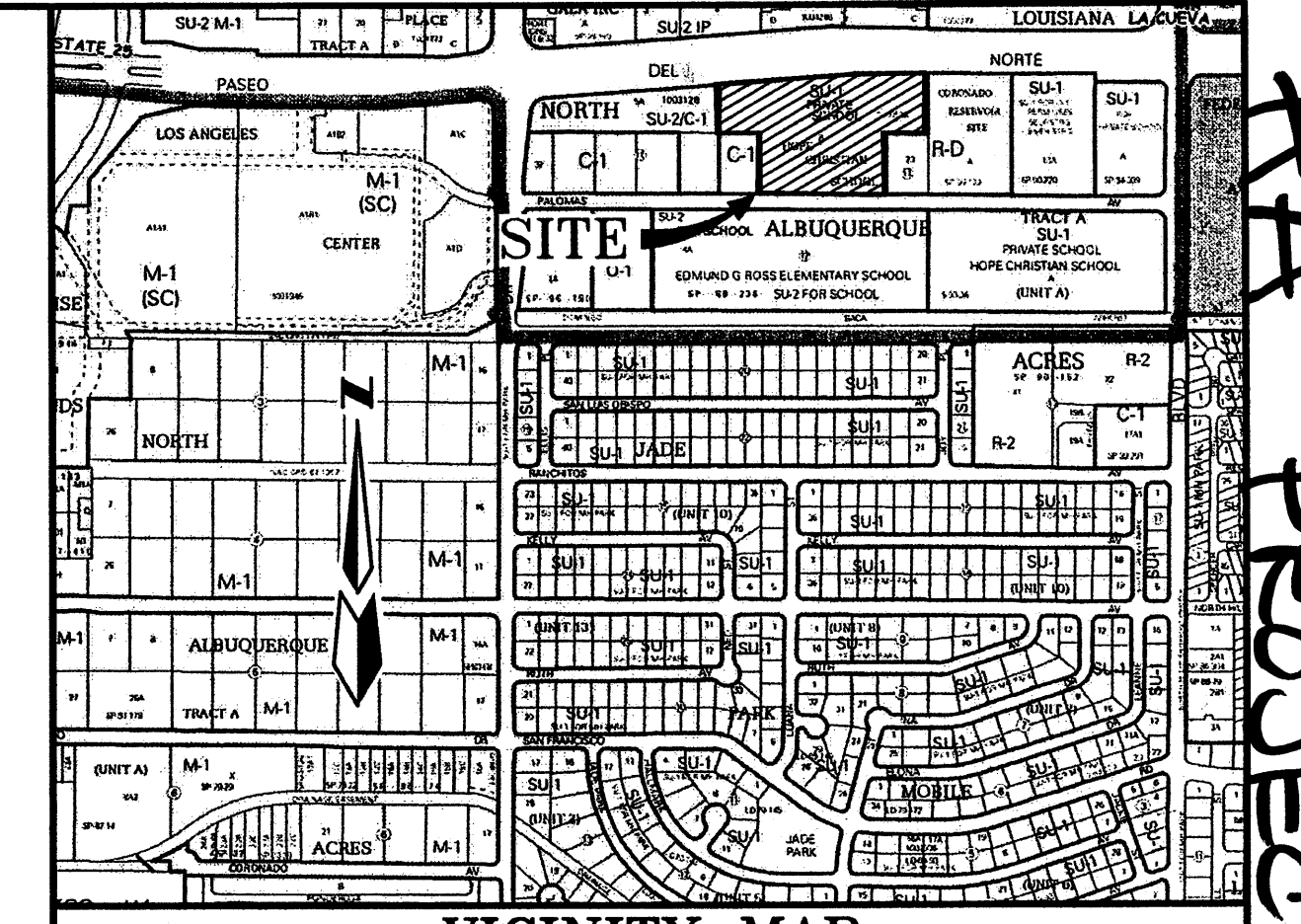
