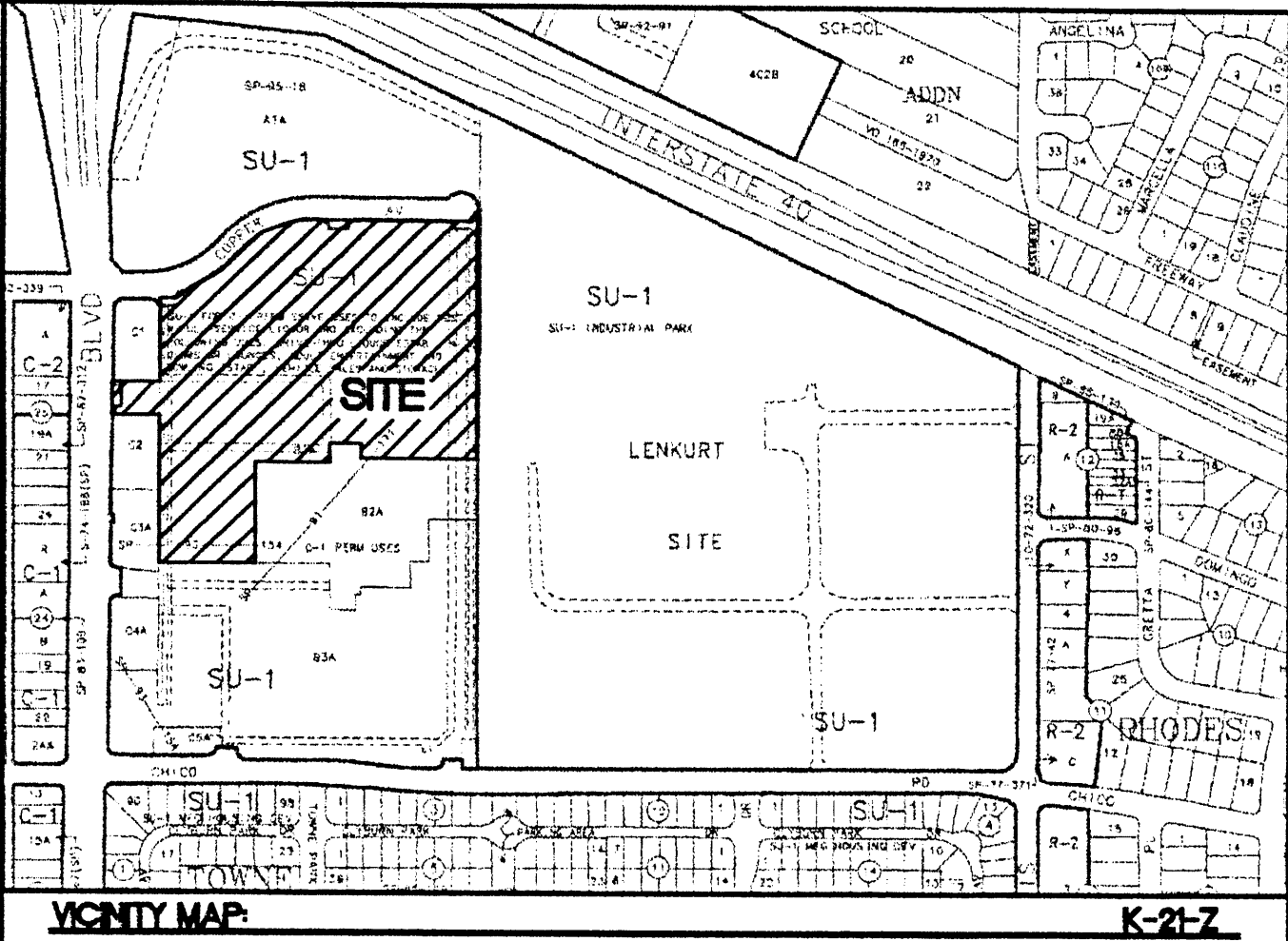


LINE TABLE

LINE	LENGTH	BEARING
L1	54.00	N00°13'31"E
L2	11.17	N89°46'30"W
L3	10.11	N00°42'08"E
L4	37.00	N89°46'29"E
L5	14.38	N00°13'31"E
L6	49.16	N89°46'29"E
L7	13.24	N00°26'10"E
L8	2.96	S89°45'51"E

CURVE TABLE

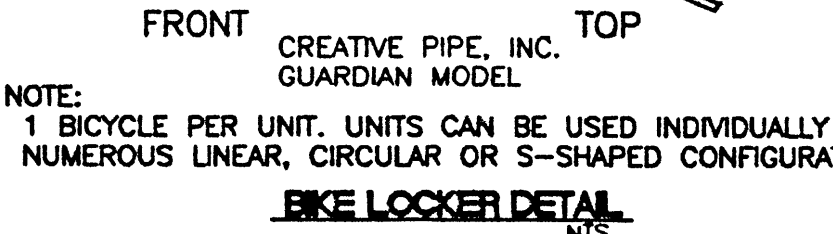
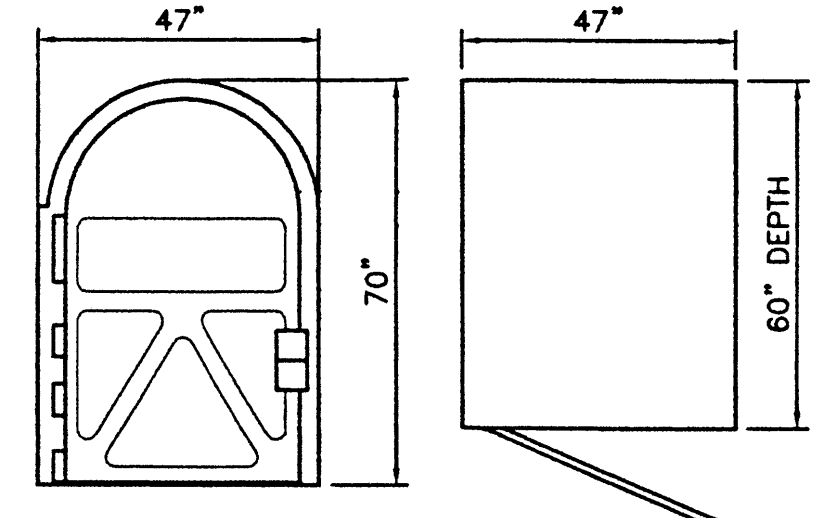
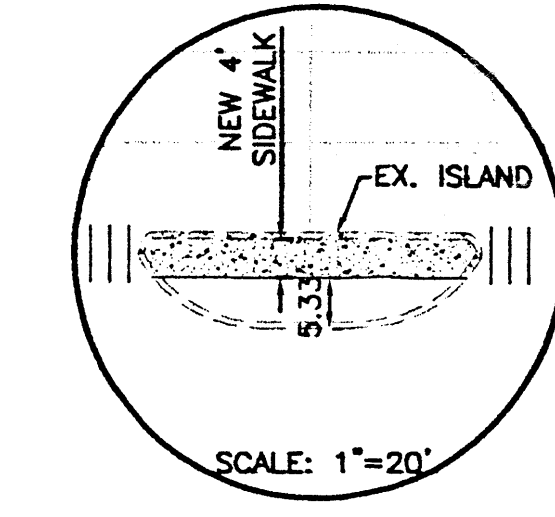
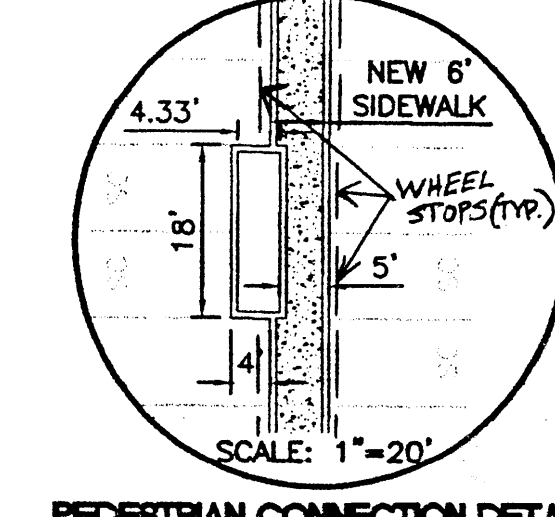
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	71.83	160.00	36.53	25°43'23"	N72°25'34"E	71.23
C2	9.50	400.00	4.75	1°21'39"	S84°35'47"W	9.50
C3	181.95	538.59	91.85	19°21'22"	N09°39'22"E	181.09
C4	25.78	23.00	14.44	84°13'42"	S58°06'40"W	24.45
C5	11.66	23.00	5.96	29°03'04"	S75°15'00"W	11.54
C6	29.55	24.00	16.98	70°32'46"	S35°29'54"W	27.72
C7	178.50	333.00	91.45	30°42'46"	N55°24'54"E	176.37
C8	232.41	279.85	123.38	47°34'56"	S63°50'59"W	225.79
C9	8.18	47.00	4.10	9°57'58"	S44°35'14"E	8.17
C10	18.40	24.00	9.68	43°55'36"	N27°36'25"W	17.95
C11	45.25	47.00	24.55	55°09'41"	N27°31'53"E	43.52
C12	2.81	160.00	1.41	1°00'24"	S68°03'27"W	2.81
C13	25.44	50.00	13.00	29°09'14"	N15°15'58"E	25.17
C14	19.64	38.00	10.05	29°37'00"	S15°02'05"W	19.42



LEGAL DESCRIPTION
TRACT B-1A TOWN PARKE PLAZA

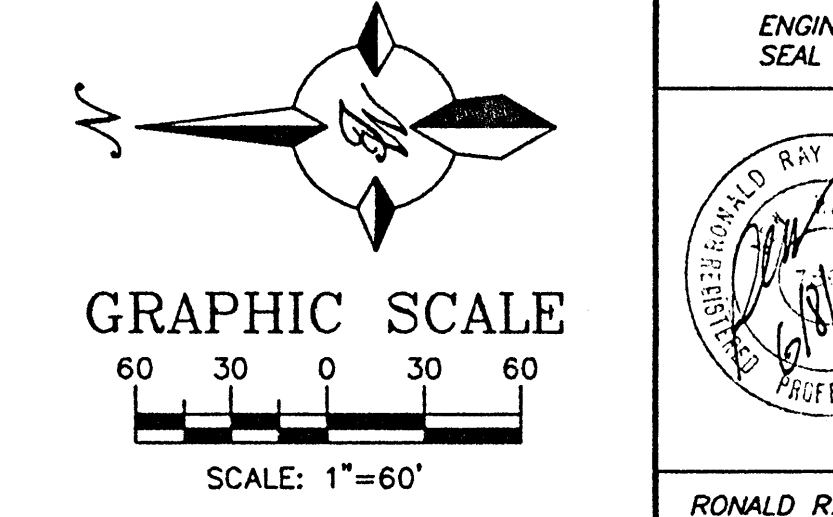
PROPOSED SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	
EXISTING LOT AREA:	13.5432 AC
LOTS 1 & 5 EXPANSION:	4.3749 AC
TOTAL LOT AREA:	17.9181 AC
BUILDING AREA:	
EXISTING BUILDING:	116,097 SF
PROPOSED BUILDING EXPANSION:	88,246 SF
PROPOSED GARDEN CENTER BUILDING:	17,322 SF
TOTAL BUILDING AREA:	221,665 SF
FLOOR AREA RATIO:	
EXISTING BUILDING:	0.20
WITH PROPOSED BUILDING EXPANSION:	0.28
PARKING CALCULATIONS:	
PARKING REQUIRED FOR EX. BUILDING:	580 SPACES
10% BUS CREDIT:	-58 SPACES
5% EXISTING BUS SHELTER:	-29 SPACES
TOTAL PARKING REQUIRED:	493 SPACES
TOTAL PARKING PROVIDED FOR EX. BUILDING:	908 SPACES
PARKING PROVIDED FOR BUILDING W/ EXPANSIONS:	1108 SPACES
10% BUS CREDIT:	-111 SPACES
5% EXISTING BUS SHELTER:	-55 SPACES
TOTAL PARKING PROVIDED:	942 SPACES
TOTAL PARKING PROVIDED FOR BLDG. W/ EXP.:	1005 SPACES
HC PARKING REQUIRED:	20 SPACES
HC PARKING PROVIDED:	20 SPACES
BIKE SPACE CALCULATIONS:	
SPACES REQUIRED (CAR SPACES/20):	50 SPACES
SPACES PROVIDED:	50 SPACES



LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- MULTI-OCCUPANT VEHICLE SPACES
- PROPOSED PEDESTRIAN CONNECTION
- EXISTING LIGHT
- PROPOSED LIGHT
- SMALL CAR SPACE



- EPC CONDITIONS**
- THE PLANTERS ALONG THE EAST-WEST PEDESTRIAN WALKWAY AND THE EAST-WEST WALKWAY AT THE GARDEN CENTER SHALL EACH ACCOMMODATE TWO SHADE TREES IN ORDER TO PROVIDE THE SAME NUMBER OF TREES AS A SCHEME WITH SINGLE TREES EVERY 25 FEET ON CENTER. THIS PEDESTRIAN PATH SHALL HAVE A FOUR FOOT CLEAR PATH EVEN WITH VEHICULAR OVERHANGS. WHEEL STOPS SHALL BE INSTALLED IN EVERY PARKING SPACE ADJACENT TO THIS EAST-WEST WALKWAY TO PREVENT EXCESSIVE VEHICULAR OVERHANG.
 - INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
 - EMPLOYEE LOCKERS AND SHOWERS SHALL BE PROVIDED ON-SITE.
 - ALL ADA PARKING SHALL HAVE A MINIMUM 8 FOOT CLEAR PEDESTRIAN PATHWAY THAT CONNECTS EACH SPACE TO A 8 FOOT TEXTURED DRIVE AISLE CROSSING TO THE MAIN STORE (ACROSS THE NORTH-SOUTH DRIVE AISLE).
 - ALL PEDESTRIAN PATHWAYS SHALL HAVE SHADE TREES PLANTED 25 FEET ON CENTER IN 5'x5' PLANTERS.
 - A NOTE SHALL BE ADDED TO THE ELEVATIONS, STATING: "THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET HEIGHT."
 - THE DEVELOPMENT SHALL PROVIDE A COVERED, 500 SQUARE FOOT SITTING AND EATING AREA FOR EMPLOYEES.
 - DISPLAY WINDOW THAT ARE A MINIMUM OF 6'x8" SHALL BE PLACED ALONG THE FRONT ELEVATION FROM THE ENTRANCES OUTWARD, TOWARDS THE ENDS OF THE BUILDING FACADE AT A MINIMUM INTERVAL OF 30 FEET.
 - BUILDING WALL ELEVATIONS SHALL NOT EXCEED 100 FEET OF A BLANK WALL ELEVATION WITHOUT A MINIMUM OFFSET OF 3 FEET ON THE BUILDING AND 3 FEET IN WIDTH ALONG ANY BUILDING ELEVATION. ALONG THE NORTH ELEVATION, THE APPLICANT SHALL NARROW THE DRIVE AISLE AND PARKING SPACE PAVEMENT AREA TO 42 FEET AND ADD A MINIMUM 8 FOOT LANDSCAPE OFFSET BUFFER BETWEEN THE BUILDING AND THE BASE OF THE CURB. THE BUFFER SHALL HAVE LARGE EVERGREEN TREES AND SHADE TREES AT AN AVERAGE OF 30 FEET ON CENTER TO PROVIDE ADDITIONAL BUFFERING.
 - A MIX OF SHADE TREES AND LARGE EVERGREENS, AT AN AVERAGE OF 30 FEET ON CENTER, SHALL BE ADDED TO THE MEDIAN BETWEEN THE SERVICE ROAD AND THE LOOP ROAD, THERE SHALL BE SHADE TREES AT 30 FEET ON CENTER ALONG COPPER RD.
 - DUE TO THE PROLIFERATION OF THE BEETLE BARK INFESTATION, NO ASH TREES SHALL BE PERMITTED.
 - THE EXTERIOR MATERIAL ON THE BUILDING SHALL BE SPLIT FACE CMU.
 - THE SITE SHALL PROVIDE THE FOLLOWING:
 - AN EMPLOYEE BREAK ROOM OF DINING AREA.
 - EMPLOYEE LOCKERS AND SHOWERS.
 - A SECURE STORAGE AREA FOR BICYCLES OF EMPLOYEES WISHING TO BIKE TO WORK.
 - SIX BICYCLE LOCKERS OR LIDS SITUATED NEAR THE STORE ENTRANCE.

