

#1000530/00420 00000 00930

Z:85-98-1

AIRPORT PARKING CENTER EXPANSION

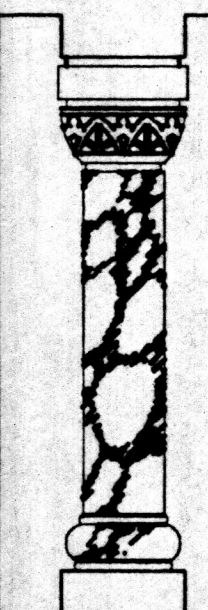
1501 AIRCRAFT AVENUE SE
ALBUQUERQUE, NEW MEXICO

PROJ 1000530

OWNER:

R & B, LLC

1501 AIRCRAFT AVENUE SE
ALBUQUERQUE, NEW MEXICO

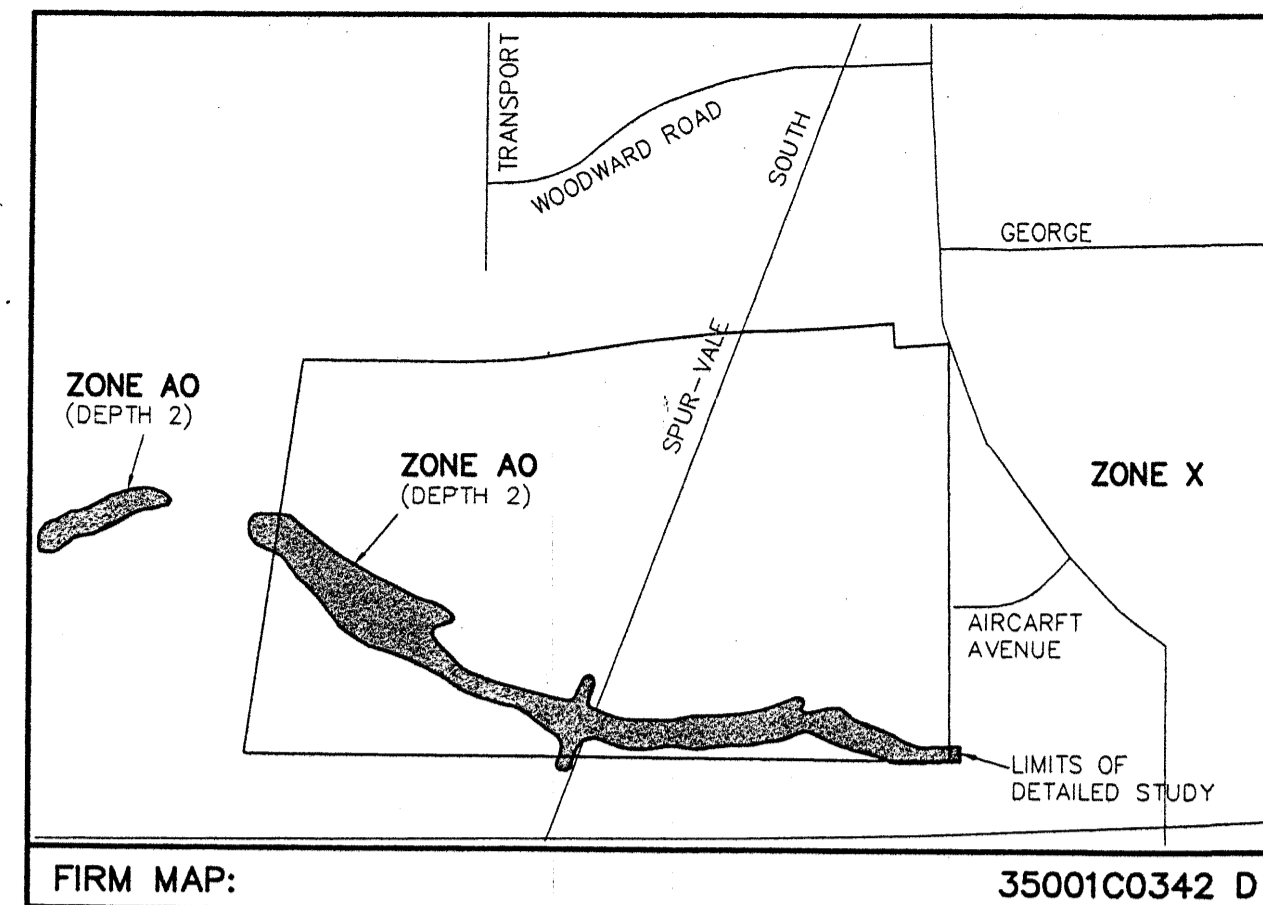


**MASTERWORKS
ARCHITECTS, INC**

516 ELEVENTH ST. NW 242-1866
ALBUQUERQUE, NM 87102-1806

INDEX TO DRAWINGS

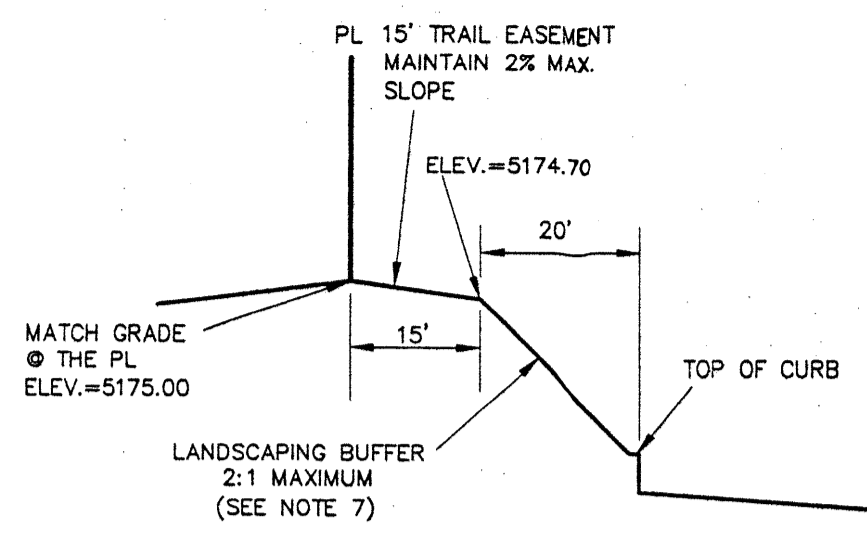
SHEET	DESCRIPTION	
1 OF 9	S1	SITE LAYOUT PLAN
2 OF 9	G1	GRADING PLAN
3 OF 9	L1	LANDSCAPE PLAN AREA 1
4 OF 9	L2	LANDSCAPE PLAN AREA 2
5 OF 9	L3	LANDSCAPE PLAN AREA 3
6 OF 9	A1	ENTRY AREA & OFFICE BUILDING
7 OF 9	A2	OFFICE BUILDING ELEVATIONS
8 OF 9	A3	COVERED PARKING ELEVATIONS
9 OF 9	U1	UTILITIES DISTRIBUTION PLAN



