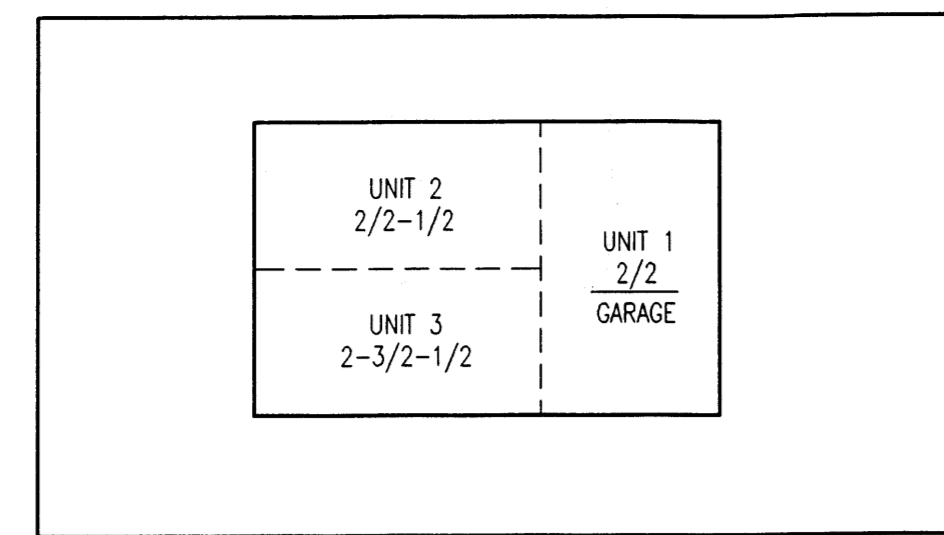


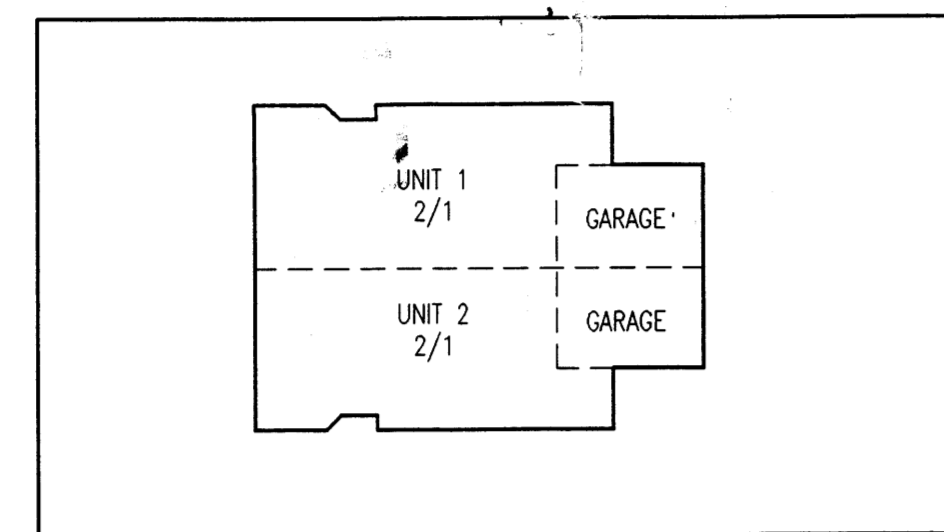
Building Types and Areas
Building Type A



UNIT	1ST FLOOR	2ND FLOOR	HEATED	GARAGE	TOTAL	OVERHANG	BALCONY
UNIT 1	40 SF	955 SF	1035 SF	207 SF	1242 SF	81 SF	89 SF
UNIT 2	742 SF	705 SF	1447 SF	243 SF	1690 SF	20 SF	- SF
UNIT 3	763 SF	749 SF	1512 SF	428 SF	1940 SF	80 SF	- SF
TOTALS	1545 SF	2449 SF	3994 SF	878 SF	4872 SF	121 SF	89 SF

1 HOUR SEPARATION WALLS

Building Type B



HC UNIT	HEATED	GARAGE	TOTAL
HC UNIT 1	952 SF	276 SF	1228 SF
HC UNIT 1	952 SF	276 SF	1228 SF
TOTALS	1904 SF	552 SF	2456 SF

1 HOUR SEPARATION WALL

Code Analysis - UBC 1997
SEISMIC ZONE
 2-9

OCCUPANCY CLASSIFICATIONS
 APARTMENTS R-1
 GARAGE M

TYPES OF CONSTRUCTION
 APARTMENTS V-N
 GARAGE V-N

ALLOWABLE SF.
 R-1 = 6,000 SF
 MULTI-STORY = 6,000 SF
 MAXIMUM HEIGHT OF BUILDING: R-1 = 2 STORIES
 ACTUAL HEIGHT OF BUILDING: 2 STORIES
 TOTAL ALLOWABLE SF = 12,000
 ACTUAL SF
 BUILDING A = 4,872 SF
 BUILDING B = 2,456 SF
 BUILDING A (2 STORY) = .406 < 1
 BUILDING B (1 STORY) = .411 < 1

OCCUPANCY SEPARATION WALLS
 R-1 1 HOUR SEPARATION WALLS
 M 1 HOUR SEPARATION WALLS

OCCUPANT LOAD & EXIT REQUIREMENTS

CONDOMINIUM (EACH UNIT)	2BR/2BA UNIT	1035 SF / 200 OCC. = 6
1	2BR/2BA UNIT	1035 SF / 200 OCC. = 6
2	2BR/2-1/2BA UNIT	1447 SF / 200 OCC. = 8
3	2-3BR/2-1/2BA UNIT	1512 SF / 200 OCC. = 8
4	(HC) 2BR/1BA UNIT	952 SF / 200 OCC. = 5

REG'D EXIT WIDTH @ EACH CONDOMINIUM: 36"
 EXIT WIDTH PROVIDED @ EACH CONDOMINIUM: 36"

APARTMENTS
 BASIC ALLOWABLE PER UBC TABLE 5-B, R-1, FOR ONE-STORY IS 6,000 SF.
 ALLOWABLE PER BUILDING IS 12,000 SF PER TABLE 5-B. NO MORE THAN 3,000 SF
 ALLOWABLE ABOVE FIRST FLOOR IN V-N CONSTRUCTION PER 504.2.

Total Gross Floor Area

BLDG. A	54	4370 SF	136,416 SF
BLDG. B	1	2470 SF	2,456 SF
TOTAL:			138,872 SF

Total Net Floor (heated space) Area

BLDG. A	28	3994 SF	111,832 SF
BLDG. B	1	1904 SF	1,904 SF
TOTAL:			113,736 SF

Handicapped Accessibility Data

REQUIRED ACCESSIBLE (HC) UNITS:
 REQUIRED: 86 UNITS x 2% = 2 UNITS
 PROVIDED: 2 UNITS

Project Data
Site Data

LEGAL DESCRIPTION
 TRACTS A AND B OF CASA PACIFICA AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO AS FILED ON THE PLAT FILED IN BERNALILLO COUNTY 12/17/84 IN VOL. C-25 FOLIO 179.

ZONE
 R-2
SITE AREA
 5.77 ACRES OR 251,342 SF
DENSITY
 86 UNITS ON 5.77 ACRES = 14.9 UNITS/ACRE
FAR
 .56

Landscaping and Open Space

REQUIRED LANDSCAPING
 15% OF 251,342 SF = 37,702 SF
PROVIDED LANDSCAPING
 98,794 SF

OPEN AREA
 ROADWAY PAVING = 49,816 SF
 DRIVEWAY CONCRETE = 23,284 SF
 LANDSCAPE AREA = 98,794 SF

Parking Requirement

REQUIRED PARKING
 1 SPACE PER BATH NOT LESS THAN 1.5 PER UNIT
 86 UNITS X 3 SPACES/UNIT = 258 SPACES

PROVIDED PARKING
 114 IN FRONT OF GARAGES
 114 IN GARAGES
 30 VISITORS
 258 TOTAL SPACES PROVIDED

REQUIRED HANDICAP PARKING
 2% X 258 = 5.16 = 6 SPACES

PROVIDED HANDICAP PARKING
 2 IN FRONT OF GARAGES
 2 IN GARAGES
 2 VISITOR
 6 TOTAL SPACES PROVIDED

Sheet Index

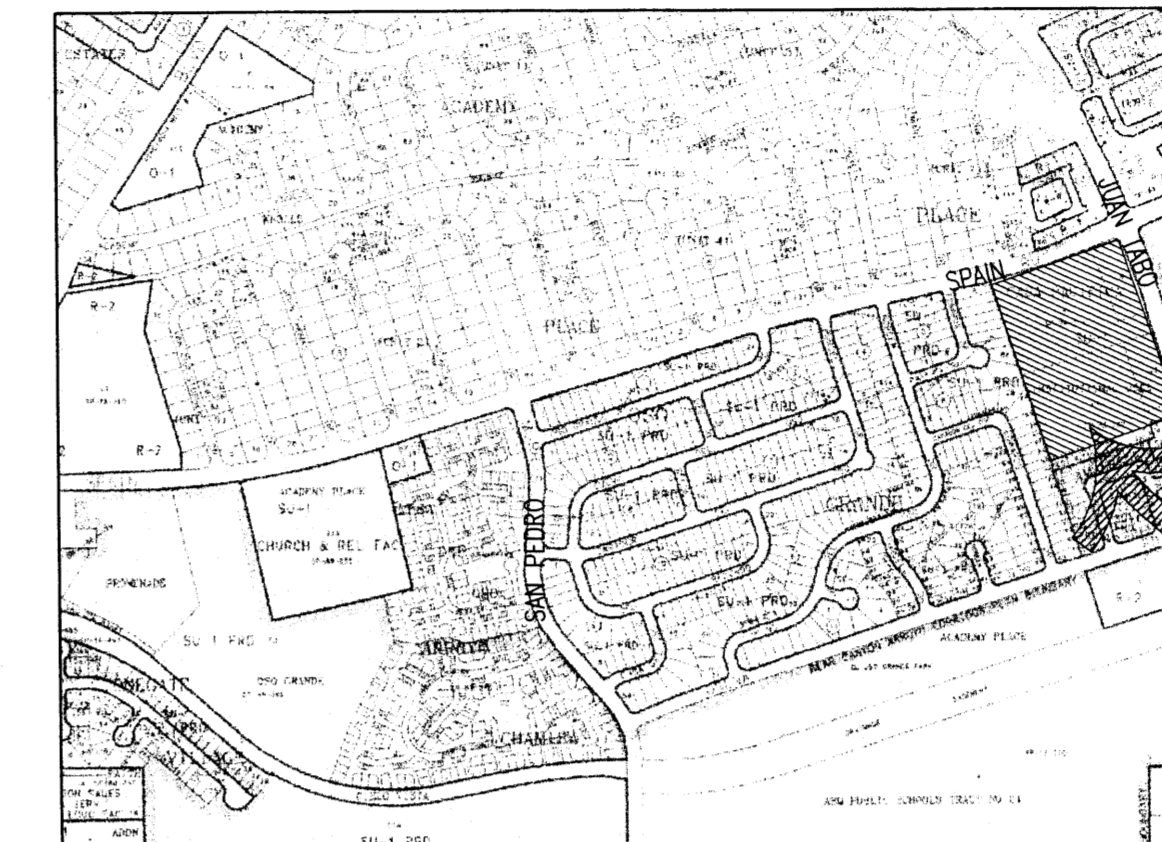
- COVER SHEET
- PROJECT DATA, DRAWING INDEX, VICINITY MAP, SITE PLAN
- SITE DETAILS
- C101 GRADING AND DRAINAGE PLAN
- C102 GRADING AND DRAINAGE DETAILS
- C103 WATER AND SEWER PLAN
- ES001 FIXTURE SCHEDULE, POLE MOUNTING, ELECTRICAL SITE PLAN
- ES002 POWER RISER DIAGRAMS, GROUNDING DETAILS
- ES003 LANDSCAPE PLAN
- ES004 GENERAL NOTES, FOUNDATION NOTES AND NAILING SCHEDULE
- ES005 FOUNDATION PLAN
- S102 FLOOR AND ROOF FRAMING PLANS
- S103 ADA DUPLEX FOUNDATION AND ROOF FRAMING PLANS
- S104 ALTERNATE FRAMING PLANS
- S400 TYPICAL WOOD FRAMING AND CONCRETE DETAILS
- S401 WOOD FRAMING DETAILS
- A101 FIRST/SECOND FLOOR PLANS, ELEVATIONS
- A102 SALES OFFICE, CLUB HOUSE FLOOR PLANS, ELEVATIONS
- A103 HANDICAP FLOOR PLANS, ELEVATIONS, ROOF PLAN, INTERIOR ELEVATIONS
- A104 ROOF PLANS, ROOF DETAILS
- A105 STAIR SECTIONS
- A106 BUILDING SECTIONS
- A107 INTERIOR ELEVATIONS, UNITS 1, 2 AND 3
- A108 ARCHITECTURAL DETAILS
- A109 ARCHITECTURAL DETAILS
- E101 UNIT ELECTRICAL PLANS
- M101 UNIT MECHANICAL PLANS

General Notes

- REFER CIVIL DRAWINGS FOR BUILDING PLACEMENT & PARKING LAYOUT.
- REFER CIVIL DRAWINGS FOR BUILDING PAD ELEVATIONS.
- REFER LANDSCAPE PLAN FOR AREAS TO BE LANDSCAPED AND PLANT MATERIALS, GRADING COVERS, IRRIGATION SYSTEMS, ETC. TO BE INSTALLED.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION, AND BEFORE TEMPORARY C.O. WILL BE SCHEDULED.
- ALL EXISTING SIDEWALK AND CURB AND GUTTER IN DISREPAIR WILL BE REMOVED AND REPLACED.
- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNLIMITE DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK. (2) INCREASE IN CONSTRUCTION COST TO THE RESPONSIBLE PARTY.

Keyed Notes

- ASPHALTIC CONCRETE PAVING OVER PREPARED SUBSTRATE. REFER DTL. E4/A002.
- 4" THICK X 4'-0" WIDE CONCRETE WALK, 3000 PSI, AIR ENTRAINED W/ JOINTS @ 4'-0" O.C. MAX. REFER DTL. A5/A002.
- 4" THICK X 3'-0" WIDE CONCRETE WALK, 3000 PSI, AIR ENTRAINED W/ JOINTS @ 3'-0" O.C. MAX. REFER DTL. A5/A002.
- 4" THICK CONCRETE DRIVEWAY, 3000 PSI, AIR ENTRAINED.
- BOLLARD, REFER DTL. E6/A002.
- HANDICAP PARKING SIGN, REFER DTL. B4/A002.
- 4" WIDE PAINTED STRIPING @ 18" O.C. FOR HANDICAP LOADING ZONE.
- 4" WIDE PAINTED PARKING STRIPING.
- HANDICAP RAMP, REFER DTL. A4/A002.
- BUILDING SIGN, REFER DTL. A4/A001.
- ENTRY GATE, REFER DTL. C1/A002.
- BRICK PILASTERS WITH STEEL PICKETS, REFER DTL. A6/A002.
- SIDEWALK RAMP PER CITY OF ALBUQUERQUE STANDARDS, REFER DTL. A3/A002.
- RETAINING WALL, REFER CIVIL.
- CMU PRIVACY FENCE, REFER DTL. C6/A002 (REFER TO CIVIL WHERE FENCE SITS ON TOP OF RETAINING WALL).
- CALL BOX.
- EXIT GATE.
- TRASH ENCLOSURE SCREEN, REFER DTL. D4/A002.
- COLOR CONCRETE TO MATCH ROOF TILE - 2'-4" SQUARE.
- 3'-0" PEDESTRIAN GATE, REFER DTL. D3/A002.
- ENTRY PAVING PER OWNER.
- CURB AND GUTTER REFER DTL. D5/A002.
- STONE VENEER RETAINING WALL AROUND TRANSFORMER.
- ENTRY FEATURE, REFER DTL. C1/A002.
- STONE WATER ELEMENT, REFER DTL. A2/A002.
- CMU PILASTERS WITH STONE VENEER, REFER DTL. A6/A002.
- SHADE STRUCTURE, REFER DTLS. D1 & E1/A002.
- EXISTING 3'x7' CONCRETE PAD AND BUS BENCH.



Vicinity Map

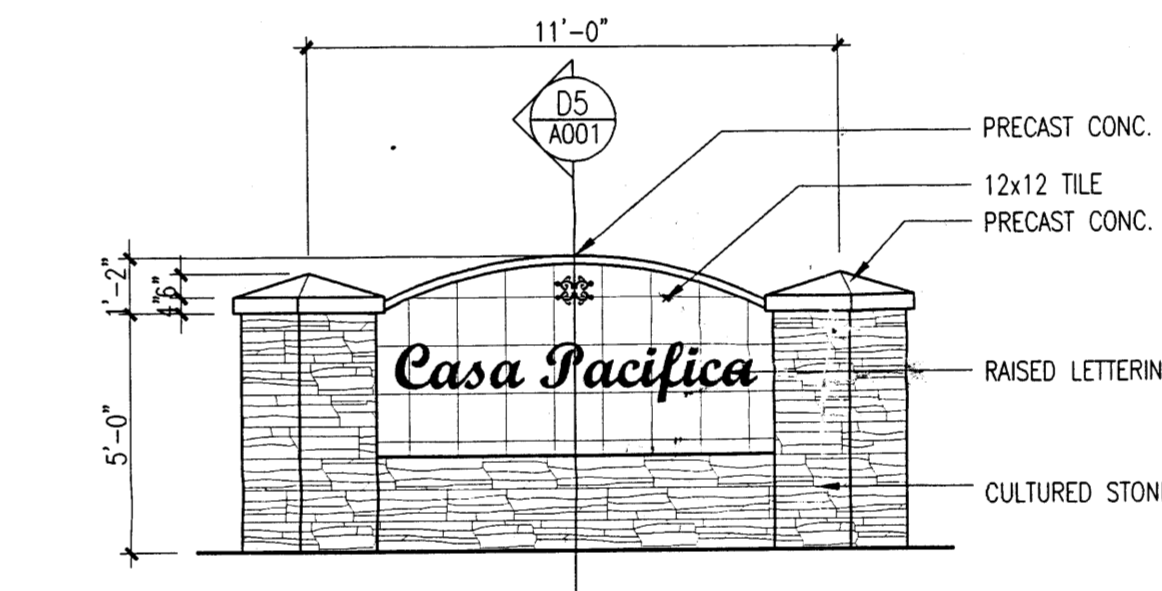
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Site Development Plan For Building Permit

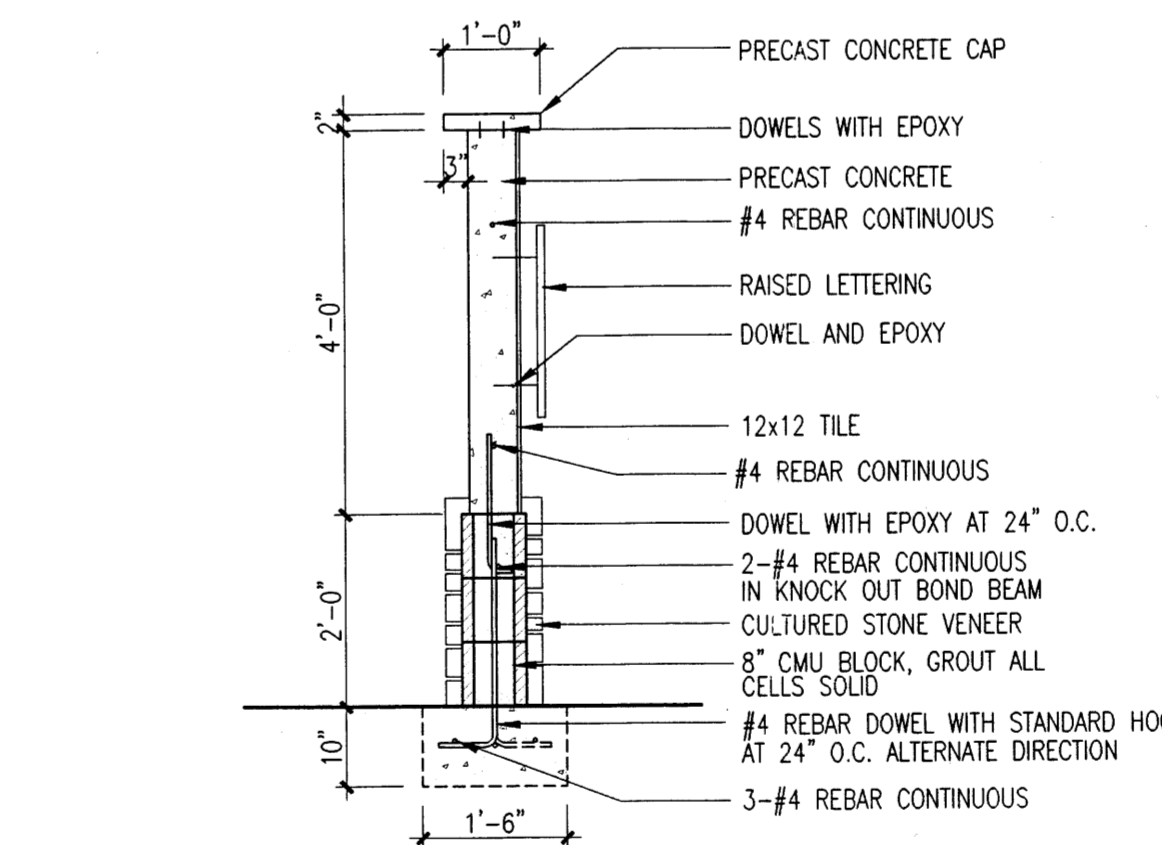
THE SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE PLAN APPROVED AT THE PUBLIC HEARING ON 11/19/00 ENVIRONMENTAL PLANNING COMMISSION HEARING. UPC 10210645030810202 AND 102106147538210205