SHOPPING CENTER PARKING RATIO

WAL-MART W/ EXP. & GARDEN CENTER	NO. OF SPACES	BUILDING AREA	RATIO/1000 sq.ft.
1005	221,665 SF	4.53	
EXISTING WAL-MART	908	116,097 SF	7.82

CASE NUMBER 0450-0000-00679

This plan is consistent with the specific site development plan approved by the Engineering Planning Commission (EPC) on 6/13/01 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

Richard J. Smith Traffic Engineer, Transportation Division	6/13/01 Date
Blaine E. Candless Public Works, Water Utilities Division	6/13/01 Date
John J. ... City Engineer, Engineering Division / AMAFCA	9-10-01 Date
... City Planner, Albuquerque / Bernalillo	9/10/01 Date
... Solid Waste	8-16-01 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

PLNZ (10706) 4/98

REVISIONS

NO.	DATE	REMARKS	BY

ENGINEER'S SEAL

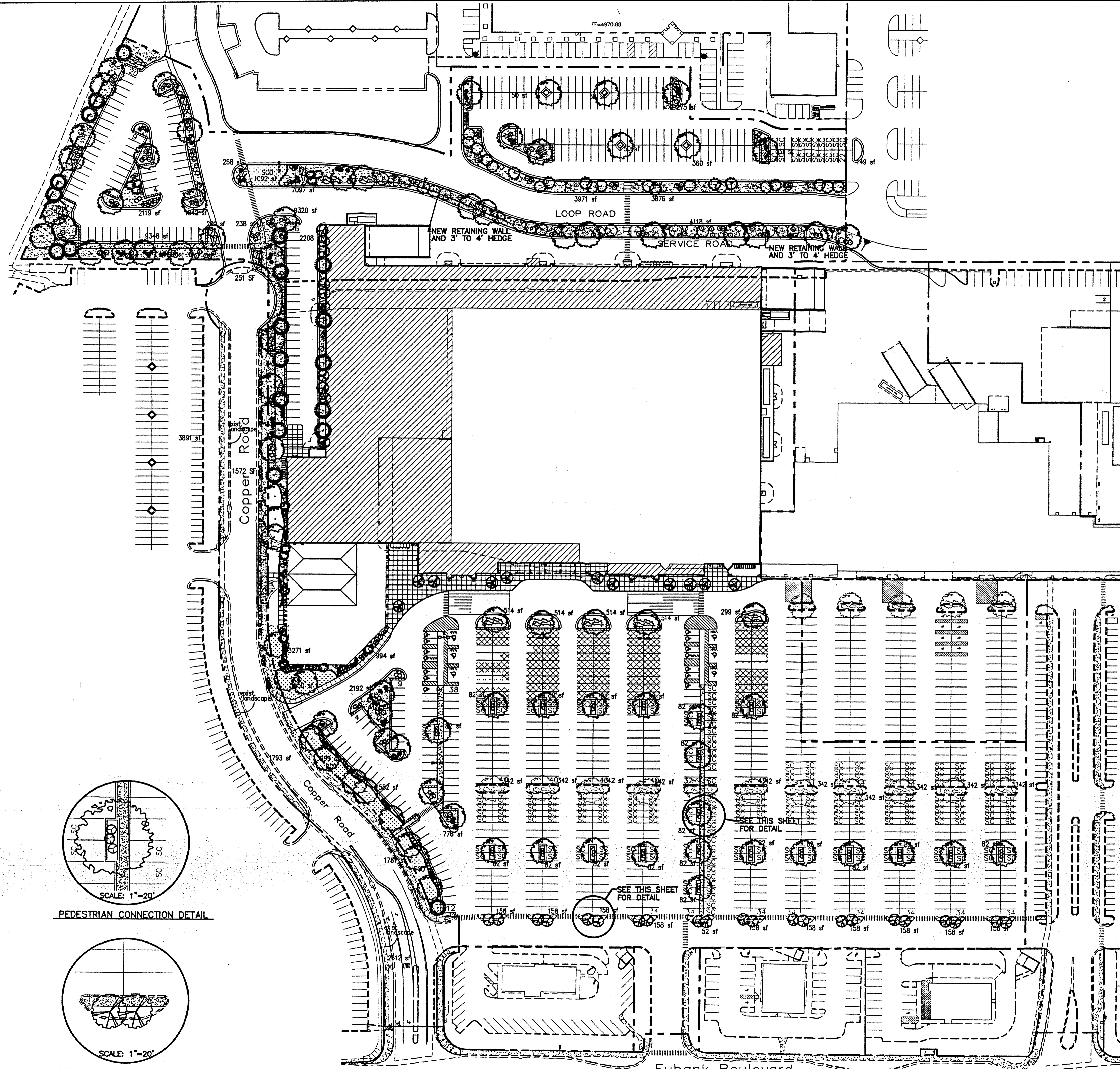
ALBUQUERQUE WAL-MART EXPANSION: 835-02

SITE PLAN FOR BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

DRAWN BY JDN
DATE 06-08-01
9929WSP2.DWG
SHEET # 3
JOB # 990029W



PLANT LEGEND

- | | |
|--|---|
| <ul style="list-style-type: none"> EXISTING LANDSCAPING HONEY LOCUST (H) 88
<i>Gleditsia triacanthos</i>
2" Cal LEYLANDII CYPRESS (M) 20
<i>Cupressocyparis leylandii</i>
15 GAL AUSTRIAN PINE (H) 13
<i>Pinus nigra</i>
6-8' DESERT WILLOW (M) 22
<i>Chilopsis linearis</i>
15 GAL BRADFORD PEAR (M) 47
<i>Pyrus caleryana bradford</i>
1 1/2" Cal NEW MEXICO OLIVE (M) 16
<i>Forestiera neomexicana</i>
15 GAL APACHE PLUME (L) 21
<i>Fallugia paradoxa</i>
5 gal POTENTILLA (M) 50
<i>Potentilla fruticosa</i>
5 gal | <ul style="list-style-type: none"> RUSSIAN SAGE (M) 125
<i>Perovskia atriplicifolia</i>
5 gal AUTUMN SAGE (M) 78
<i>Salvia gregii</i>
5 gal CHAMISA (L) 158
<i>Chrysothamnus nauseosus</i>
1 gal MAIDEN GRASS (M) 83
<i>Miscanthus sinensis</i>
5 gal WILDFLOWER 146
1 GAL TAM JUNIPER (L) 51
<i>Juniperus sibirica</i>
5 gal OVERSIZE GRAVEL & BOULDERS 3/4" SANTA ANA TAN GRAVEL W/ FILTER FABRIC SOD COMMERCIAL GRADE STEEL EDGING |
|--|---|

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters
Shrubs to receive (2) 1.0 GPH Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and water waste ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All Landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

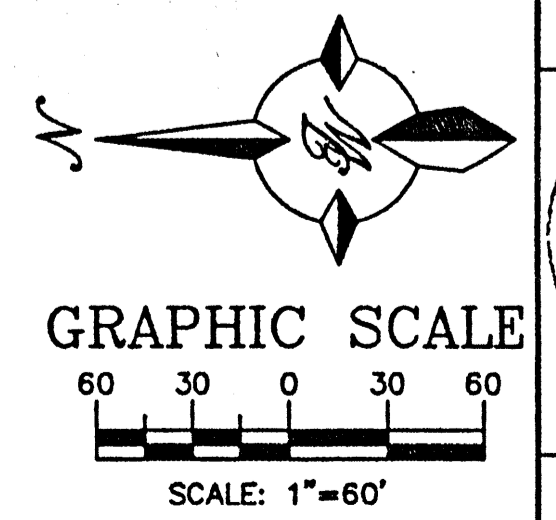
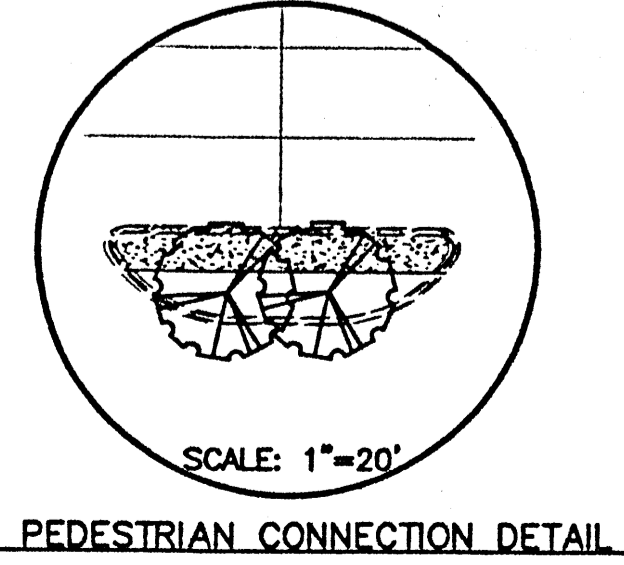
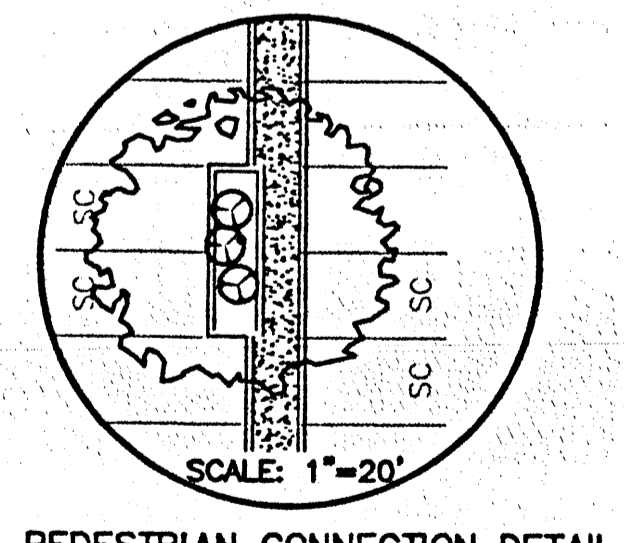
3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

LANDSCAPE CALCULATIONS

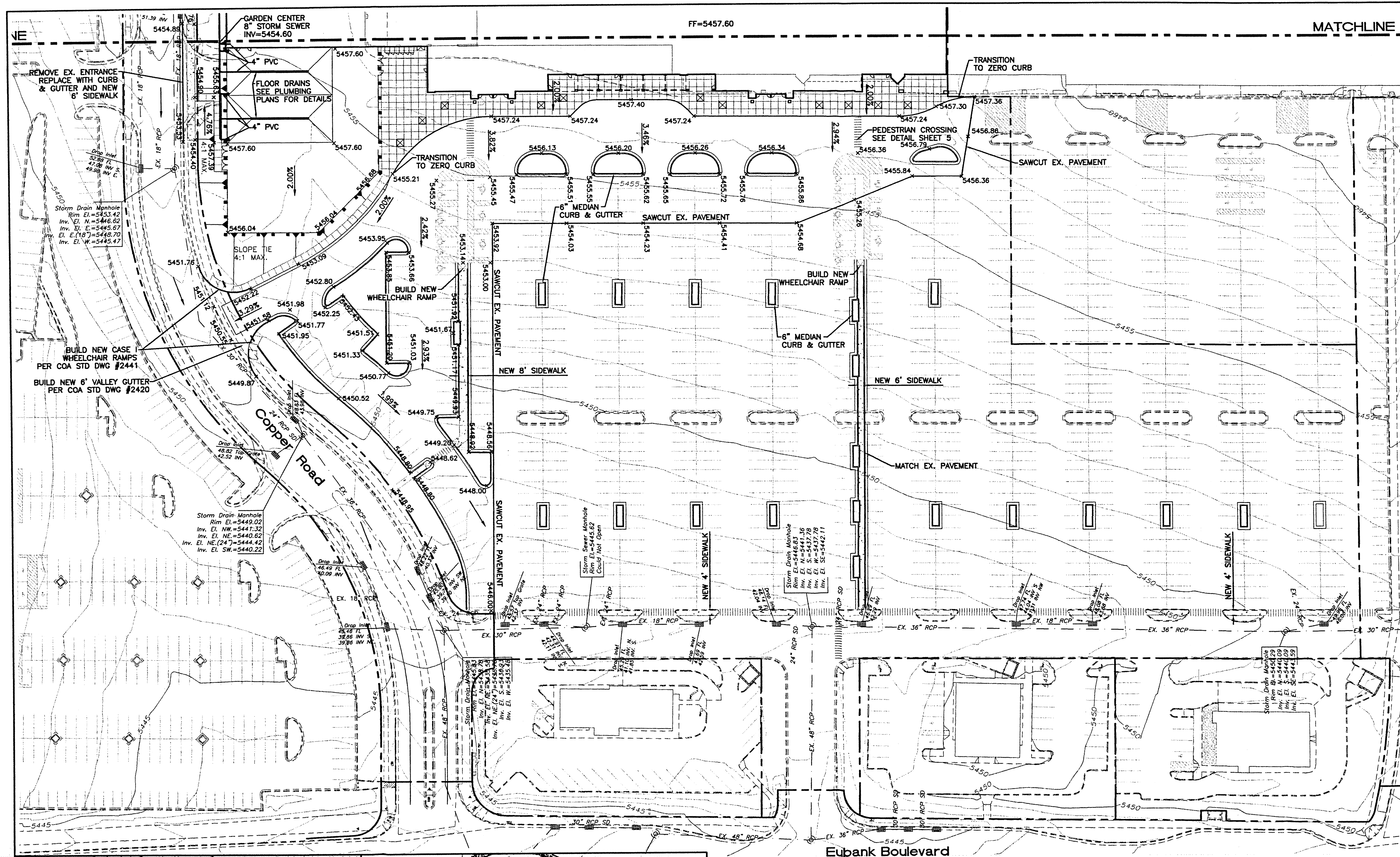
NET LANDSCAPE AREA	
TOTAL LOT AREA	772,881 square feet
TOTAL BUILDINGS AREA	216,020 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	554,661 square feet
LANDSCAPE REQUIREMENT	15 percent
TOTAL LANDSCAPE REQUIREMENT	83,199 square feet
TOTAL NEW LANDSCAPE PROVIDED	78,474 square feet
TOTAL REPLACEMENT SOD PROVIDED	11,722 square feet
TOTAL NEW BED PROVIDED	64,752 square feet
TOTAL EXISTING LANDSCAPE PROVIDED	11,865 square feet
TOTAL LANDSCAPE PROVIDED	88,339 square feet

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP.