FIRM MAP: 35001C0342 D

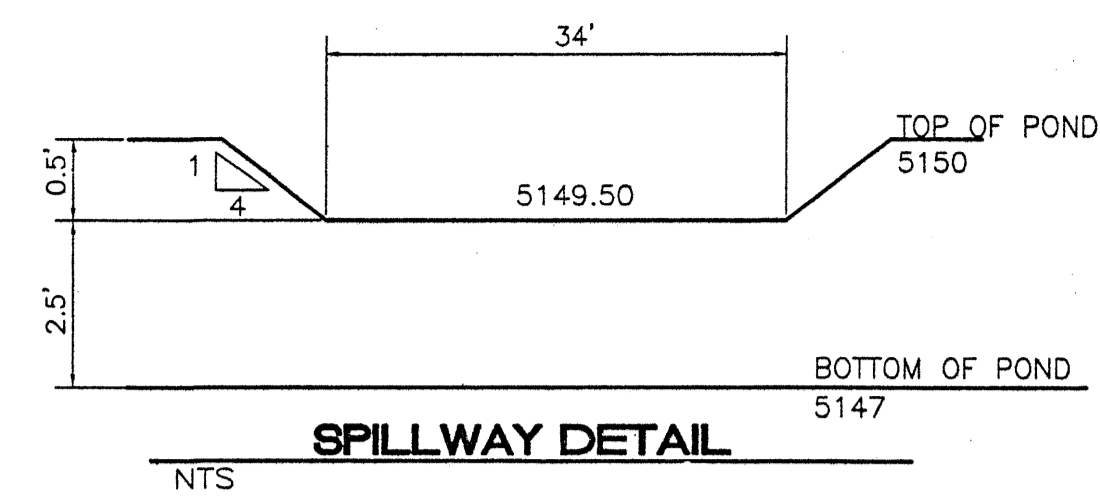
GENERAL NOTES:

1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 2:1 MAXIMUM.
6. ALL EXISTING STRUCTURES SUCH AS STORM SEWER AND SANITARY SEWER MANHOLES NEED TO BE ADJUSTED TO NEW GRADES.
7. SLOPE EXCEEDING 3:1 SHOULD BE PROTECTED BY EROSION BLANKET OR LANDSCAPING ROCKS (DESIGNED BY THE LANDSCAPING ARCHITECT).