11/30/00
 PLANNING DIRECTOR, CITY OF ALBUQUERQUE
 11/1/00
 CITY ENGINEER / AMALFA
 10/11/00
 TRANSPORTATION DEVELOPMENT
 10-27-00
 UTILITY DEVELOPMENT
 10/1/00
 PARKS AND RECREATION

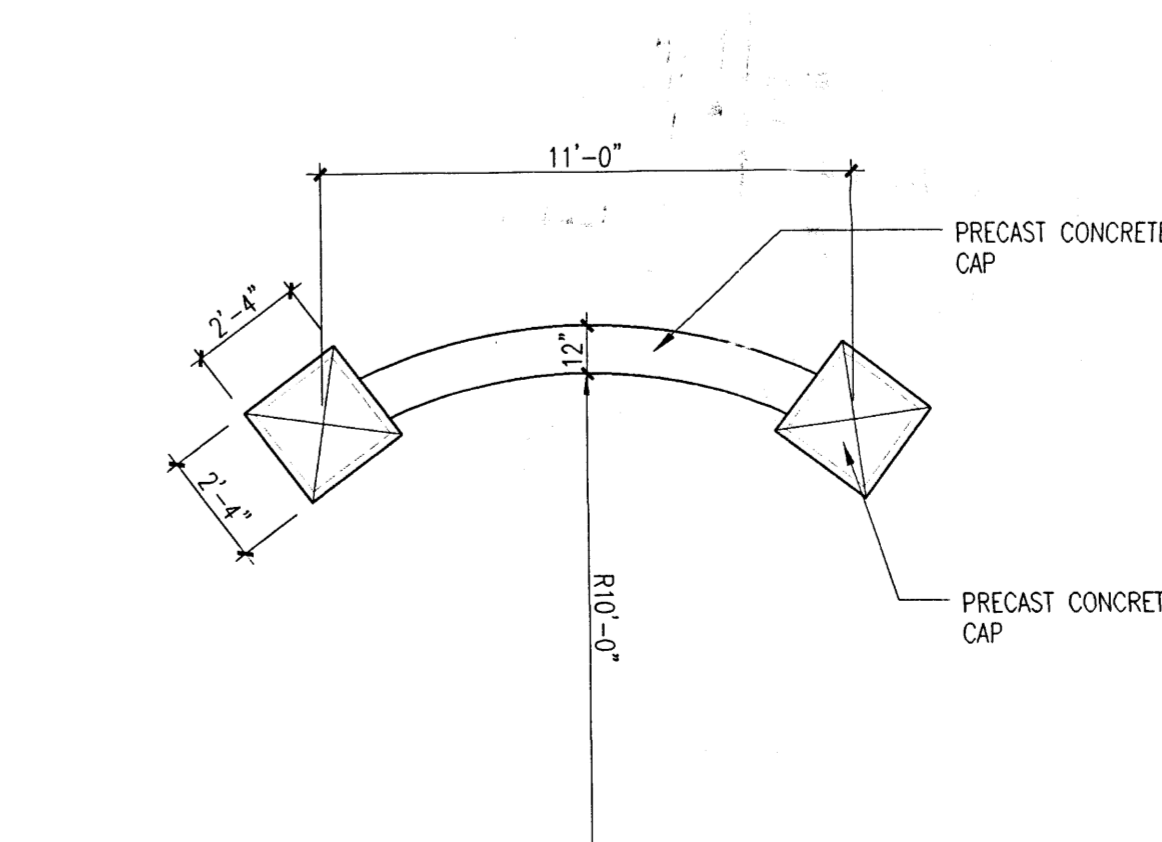
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 DRB Application # 00450-00000-01276



C5 Building Sign Elevation
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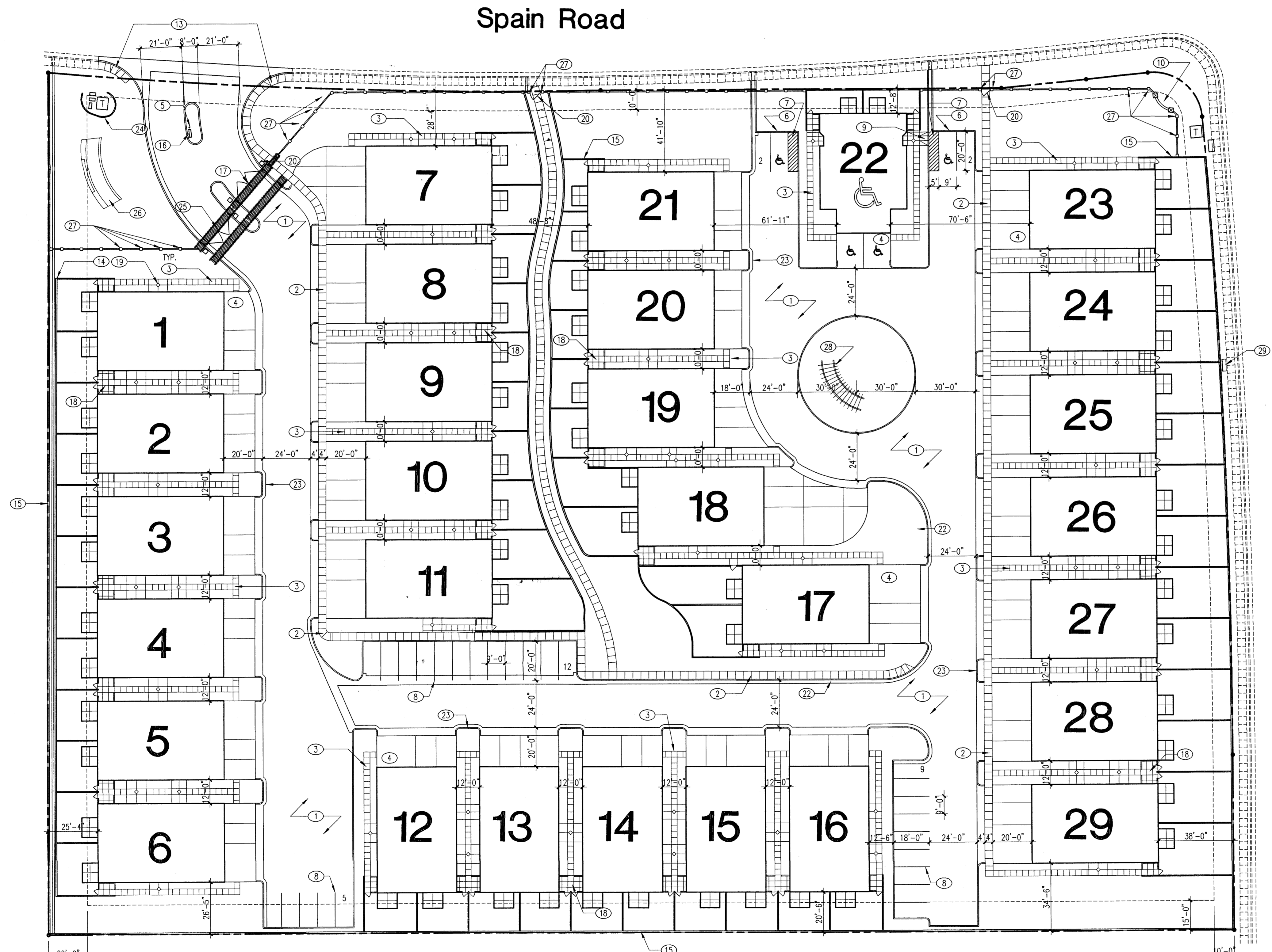


D5 Building Sign Section
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E5 Building Sign Plan
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PRELIMINARY

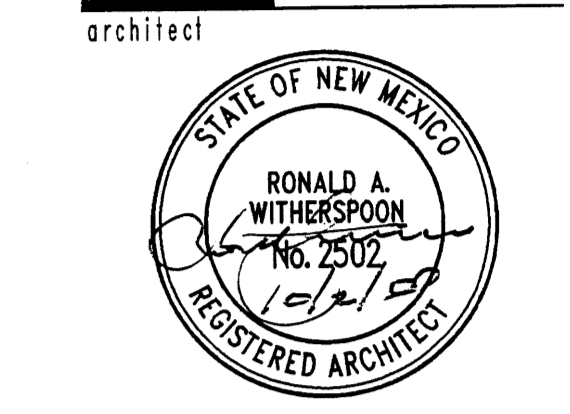


E1 Site Plan
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interiors
 planning
 engineering

Dekker Perich Sabatini

6801 Jefferson NE
 Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dps@dpsobq.com



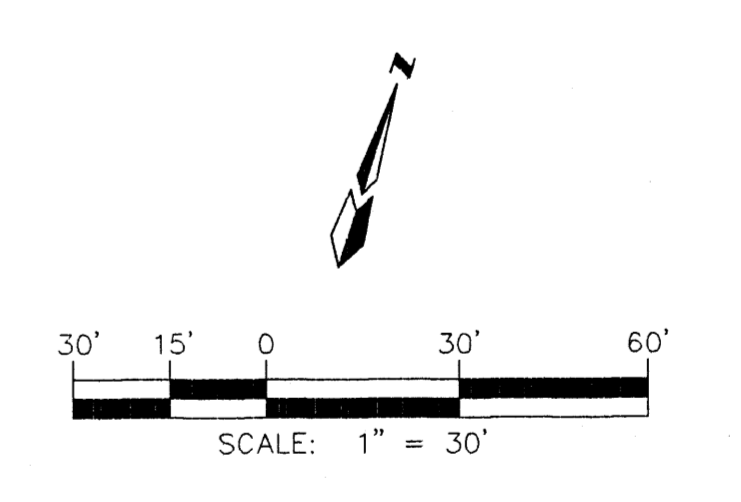
architect
 engineer
 project

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 Condominiums
 D.R. Horton Homes
 Albuquerque, New Mexico

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 drawn by PC
 reviewed by RW
 date 07-21-00
 project no. 98068
 drawing name
 Project Data,
 Drawing Index,
 Vicinity Map
 Site Plan
 sheet no. A001

PLANT LEGEND

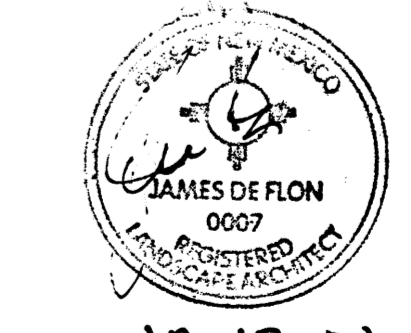
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2" Cal.
- FLOWERING PEAR (H) Qty: 13
Pyrus coteriana
1 1/2" - 2" Cal.
- WASHINGTON HAWTHORN (H) Qty: 1
Crataegus phoenopyrum
2 1/2" Cal.
- SHADE TREE (H) Qty: 47
2" Cal.
- AUSTRIAN PINE (H) Qty: 7
Pinus nigra
6'-8'
- DESERT WILLOW (M) Qty: 22
VITEX (M)
Chilopsis Linearis
Vitex agnus castus
5 gal
- PINE TREES (H) Qty: 31
Pinus spp.
5 gal
- PINON (M) Qty: 8
Pinus edulis
6" - 8"
- JAPANESE MAPLE (H) OR BIRD OF PARADISE (H) Qty: 9
Acer palmatum or Ceanothus glaberrimus
5 gal
- MEDIUM SHRUBS (M) Qty: 538
Photinia, Eleagnus, Apocynum Plume,
Maiden Grass, Rhipidopsis
5 gal
- CHAMISA (L) Qty: 140
Chrysothamnus nauseosus
1 gal
- PHOTINIA ESPALIER (M) Qty: 2
Photinia fraseri
5 gal
- BOSTON IVY (M) Qty: 70
Parthenocissus tricuspidata
1 gal
- WILDFLOWER Qty: 676
1 gal
- GROUND COVER (M) Qty: 35
Tom Jumper, Coral Beauty Cotoneaster,
Ice Plant
1 gal
-
- SOD
500



revisions

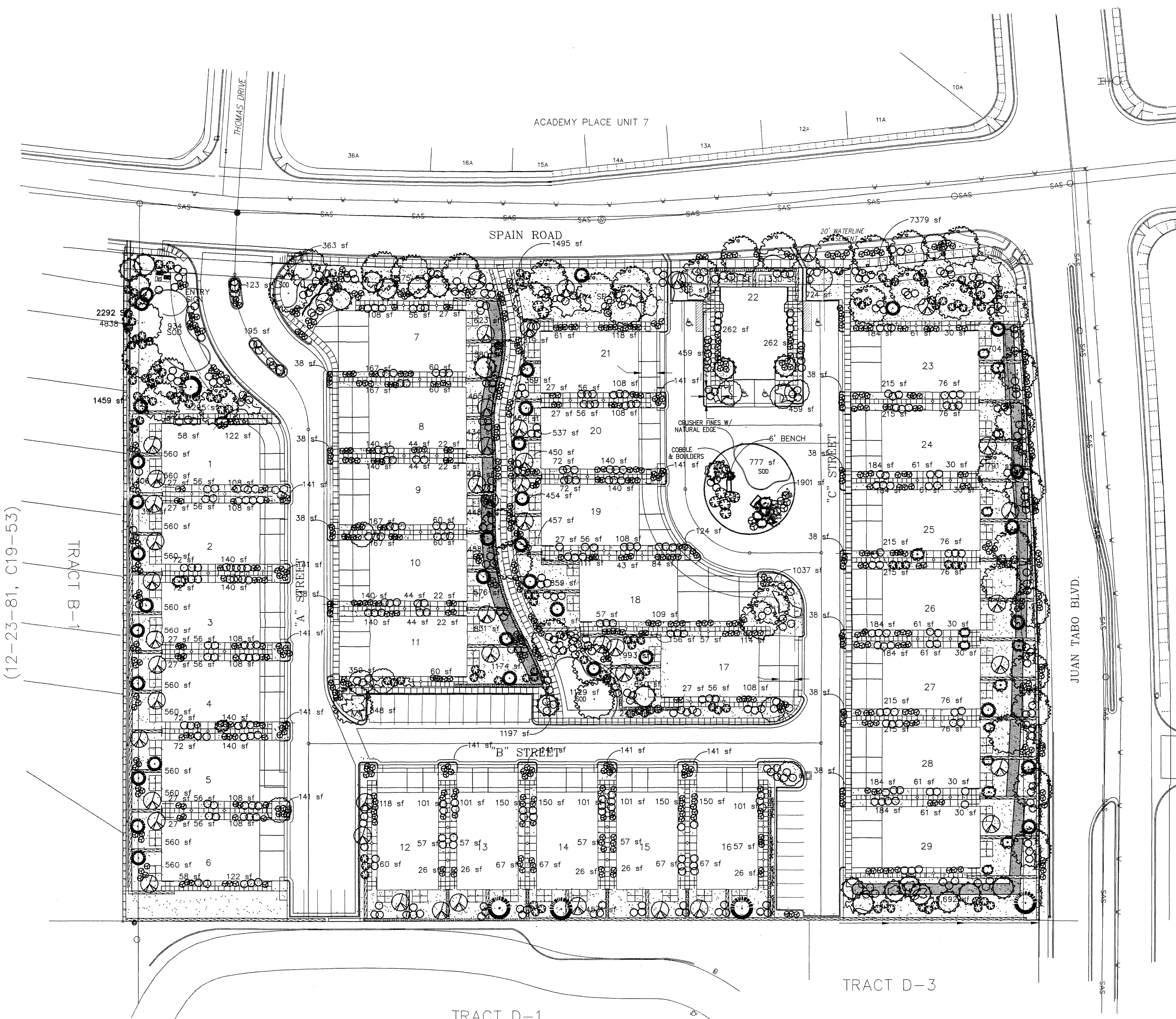
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drawn by **IRT**
reviewed by **JDF**
date **10-16-00**
project no. **98068**
drawing name
Landscape Plan



The Hilltop
10-15-00

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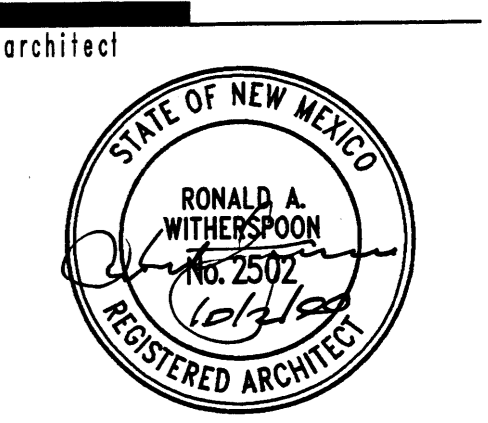


IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.
Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and waste water ordinance. Water management is the sole responsibility of the Property Owner.

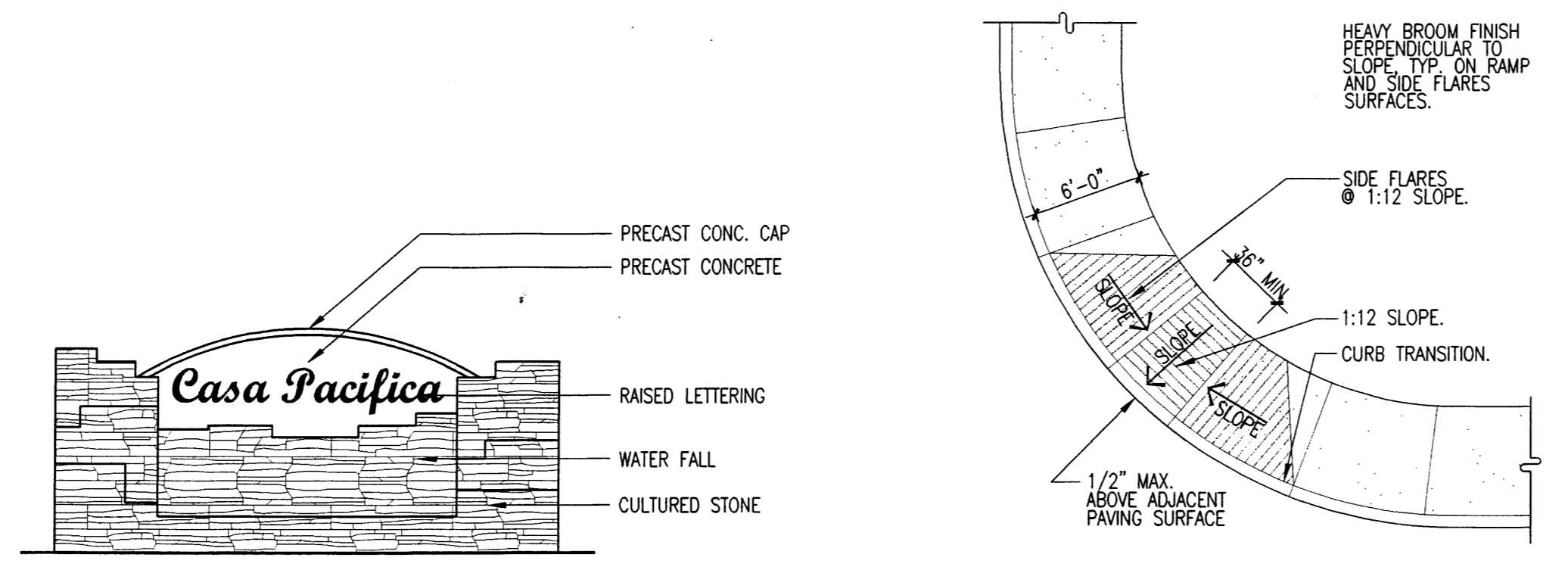
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	255,458	square feet
TOTAL LOT AREA	73,312	square feet
TOTAL BUILDINGS AREA	0	square feet
OFFSITE AREA	182,146	square feet
NET LOT AREA	15	square feet
LANDSCAPE REQUIREMENT	27,322	square feet
TOTAL LANDSCAPE PROVIDED	74,248	square feet
TOTAL BED PROVIDED	70,739	square feet
TOTAL SOD PROVIDED	3,509	square feet