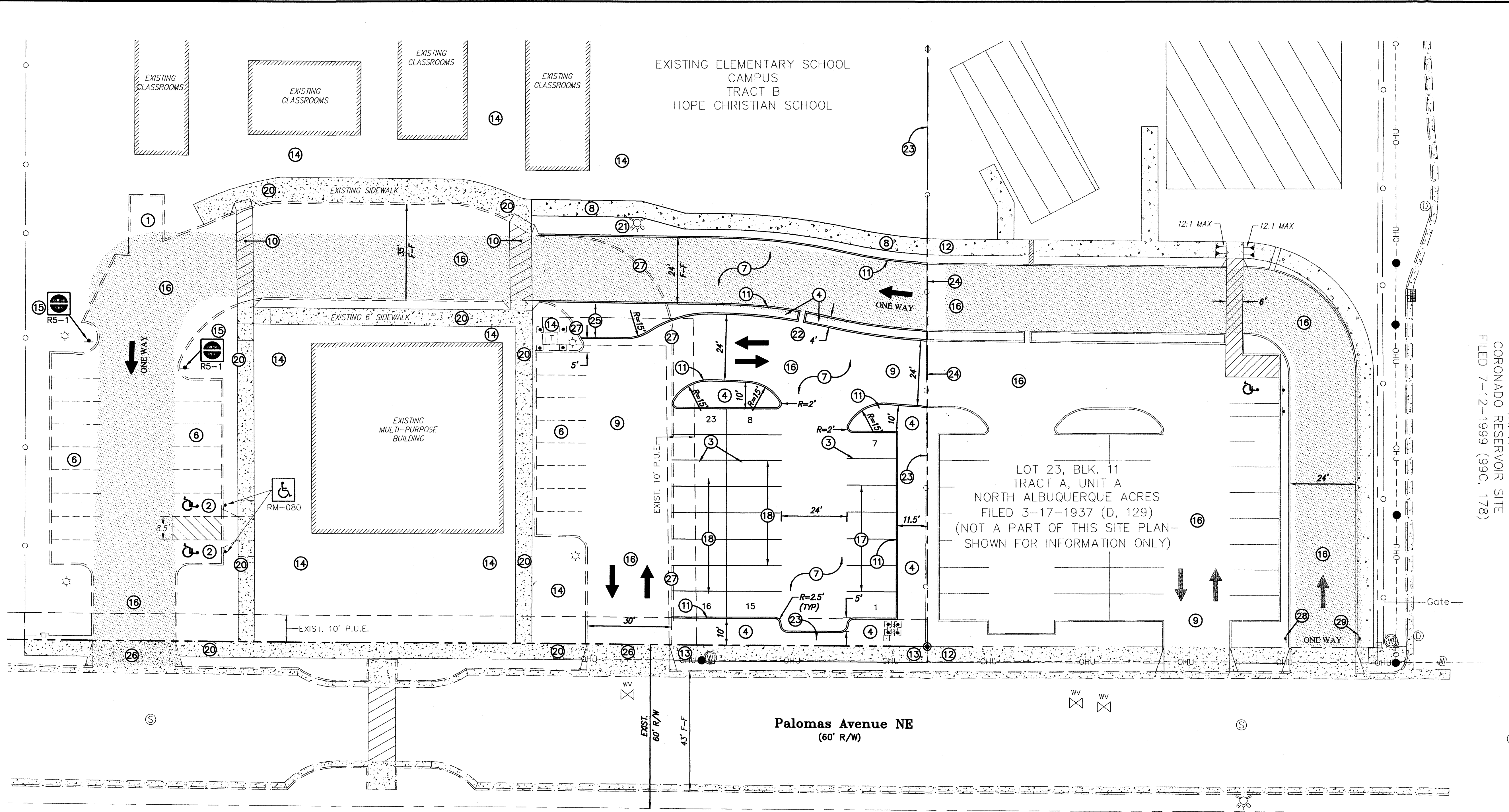