SECTION B-B

NTS



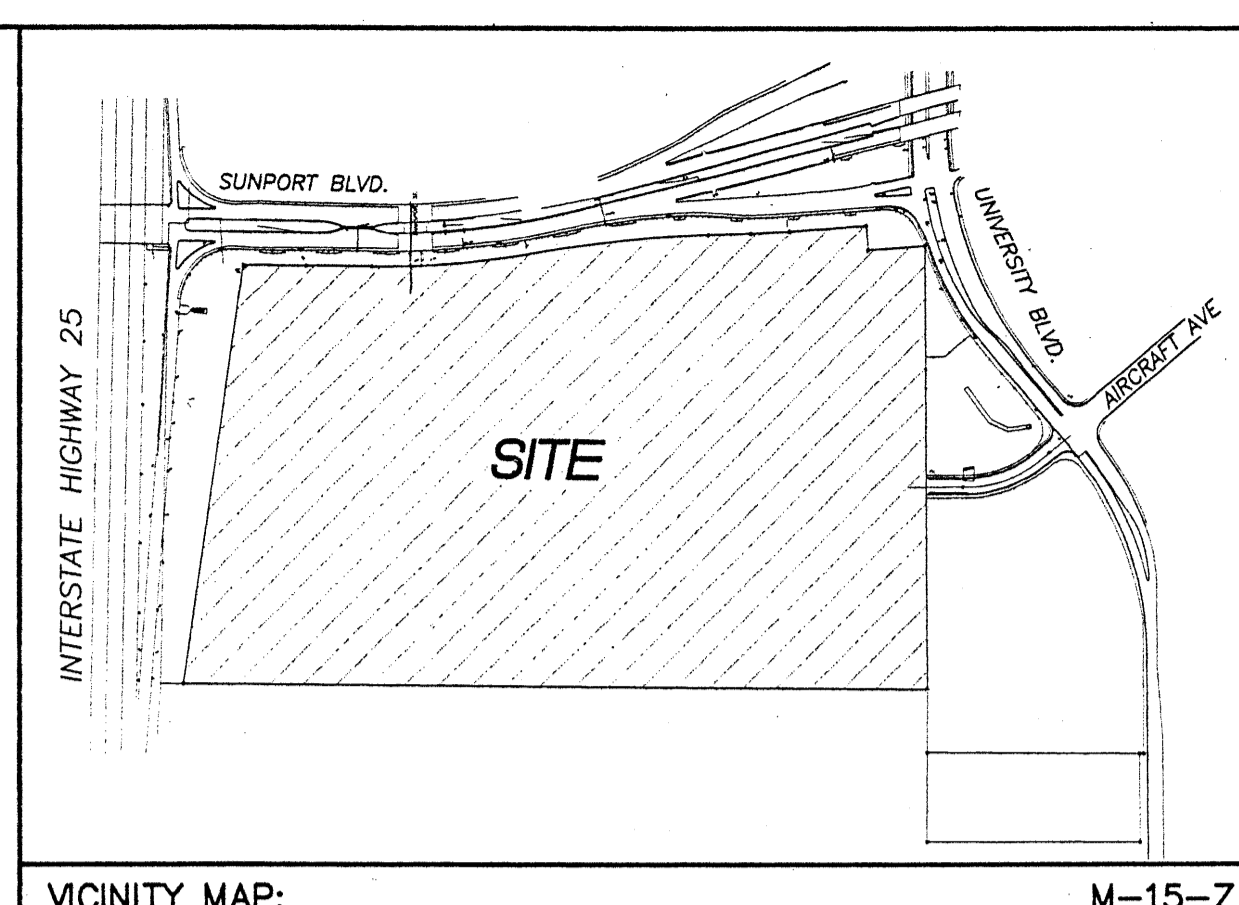
SPILLWAY CALCULATIONS

$$Q = CLH^{3/2}$$

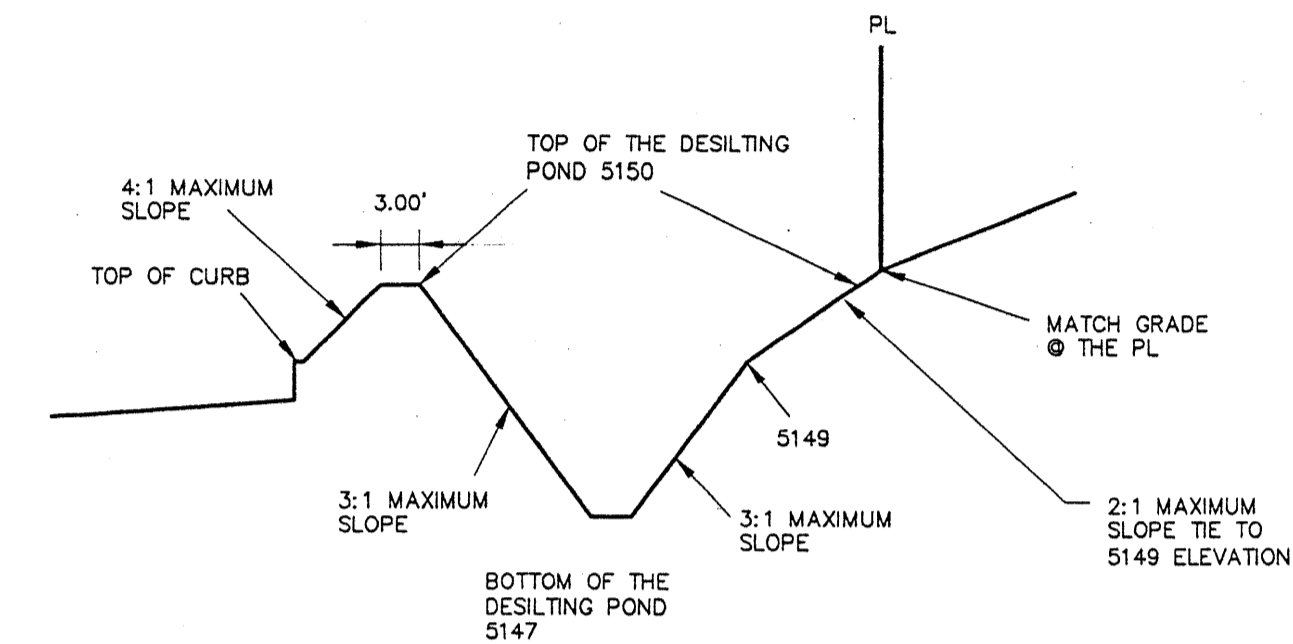
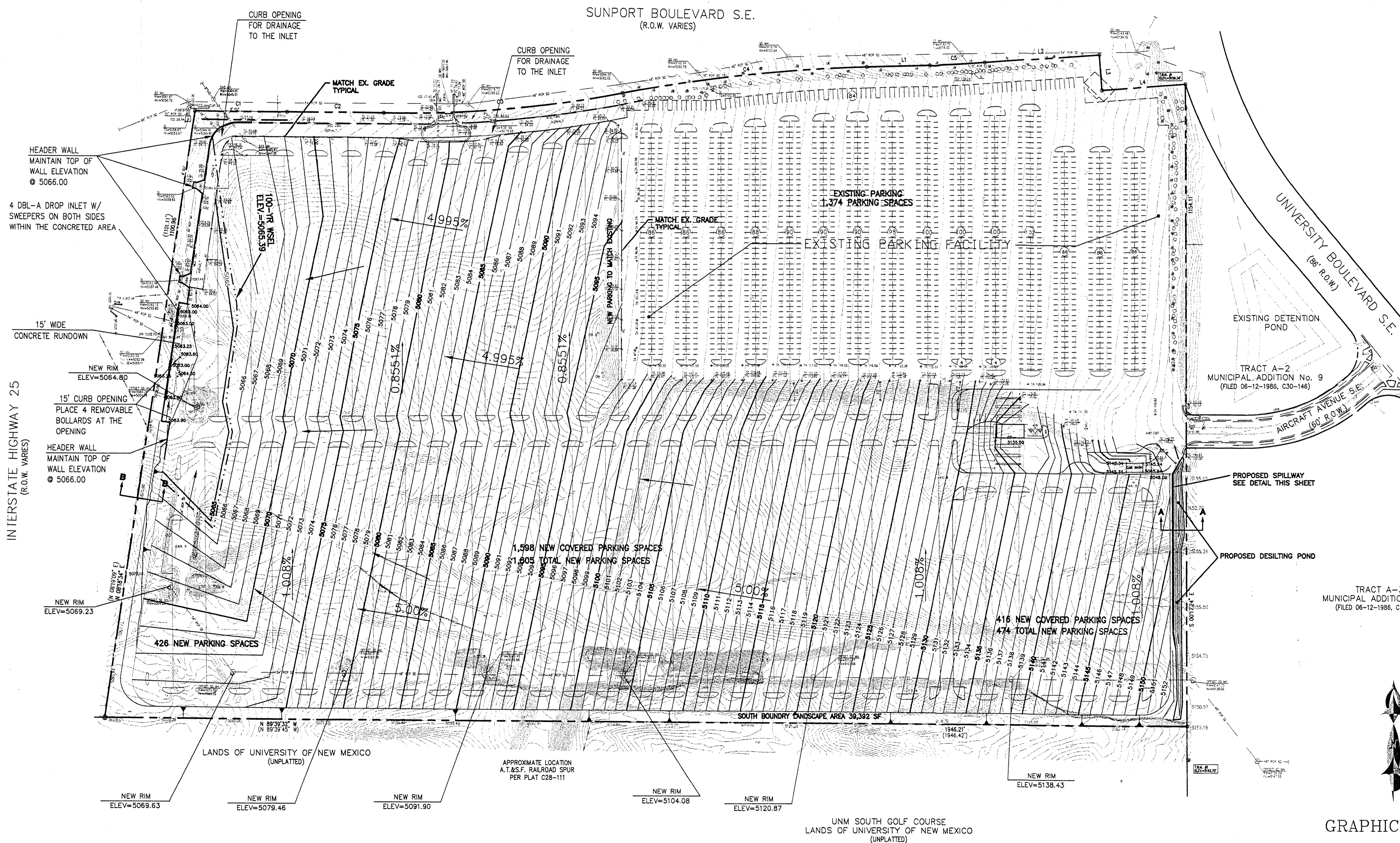
$$L = Q / CH^{3/2}$$

$$L = 31.69 / (2.75 \times 0.50^{3/2})$$

$$L = 32.59 \text{ USE } L = 34.00'$$



VICINITY MAP: M-15-Z



SECTION A-A

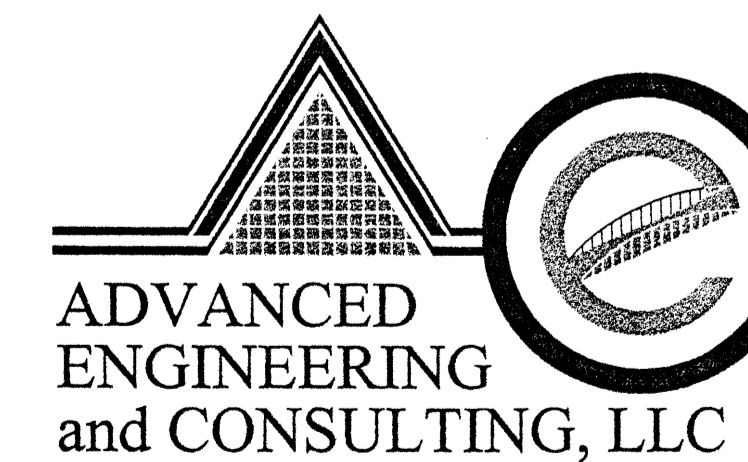
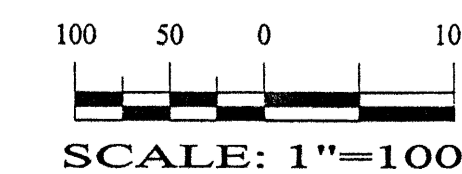
NTS