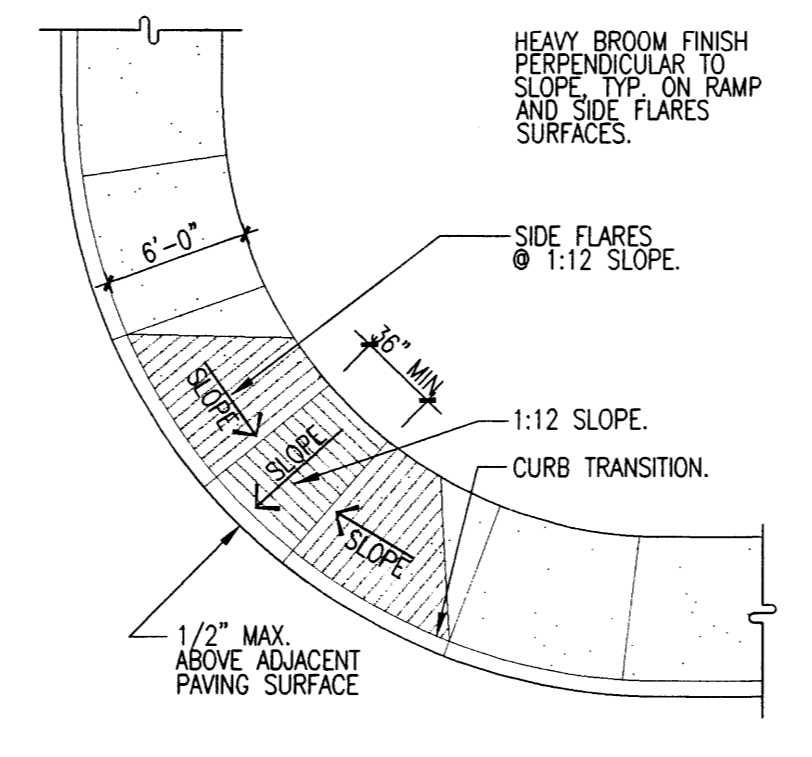


engineer

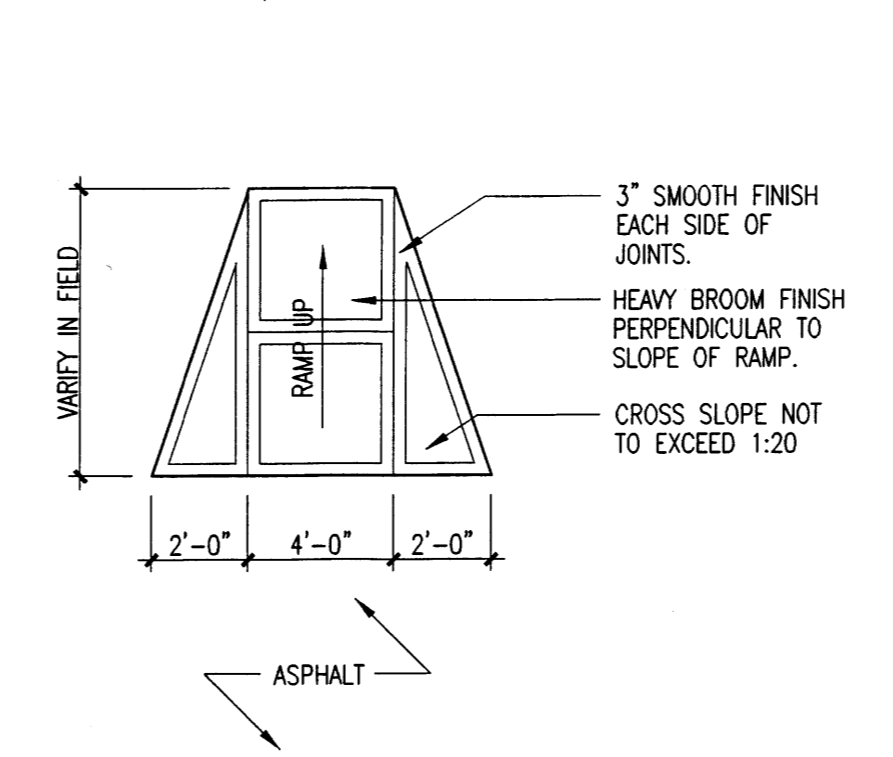
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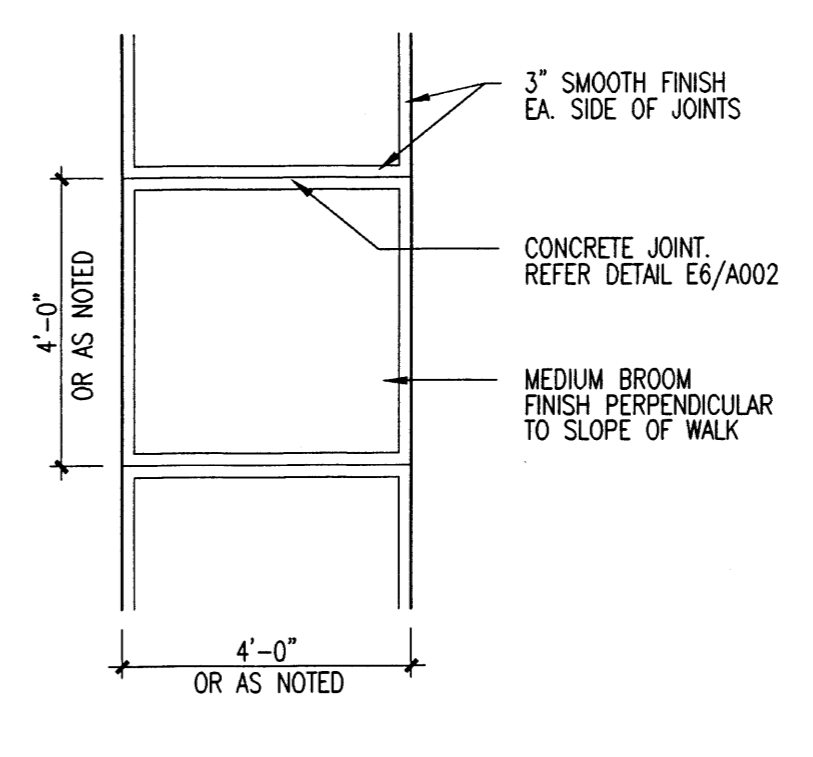
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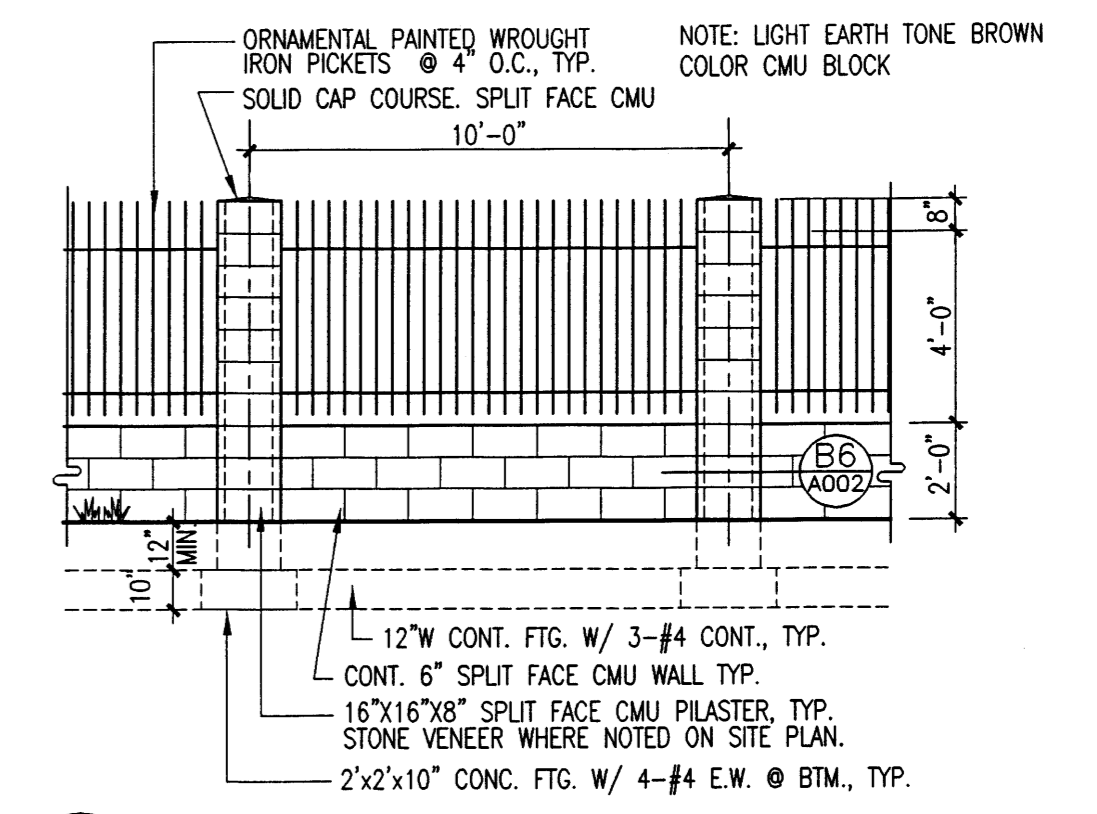
A3 Sidewalk Ramp
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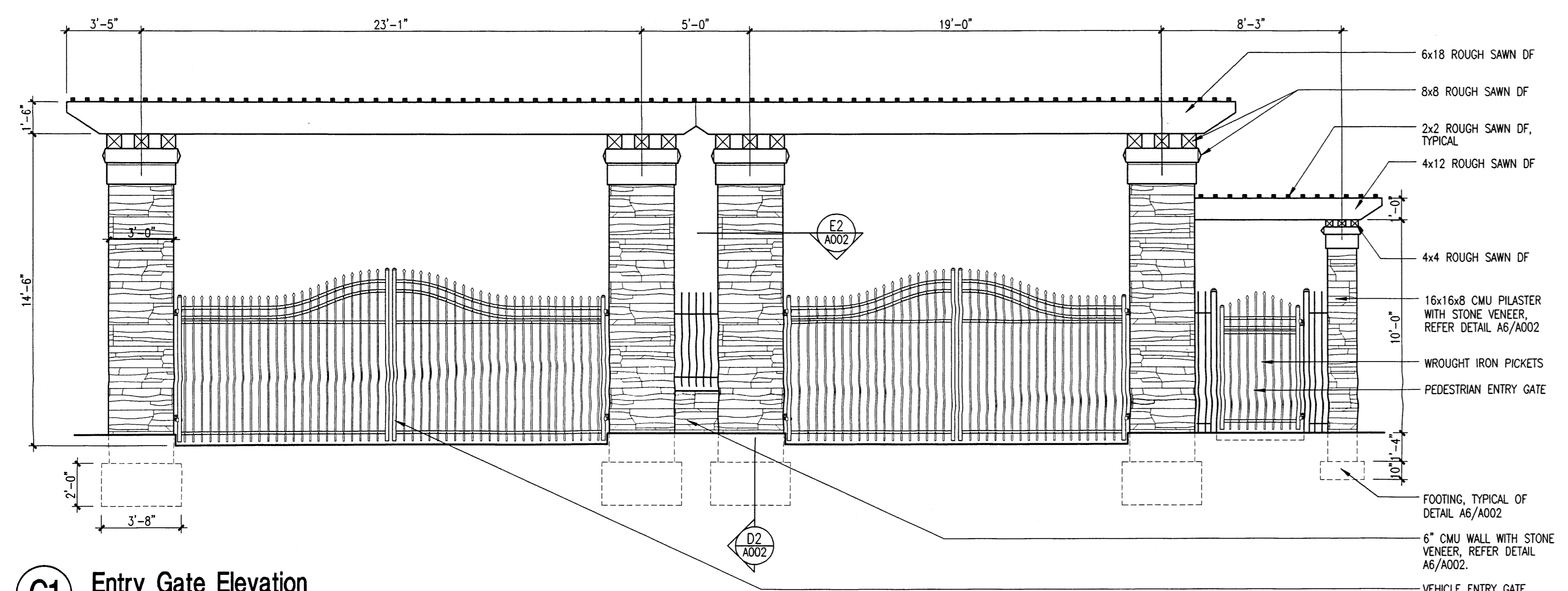
A4 Handicap Sidewalk Ramp
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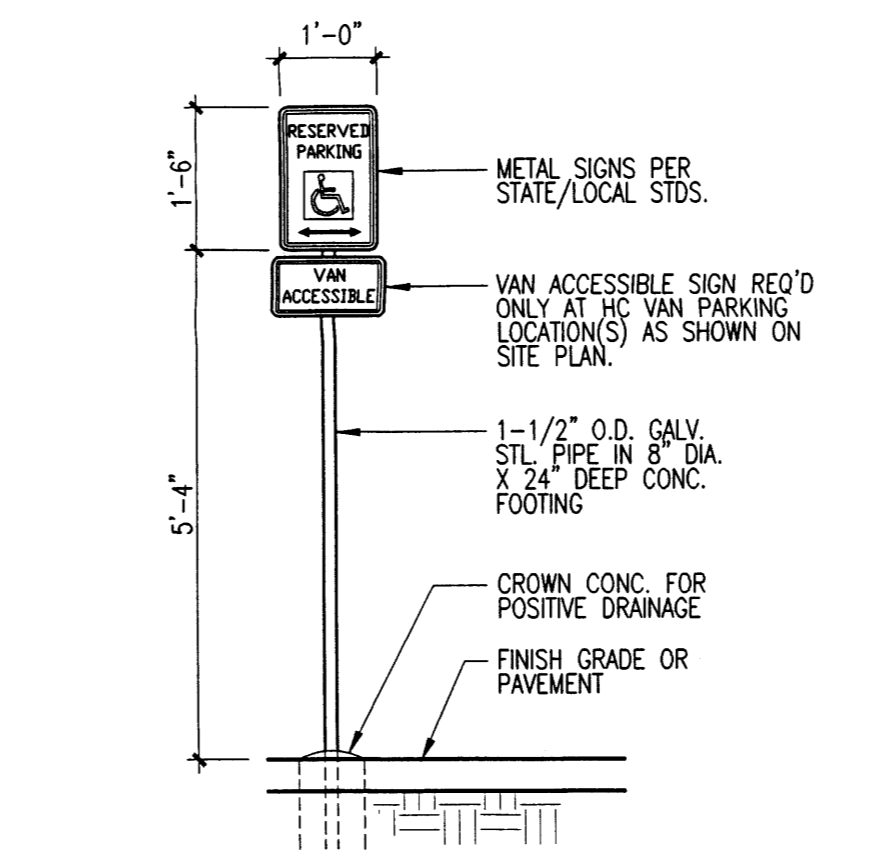
A5 Sidewalk Plan
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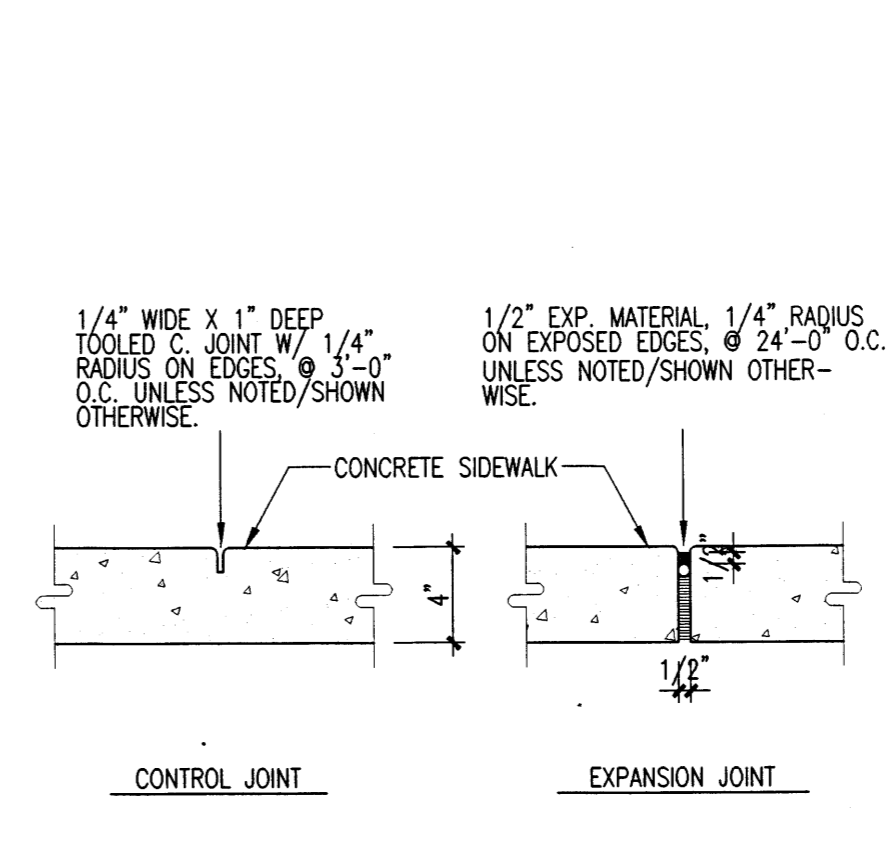
A6 Fence Elevation
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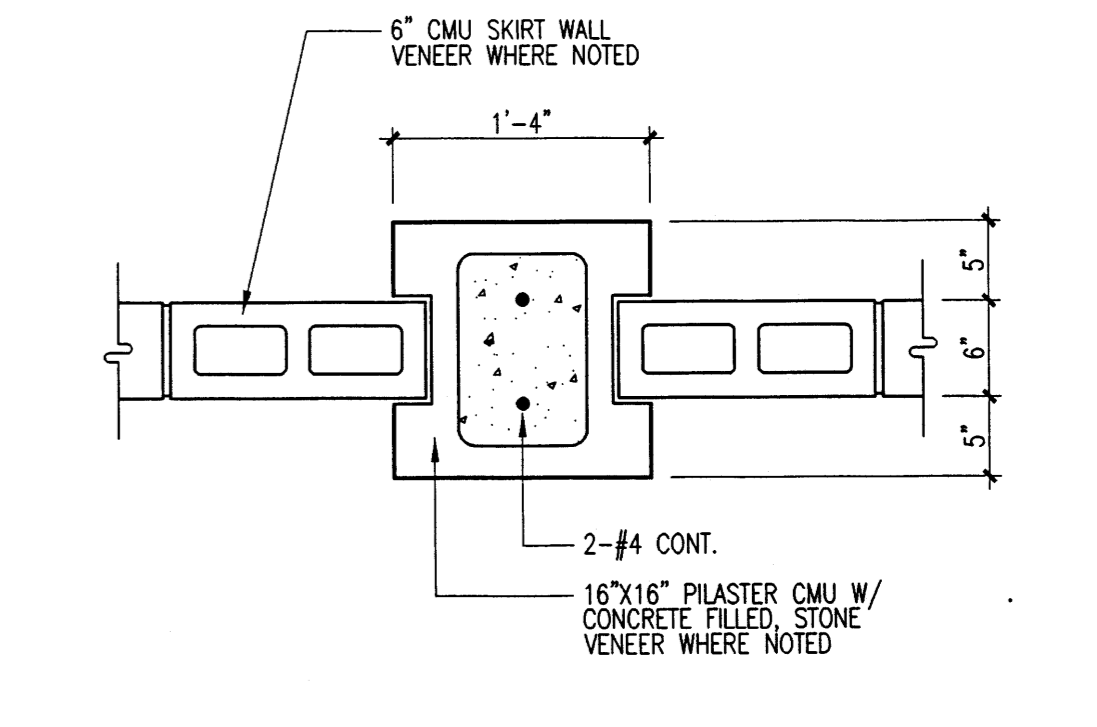
C1 Entry Gate Elevation
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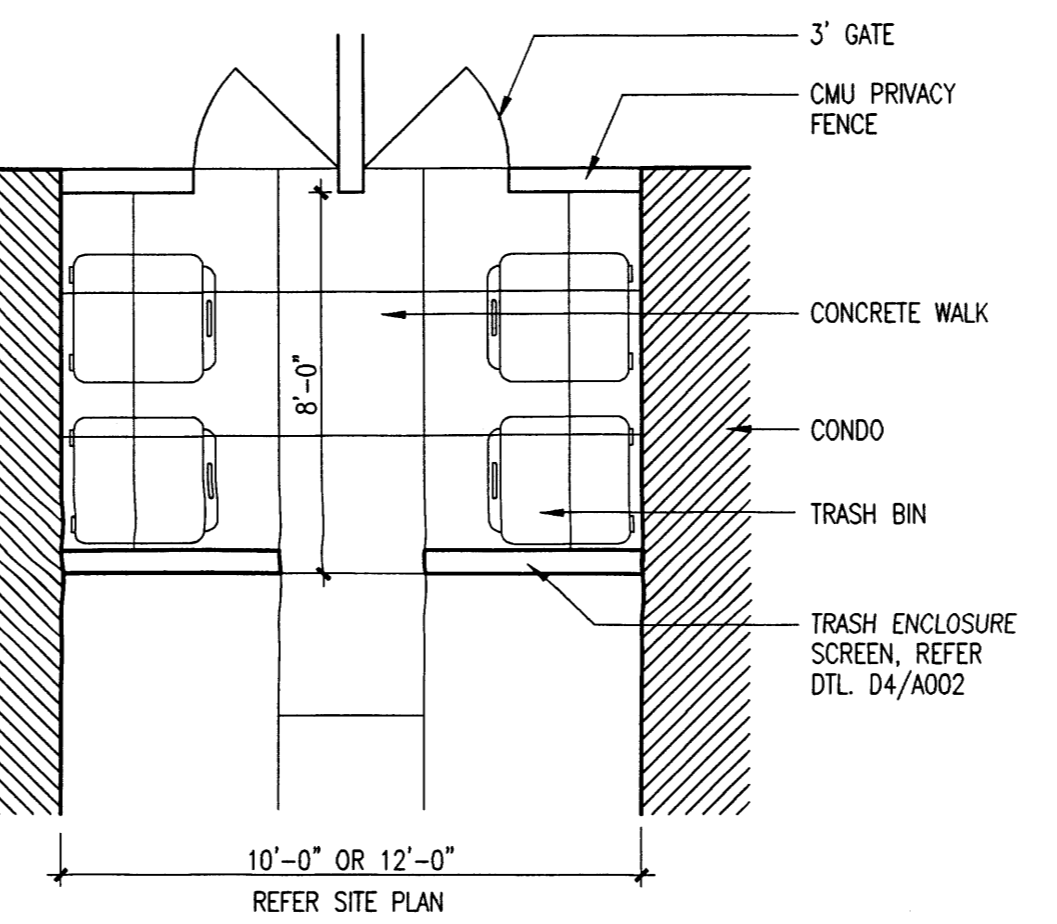
B4 Handicap Sign