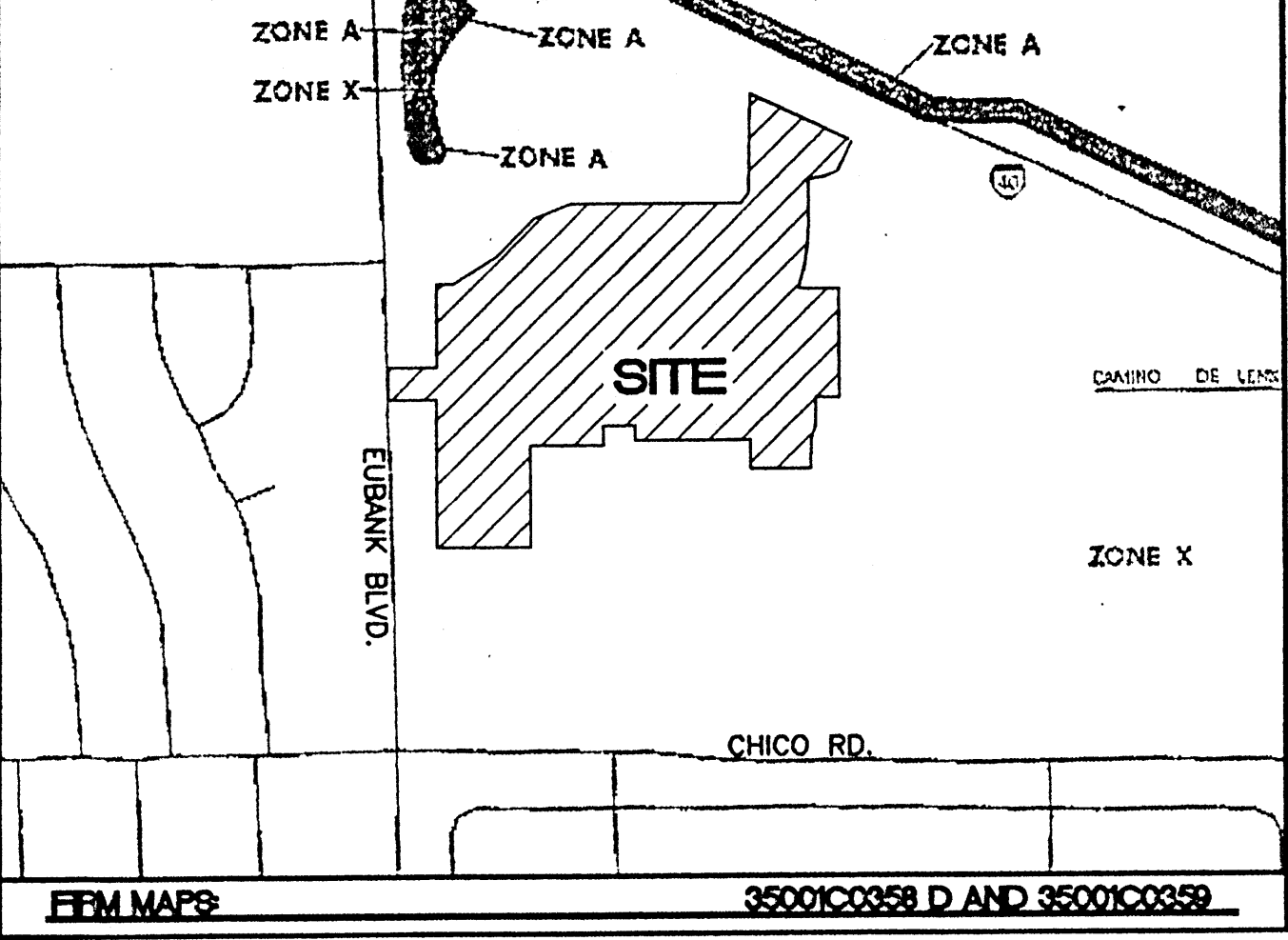
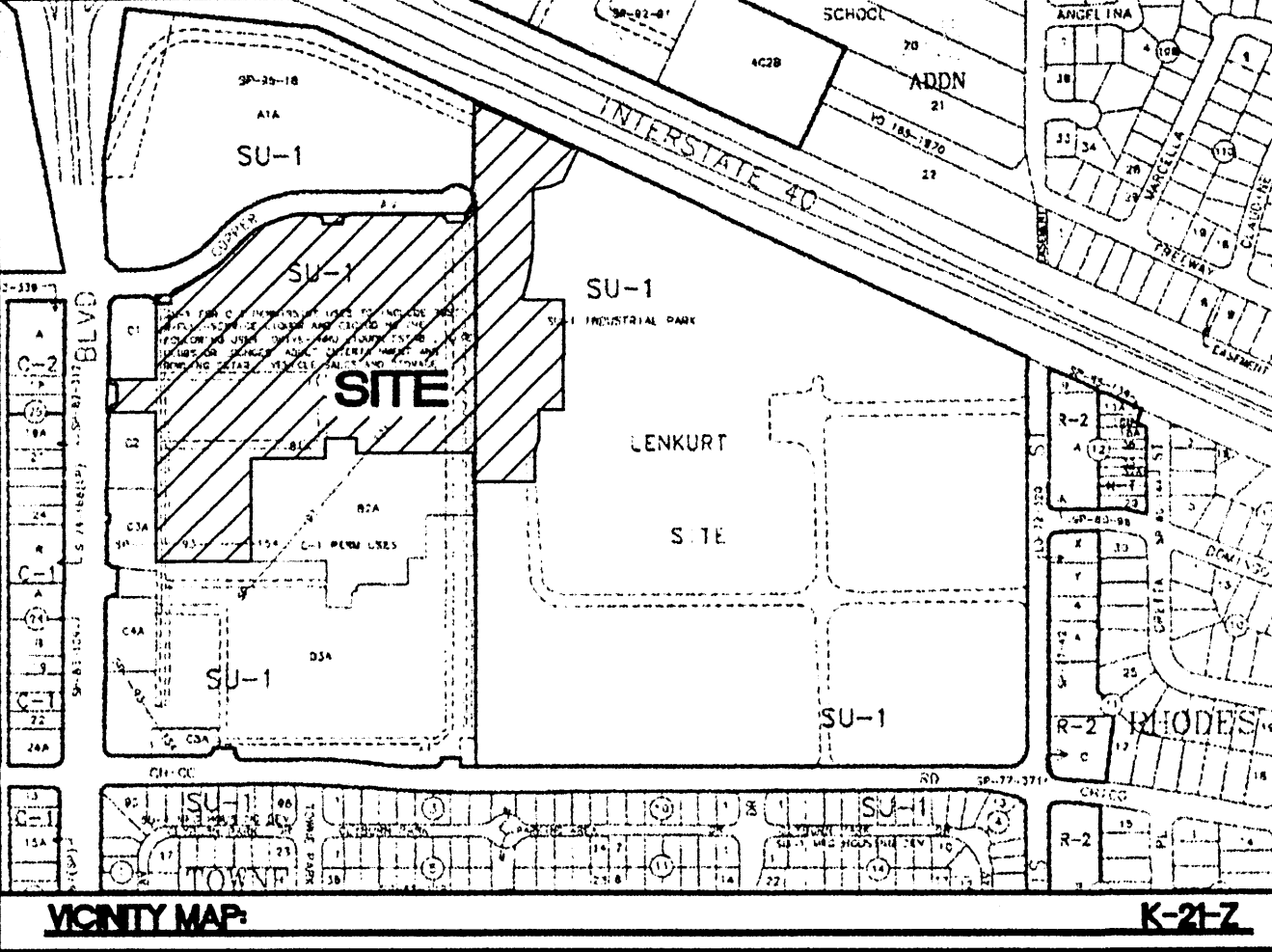
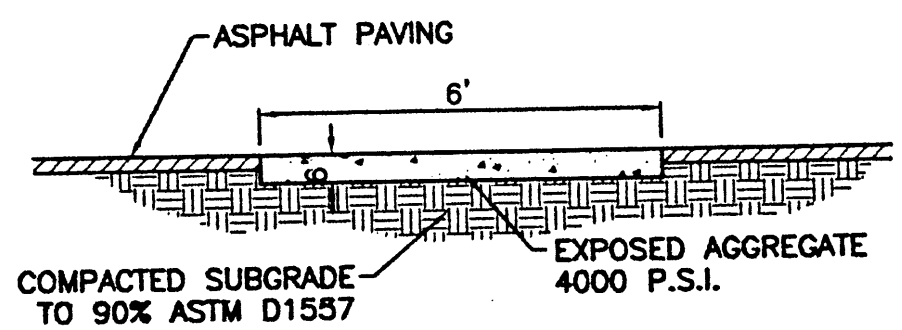
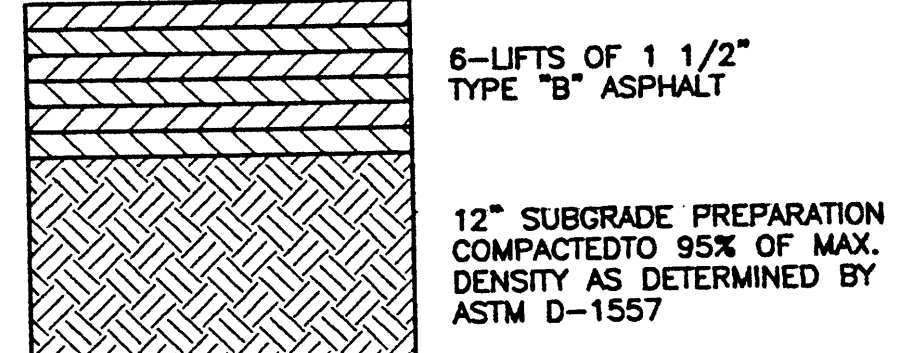
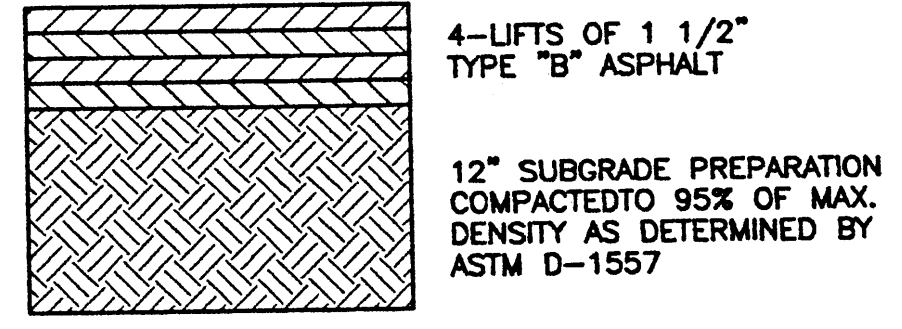


NO.	DATE	REVISIONS	BY
		ALBUQUERQUE WAL-MART EXPANSION: 835-02	DRAWN BY JDN
		LANDSCAPING PLAN	DATE 04-10-01
			9929WLP1.DWG
			SHEET # 4
			JOB # 990029W



LEGEND

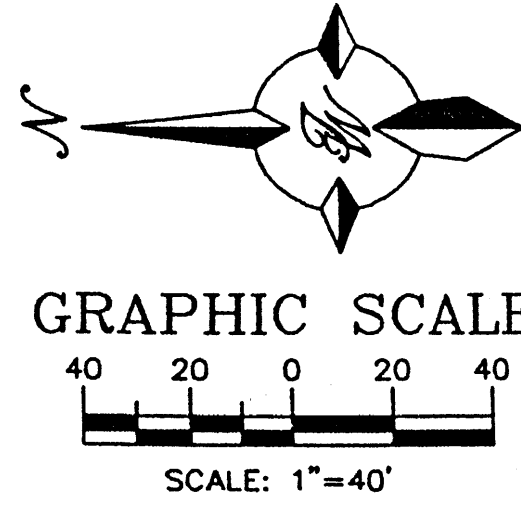
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊙ EXISTING STORM SEWER INLET
- - - EX. 24" RCP - - - EXISTING STORM SEWER LINE
- ⊙ PROPOSED STORM SEWER MANHOLE
- ⊙ PROPOSED SNGL. "C" INLET
- 24" RCP — PROPOSED STORM SEWER LINE
- - - EXISTING FENCE
- - - EXISTING CURB & GUTTER
- - - PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EXISTING BOUNDARY LINE
- - - PROPOSED SIDEWALK
- - - EXISTING SIDEWALK
- - - FUTURE SIDEWALK
- - - PROPOSED PERIMETER WALL
- - - EXISTING CONTOUR
- - - EXISTING INDEX CONTOUR
- - - PROPOSED CONTOUR
- - - PROPOSED INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- x 5048.25 EXISTING SPOT ELEVATION
- x 5048.25 PROPOSED SPOT ELEVATION
- x 5048.25 FUTURE SPOT ELEVATION
- - - MATCH LINE



- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

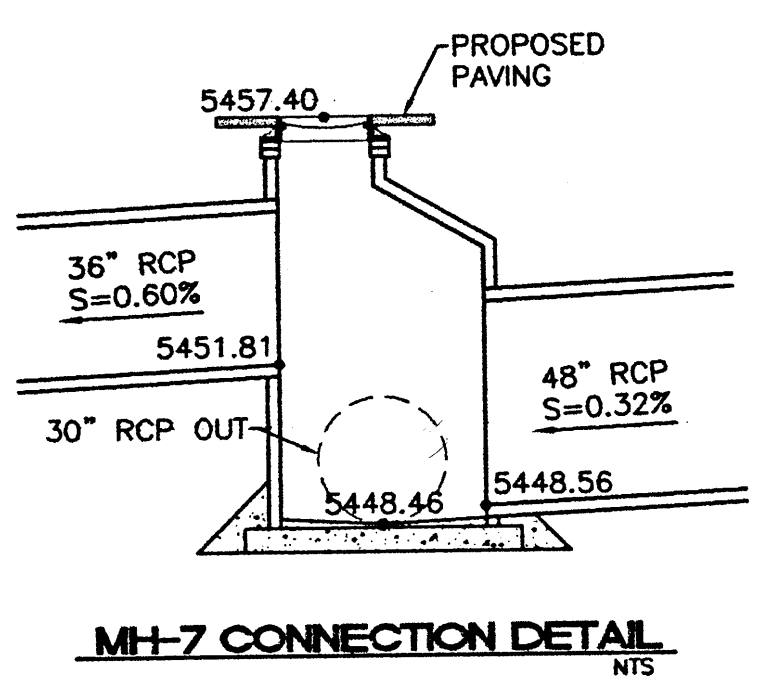
- NOTES**
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 - ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
 - ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
 - ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.
 - SEE SHEET 7 FOR RCP INLET DETAIL.

CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ROUGH GRADING APPROVAL		REVISIONS	
NO.	DATE	REMARKS	BY

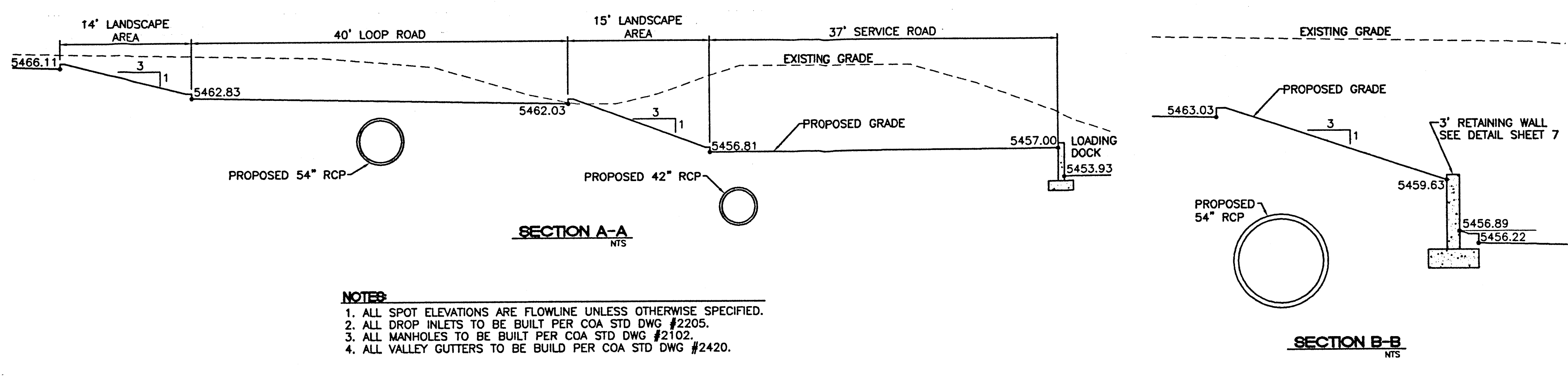
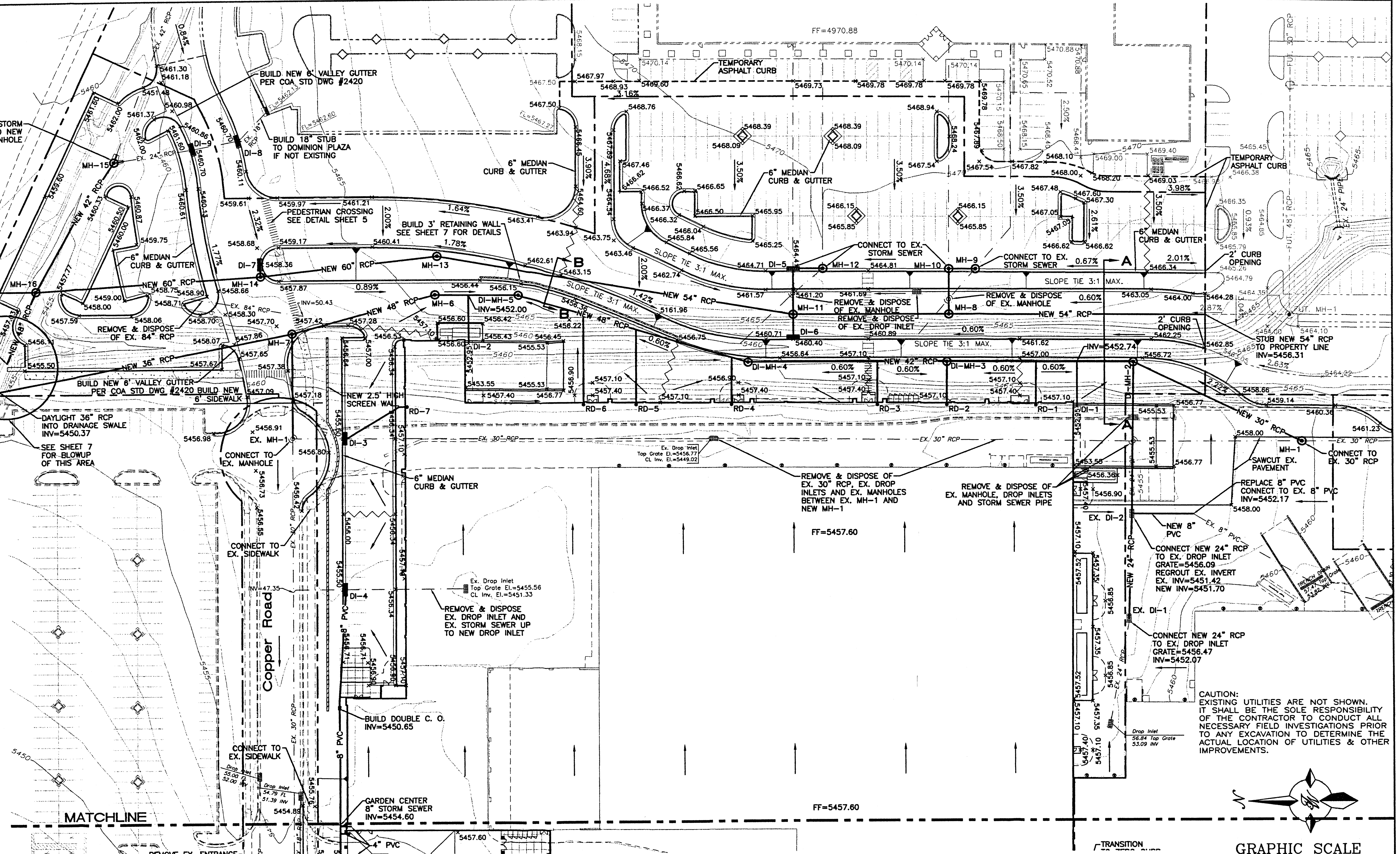
ENGINEER'S SEAL 	ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET 'A'	DRAWN BY JDN DATE 06-08-01 9929WGR1.DWG
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 5 JOB # 990029W