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES

ROUGH GRADING APPROVAL *7-27-00* DATE

GRAPHIC SCALE



SHAHAB BIAZAR
P.E. #13479

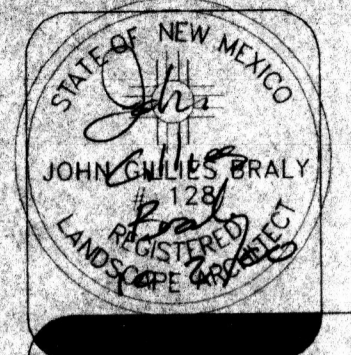
10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 899-5570

**SUNPORT PARK
OVERALL GRADING AND DRAINAGE PLAN**

DRAWING: 2008-OVERALL.DWG	DRAWN BY: SBB	DATE: 03-23-2000	SHEET # 1 OF 5
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SUNPORT PARK

FILED 1/18/96, BK. 96C, PG. 22



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
RA	38	ROBINIA AMBIGUA	PURPLE ROBE LOCUST	2" CAL
GT	36	GLEDITSIA TRIACANTHOS	HONEY LOCUST	2" CAL
PA	44	PLATANUS	SYCAMORE	2" CAL
⊗	39	CHRYSOTHAMNUS NAUSEOSUS	CHAMISA	1 GAL. MIN.
○	22	FALLUGIA PARADOXA	APACHE PLUME	
○	15	RHUS TRILOBATA	3 LEAF SUMAC	
○	17	COTONEASTER GLAUCOPHYLLUS	GRAY COTONEASTER	
○	48	ELAEAGNUS PUNGENS	SILVERBERRY	
○		JUNIPERUS SABINA	BUFFALO JUNIPER	
⊗	40	CARYOPTERIS X CLADONENSIS	BLUE MIST	
⊗	22	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	
*	33	HESPERALOE PARVIFLORA	RED YUCCA	
○	22	LAVANDULA	LAVENDER	
○	22	RAPHIOLEPIS	INDIA HAWTHORN	
○	22	ROSMARINUS	ROSEMARY	
○	22	HELICTOTRICHON	BLUE AVENA	

IRRIGATION NOTE

POINT OF CONNECTION FOR IRRIGATION SYSTEM TO BE DETERMINED IN FIELD. ASSUME 25 GPM @ 40 PSI

BACKFLOW TO FOLLOW LOCAL CODES AND REGULATIONS

AUTOMATIC IRRIGATION CONTROLLER TO BE LOCATED IN FIELD WITH POWER SUPPLIED BY OTHERS

IRRIGATION SYSTEM TO BE ISOLATED WITH GATE VALVE

NATIVE GRASS SEED AREAS TO BE IRRIGATED WITH SPRAY HEADS (APPROX. 4" HR. PRECIPITATION RATE)

SHRUBS TO RECEIVE DRIP IRRIGATION
2-1 GPH EMITTER PER SHRUB
4-1 GPH EMITTER PER TREE

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

IT IS THE INTENT OF THIS PLAN TO PROVIDE 75% LIVE PLANT GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

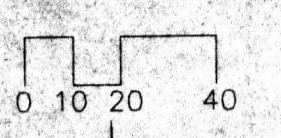
NATIVE GRASS AREAS TO BE SEEDDED WITH BLUE GRAMA AND BUFFALO GRASS SEED AT A RATE OF 4 LBS. PER 1000 SF. SEEDDED AREAS TO RECEIVE SPRINKLER IRRIGATION

PLANTING AREAS TO RECEIVE 7/8" SANTA FE BROWN GRAVEL OVER FILTER FABRIC

SITE DATA

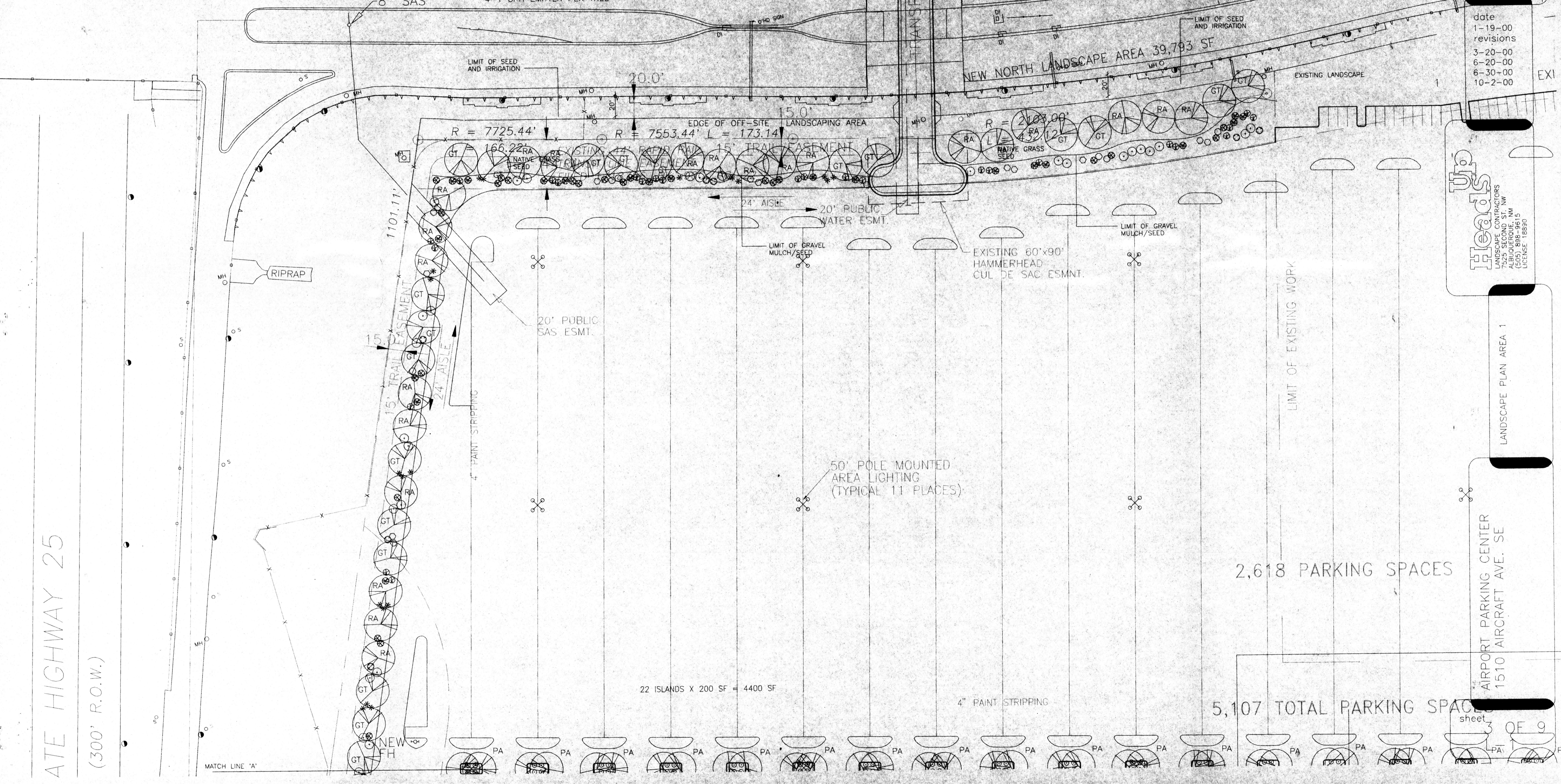
PAVED AREA	1,935,476 SF
REQUIRED LANDSCAPE	193,547 SF
10% OF PAVED AREA	
EXISTING LANDSCAPE	81,097 SF
PROPOSED LANDSCAPE	84,143 SF
TOTAL LANDSCAPE PROVIDED	165,240 SF
PERCENT OF NET LOT AREA	8%