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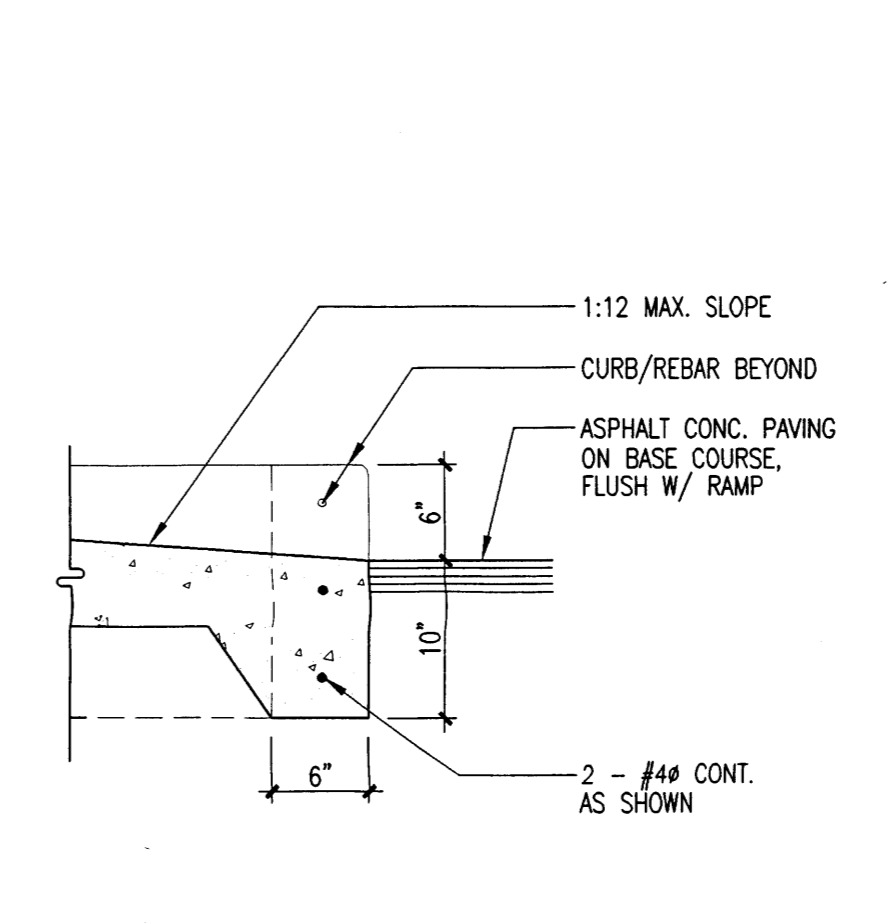
B5 Concrete Joints
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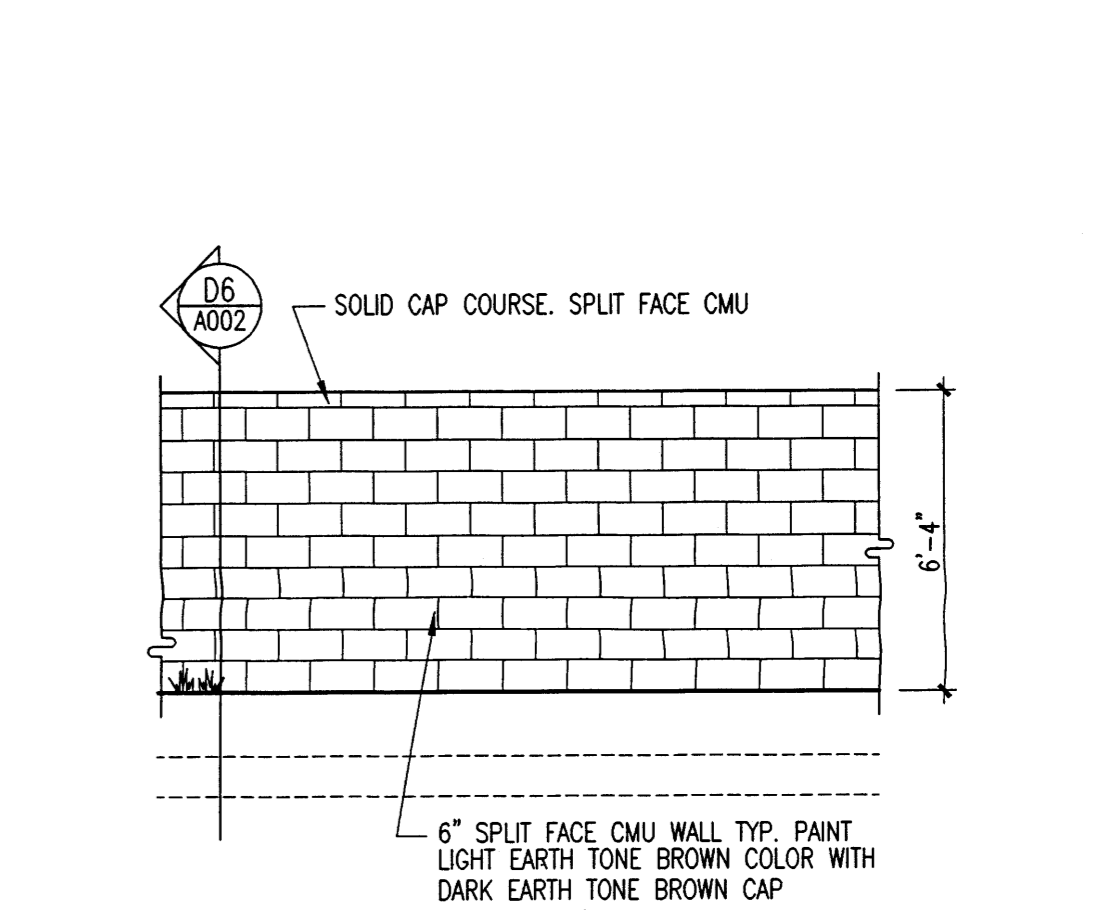
B6 Plaster Section
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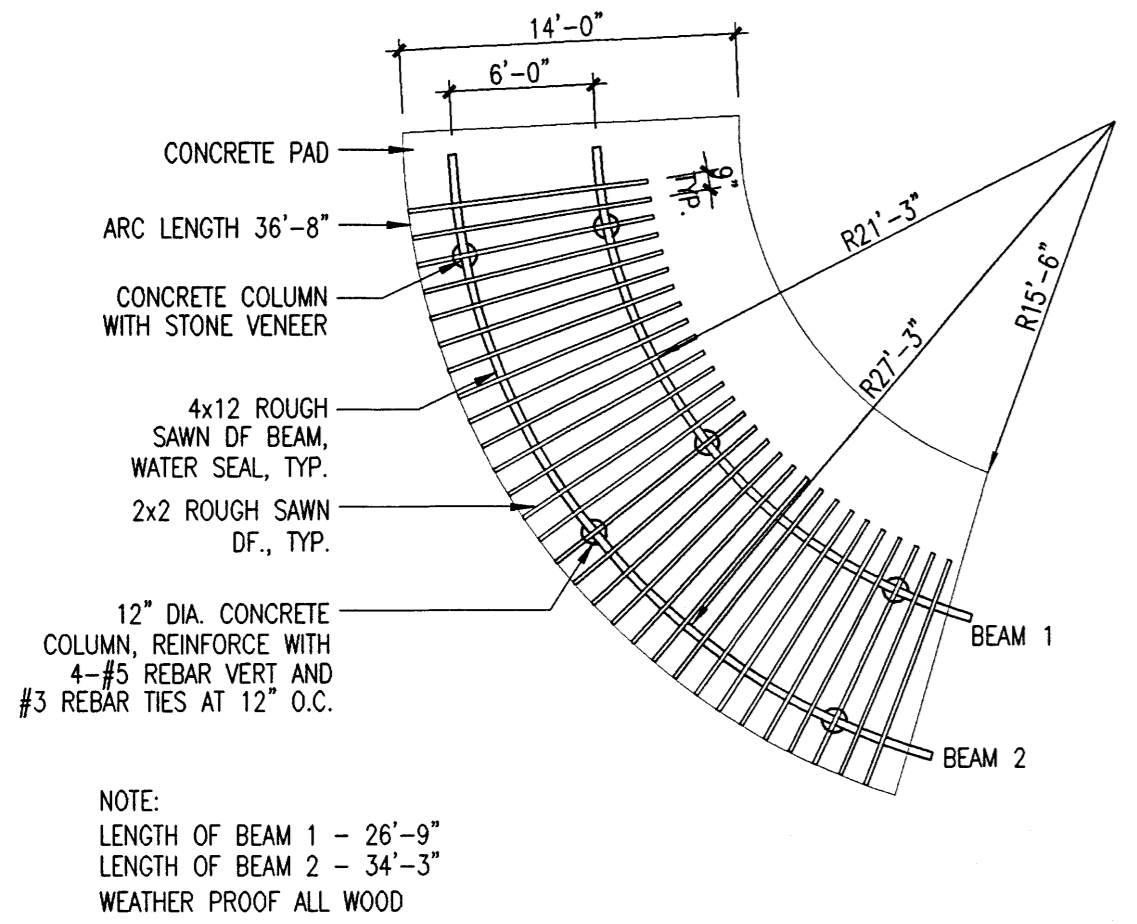
C4 Trash Enclosure Plan
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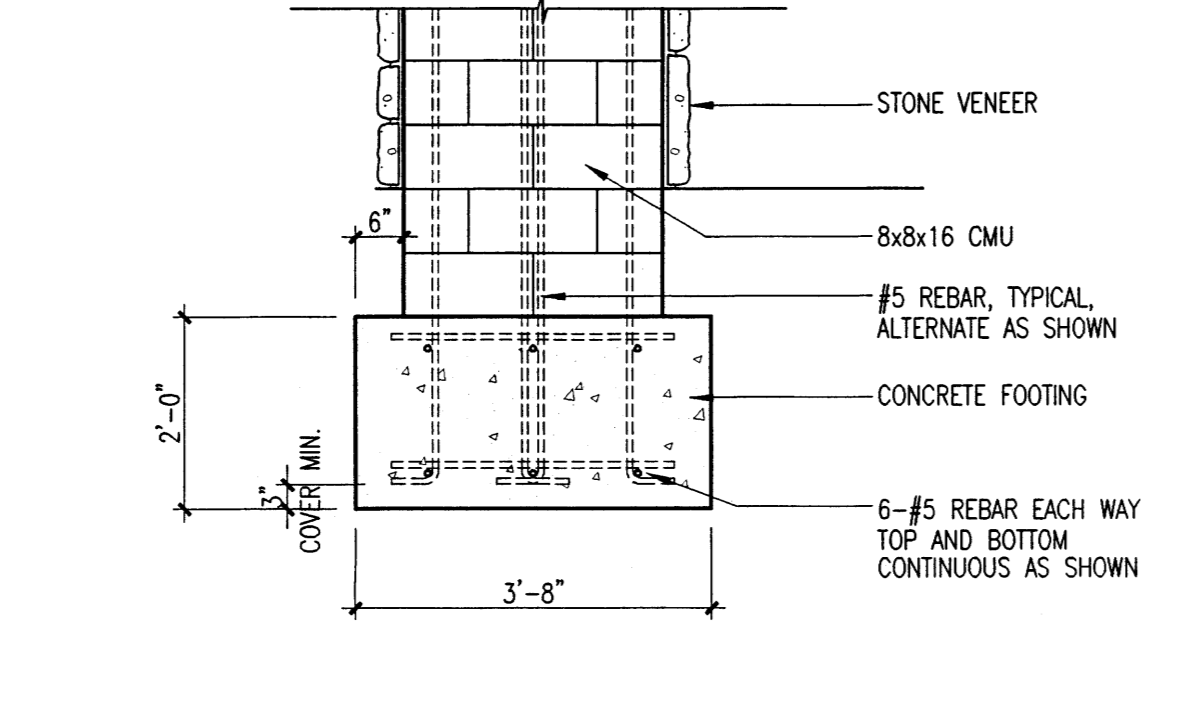
C5 Concrete Curb @ Ramp
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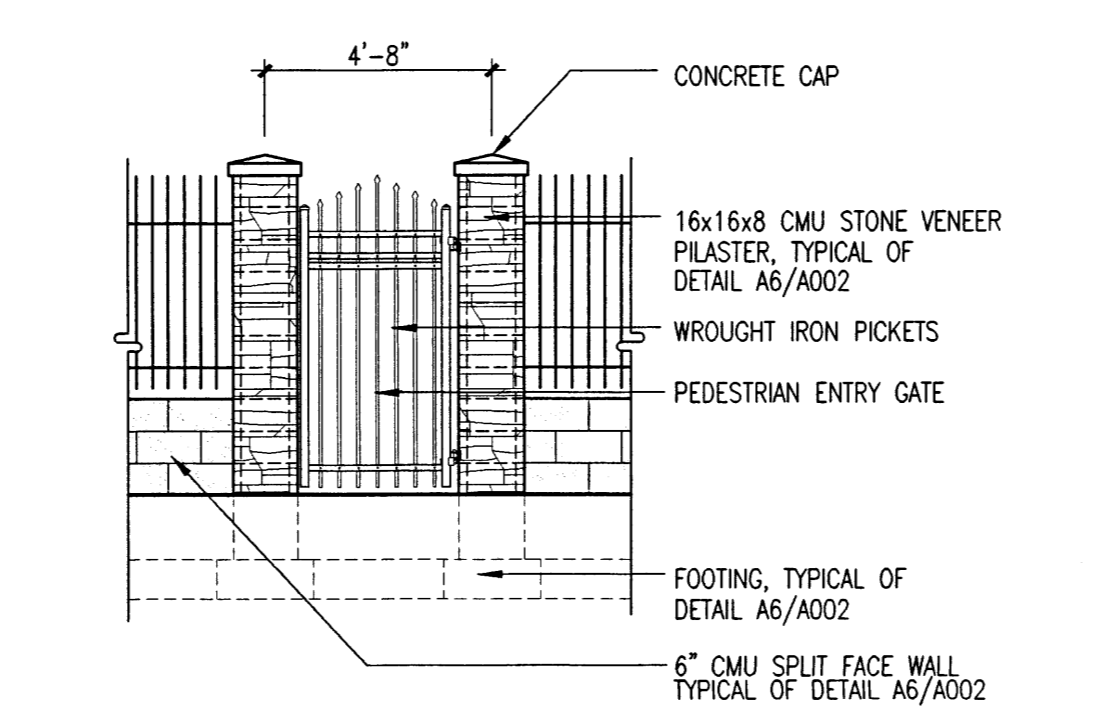
C6 Fence Elevation
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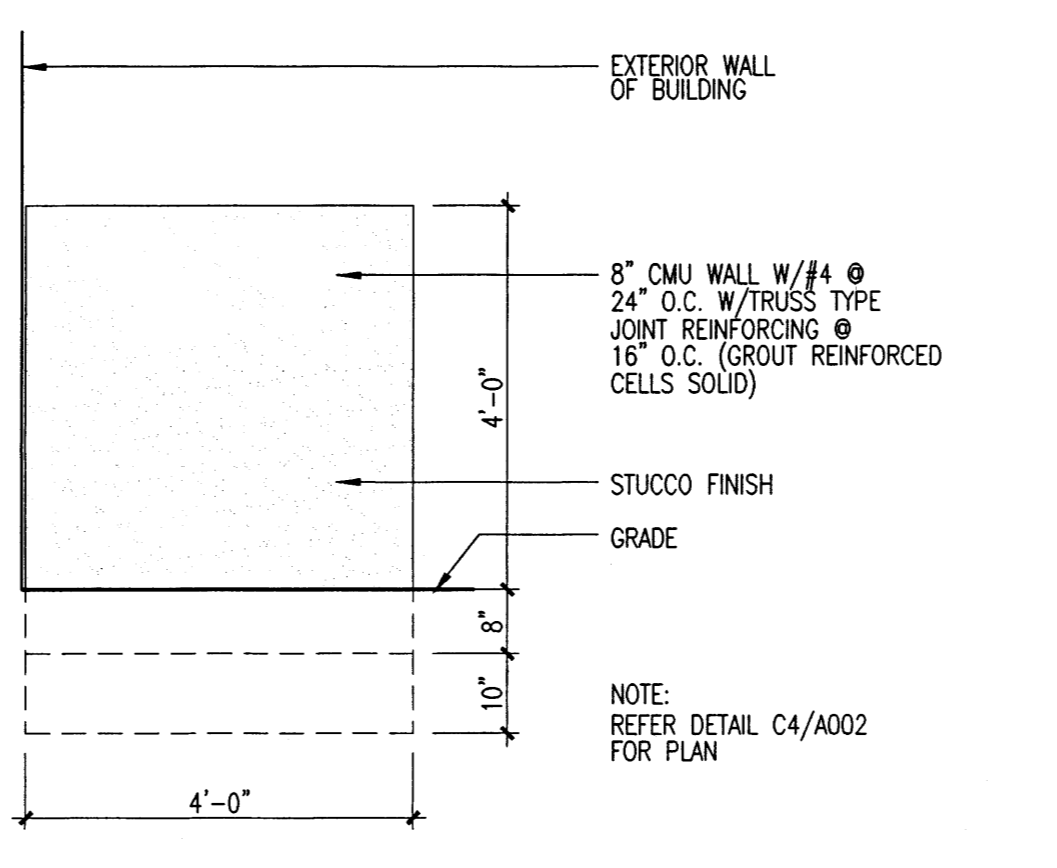
D1 Shade Trellis Plan
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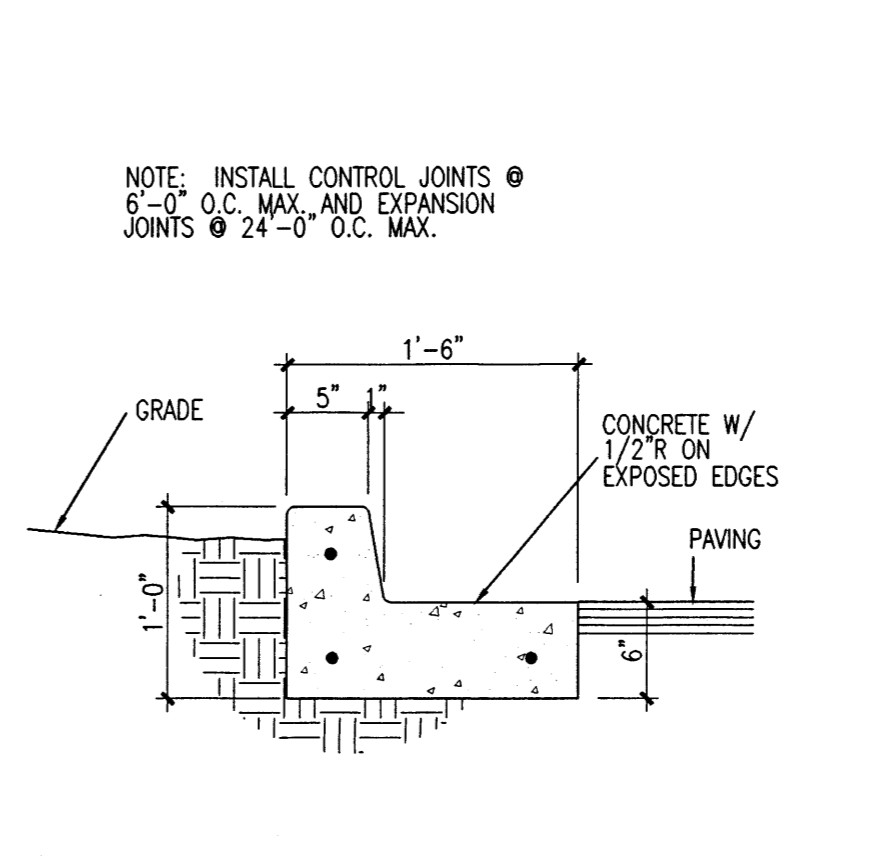
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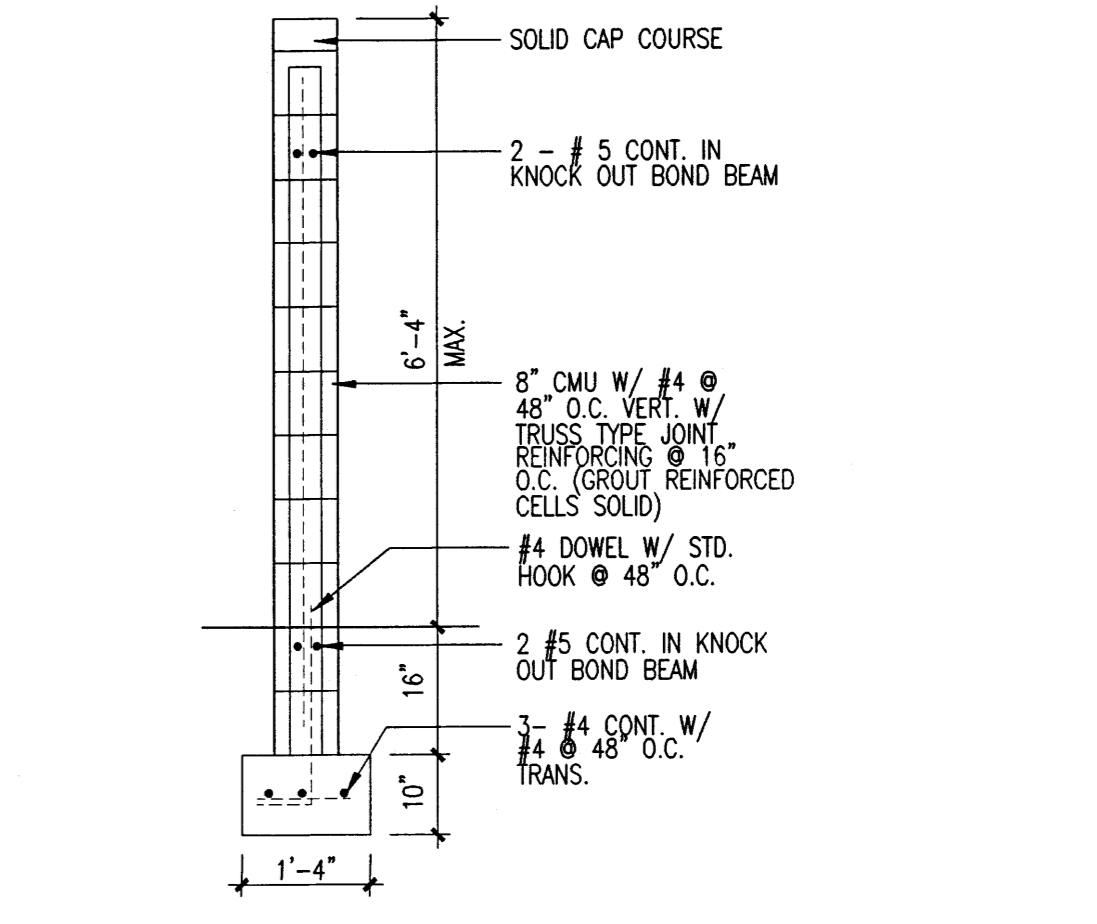