FROM	TO	SIZE	SLOPE
MH-1	DI-MH-2	30" RCP	0.47%
EX. DI-1	EX. DI-2	24" RCP	0.44%
EX. DI-2	DI-MH-2	24" RCP	0.44%
DI-1	DI-MH-3	8" PVC	0.60%
DI-MH-2	DI-MH-3	42" RCP	0.32%
DI-MH-3	DI-MH-4	42" RCP	0.32%
DI-MH-4	DI-MH-5	48" RCP	0.32%
DI-2	DI-MH-5	8" PVC	2.48%
DI-MH-5	MH-6	48" RCP	0.32%
MH-6	MH-7	48" RCP	0.32%
MH-7	EX. MH-1	30" RCP	0.32%
DI-3	EX. MH-1	EX. 30" RCP	0.26%
DI-4	EX. 30" RCP	EX. 18" RCP	2.91%
FUT. MH-8	MH-8	54" RCP	0.58%
MH-9	MH-10	12" RCP	5.02%
MH-10	MH-8	12" RCP	17.10%
MH-8	MH-11	54" RCP	0.58%
MH-12	DI-5	8" PVC	8.42%
DI-5	MH-11	12" RCP	17.46%
DI-6	MH-11	24" RCP	4.90%
MH-11	MH-13	54" RCP	0.58%
MH-13	MH-14	60" RCP	0.58%
DI-7	MH-14	18" RCP	28.35%
MH-14	MH-16	60" RCP	0.58%
DI-8	DI-9	EX. 18" RCP	0.10%
DI-9	MH-15	EX. 24" RCP	0.53%
MH-15	MH-16	42" RCP	1.20%
MH-16	CHANNEL	48" RCP	0.58%
MH-16	SWALE	48" RCP	0.38%
MH-7	SWALE	36" RCP	0.60%

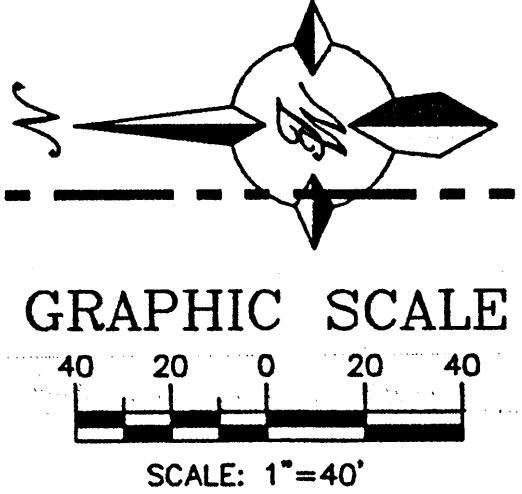
ITEM #	TYPE	RIM/GRATE	INV IN	INV OUT
EX. MH-1	EX. TYPE "E"	5457.75	5448.15	5448.05
MH-1	4" DIA. TYPE "E"	5459.70	5451.73	5451.63
DI-MH-2	RCP INLET*	5456.50	5451.15	5451.05
DI-MH-3	RCP INLET*	5456.72	5450.62	5450.52
DI-MH-4	6" RCP INLET*	5456.52	5450.06	5449.96
DI-MH-5	6" RCP INLET*	5455.95	5449.35	5449.25
MH-6	4" DIA. TYPE "E"	5456.73	5449.04	5448.94
MH-7	6" DIA. TYPE "E"	5457.40	5448.56	5448.46 (W)
SEE THIS SHEET FOR DETAIL				5451.81 (N)
FUT. MH-8	8" DIA. TYPE "E"	5464.50	5456.82	5456.72
MH-8	6" DIA. TYPE "E"	5461.62	5455.12	5455.02
MH-9	4" DIA. TYPE "E"	5465.50	5462.63	5462.53
MH-10	4" DIA. TYPE "E"	5465.36	5462.40 (E)	5461.36
			5461.46 (S)	
MH-11	6" DIA. TYPE "E"	5460.80	5454.30	5454.20
MH-12	4" DIA. TYPE "E"	5464.60	5462.60	5462.50
MH-13	6" DIA. TYPE "E"	5459.90	5452.53	5452.43
MH-14	6" DIA. TYPE "E"	5458.15	5451.61	5451.51
MH-15	8" DIA. TYPE "E"	5460.94	5452.00	5451.90
MH-16	12" DIA. TYPE "E"	5457.45	5450.45	5450.35
DI-1	DOCK DRAIN**	N/A	N/A	5452.95
DI-2	DOCK DRAIN**	N/A	N/A	5452.95
DI-3	SINGLE "C" INLET	5455.50	5451.50	5448.25
DI-4	SINGLE "C" INLET	5455.50	5448.60	5448.50
DI-5	SINGLE "C" INLET	5464.41	5462.35 (E)	5460.41
			5460.51 (S)	
DI-6	SINGLE "C" INLET	5459.28	N/A	5455.23
DI-7	SINGLE "C" INLET	5458.36	N/A	5454.36
DI-8	SINGLE "C" INLET	5460.70	5455.50	5455.40
DI-9	SINGLE "C" INLET	5460.70	5455.10	5455.00

ITEM #	TYPE	INV BLDG.	INV RCP	SIZE	SLOPE
RD-1	ROOF DRAIN	5454.60	5453.30	10" PVC	3.76%
RD-2	ROOF DRAIN	5454.60	5453.00	10" PVC	4.67%
RD-3	ROOF DRAIN	5454.60	5452.84	10" PVC	5.18%
RD-4	ROOF DRAIN	5454.60	5452.42	10" PVC	5.85%
RD-5	ROOF DRAIN	5454.60	5452.16	10" PVC	4.08%
RD-6	ROOF DRAIN	5454.60	5452.00	10" PVC	3.60%
RD-7	ROOF DRAIN	5454.60	5451.50	10" PVC	5.69%



- NOTES:**
1. ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 2. ALL DROP INLETS TO BE BUILT PER COA STD DWG #2205.
 3. ALL MANHOLES TO BE BUILT PER COA STD DWG #2102.
 4. ALL VALLEY GUTTERS TO BE BUILT PER COA STD DWG #2420.

CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

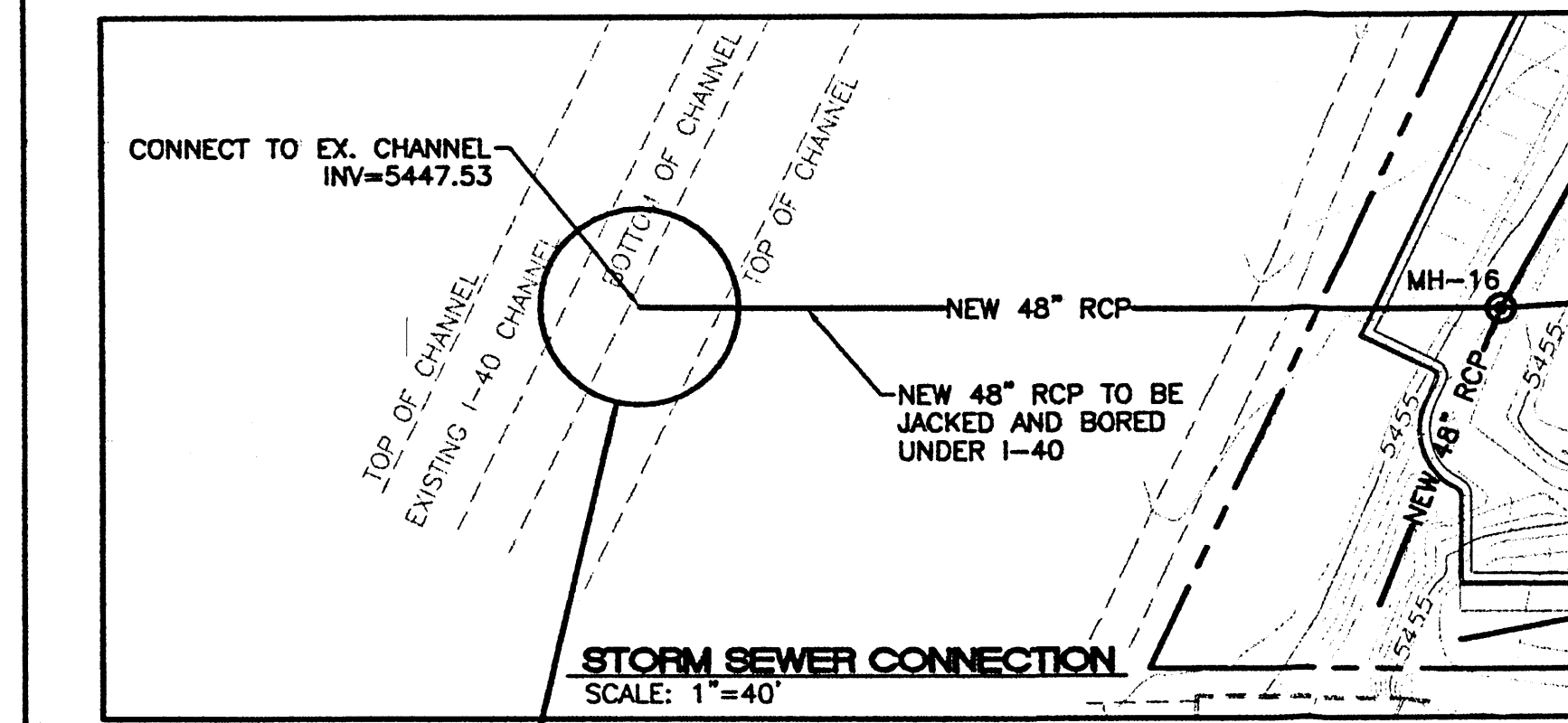
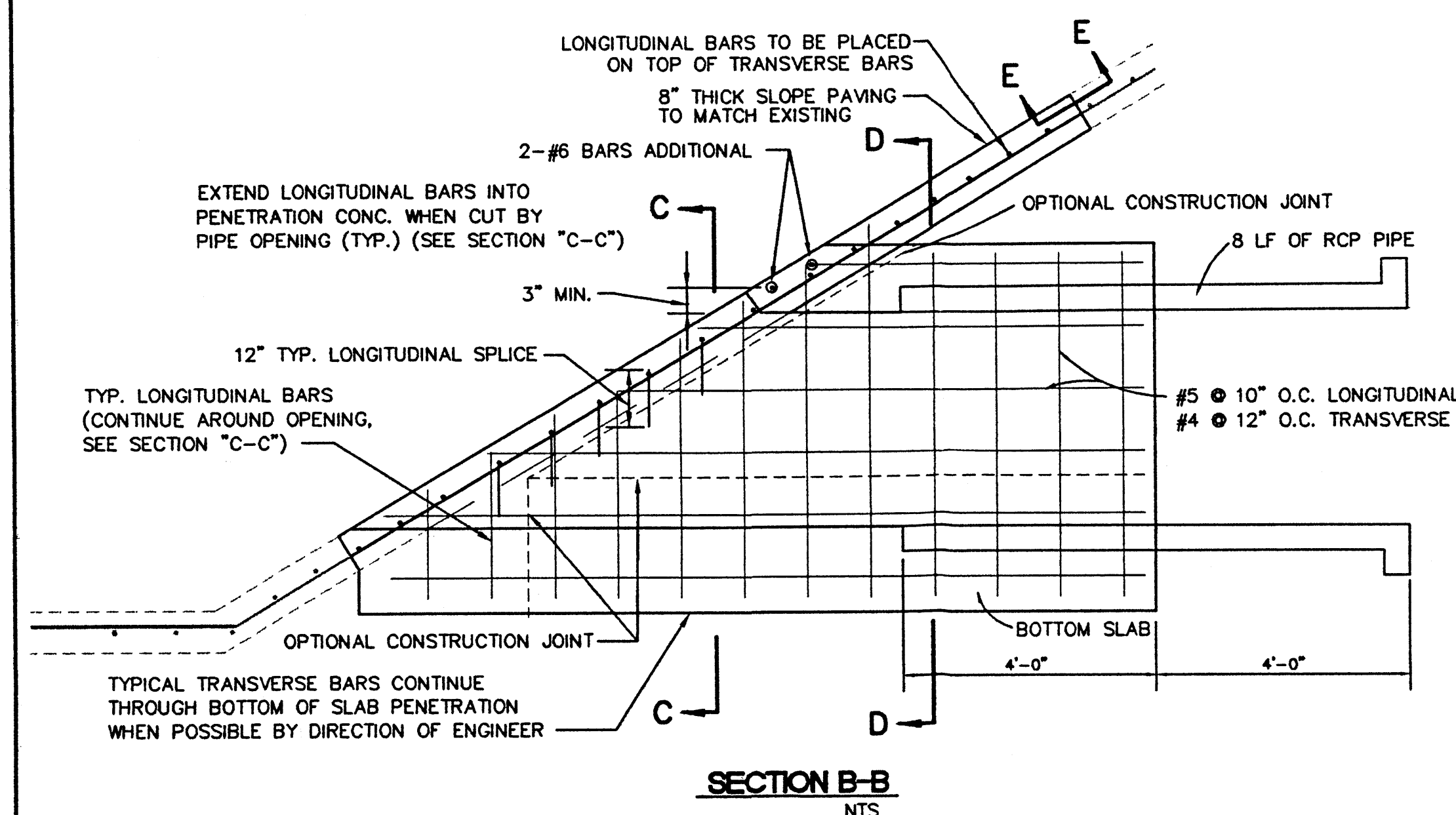
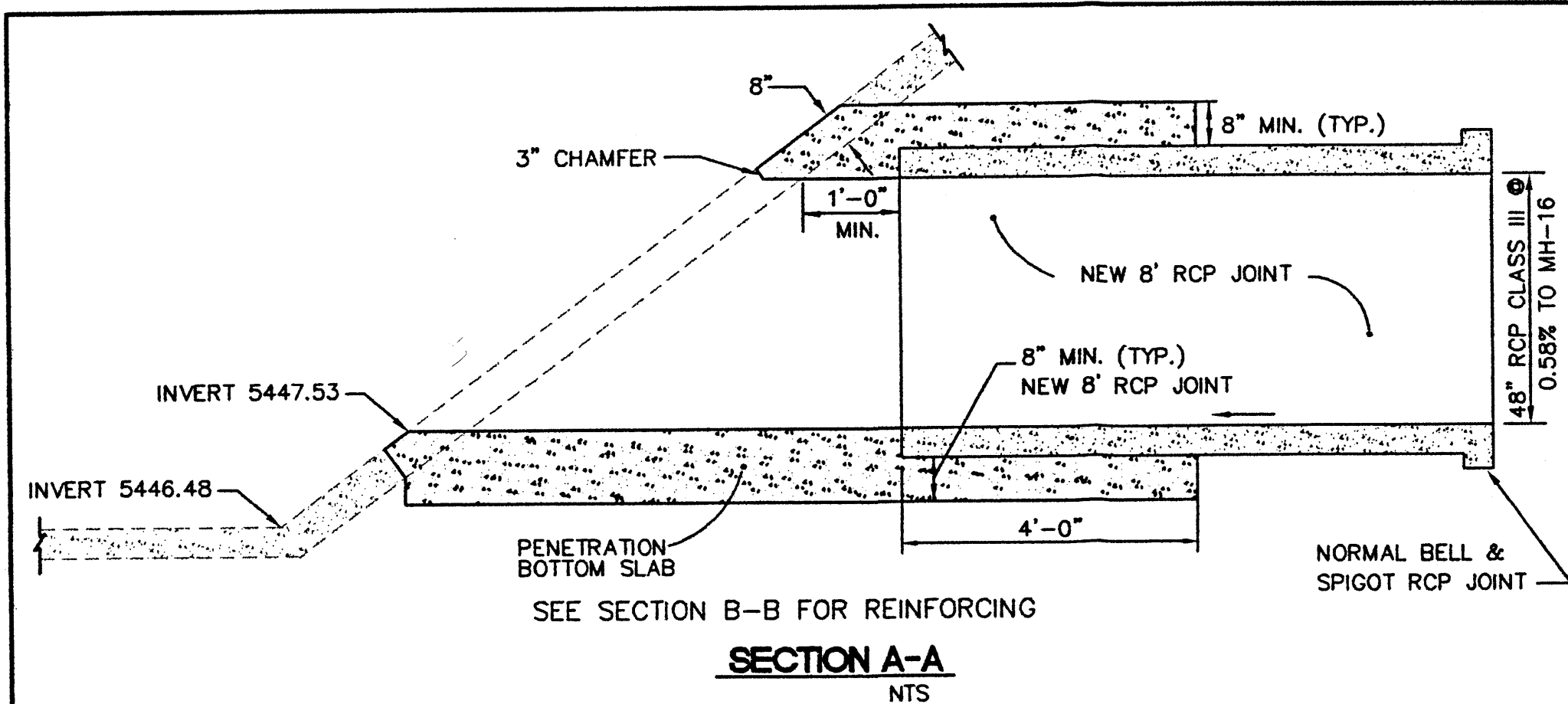


NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		DRAWN BY JDN	
DATE 06-08-01		9929WGR1.DWC	
SHEET #		6	
JOB # 990029W			

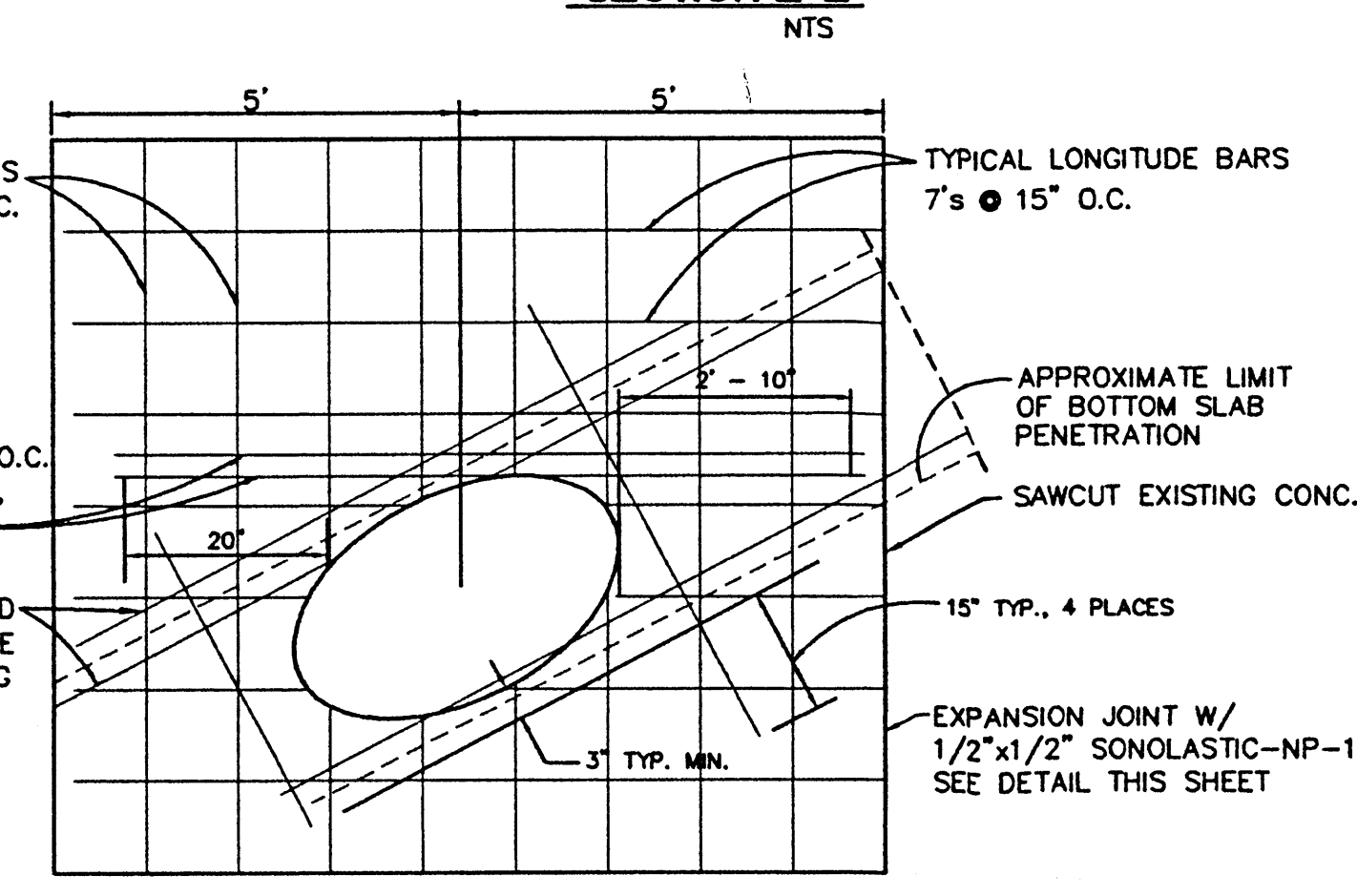
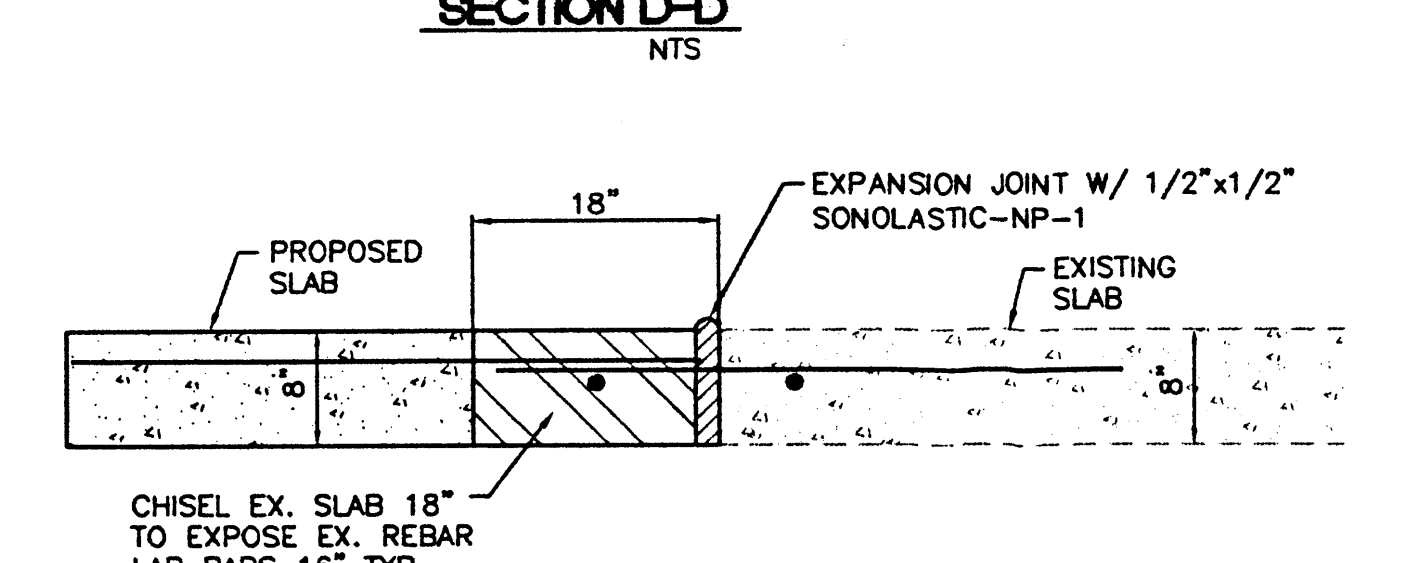
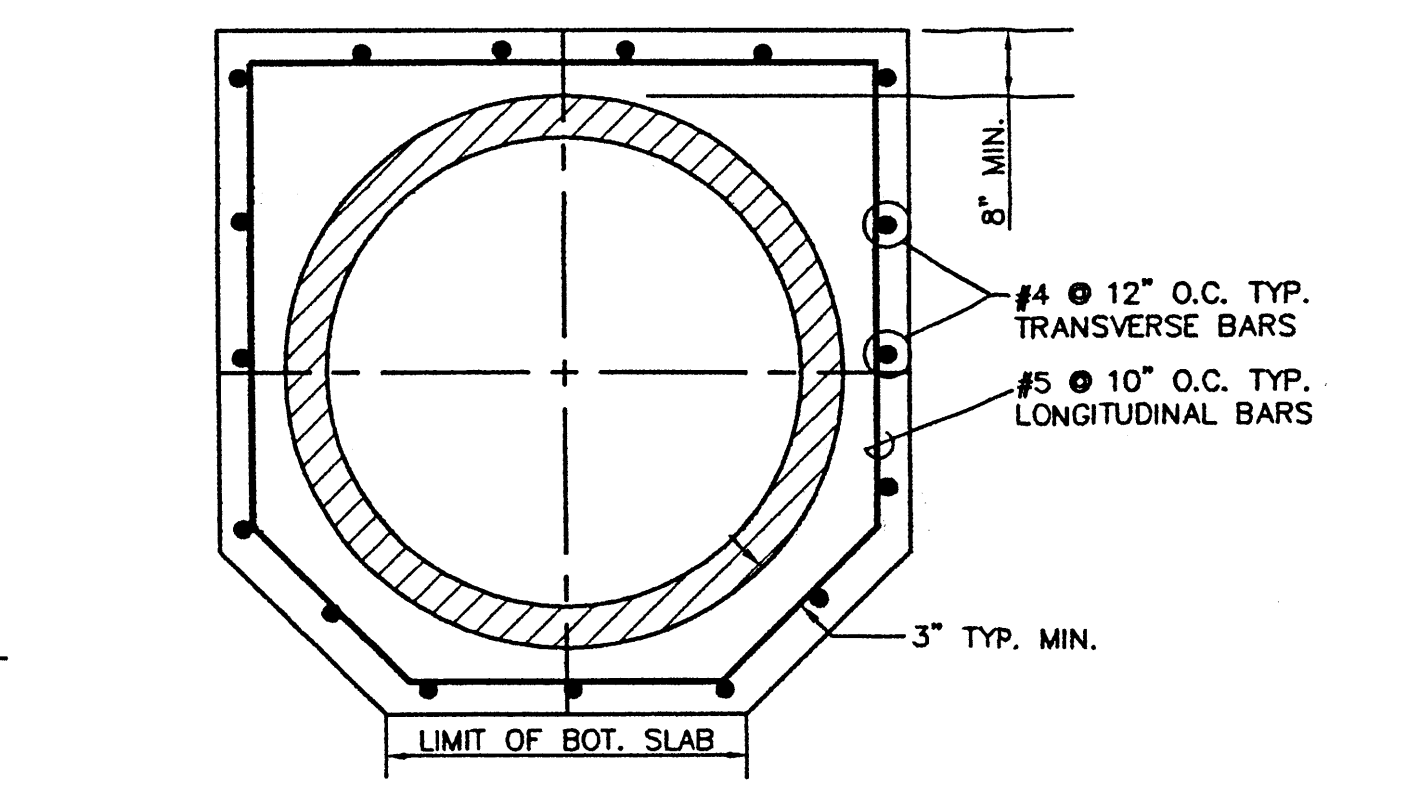
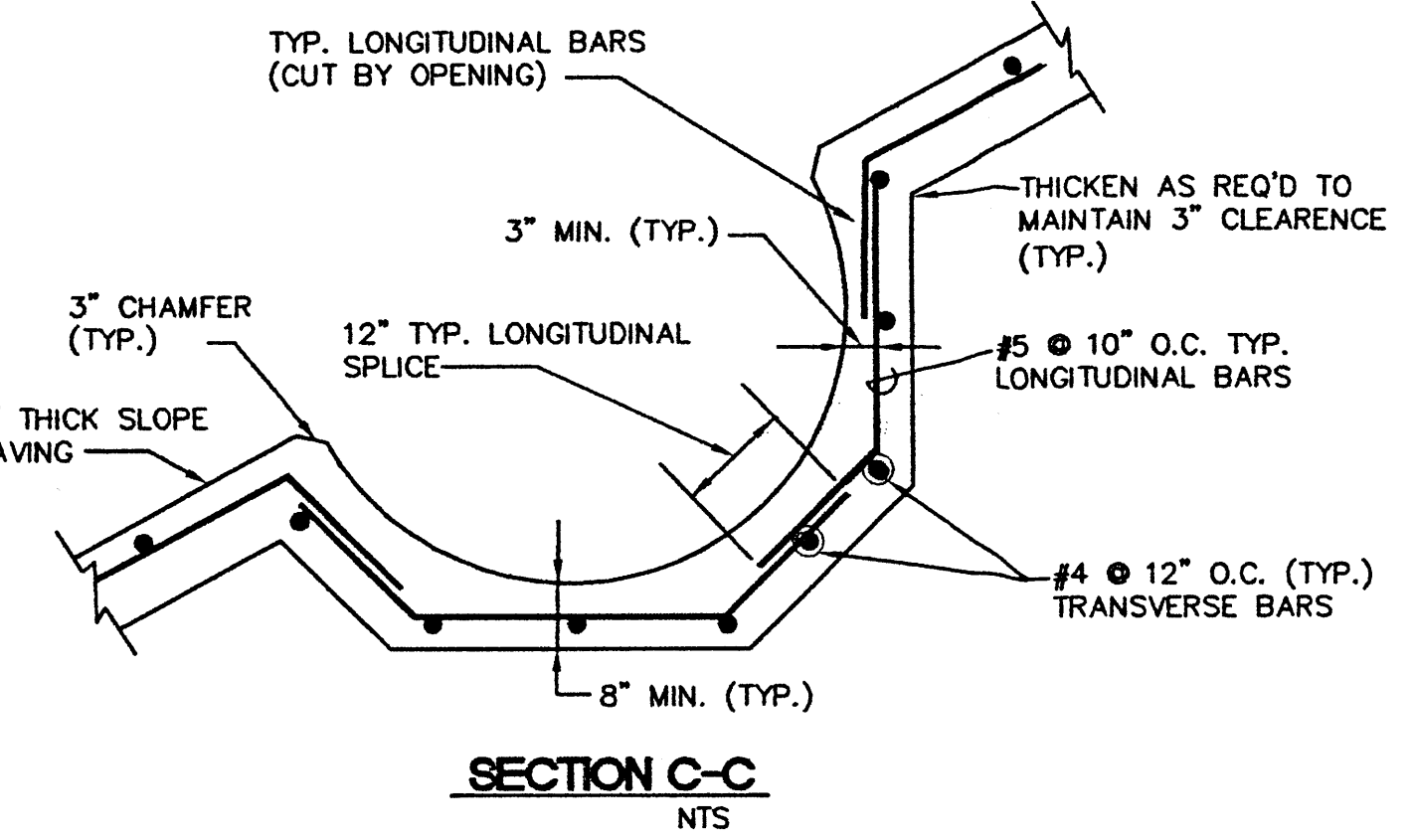
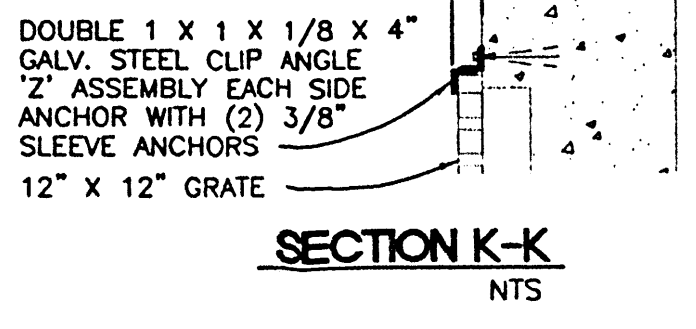
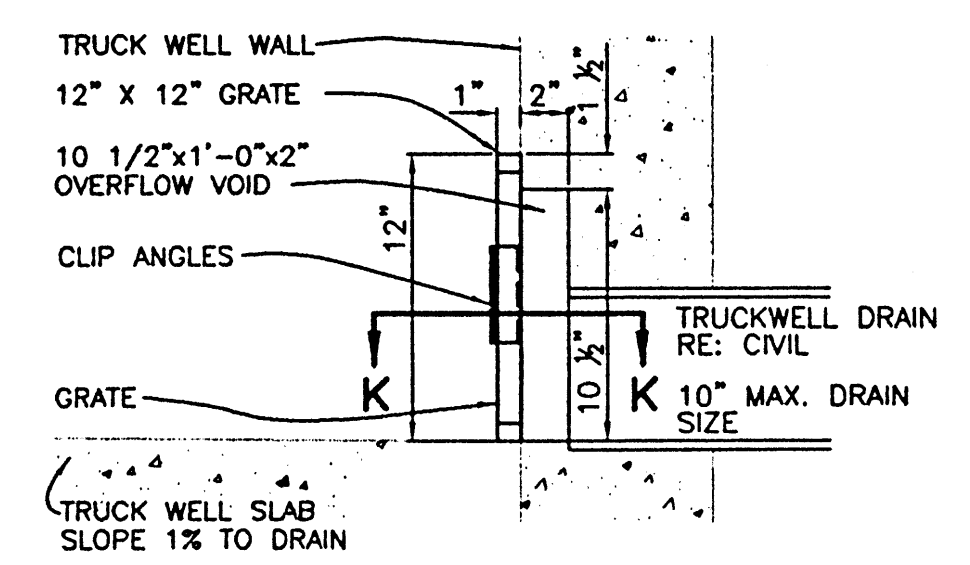
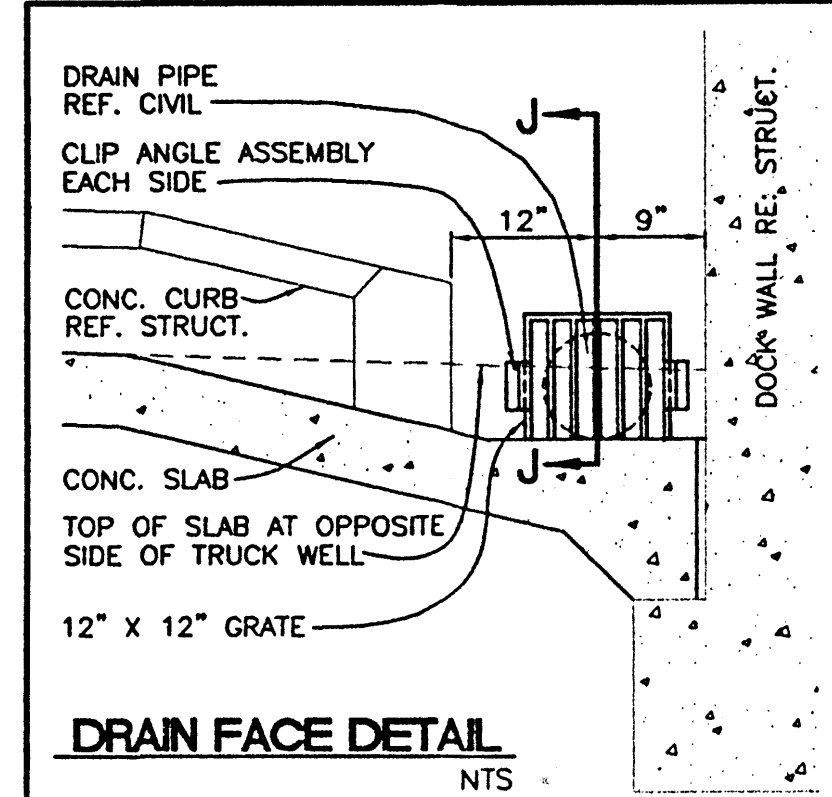
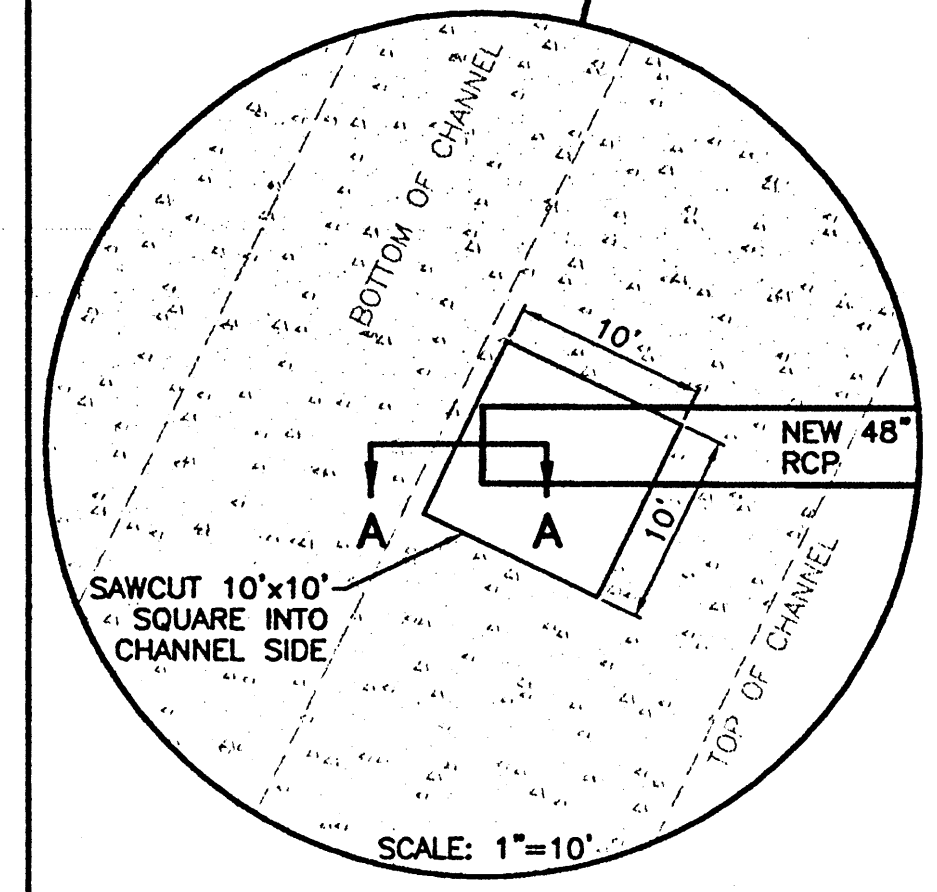
ALBUQUERQUE WAL-MART EXPANSION: 835-02 GRADING AND DRAINAGE PLAN SHEET 'B'