Scale 1"=40'-0"



date 1-19-00
revisions
3-20-00
6-20-00
6-30-00
10-2-00

Heads Up
LANDSCAPE CONTRACTORS
7525 SECOND ST. NW
ALBUQUERQUE, NM
LICENSE 18890



LANDSCAPE PLAN AREA 1

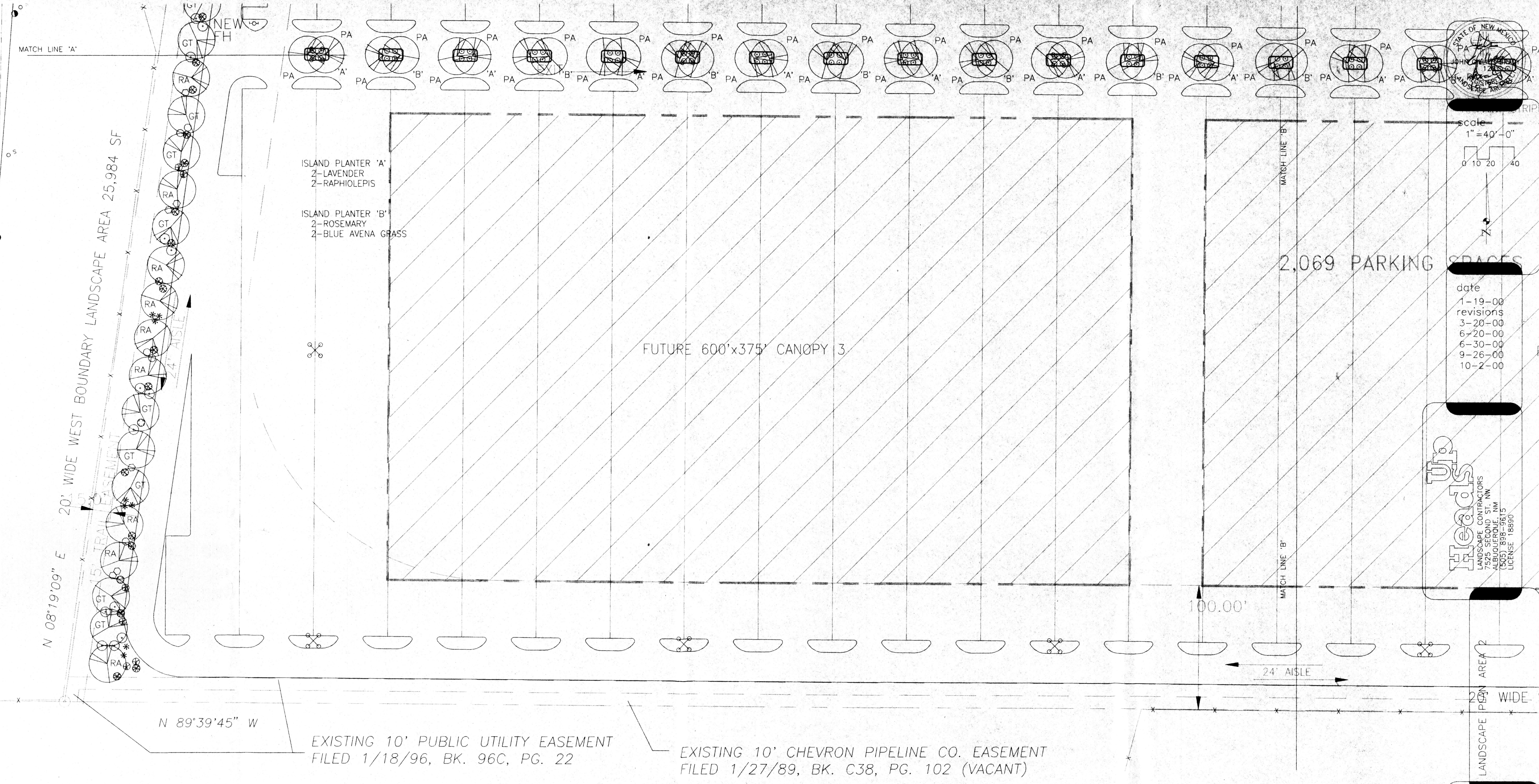
AIRPORT PARKING CENTER
1510 AIRCRAFT AVE. SE

5,107 TOTAL PARKING SPACES

sheet 3 OF 9

INTERSTATE

(300'



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
RA		ROBINIA AMBIGUA	PURPLE ROBE LOCUST	2" CAL
GT		GLEDITSIA TRIACANTHOS	HONEY LOCUST	2" CAL
PA		PLATANUS	SYCAMORE	2" CAL
⊗		CHRYSOTHAMNUS NAUSEOSUS	CHAMISA	1 GAL MIN.
⊙		FALLUGIA PARADOXA	APACHE PLUME	
⊖		RHUS TRILOBATA	3 LEAF SUMAC	
⊕		COTONEASTER GLAUCOPHYLLUS	GRAY COTONEASTER	
⊗		ELAEAGNUS PUNGENS	SILVERBERRY	
⊙		JUNIPERUS SABINA	BUFFALO JUNIPER	
⊗		CARYOPTERIS X CLADONENSIS	BLUE MIST	
⊙		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	
*		HESPERALOE PARVIFLORA	RED YUCCA	

IRRIGATION NOTE

POINT OF CONNECTION FOR IRRIGATION SYSTEM TO BE DETERMINED IN FIELD. ASSUME 25 GPM @ 40 PSI

BACKFLOW TO FOLLOW LOCAL CODES AND REGULATIONS

AUTOMATIC IRRIGATION CONTROLLER TO BE LOCATED IN FIELD WITH POWER SUPPLIED BY OTHERS

IRRIGATION SYSTEM TO BE ISOLATED WITH GATE VALVE

NATIVE GRASS SEED AREAS TO BE IRRIGATED WITH SPRAY HEADS (APPROX. .4" HR. PRECIPITATION RATE)