D3 Pedestrian Gate Elevation
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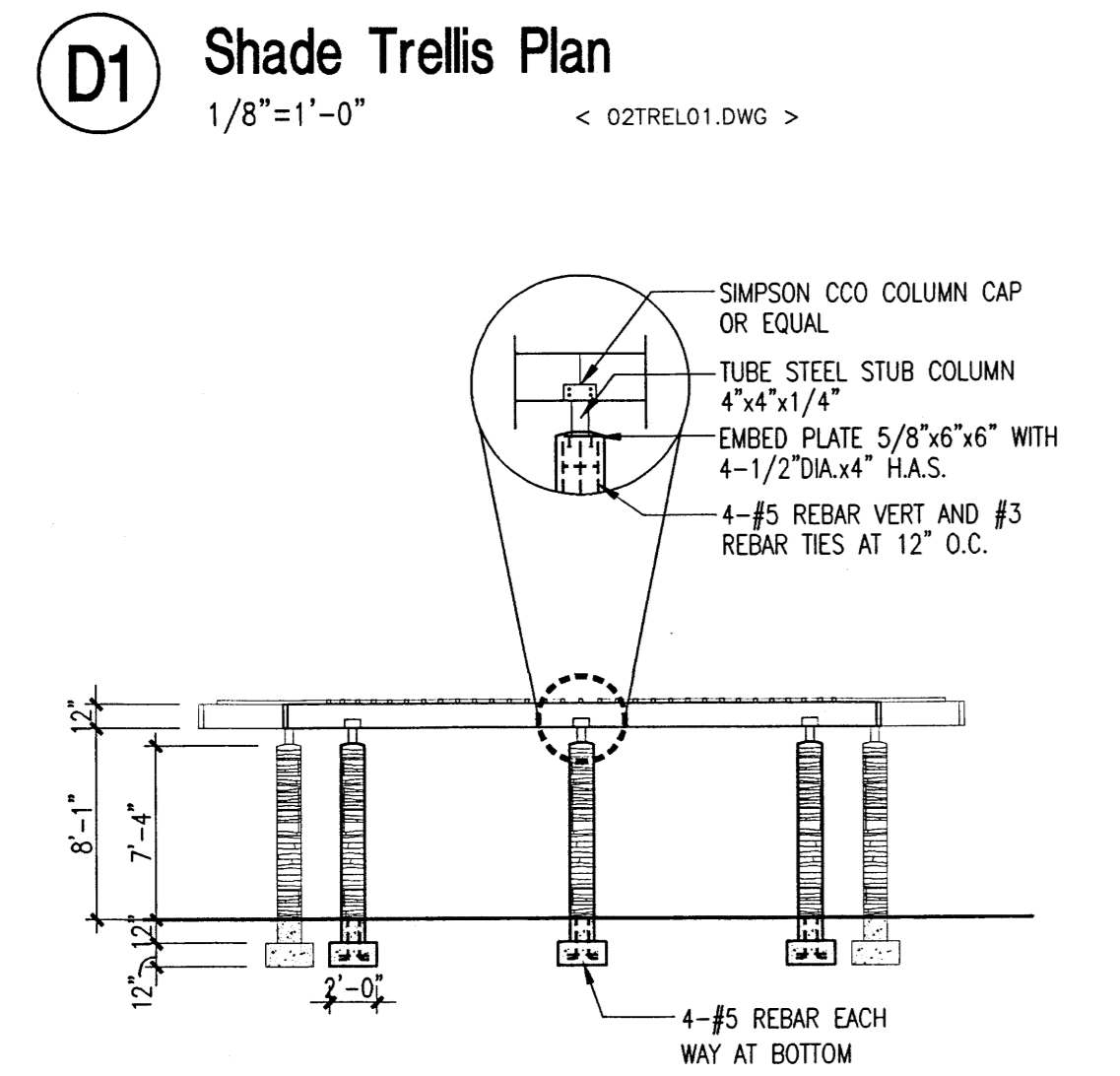
D4 Trash Enclosure Screen
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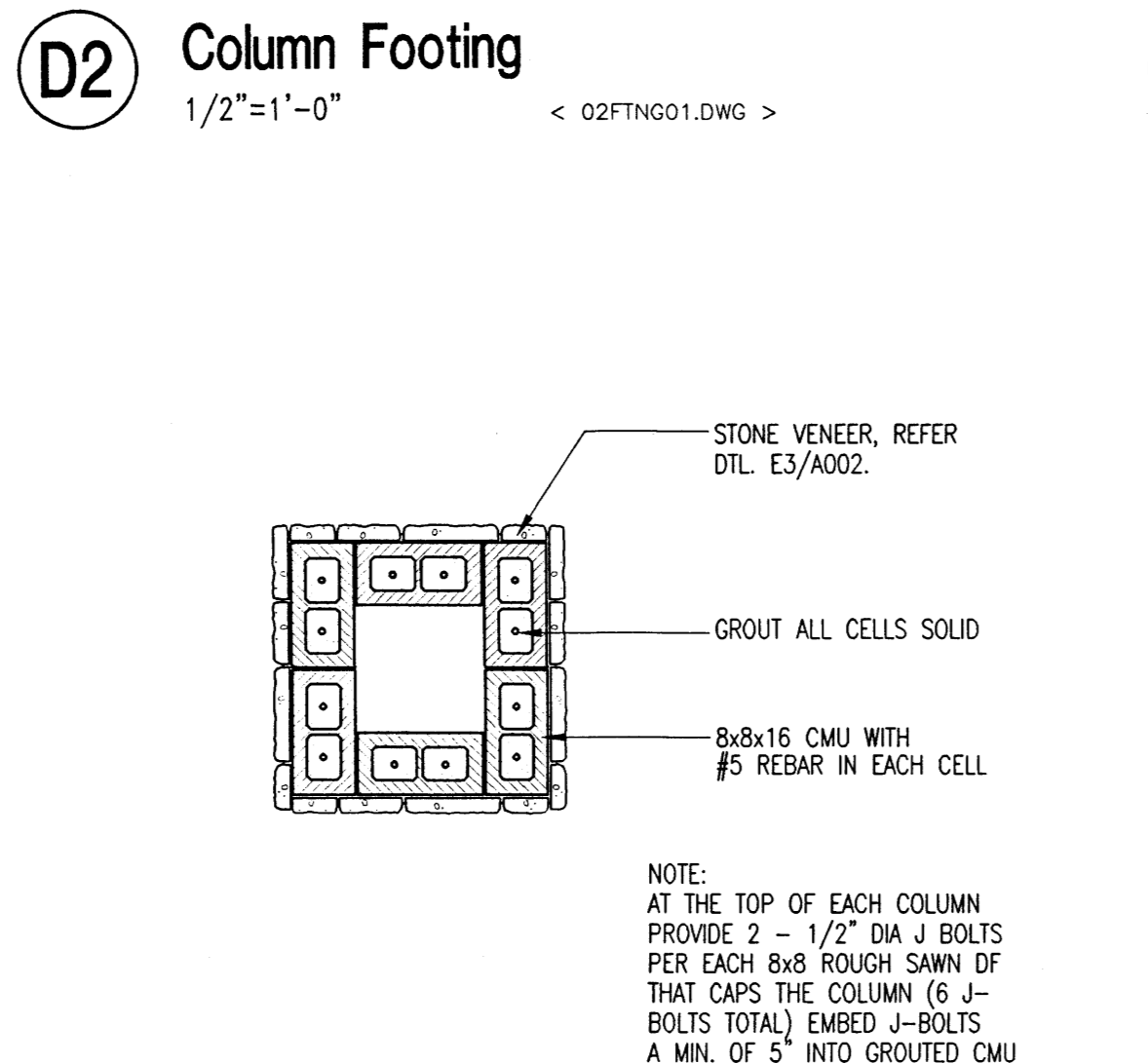
D5 Concrete Curb and Gutter
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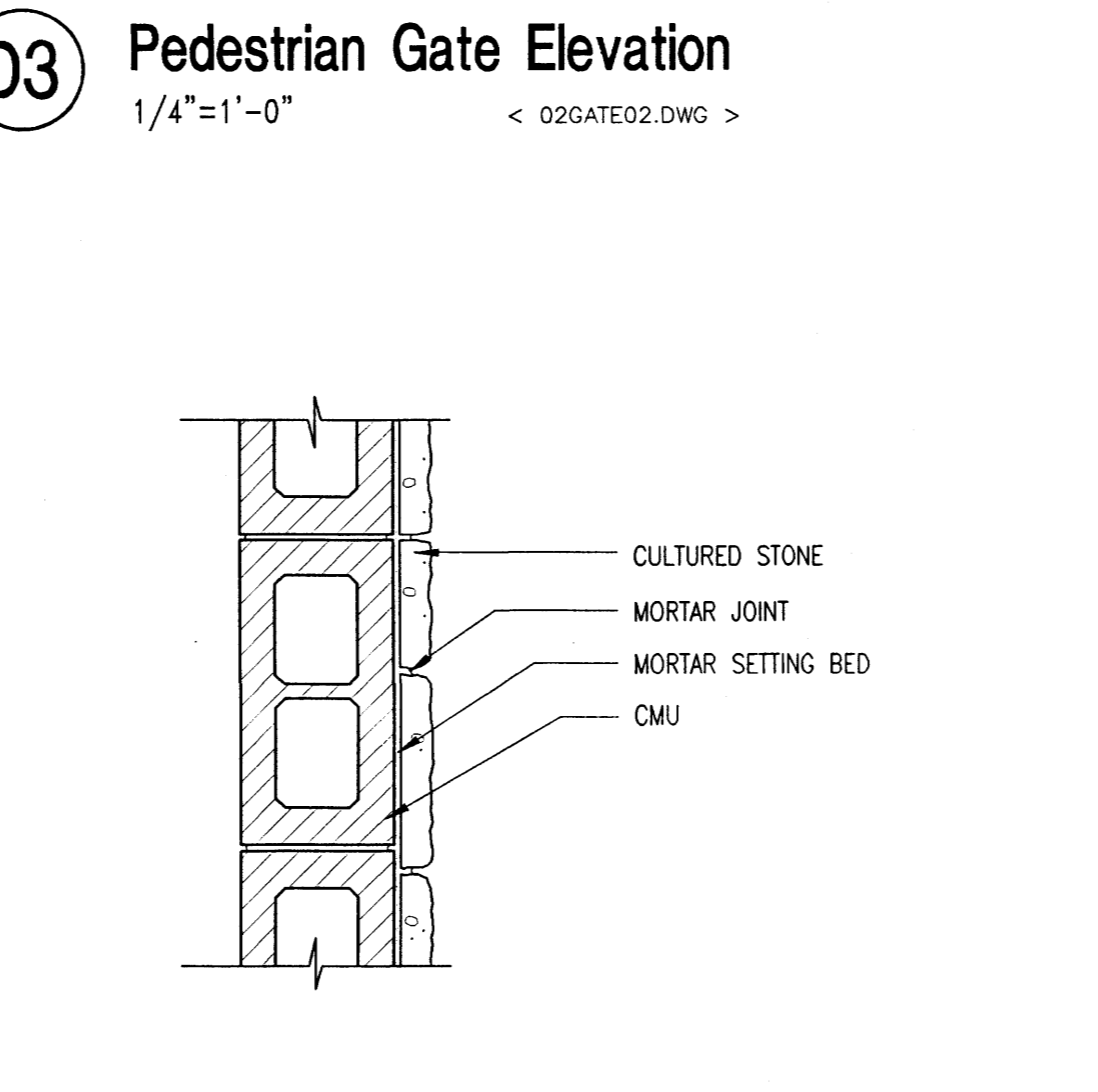
D6 CMU Fence Detail
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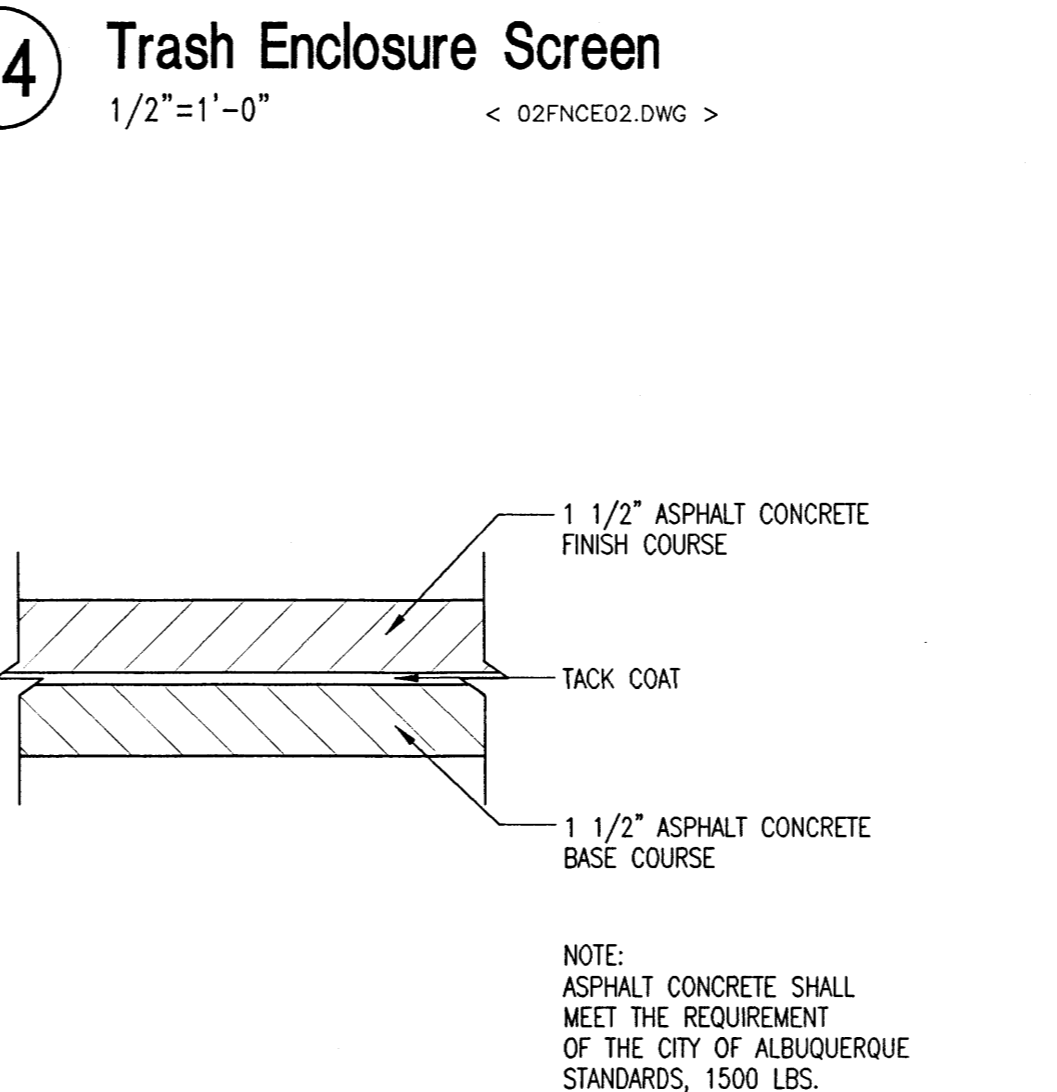
E1 Shade Trellis Elevation
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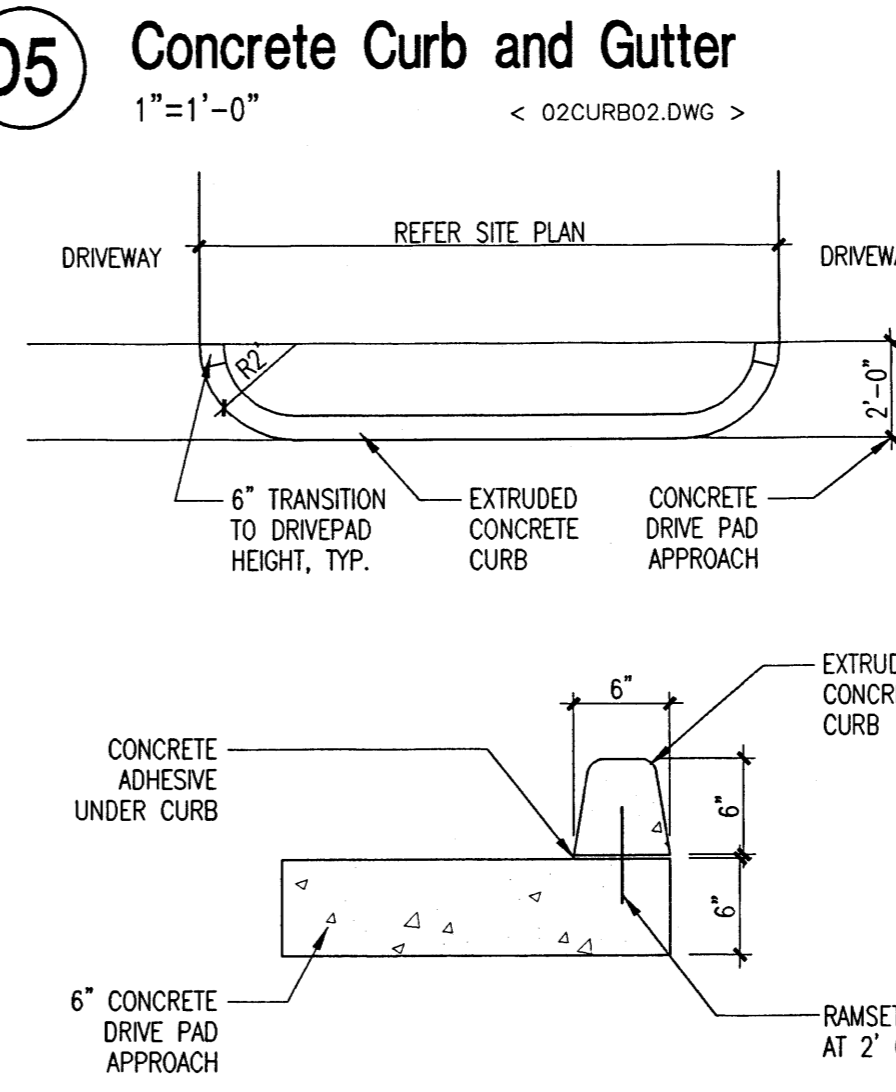
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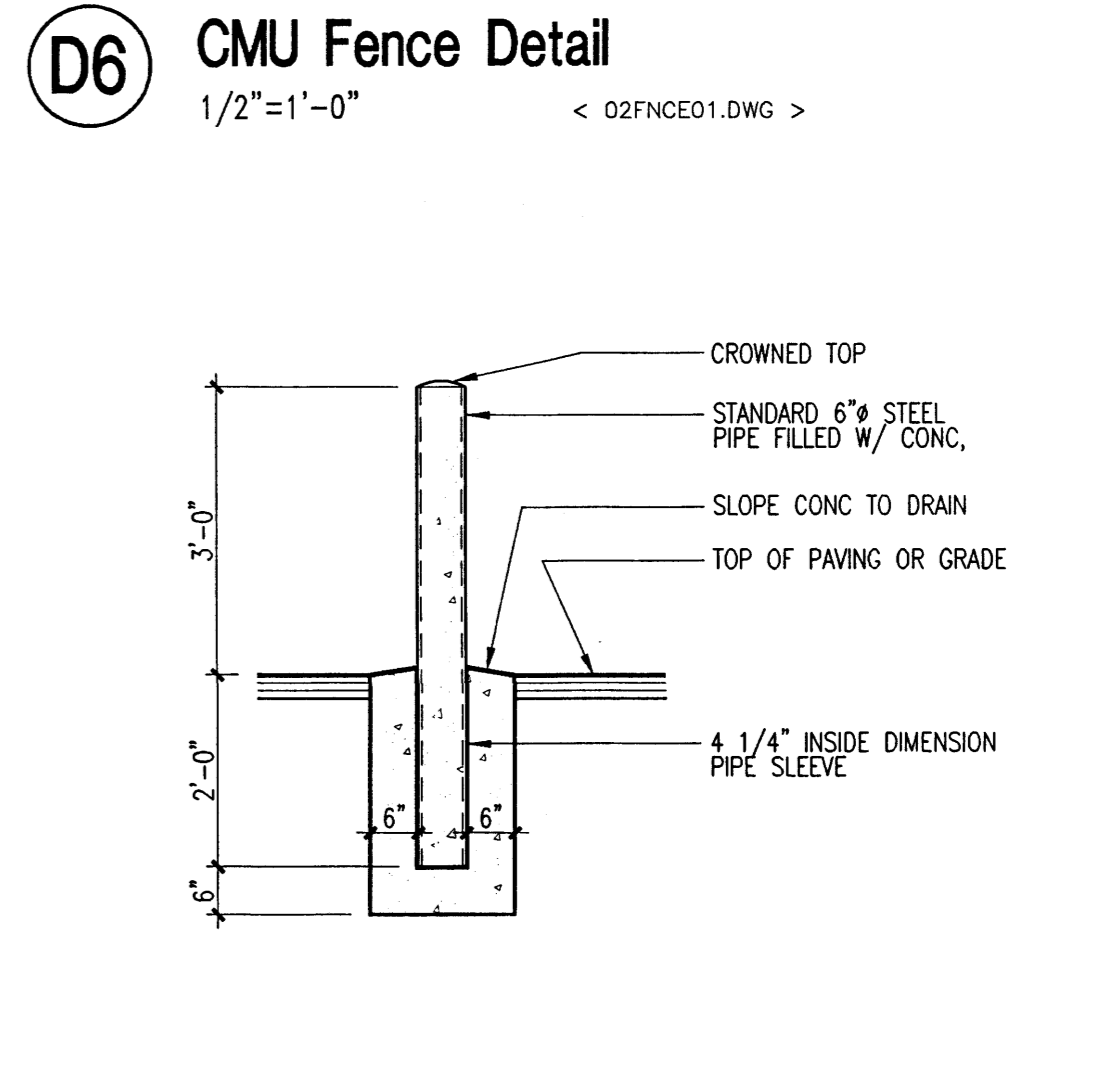
E3 Stone Veneer
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E4 Paving Section
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E5 Concrete Curb
1"=1'-0" < 02CURB03.DWG >