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

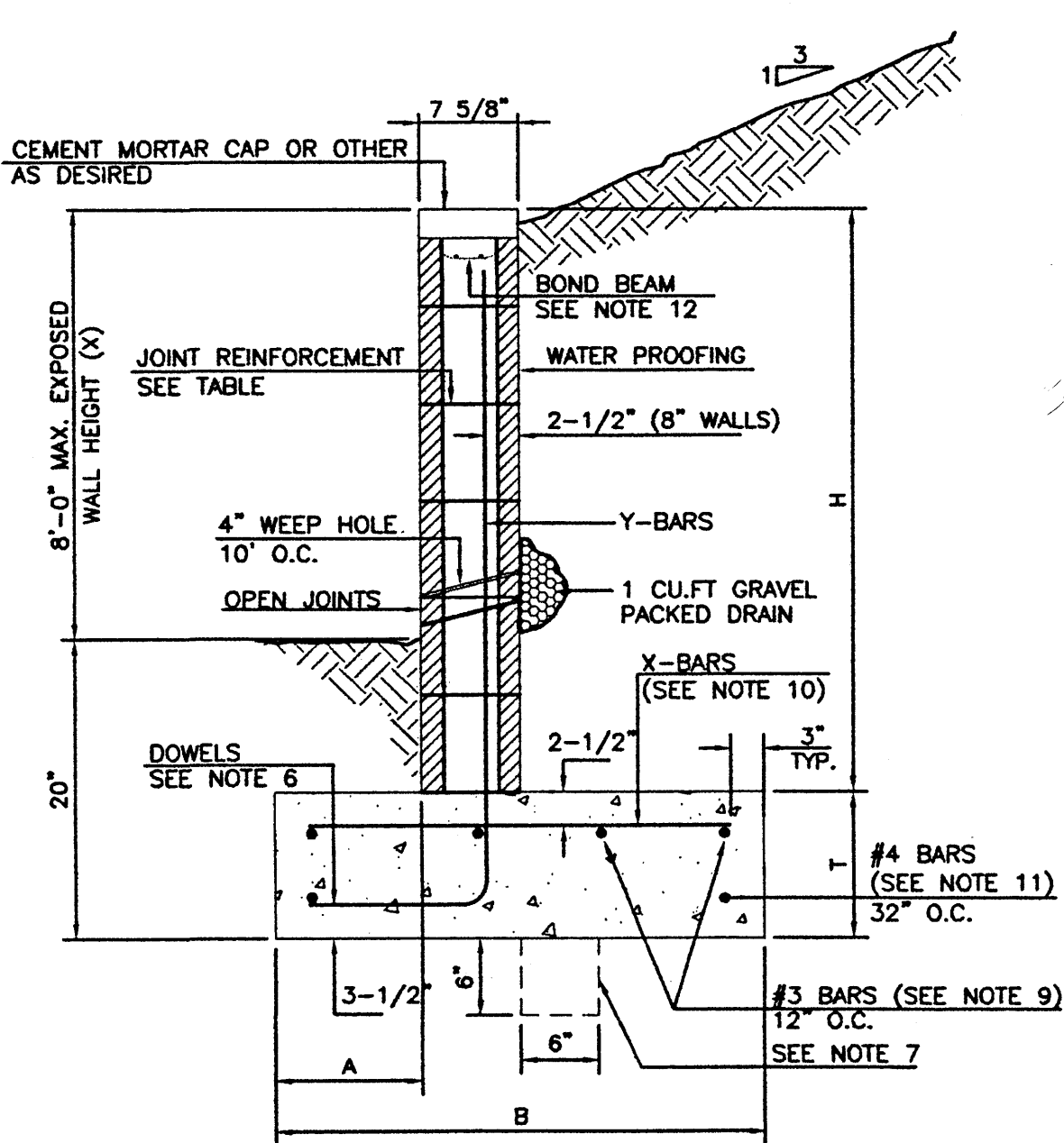
RONALD R. BOHANNAN P.E. #7868



- NOTES:**
- CONCRETE TO BE 4,000 PSI AND STEEL TO BE GRADE 60.
 - ALL SUBGRADE AND BACKFILL PLACED AT 95% MODIFIED PROCTOR. MOISTURE AT OPTIMUM TO PLUS 3% OF OPTIMUM.