SHRUBS TO RECEIVE DRIP IRRIGATION
2-1 GPH EMITTER PER SHRUB
4-1 GPH EMITTER PER TREE

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

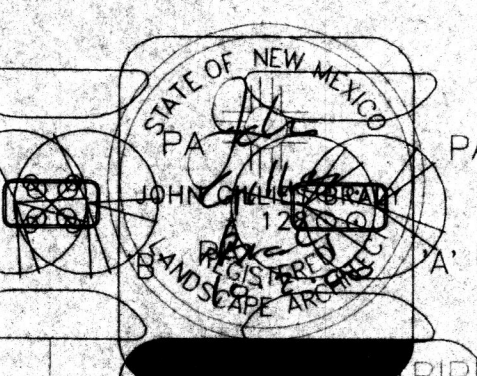
IT IS THE INTENT OF THIS PLAN TO PROVIDE 75% LIVE PLANT GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

NATIVE GRASS AREAS TO BE SEEDED WITH BLUE GRAMA AND BUFFALO GRASS SEED AT A RATE OF 4 LBS. PER 1000 SF. SEEDED AREAS TO RECEIVE SPRINKLER IRRIGATION

PLANTING AREAS TO RECEIVE 7/8" SANTA FE BROWN GRAVEL OVER FILTER FABRIC

EXISTING 10' PUBLIC UTILITY EASEMENT FILED 1/18/96, BK. 96C, PG. 22

EXISTING 10' CHEVRON PIPELINE CO. EASEMENT FILED 1/27/89, BK. C38, PG. 102 (VACANT)

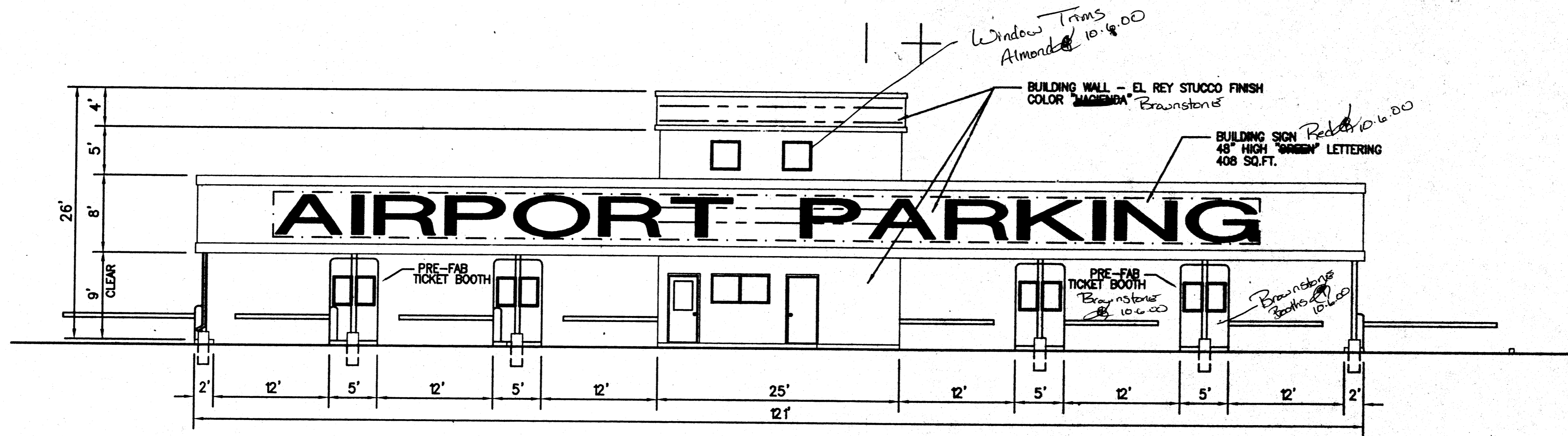


scale
1" = 40'-0"
0 10 20 40

date
1-19-00
revisions
3-20-00
6-20-00
6-30-00
9-26-00
10-2-00

Heads Up
LANDSCAPE CONTRACTORS
7525 SECOND ST. NW
ALBUQUERQUE, NM
(505) 898-9615
LICENSE 18890

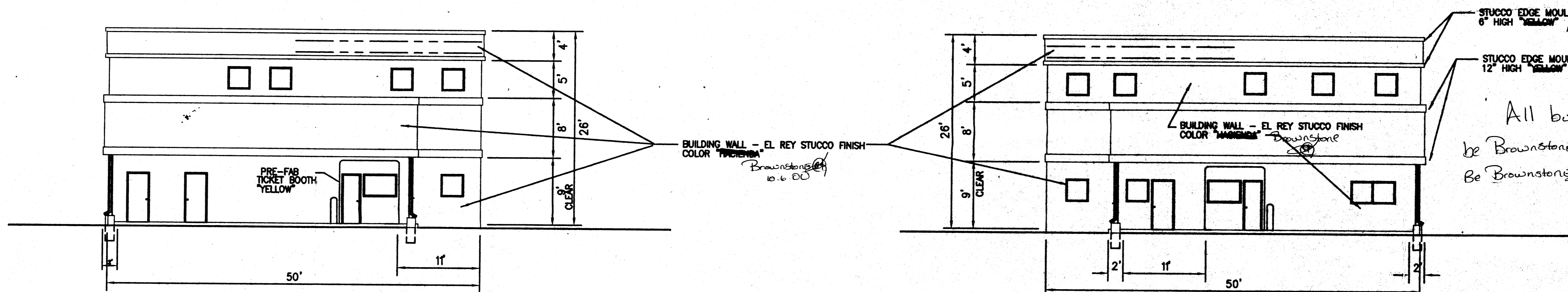
AIRPORT PARKING CENTER
1510 AIRCRAFT AVE. SE
ALB.