E6 Bollard Detail
1/2"=1'-0" < 02BOLLO1.DWG >

**Casa Pacifica
Condominiums**
D.R. Horton Homes
Albuquerque, New Mexico

revisions

△	
△	
△	
△	
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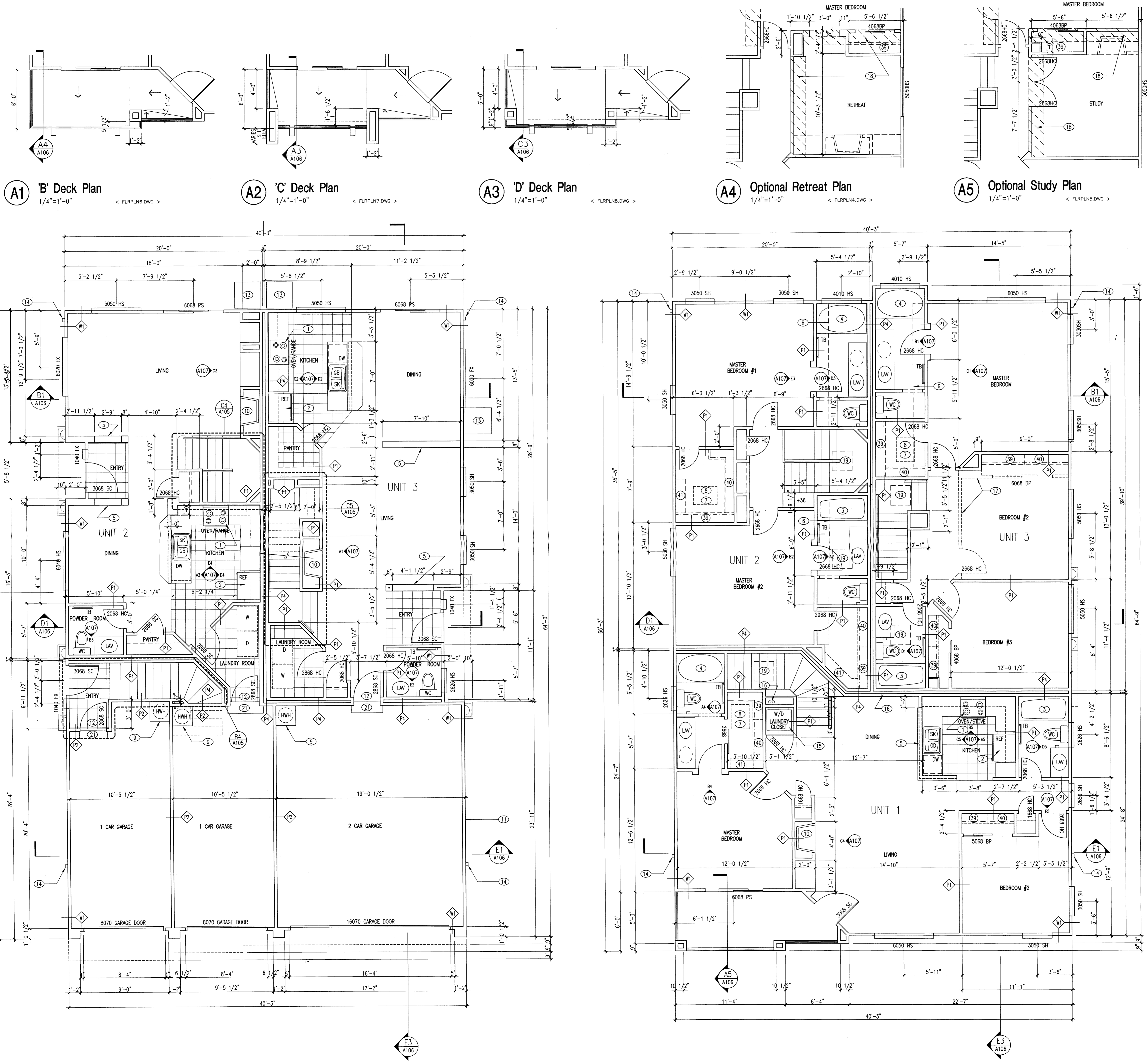
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drawn by **PC**
reviewed by **RW**
date **07-21-00**
project no. **98068**
drawing name
Site Details

Key Notes

- OVEN W/ VENT FAN. DUCT THROUGH ROOF OR FLOOR. (N.I.C.)
- REFRIGERATOR SPACE. PROVIDE WATER CONNECTION IN WALL.
- 36"x60" FIBERGLASS TUB/SHOWER COMBINATION W/SHOWER CURTAIN ROD. MOUNT SHOWER HEAD AT 6'-6" A.F.F.
- 40"x60" FIBERGLASS SPA TUB W/SIMULATED TILE SURROUND W/SHOWER CURTAIN ROD. MOUNT SHOWER HEAD AT 6'-6" A.F.F.
- PARTIAL HEIGHT WALL W/PAINT GRADE WOOD CAP. HEIGHT AS NOTED, REFER DTL A1/A106.
- PLANT SHELF - GYP. BD. OVER 1/2" PLYWOOD OVER 2x FRAMING, REFER CORRESPONDING INTERIOR ELEVATION.
- ATTIC ACCESS PANEL. PROVIDE A PERMANENT ELECTRICAL OUTLET AND LIGHT FIXTURE CONTROLLED BY A SWITCH.
- FORCED AIR UNIT (FAU). HORIZONTAL TYPE IN ATTIC SPACE. PROVIDE 1/2" PLYWOOD PLATFORM 24" WIDE FROM ATTIC ACCESS OPENING TO FIREBOX SIDE OF FAN. PROVIDE A MAX CLEAR DEPTH OF 30" IN FRONT OF FIREBOX.
- WATER HEATER MOUNTED ON 18" HIGH PLYWOOD PLATFORM. COMBUSTION AIR FROM GARAGE SPACE AND PRESSURE & TEMPERATURE RELIEF VALVE W/ PVC DRAIN LINE ROUTED TO EXTERIOR ABOVE GRADE AS SHOWN ON PLAN. ANCHOR WATER HEATER W/ APPROVED SEISMIC STRAPPING METHOD.
- PREFABRICATED WOOD BURNING FIREPLACE. SUPERIOR MODEL NO. RD-3300-A. ICBI NO. 2301. PROVIDE GAS SUPPLY LINE STUB FOR LOG LIGHTER. COMPLY W/ MANUF. REQUIREMENTS.
- ELECTRIC AND GAS METER LOCATIONS, REFER CIVIL DRAWINGS.
- GARAGE-MAN DOOR. 20 MIN FIRE-RATED DOOR & FRAME ASSEMBLY W/ SELF-CLOSING DEVICE. ALUMINUM THRESHOLD, VINYL GASKET AT DOOR BOTTOM & FULL WEATHERPROOFING.
- A/C CONDENSER.
- DOWNSDRUT - CONNECT TO UNDERGROUND STORM DRAINAGE SYSTEM PER CIVIL DWGS.
- COMBINATION WASHER/DRYER UNIT (N.I.C.)
- WATER HEATER FLUE FROM BELOW - ROUTED THROUGH WALL & ATTIC SPACE TO ROOF. PROVIDE 1/2" GYP. BD. DRAFT STOP BETWEEN FLUE & ATTIC SPACE.
- OPTIONAL BEDROOM WALL.
- PLANT SHELF.
- 2"x2" SKYLIGHT.
- NOSE BB AND SHUT OFF VALVE.
- 6" STEP TYPICAL.

Wall/Partition Assemblies

- EXTERIOR WALL (LOADBEARING): SYNTHETIC STUCCO FINISH ON 3/8" REINFORCED STUCCO ON 1" 20 GA. METAL LATH ON LAYERS 1/4" BLDG. PAPER ON 1/2" ASPHALT IMPREGNATED SHEATHING (1/2" CDX PLYWOOD @ CORNERS AND @ 25' O.C.) ON 2X4 STUDS @ 16" O.C. W/ 3-1/2" R-13 KRAFT FACED BATT INSULATION, 5/8" GYP. BD. ON INTERIOR.
- PARTITION: ONE LAYER 1/2" GYP. BD. BOTH SIDES OF 2X4 STUDS @ 16" O.C. MAX. NOTE: PROVIDE 3-1/2" BATT INSULATION @ WALLS BETWEEN BATHROOM AND BEDROOM.
- ONE HOUR FIRE RATED PARTITION (LOADBEARING): ONE LAYER 5/8" TYPE "X" GYP. BD. BOTH SIDES OF 2X4 STUDS @ 16" O.C. MAX. CONTINUOUS TO BOTTOM OF ROOF DECK. (SA FILE NO. WP 3510. NOTE: PROVIDE THIS P2 TYPE PARTITION @ ALL DUCT SHAFTS, TYP.)
- PARTITION: ONE LAYER 5/8" TYPE "X" GYP. BD. (WATER RESISTANT GYP. BD. WHERE TUB/SHOWER INSTALLED) ONE SIDE OF 2X4 OR 2X6 STUDS @ 16" O.C. MAX. NOTE: PROVIDE 5-1/2" BATT INSUL. BETWEEN UNITS.
- 1 HOUR FIRE RATING, DESIN NO. U133R. STC RATING PER WP 3820 STC OF 55-59. 2X4 OR 2X6 WHERE NOTED.



A1 'B' Deck Plan
1/4"=1'-0"

A2 'C' Deck Plan
1/4"=1'-0"

A3 'D' Deck Plan
1/4"=1'-0"

A4 Optional Retreat Plan
1/4"=1'-0"

A5 Optional Study Plan
1/4"=1'-0"

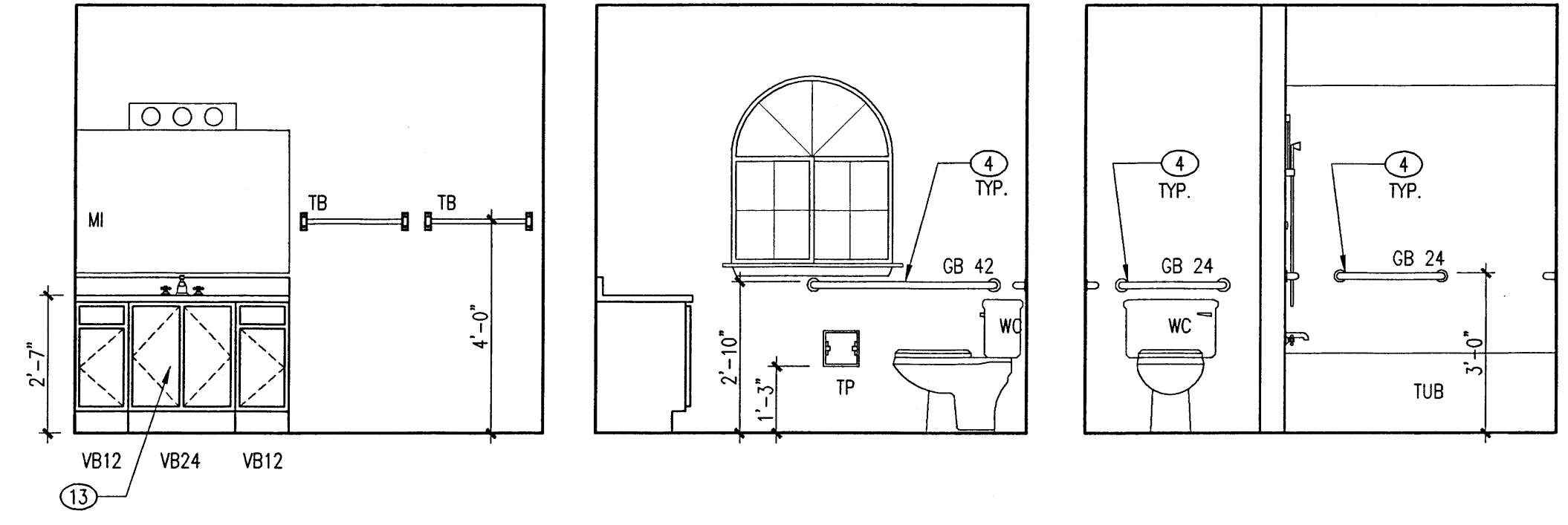
E1 First Floor Plan
1/4"=1'-0"

E4 Second Floor Plan
1/4"=1'-0"

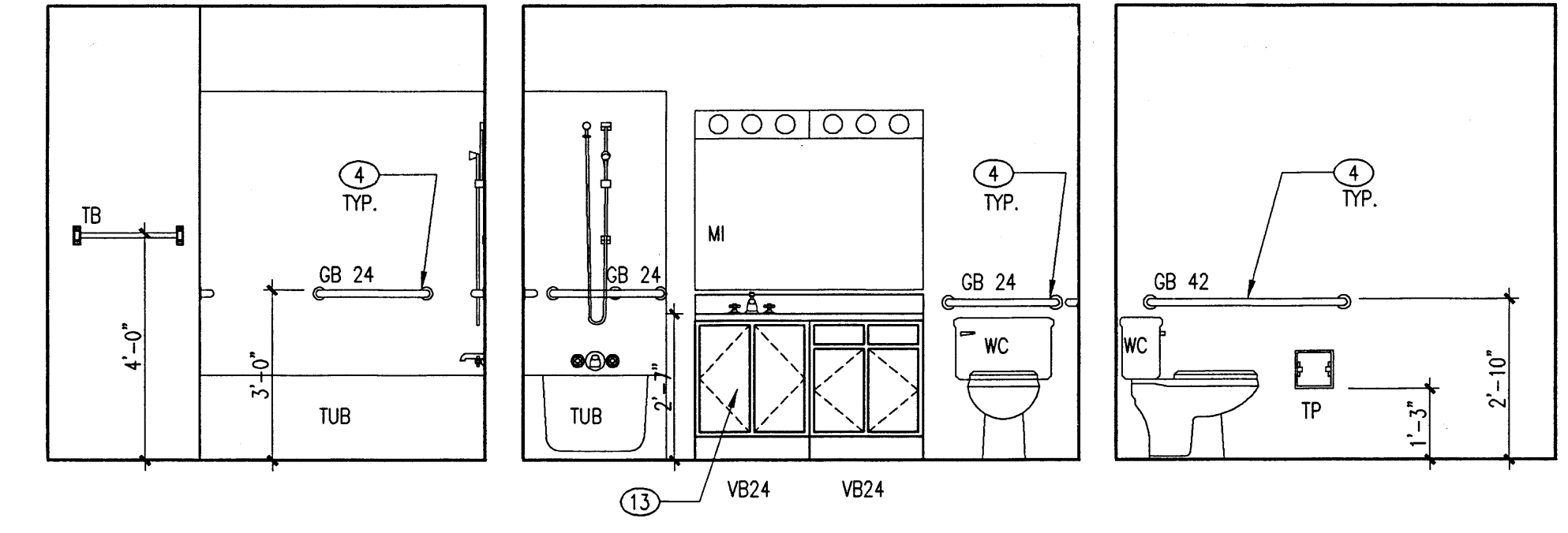
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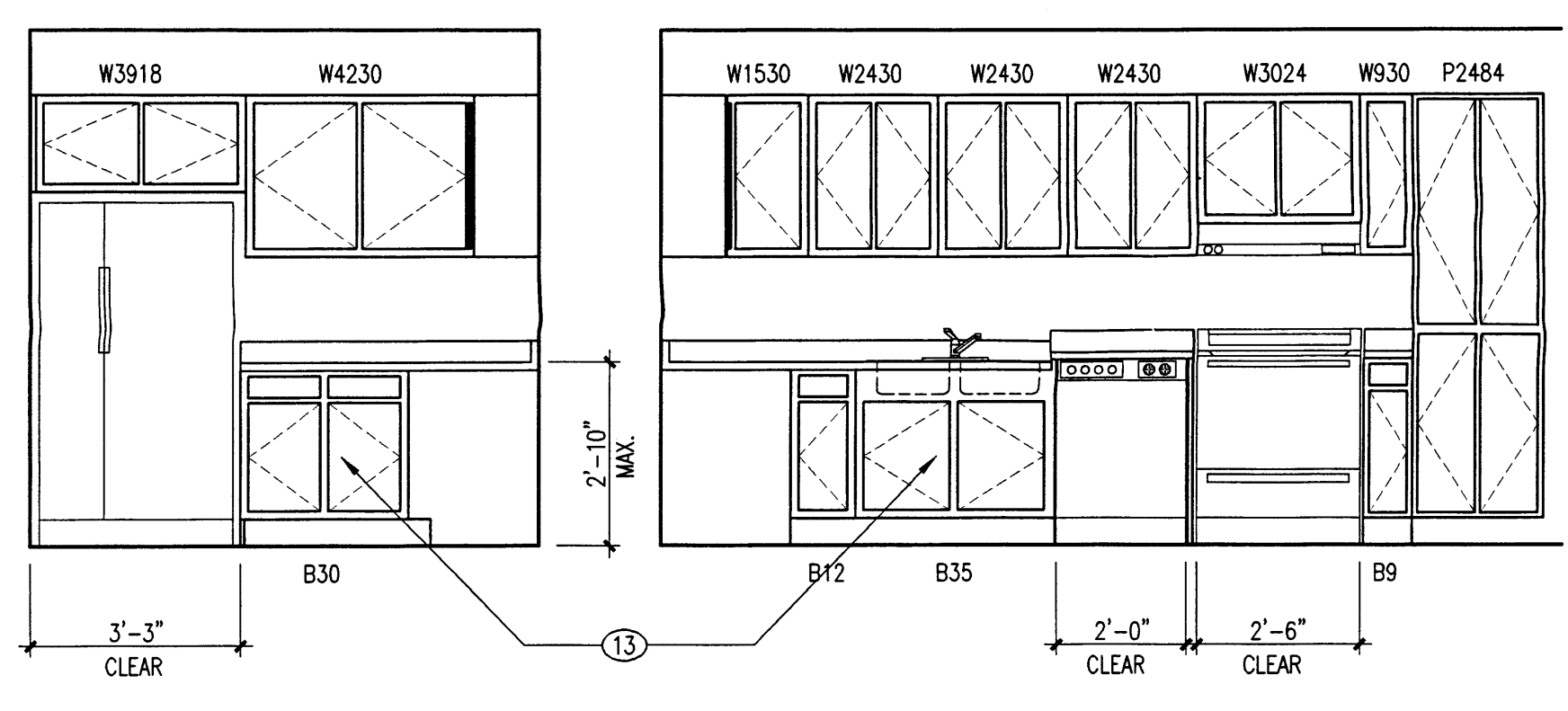
- AIR CONDITIONING CONDENSER
- PREFABRICATED WOOD BURNING FIREPLACE: SUPERIOR MODEL NO. RD-3300-A, ICBO NO. 2301, PROVIDE GAS SUPPLY LINE STUB FOR LOG LIGHTER, COMPLY WITH MANUFACTURER REQUIREMENTS
- PROVIDE SLOPE TO ENTRY, NOT TO EXCEED 1:20
- PROVIDE REINFORCING IN WALLS TO PERMIT INSTALLATION OF GRAB BARS
- WALL MOUNTED SINK, COORDINATE WITH KEYED NOTE 24.
- PROVIDE RECESSED HOSE CONNECTION BOX IN REAR WALL, REFER DTL. B5/A109.
- WASHER
- DRYER: VENTED TO EXTERIOR
- ATTIC ACCESS HATCH 22 1/2" X 30"
- GARAGE MAN DOOR: 20 MINUTE FIRE-RATED DOOR AND FRAME ASSEMBLY WITH SELF CLOSING DEVICE, ALUMINUM THRESHOLD, VINYL GASKET AT DOOR BOTTOM AND FULL WEATHERPROOFING
- ELECTRIC METER
- GAS METER
- CABINETS SHALL BE PERMITTED TO BE ADDED UNDER THE SINK OR LAVATORY. PROVIDED SUCH CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE SINK OR LAVATORY, AND PROVIDED THE FINISH FLOOR EXTENDS UNDER SUCH CABINETRY.
- PLANT SHELF
- TEMPORARY SALES OFFICE PARTITION.
- COUNTER TOP.