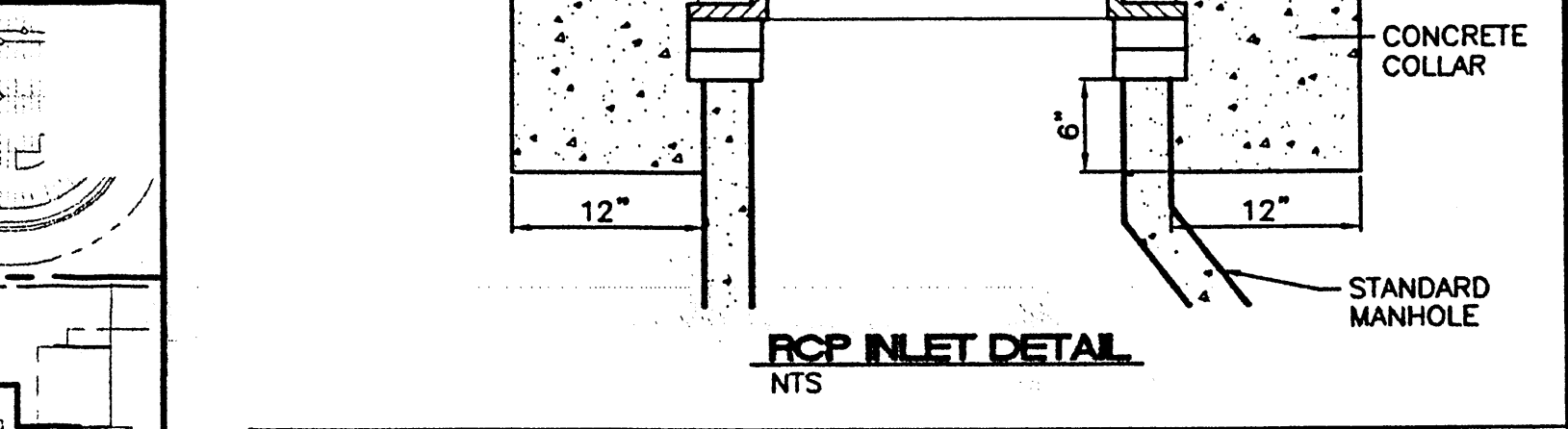
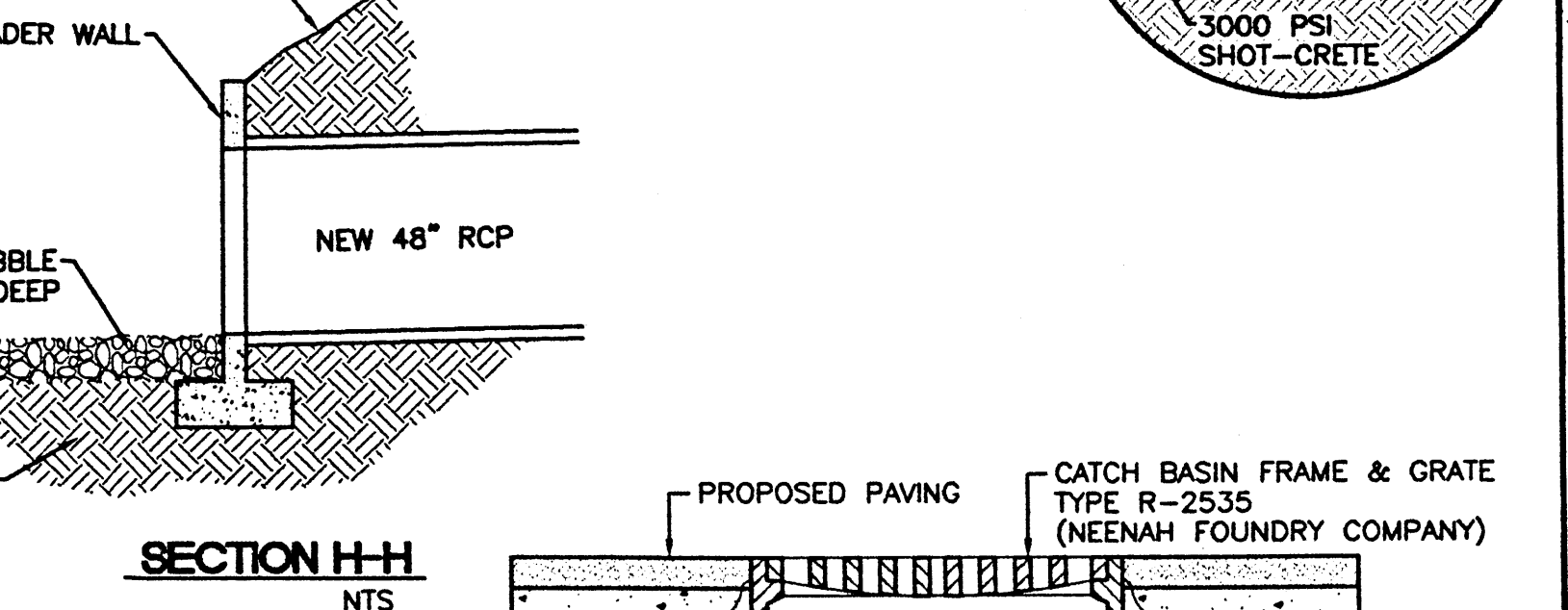
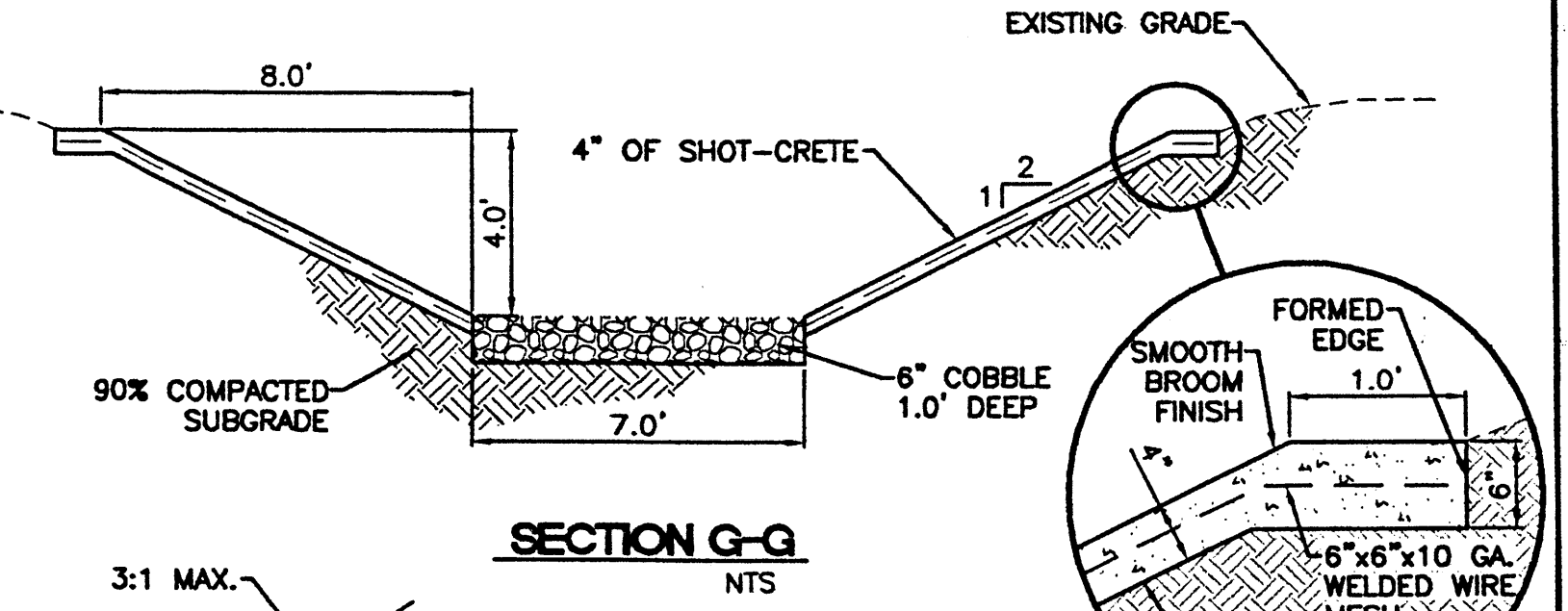
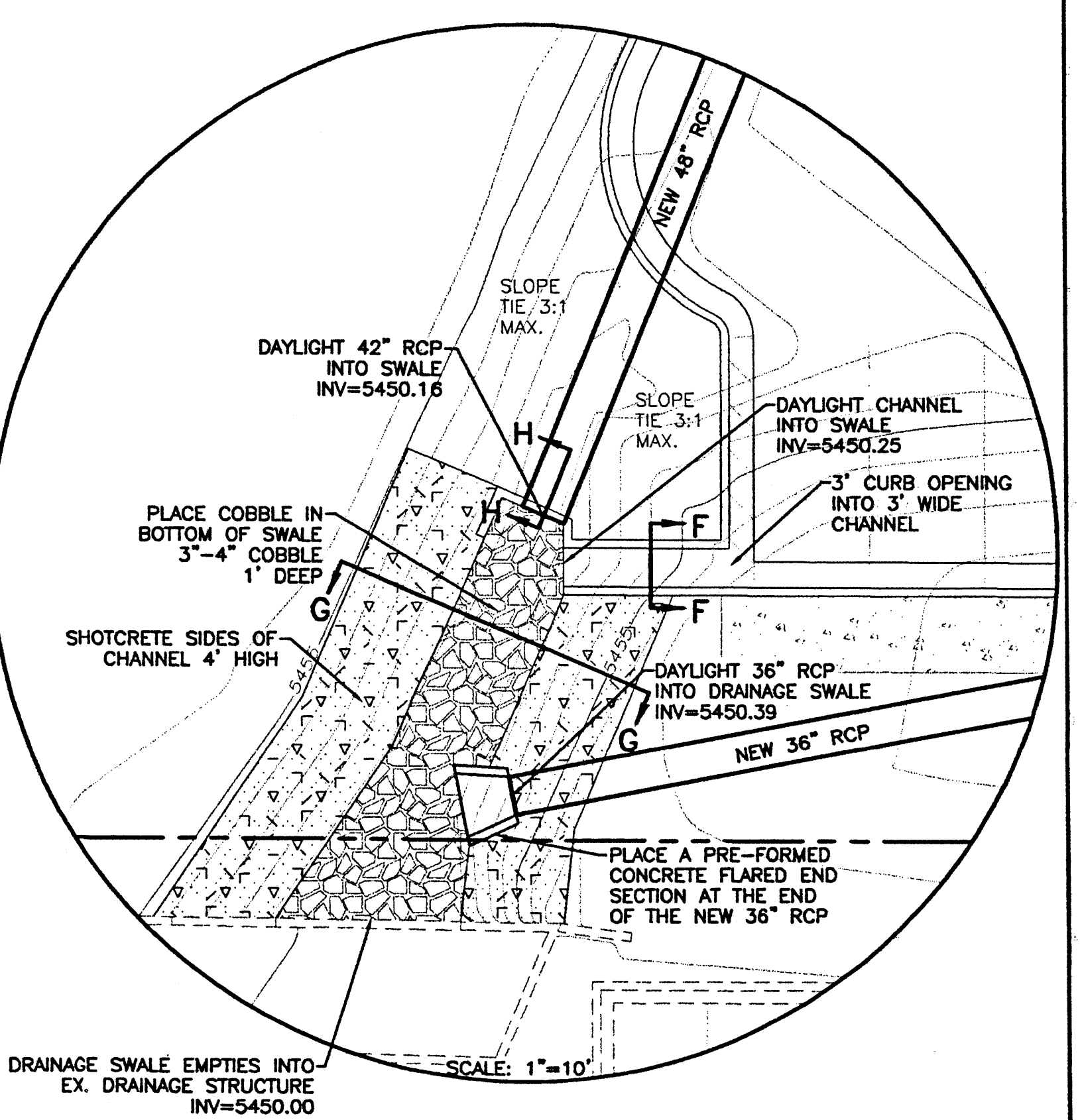
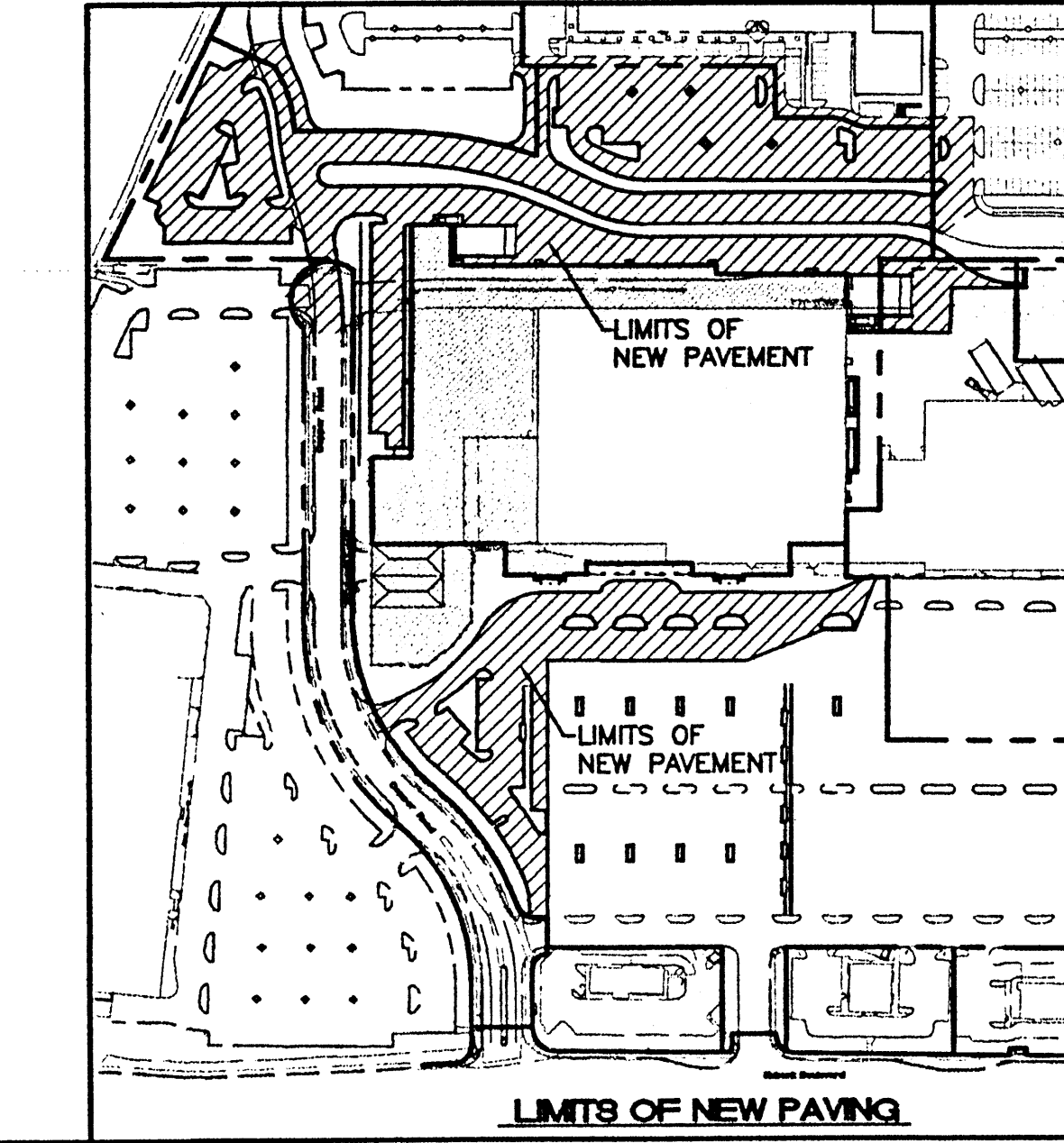
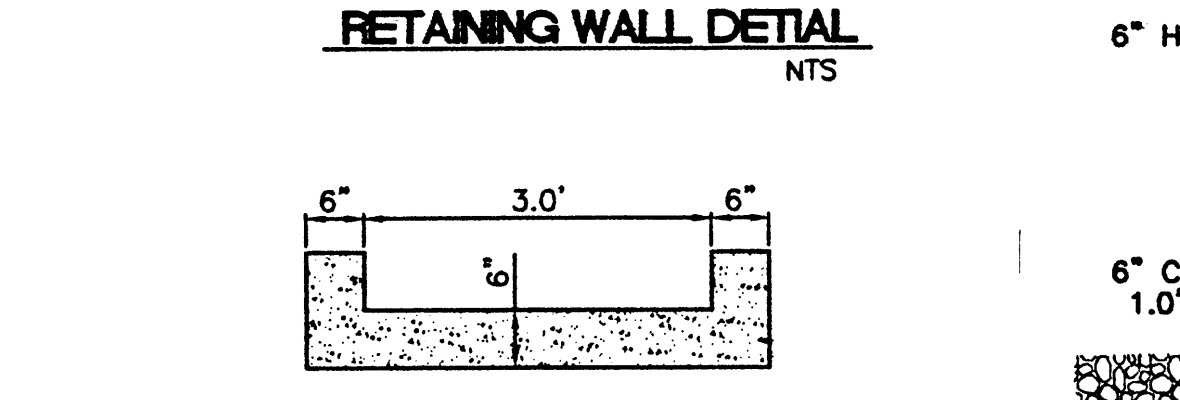


CONCRETE SPECIFICATIONS:
4000 PSI CONCRETE W/4-6% AIR INTRAINMENT
20% FLYASH BY WEIGHT OF CEMENT



H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
3'-4"	2'-5"	8"	2'-9"	9"	#5 @ 32" O.C.	#3 @ 27" O.C.
4'-0"	3'-10"	10"	3'-4"	10"	#4 @ 32" O.C.	#3 @ 27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @ 32" O.C.	#3 @ 27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @ 16" O.C.	#4 @ 30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @ 24" O.C.	#4 @ 25" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16'.
 - #5 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 - X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 - #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



NO.	DATE	REVISIONS	BY

ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

ALBUQUERQUE WAL-MART EXPANSION: 835-02

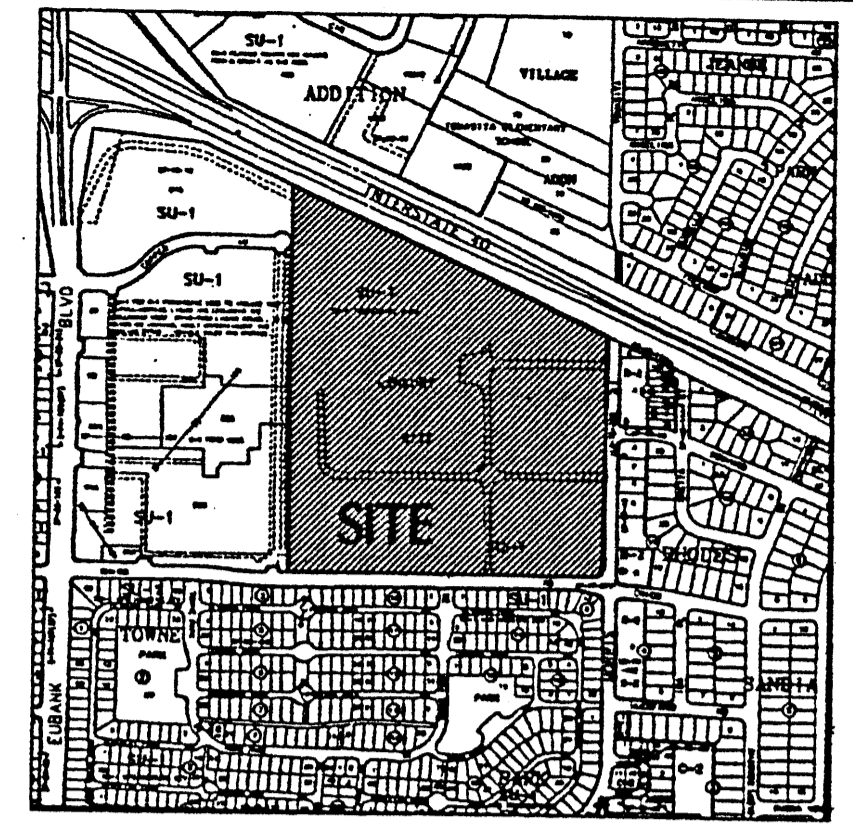
DETAIL SHEET

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY JDN
DATE 04-26-01
9929WDET.DWG
SHEET # 7
JOB # 990029W