AA PROJECT# 1000539



VICINITY MAP
SCALE: 1" = 750' ZONE ATLAS PAGE: D-18

LEGAL DESCRIPTION
TRACT B, OF HOPE CHRISTIAN SCHOOL, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 7, 2009, IN BOOK 2009C, PAGE 52.

LEGEND

	EXIST. CURB AND GUTTER
	EXIST. CHAIN-LINK FENCE
	EXIST. EASEMENT LINE
	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. POWER POLE
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY PEDESTAL
	EXIST. WALL
	EXISTING MODULAR BUILDINGS

PROPOSED TRAFFIC FLOW
 PARKING COUNT
 EXISTING PAVEMENT (TO REMAIN EXCEPT AS NOTED HEREON)

SITE DEVELOPMENT PLAN DATA:
LEGAL DESCRIPTION: TRACT B, HOPE CHRISTIAN SCHOOL
CITY OF ALBUQUERQUE
BERNALILLO, NEW MEXICO

BUILDING ADDRESS: HOPE CHRISTIAN ELEMENTARY SCHOOL
6721 PALOMAS NE
ALBUQUERQUE, NM

TOTAL SITE AREA: 7 ACRES

CURRENT ZONING: SU-1/PRIVATE SCHOOL

BUILDING USE: PRIVATE SCHOOL
NEW BUILDING CONSTRUCTION: NONE

PARKING:
ADDITIONAL PARKING BY THIS PLAN = 23 SPACES
EXISTING OFF-STREET PARKING = 24 SPACES
TOTAL: = 47 SPACES

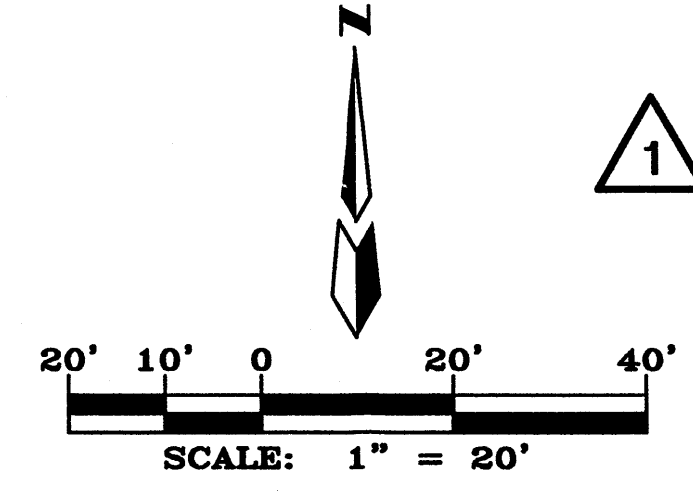
PURPOSE OF AMENDMENT: TO ADD 23 ADDITIONAL PARKING SPACES AND LANDSCAPING AND TO EXPAND OFF-STREET VEHICLE CIRCULATION ROUTE LENGTH WITH ADJOINING PROPERTY TO THE EAST.

SHOULD ADDITIONAL SITE LIGHTING BE INSTALLED, IT SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A) THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
B) THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX.
C) LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL NOT BE HIGHER THAN 12 FEET.

- 1 EXISTING CMU REFUSE ENCLOSURE WITH RECYCLING AREA TO REMAIN. THIS FACILITY SHALL ALSO BE UTILIZED BY THE LOT 23 BUILDINGS.
- 2 EXISTING HANDICAP PARKING SPACE, SIGNAGE AND PAVEMENT MARKING.
- 3 PROPOSED PARKING STRIPING (SOLID WHITE)
- 4 PROPOSED LANDSCAPING. SEE LANDSCAPING PLAN.
- 5 EXISTING PAVING TO REMAIN.
- 6 PROPOSED ASPHALT PAVING.
- 7 PROPOSED 6-FOOT ASPHALT SIDEWALK.
- 8 2-WAY TRAFFIC ROUTE.
- 9 EXISTING CROSSWALK ACCESS ROUTE TO REMAIN.
- 10 PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
- 11 ADJOINING NEW SIDEWALK TO BE INSTALLED WITH DEVELOPMENT OF ADJOINING LOT 23, BLK 11, N.A.A., TRACT A UNIT A.
- 12 PROPOSED 6-FOOT PUBLIC CONCRETE SIDEWALK.
- 13 EXISTING LANDSCAPING TO REMAIN.
- 14 INSTALL NEW ONE-WAY SIGNS.
- 15 PROPOSED RECIPROCAL CROSS-ACCESS EASEMENT GRANTED TO BOTH LOT 23, BLOCK 11, NAA, TRACT A, UNIT A AND TRACT B, HOPE CHRISTIAN SCHOOL BY PLAT & SEPARATE DOCUMENT. THE PROPOSED VEHICULAR CIRCULATION ROUTE IS TO BE CONNECTED WITH A NEW CIRCULATION ROUTE ON THE ADJOINING LOT 23.
- 16 PROPOSED MIN. 9' x 18'-0" PARKING SPACES
- 17 PROPOSED MIN. 9' x 20'-0" PARKING SPACES
- 18 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 19 EXISTING FIRE HYDRANT TO REMAIN.
- 20 OPENING IN CURB FOR DRAINAGE. SEE GRADING AND DRAINAGE PLAN.
- 21 EXISTING FENCE TO REMAIN.
- 22 EXISTING FENCE TO BE REMOVED.
- 23 REMOVE EXISTING PAVEMENT AND REPLACE WITH NEW LANDSCAPING.
- 24 EXISTING DRIVEWAY TO REMAIN.
- 25 REMOVE EXISTING CURB.
- 26 INSTALL R6-1(R) SIGN
- 27 INSTALL R6-1(L) SIGN
- 28 APPLY NEW ONE WAY ARROW STRIPING WITH SOLID WHITE