4 WEST ELEVATION

TOTAL FACADE AREA - 2,382 SQ.FT.
ALLOWABLE SIGN AREA THIS FACADE - 30%
TOTAL SIGN AREA THIS FACADE - 408 SQ.FT. - 17.1%

SCALE: 1/8" = 1'-0"

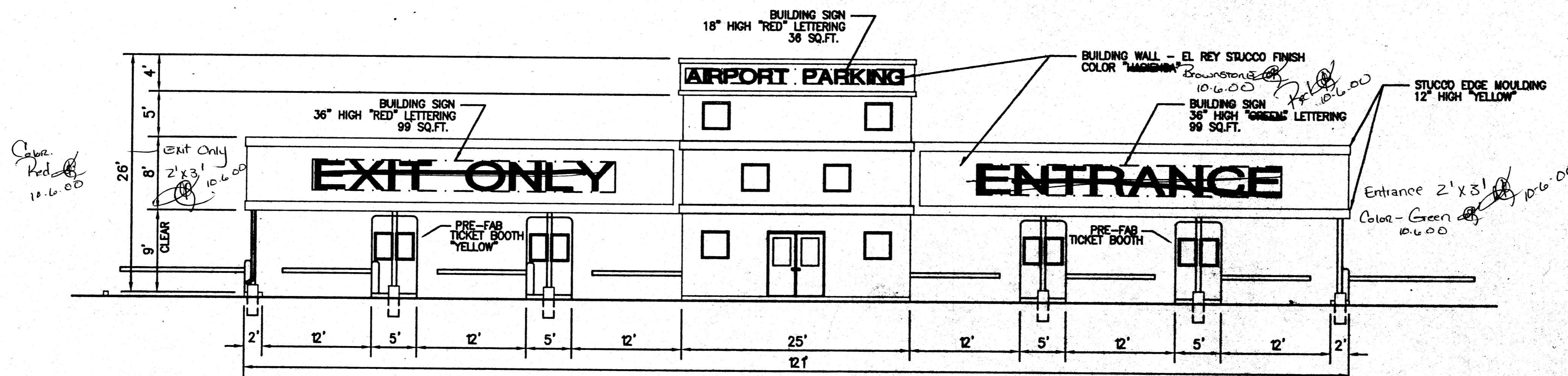


3 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

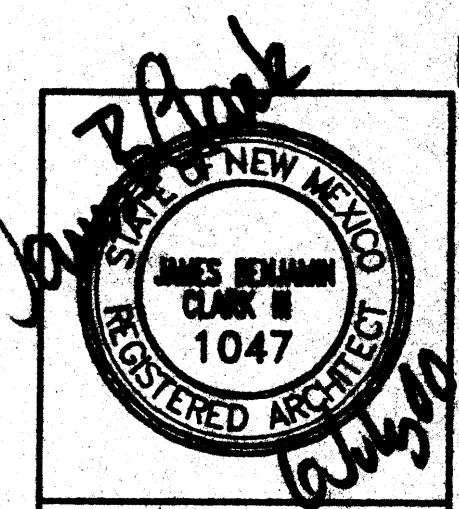


1 EAST ELEVATION

TOTAL FACADE AREA - 2,382 SQ.FT.
ALLOWABLE SIGN AREA THIS FACADE - 20%

TOTAL SIGN AREA THIS FACADE - 234 SQ.FT. - 9.8%

SCALE: 1/8" = 1'-0"



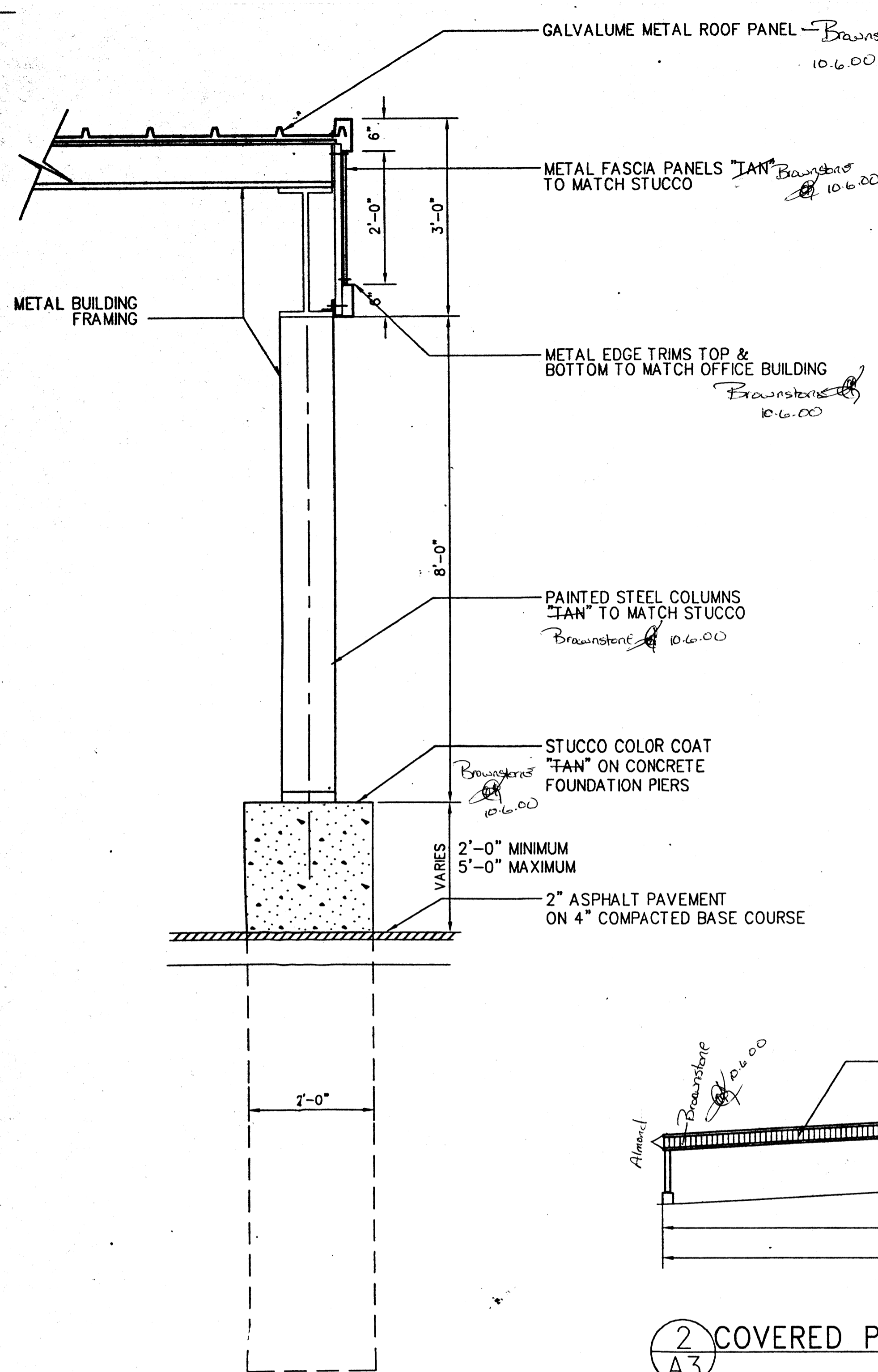
MASTERWORKS ARCHITECTS, INC.
516 ELEVENTH ST. NW 242-1866
ALBUQUERQUE, NM 87102-1806