Site Data for Building Purposes

TOTAL LOT 3 AREA:	943,384 SF	100%
BUILDING FOOTPRINT:	96,000 SF	10%
HARD SURFACE AREA:	708,389 SF	75%
LANDSCAPED AREA:	138,389 SF	15%
LANDSCAPE AREA REQUIREMENTS		
NET LOT AREA:	(943,384 LOT AREA - 96,000 BLDG SF = 847,384 NET LOT AREA)	
LANDSCAPE REQUIREMENT (15%):	127,108 SF	
LANDSCAPE PROVIDED:	138,389 SF	
PROPOSED USE: AMUSEMENT; MOVIE THEATRE		
BUILDING AREAS		
SCAFFOLD AREAS:	55,800 SF	
SUPPORT AREAS:	17,200 SF	
CIRCULATION SPACE:	18,700 SF	
TOTAL NET AREA: 91,500 SF		
TOTAL GROSS AREA: 96,000 SF		
PARKING SPACES		
PARKING REQUIRED:	1 PER 4.0 SEATS (4850 SEATS) = 1,213 SPACES	
PARKING DESIRED:	1 PER 3.0 SEATS (4850 SEATS) = 1,617 SPACES	
PARKING PROVIDED:	1 PER 3.3 SEATS (4850 SEATS) = 1,467 SPACES	
H.C. PARKING REQUIRED: 25 SPACES		
H.C. PARKING PROVIDED: 27 SPACES		
BICYCLE PARKING		
PARKING REQUIRED:	1:20 REQUIRED FOR AUTOS = 75 SPACES	
PARKING PROVIDED:	84 SPACES	



Vicinity Map
K-21-Z

Keyed Notes for Building Purposes

- ASPHALT PAVING.
- 6" CURB TREE PLANTER, TYP.
- 6" WIDE CONCRETE SIDEWALK.
- CONCRETE PAVING.
- ENTRY.
- EXHIBITION REFUSE ENCLOSURE TO MATCH BUILDING COLOR, REFER TO ELEVATION 4, SHEET 7.
- LIGHT POLE, TYP, REFER TO ELEVATION 2, SHEET 7.
- NOT USED.
- 30' CLEAR SIGHT TRIANGLE, TYP.
- PEDESTRIAN CROSSING, SCOURED COLORED CONCRETE.
- H.C. ACCESSIBLE RAMP, TYP.
- LANDSCAPE AREA.
- ONE BLOCK PARKING FOR 42 EACH SIDE REFER TO ELEVATION 3, SHEET 7.
- 3' X 20' TYPICAL STOPPED PARKING SPACE.
- BUILDING MOUNTED LIGHTING, REFER TO LEGEND, THIS SHEET.
- PEDESTRIAN SCALED LIGHTING, REFER TO LEGEND, THIS SHEET.
- SERVICE/DELIVERY AREA.
- TREE GRATES.
- SPEED TABLES, TYP.
- 20' WIDE TO PREVENT VEHICULAR ACCESS, BUT NOT WHEELCHAIR ACCESS, TYP.
- 12' WIDE TREELINED PEDESTRIANWAY WITHIN PARKING AREA.
- CONCRETE PARKING STOPS, TYPICAL.
- WAX FINISH SERVICE VIA COPPER AVENUE.

General Notes for Building Purposes

- AREA LIGHTING, INCLUDING PARKING AREA LIGHTING, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.
- AREA LIGHTING SHALL NOT HAVE AN OFF-SHINE LUMINANCE GREATER THAN 1,000 FOOT-CANDRELS AND IT SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 200 FOOT-CANDRELS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- REFER TO CONCEPTUAL GRADING AND DRAINAGE PLAN/UTILITY PLAN, SHEET 4 FOR ALL REQUIRED UTILITY INFORMATION.

Legend

- CHC 11' HIGH POLE MOUNTED SITE LIGHTING, W/ DOUBLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- HC 18' HIGH POLE MOUNTED SITE LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 250W HPS FIXTURE, REFER TO ELEVATION 2, SHEET 7.
- BP BUILDING MOUNTED LIGHTING, 16" CUT OFF, FORWARD THROW, 250W HPS FIXTURE @ 16' ABOVE GRADE.
- HP 12' HIGH POLE MOUNTED PEDESTRIAN LIGHTING, W/ SINGLE 16" CUT OFF, FORWARD THROW 150W HPS FIXTURE, REFER TO ELEVATION 1, SHEET 7.

CASE NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 15, 1998, AND THAT THE PROVISIONS AND CONDITIONS IN THE OFFICIAL NOTICE NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS AND RECREATION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE, AS SPECIFIED BY THE DEVELOPER	DATE
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLUG 1 (10706) 4/98	

Facility Re-utilization:

501 Morris
Albuquerque, New Mexico

7/28/98

Site Plan

- REVISED 10/7/98
- REVISED 9/22/98
- REVISED 9/16/98
- REVISED 9/10/98
- REVISED 1/25/99
- REVISED 9/2/98
- REVISED 12/29/98
- REVISED 8/31/98

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	501 MORRIS	DRAWN BY JDN
	ADMINISTRATIVE AMENDMENT	DATE 09-19-00
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	AMENDSP1.DWG
		SHEET # 13
		JOB # 990029W

**DRB Submittal for Case Z-98-114:
IP Master Plan/Site Plan for Subdivision**

Lot Summary

Lot No.	Acres	Use	Building	sq. ft.	F.A.R.	Max. Bldg. Ht.	Min. Building Setbacks
							North South East West
1	12.86	OFFICE/MANUFACTURING	200,000	3.8	40'	75'	20' 20' 20' 20'
2	0.87	RESTAURANT	6,000	.16	26'	26'	20' 20' 20' 20'
2A	2.47	RESTAURANT	12,000	.11	26'	26'	20' 20' 120' 20'
2B	1.37	RESTAURANT	6,000	.10	26'	26'	20' 20' 120' 20'
2C	1.67	RESTAURANT	6,000	.08	26'	26'	20' 20' 120' 20'
3	21.66	AMUSEMENT	96,000	.10	72'	40'	120' 120' 20' 20'
5A	4.37	RETAIL PARKING	39,000	N/A	36'	26'	100' 0' 0' 0'
5B	2.48	HOTEL/RESTAURANT	39,000	.32	84'	75'	20' 20' 20' 20'
Totals	48.09		365,000	.17			

Legal Description

BEING A PLAT WITHIN THE WEST HALF OF SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND BASE LINE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING BOUNDED ON THE WEST BY TRACT A-1-A, TOWNE PARK PLAZA AND BY TRACTS B-1A, B-2A AND B-3A, REPLAY OF TOWNE PARK PLAZA, ON THE NORTH BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 40, ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF CHICO STREET.

Existing Zoning

TRACT IS ZONED SU-1, INDUSTRIAL PARK PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 50+ ACRE SITE IS TO CREATE A PEDESTRIAN ORIENTED MULTI-USE DEVELOPMENT IN ORDER TO ENHANCE THE CHARACTER OF THE NEIGHBORHOOD AND PROVIDE A VARIETY OF AMENITIES.

Land Utilization

LAND USES OTHER THAN THOSE LISTED IN THE LOT SUMMARY FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE ON CONDITIONAL USES UNDER THE ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE. PROPOSED DENSITY OF DEVELOPMENT IS A FAR OF 0.15.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Morris Street N.E.
Albuquerque, New Mexico

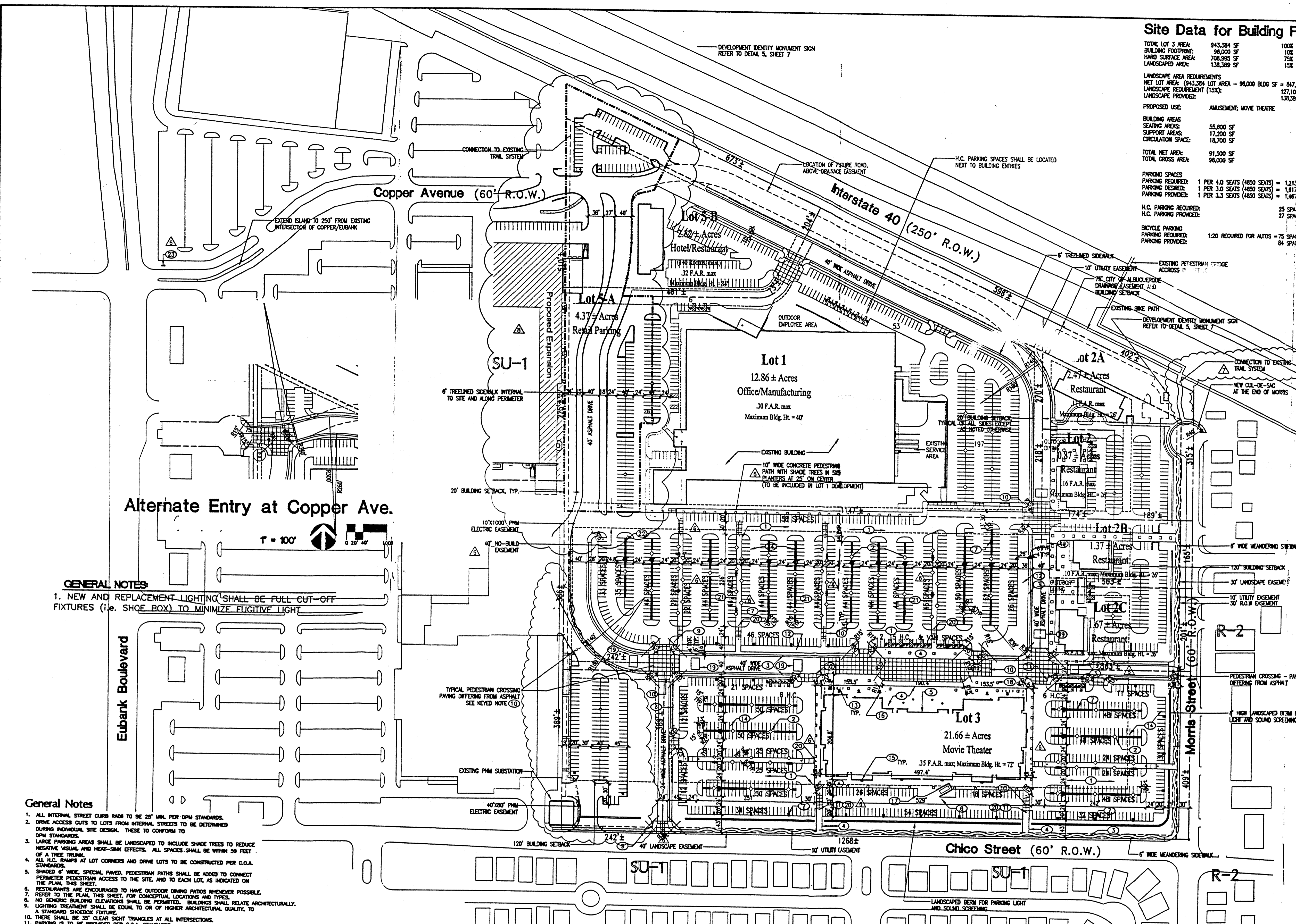
GENERAL NOTES

- NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT-OFF FIXTURES (I.E. SHOE BOX) TO MINIMIZE FLUGITIVE LIGHT.
- ALL INTERNAL STREET CURBS RISE TO BE 2" MIN. PER OPA STANDARDS.
- DRIVE ACCESS CUTS TO LOTS FROM INTERNAL STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DESIGN. THESE TO CONFORM TO OPA STANDARDS.
- LARGE PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 30 FEET OF A TREE TRUNK.
- ALL H.C. RAMP AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED PER C.O.A. STANDARDS.
- SHADE OF WIDE SPECIAL PAVED PEDESTRIAN PATHS SHALL BE ADDED TO CONNECT THE PLAN, THIS SHEET.
- RESTAURANTS ARE ENCOURAGED TO HAVE OUTDOOR DINING PATIOS WHENEVER POSSIBLE. REFER TO THE PLAN, THIS SHEET, FOR CONCEPTUAL LOCATIONS AND TYPES.
- NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY.
- LIGHTING TREATMENT SHALL BE EQUAL TO OR OF HIGHER ARCHITECTURAL QUALITY, TO A STANDAR SHOEBOX FIXTURE.
- THERE SHALL BE 30' CLEAR SIGHT TRIANGLES AT ALL INTERSECTIONS.
- PARKING IS TO BE PROVIDED PER C.O.A. STANDARDS.
- SCAFFOLD SHALL BE PROVIDED TO DIRECT VEHICULAR TRAFFIC TO COPPER AND MORRIS.
- NORTHBOUND TRAFFIC SHALL BE DISCOURAGED ON MORRIS, NORTH OF ENTRY.
- AN IF HIGH BERM OR WALL SHALL BE PROVIDED ALONG SOUTH AND EAST PROPERTY LINES.
- NO DRIVEWAYS OTHER THAN THOSE SHOWN ON THIS PLAN SHALL BE ALLOWED ONTO CHICO OR MORRIS STREETS.
- NO DRIVE THRU RESTAURANTS WILL BE ALLOWED.
- ADDITIONAL SIGNAGE RESTRICTIONS SHALL BE AS FOLLOWS: NO SIGNAGE FACING RESIDENTIAL AREAS TO THE BUILDING MOUNTED SIGNAGE ON LOTS 2A AND 3 SHALL HAVE LETTERS OF 3" HIGH, MAX. THE MINIMUM PARKING REQUIREMENTS OF THE ZONING CODE SHALL BE THE MAXIMUM ALLOWED FOR LOTS 1, 2, 2A, 2B, 2C, 4, AND 5.
- NO DRIVE THRU FACILITIES WILL BE ALLOWED ON ANY LOT.
- UP LIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED. (CONDITION 2)
- POLE MOUNTED SIGNAGE WILL NOT BE ALLOWED. NON-BUILDING MOUNTED SIGNS SHALL BE MONUMENT SIGNS. (CONDITIONS 3 & 11)
- OFF-ROADWAY BUILDING SIGNS WILL NOT BE ALLOWED. (CONDITION 4)
- CELLULAR ANTENNAS (IF ANY) WILL BE INTEGRATED ARCHITECTURALLY WITH THE BUILDING. (CONDITION 5)
- RETIRED SIGNAGE SHALL BE REMOVED FROM THE BUILDING AND FUTURE HOTEL AT 400 SQUARE FEET WITHIN EACH ESTABLISHMENT. (CONDITION 6)
- MAXIMUM LETTER SIZE ON SIGNAGE SHALL BE LIMITED AS FOLLOWS: SIGNS LESS THAN 10,000 SF - MAXIMUM LETTER SIZE 3" MAX. SIGNS 10,000 SF - 4" MAX. SIGNS GREATER THAN 10,000 SF - 4" MAX.
- BUILDING MOUNTED SIGNAGE WILL NOT BE ALLOWED FACING THE RESIDENTIAL AREAS TO THE EAST AND SOUTH. (CONDITION 8)
- THE PARKING ALLOWED ON PAD SITES SHALL BE LIMITED TO THE MINIMUM AS SPECIFIED IN THE DESIGNATED USE. (CONDITION 13)
- STREET TREES ALONG CHICO AND MORRIS SHALL BE SPECIMENS, 3 1/2" CALIPER, MIN. (CONDITION 14)
- ALL HVAC UNITS WILL BE SCREENED WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT, INCLUDING THE EXISTING BUILDING. (CONDITION 16)
- ARCHITECTURAL GUIDELINES SHALL BE DEVELOPED FOR THE PADS. THEY SHALL BE SPECIFIC AS TO THE USE OF MATERIALS, OFFSETS AND DESIGN FEATURES. ARCHITECTURAL GUIDELINES SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE PRIOR TO ANY FUTURE DEVELOPMENT ON THE SITE WITH THE EXCEPTION OF LOT 2C. (CONDITION 17)
- LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING IN THE PUBLIC RIGHT OF WAY (R.O.W.), SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ADJACENT TO SAID R.O.W.
- CONNECTION TO THE EXISTING BIKE TRAIL ALONG THE NORTH PROPERTY LINE IN THE INTERSTATE 40 ROW WILL BE VIA 10' WIDE ASPHALT PATH AT THE NORTHEAST CORNER BY THE PEDESTRIAN BRIDGE AND AT THE NORTHWEST CORNER JUST INSIDE THE WEST PROPERTY LINE.

Alternate Entry at Copper Ave.



Scale: 1" = 100'



Copy for Applicant