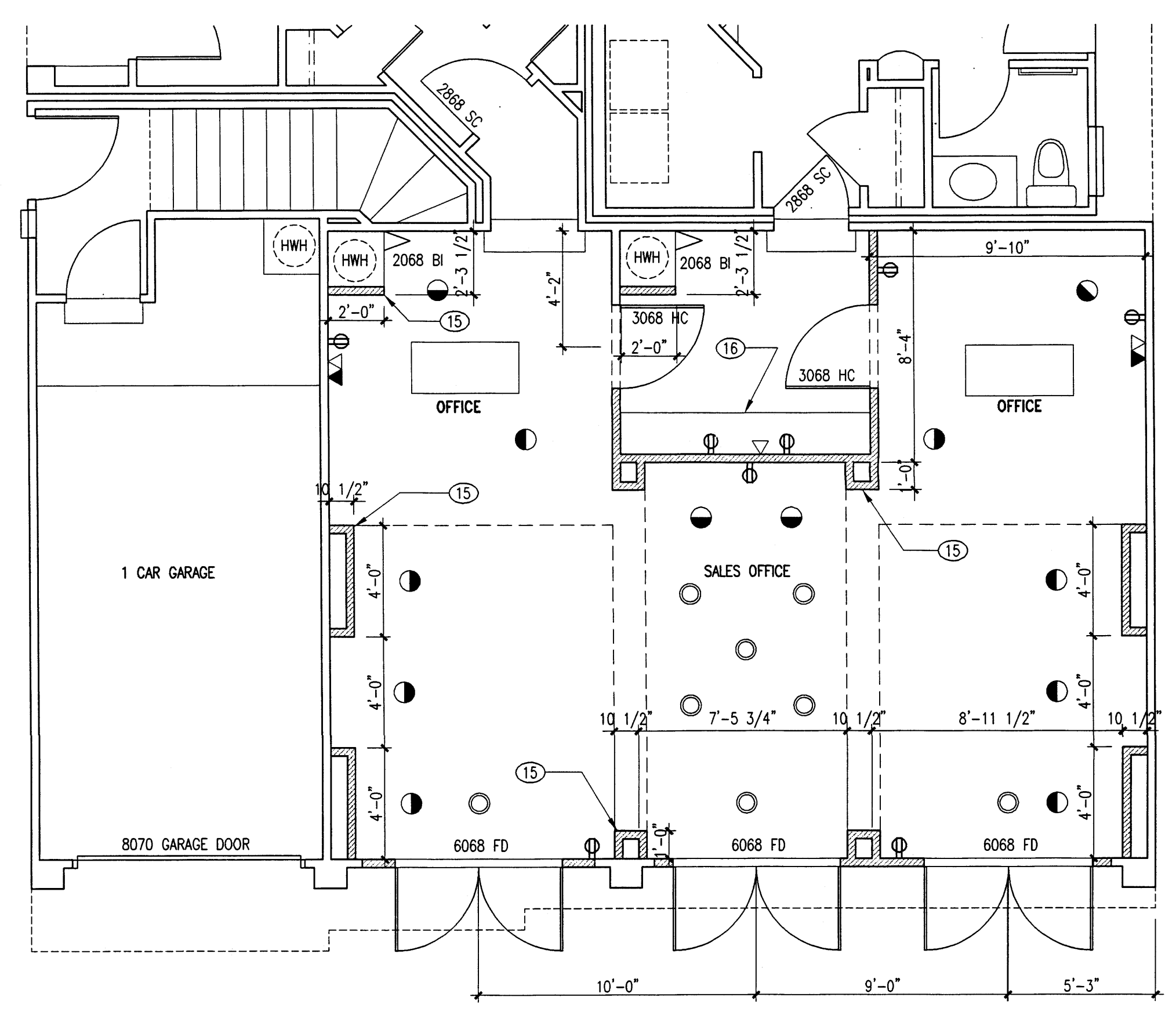
A1 Bathroom Elevations Handicap Unit
3/8"=1'-0" < INTEL29.DWG >



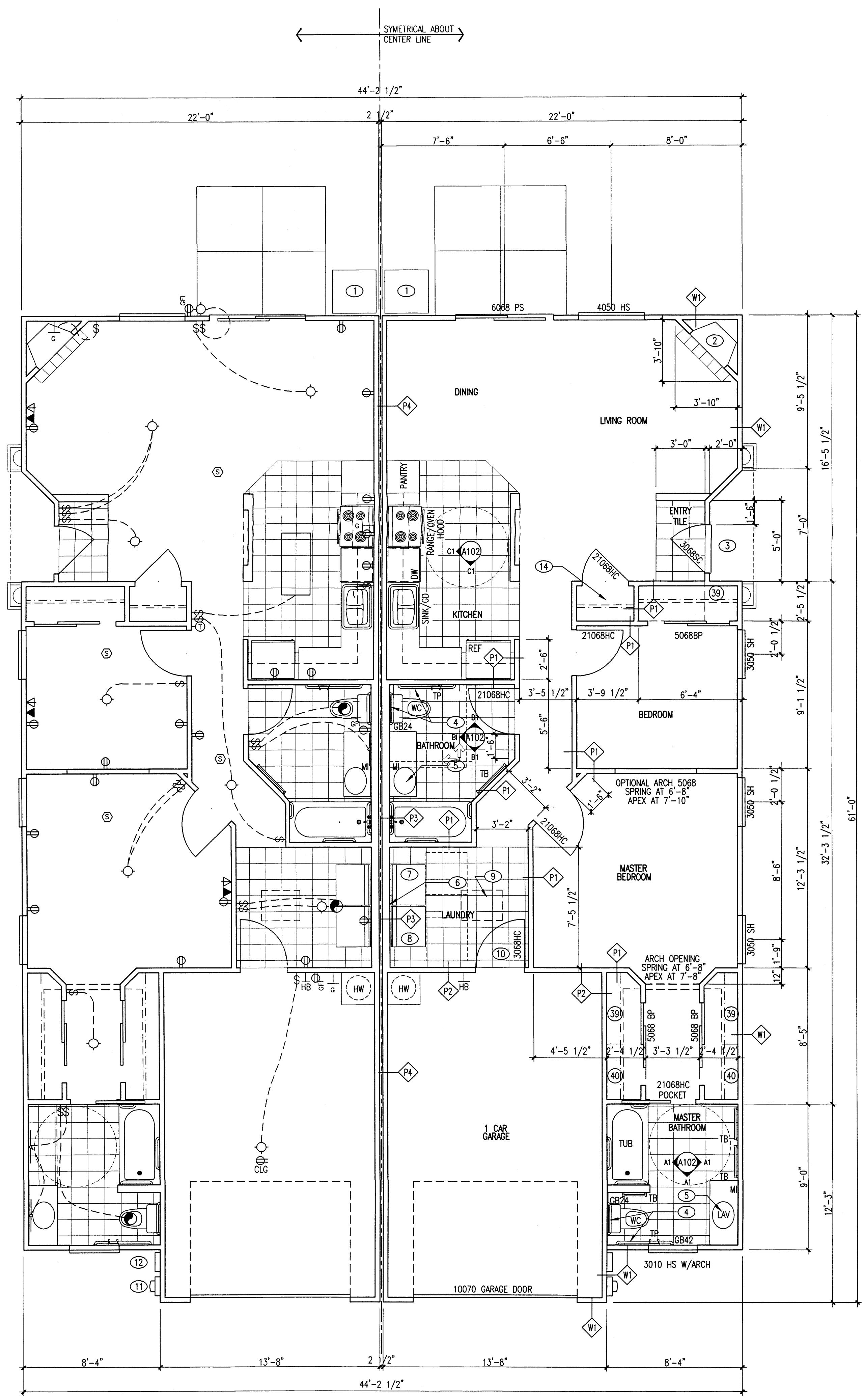
B1 Bathroom Elevations Handicap Unit
3/8"=1'-0" < INTEL29.DWG >



C1 Kitchen Elevations Handicap Unit
3/8"=1'-0" < INTEL30.DWG >



E1 Sales Office Floor Plan
1/4"=1'-0" < FLRPLN9.DWG >



E3 Floor Plan - Handicap Unit
1/4"=1'-0" < FLRPLN3.DWG >

Wall/Partition Assemblies

- EXTERIOR WALL (LOADBEARING): SYNTHETIC STUCCO FINISH ON 3/8" FIBER REINFORCED STUCCO ON 1" 20 GA METAL LATH ON 2 LAYERS 15# BLDG PAPER ON 1/2" ASPHALT IMPREGNATED SHEATHING (1/2" CDX PLYWOOD @ CORNERS AND @ 25' O.C.) ON 2X4 STUDS @ 16" O.C., W/ 3-1/2" R-13 KRAFT FACED BATT INSULATION, 5/8" GYP.BD. ON INTERIOR.
- PARTITION: ONE LAYER 1/2" GYP. BD. BOTH SIDES OF 2X4 STUDS @ 16" O.C. MAX. NOTE: PROVIDE 3-1/2" BATT INSULATION @ WALLS BETWEEN BATHROOM AND BEDROOM.
- ONE HOUR FIRE RATED PARTITION (LOADBEARING): ONE LAYER 5/8" TYPE "X" GYP. BD. BOTH SIDES OF 2X4 STUDS @ 16" O.C. MAX. CONTINUOUS TO BOTTOM OF ROOF DECK. GA FILE NO. WP 3510. NOTE: PROVIDE THIS P2 TYPE PARTITION @ ALL DUCT SHAFTS, TYP. BETWEEN UNITS.
- 1 HOUR FIRE RATING, DESIN NO. U338, STP. RATING PER WP 3820 SIC OF 33-35. 2X4 OR 2X6 WHERE NOTED.

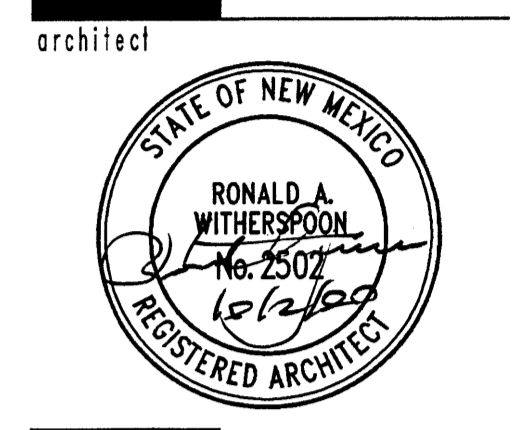
**Casa Pacifica
Condominiums
D.R. Horton Homes
Albuquerque, New Mexico**

revisions

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drawn by	PC
reviewed by	RV
date	07-21-00
project no.	9808E
drawing name	Handicap Floor Plan Sales Office Floor Plan



engineer

project

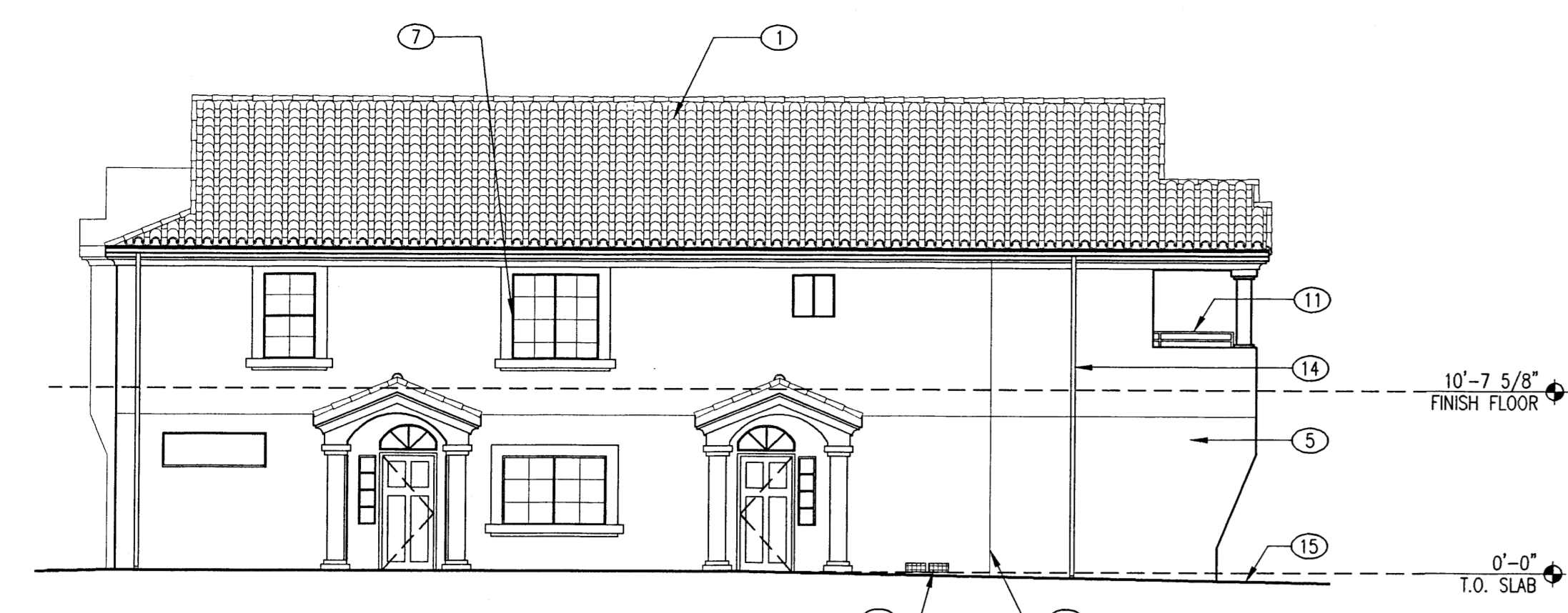
**Casa Pacifica
Condominiums
D.R. Horton Homes
Albuquerque, New Mexico**

General Notes

1. ALL STUCCO AND PAINTED STUCCO COLORS TO BE RETURNED TO INSIDE CORNERS TYP. UNLESS OTHERWISE NOTED. ANY UNUSUAL CONDITIONS TO BE CONFIRMED WITH THE ARCHITECT PRIOR TO FINAL COAT APPLICATION.
2. DETAIL REFERENCES ARE TO BE USED FOR SIMILAR CONDITIONS WHETHER REFERENCED OR NOT.

Keyed Notes

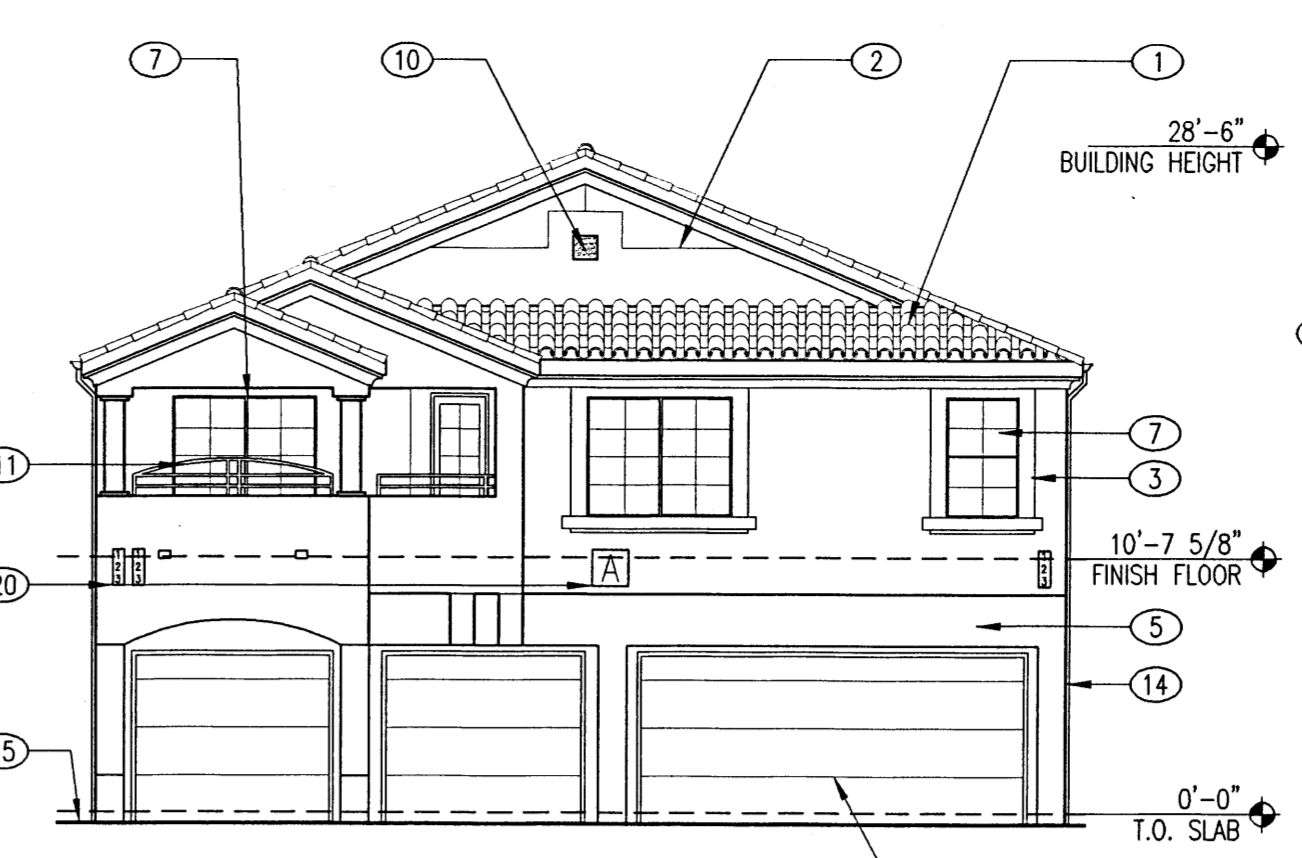
1. RED TILE: TO BE SELECTED BY OWNER
2. STUCCO OVER 3/4" PLYWOOD FURR OUT, REFER DTL. B3/A108.
3. MED. TAN STUCCO OVER WOOD 2X FURR OUT.
4. NOT USED
5. LIGHT TAN EXTERIOR CEMENT STUCCO.
6. STUCCO CONTROL JOINT, REFER DTL. A2/A108.
7. ALUMINUM FRAME WINDOWS AND SLIDING DOORS.
8. GARAGE DOOR, STEEL SECTIONAL.
9. (2) 14"x16" GARAGE VENTS.
10. PAINTED STUCCO BUTTON.
11. RAILING OF PAINTED STEEL.
12. GALVANIZED METAL ATTIC VENT, SIZE VARIES AS NOTED.
13. NOT USED
14. ALUMINUM GUTTER AND DOWNSPOUT.
15. FINISH GRADE, SLOPE AWAY FROM BUILDING, MIN. 2% SLOPE.
16. ELECTRIC METER, REFER TO CIVIL DRAWINGS.
17. SKYLIGHT.
18. NOT USED
19. NOT USED
20. ADDRESS PLAQUES.