FILE # 0021ARCH
05 JUL 00

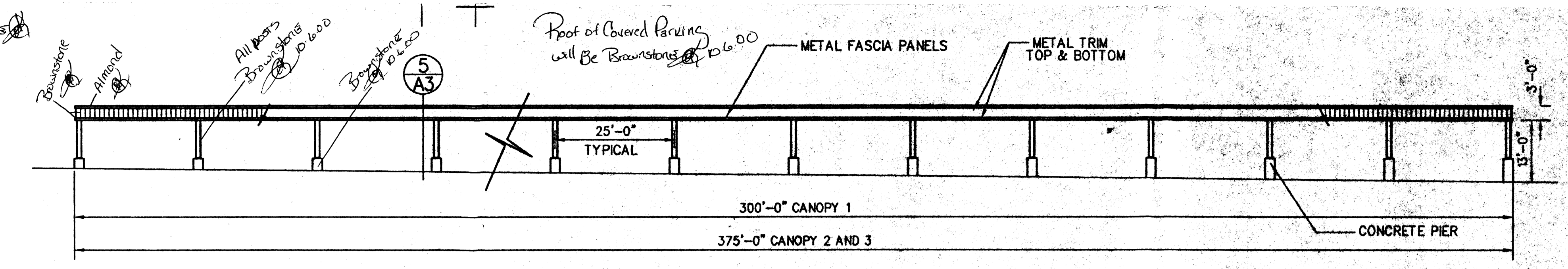
EXISTING FACILITY EXPANSION
AIRPORT PARKING CENTER
1501 AIRCRAFT AVENUE S.E.
ALBUQUERQUE, NEW MEXICO

ENTRANCE / OFFICE
BUILDING ELEVATIONS

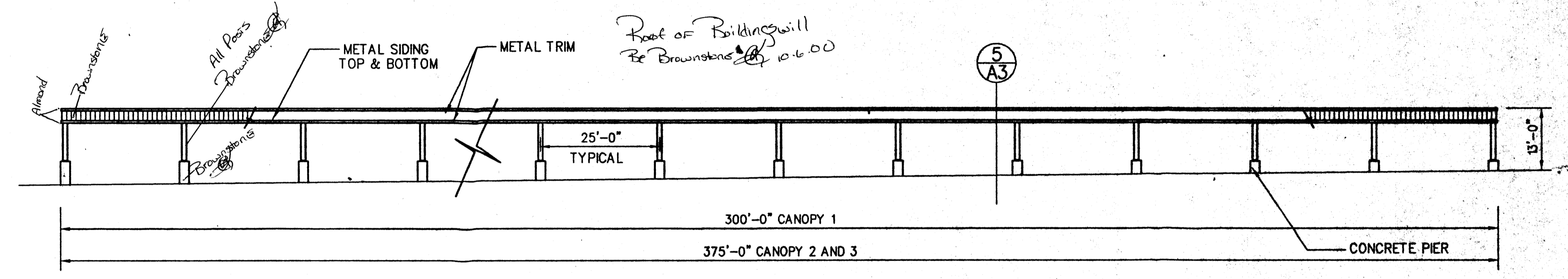
SHEET
A2
7 OF 9



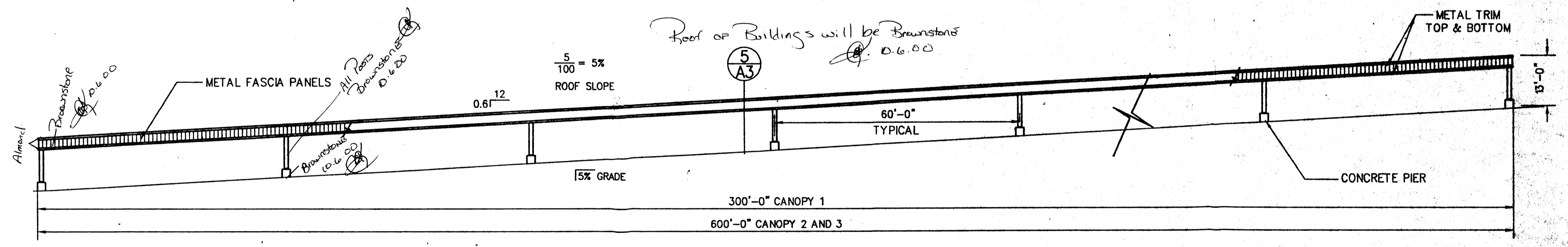
5 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"



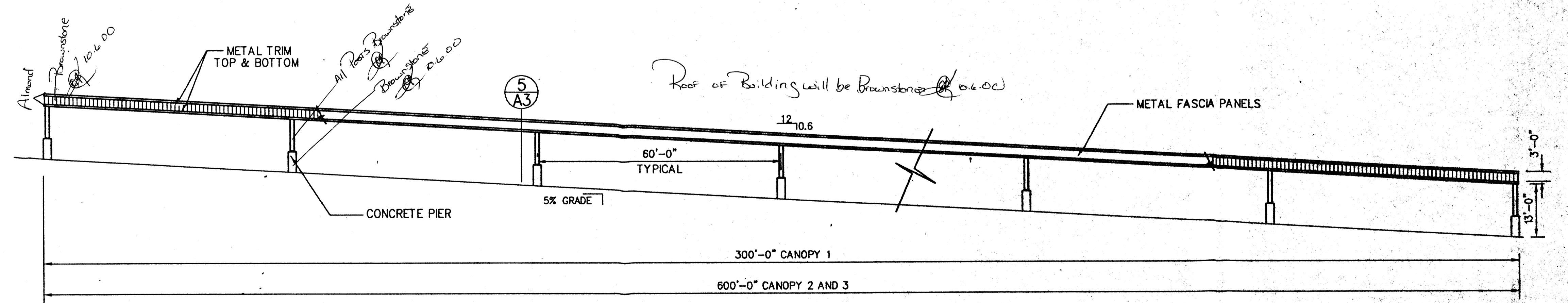
4 COVERED PARKING EAST ELEVATION
SCALE: 1/16" = 1'-0"



3 COVERED PARKING WEST ELEVATION
SCALE: 1/16" = 1'-0"



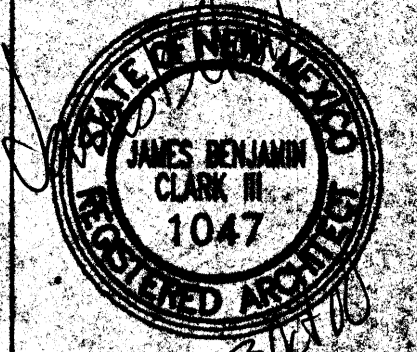
2 COVERED PARKING SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



1 COVERED PARKING NORTH ELEVATION
SCALE: 1/16" = 1'-0"

REDUCED PLOT - USE GRAPHIC SCALE

SCALE: 1/16" = 1'-0"
1/8" = 1'-0"



MASTERWORKS ARCHITECTS, INC.
516 ELEVENTH ST. NW 242-1866
ALBUQUERQUE, NM 87102-1806

FILE # 0021ARCH
05 JUL 00
REV: 29 SEP 00

EXISTING FACILITY EXPANSION
AIRPORT PARKING CENTER
1501 AIRCRAFT AVENUE S.E.
ALBUQUERQUE, NEW MEXICO

COVERED PARKING
CANOPY ELEVATIONS
& WALL SECTION

SHEET
A3
8 OF 9