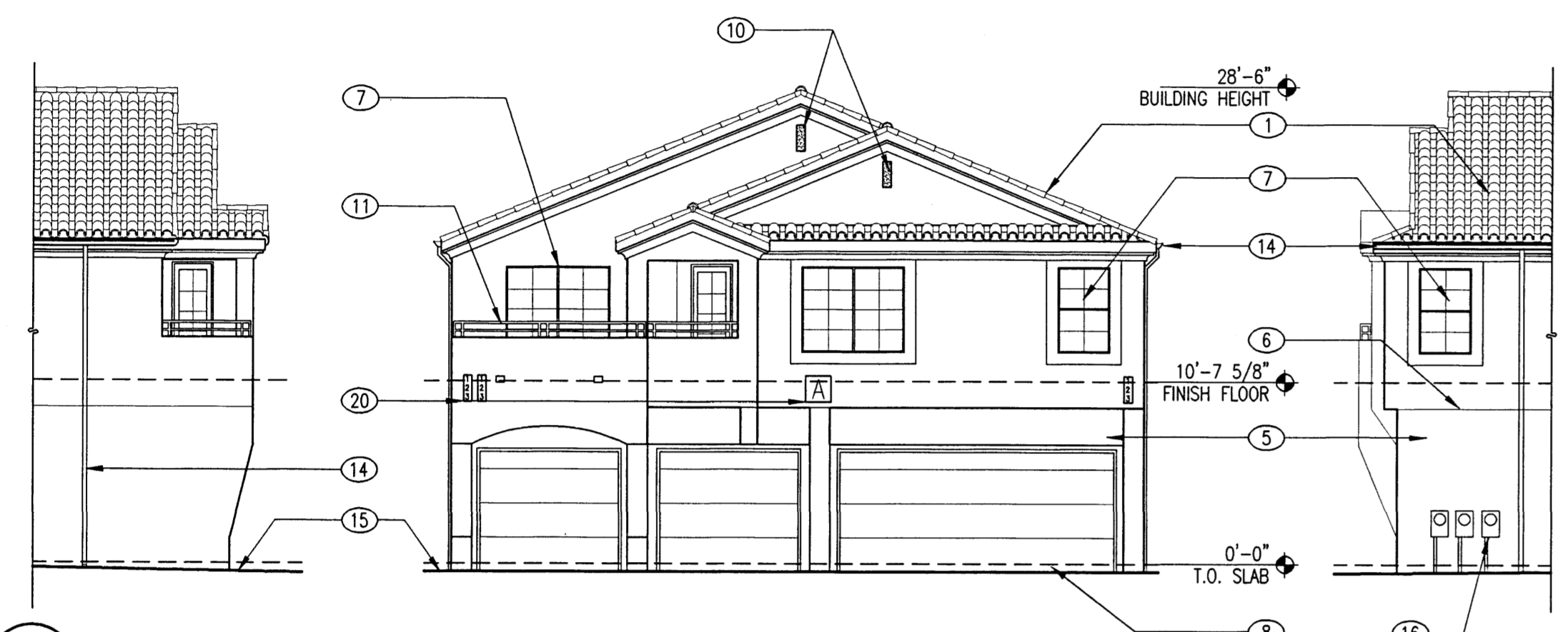
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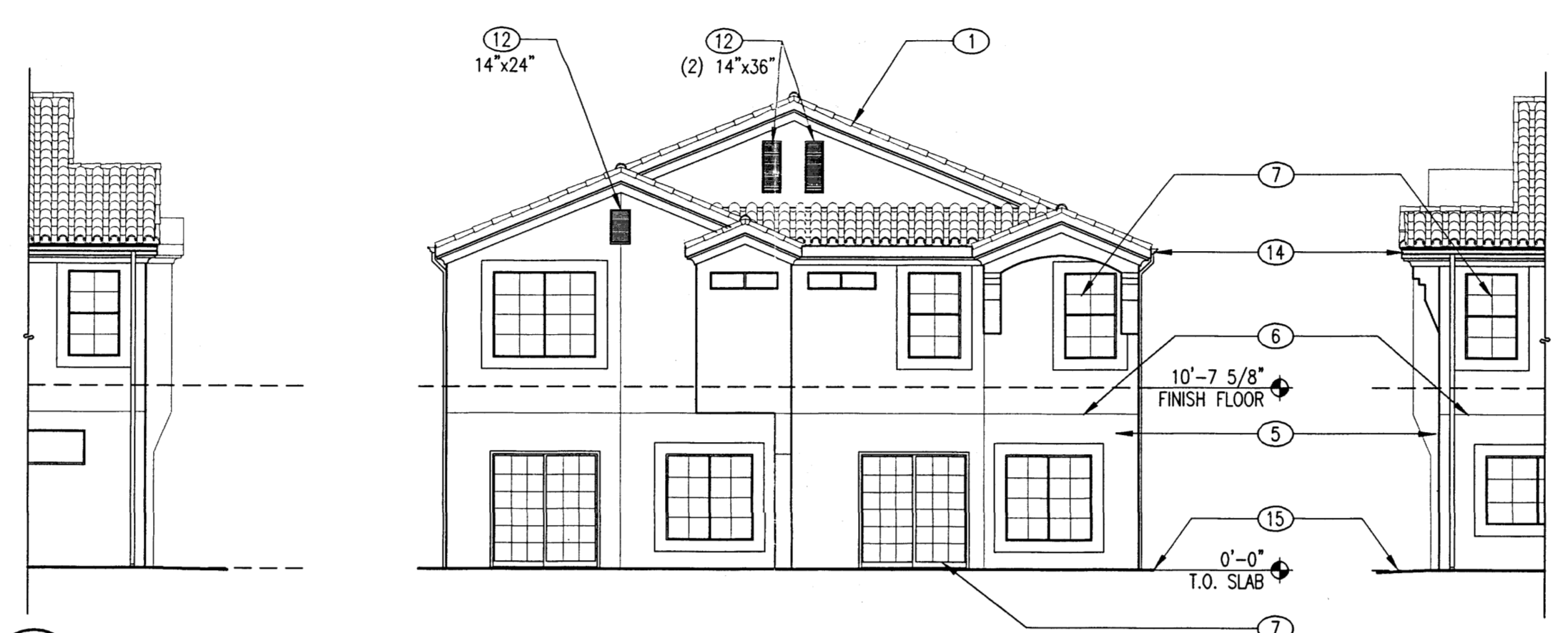
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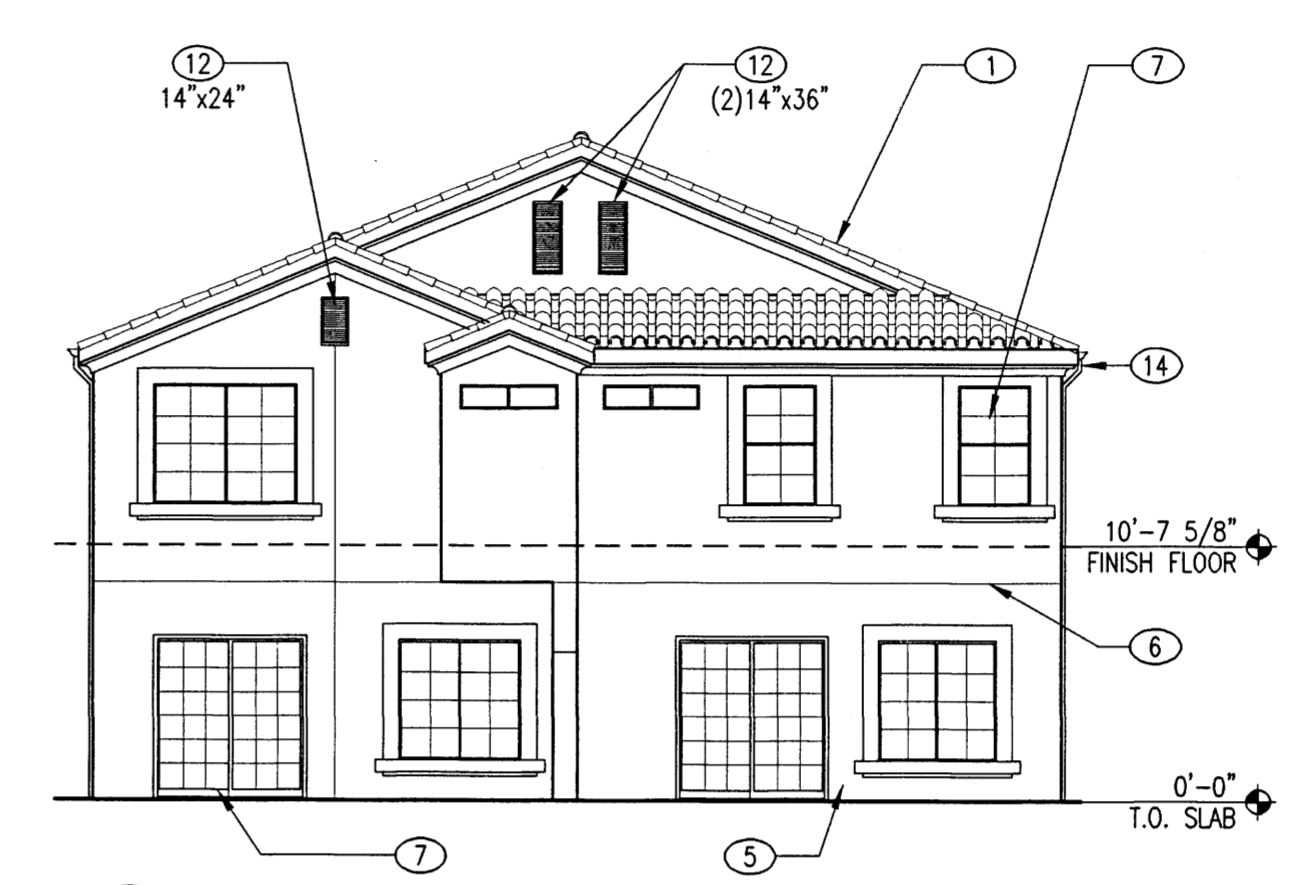
A5 'A' Front Elevation
1/8"=1'-0"
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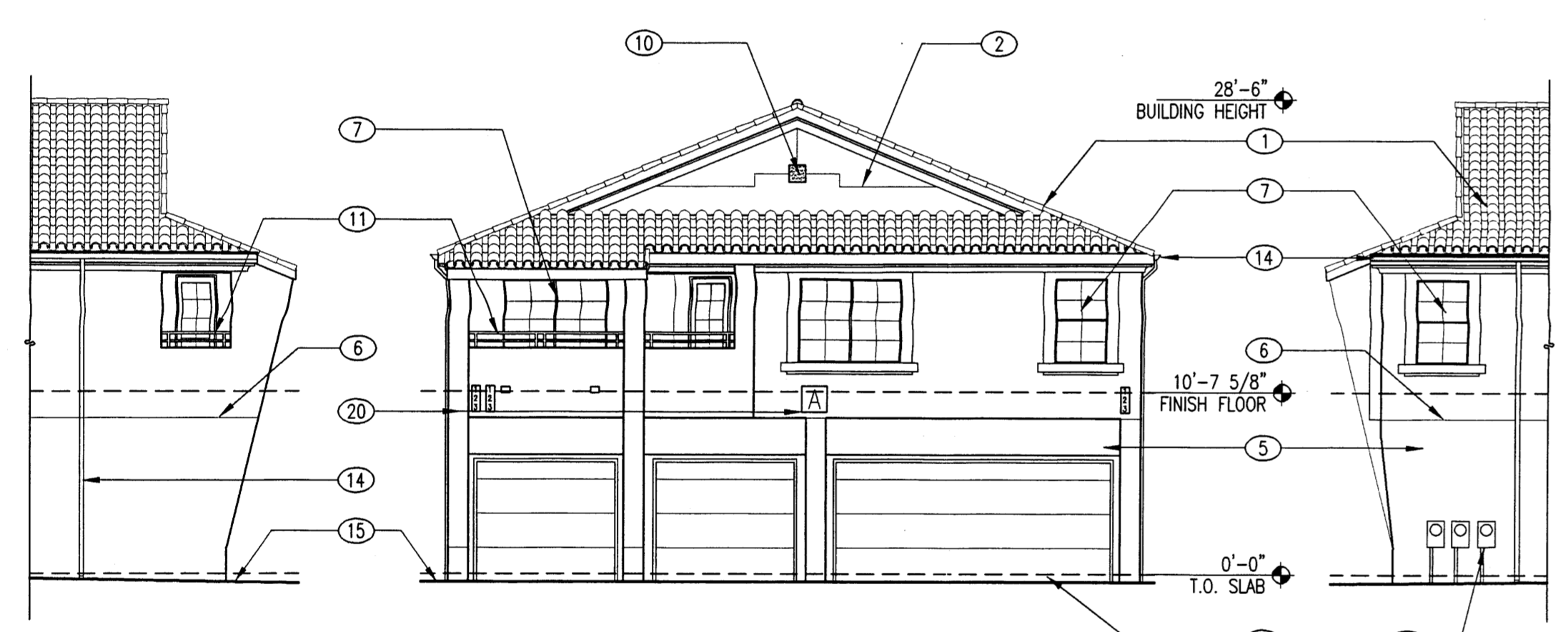
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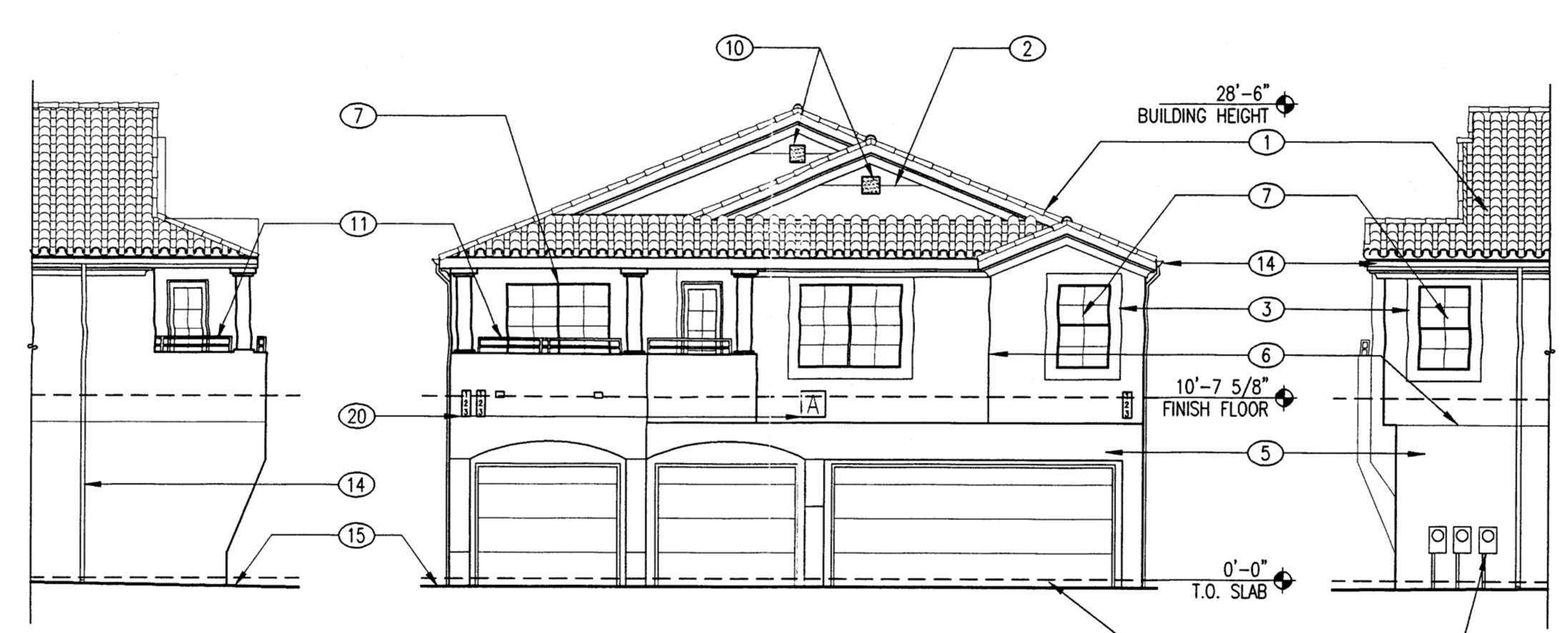
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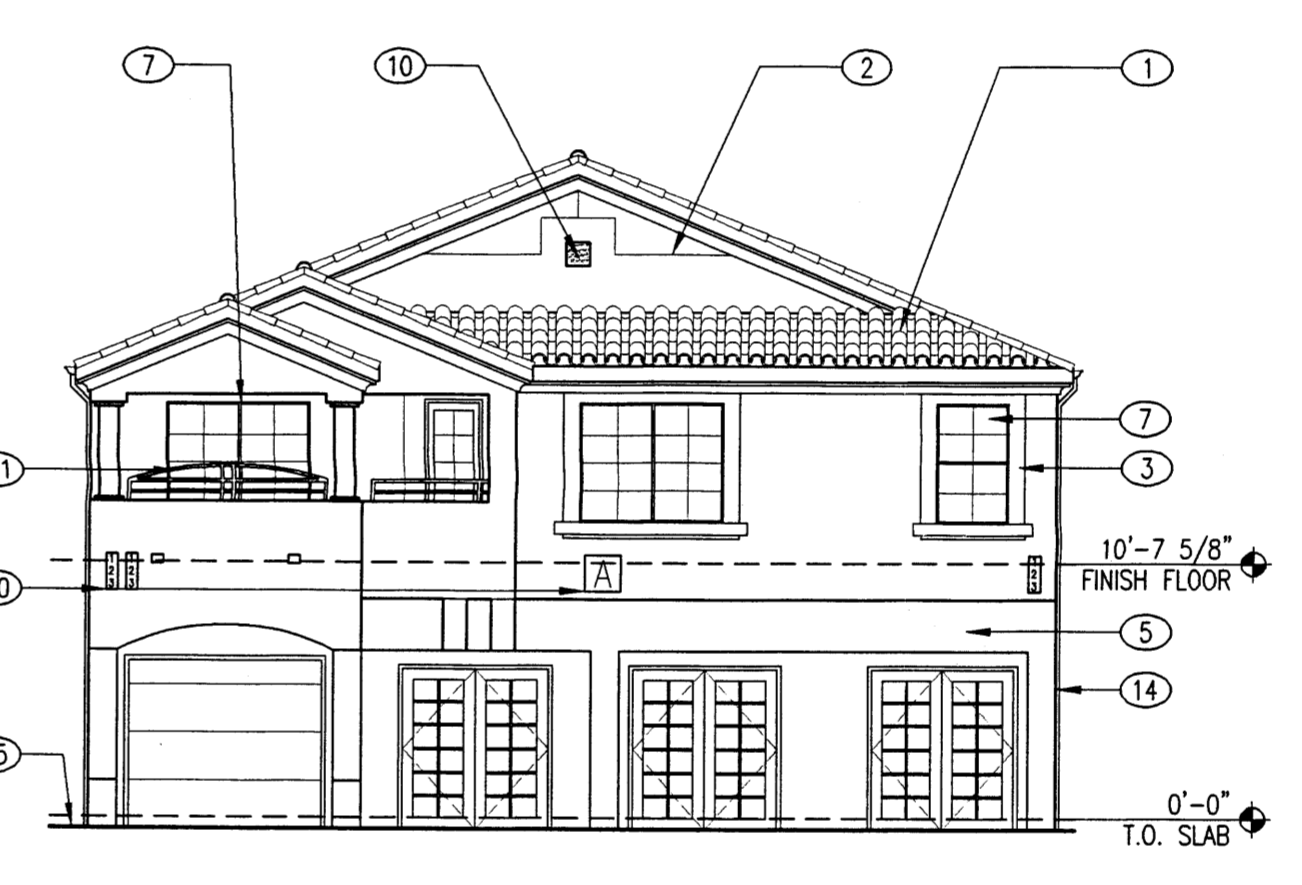
B5 'A' and 'C' Rear Elevation
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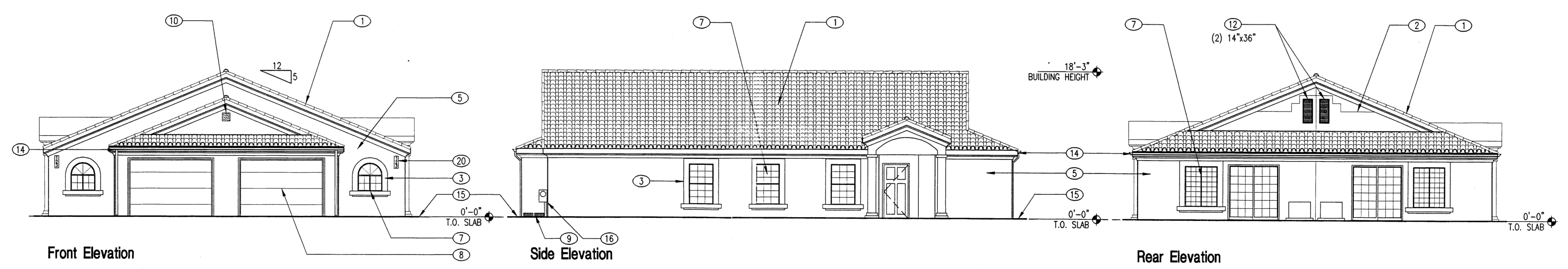
C1 'C' Front Elevation
1/8"=1'-0"
< ELEV1.DWG >



C3 'D' Front Elevation
1/8"=1'-0"
< ELEV01.DWG >



C5 Sales Office Front Elevation
1/8"=1'-0"
< ELEV5.DWG >



D2 Elevations - Handicap Unit
1/8"=1'-0"
< ELEVHC1.DWG >

revisions

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drawn by:	PC
reviewed by:	RW
date:	07-21-00
project no.:	98068
drawing name:	Elevations