ADMINISTRATIVE AMENDMENT
FILE #10-10111 PROJECT #1000539
enhance internal circulation & add off-street parking on Tr. B
Munoz 10/05/10
APPROVED BY DATE

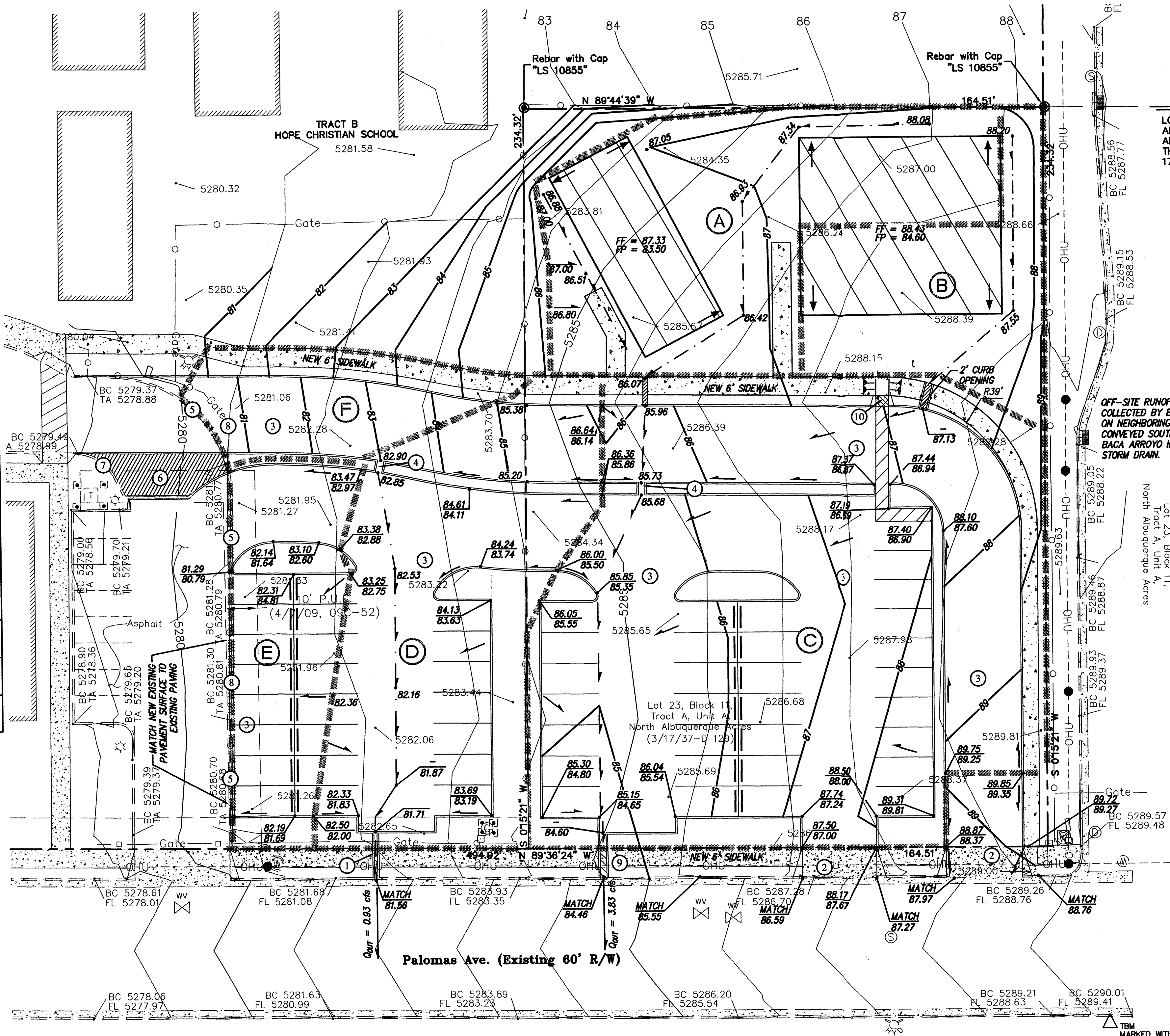


HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION
AMENDED
SITE DEVELOPMENT PLAN FOR BUILDING

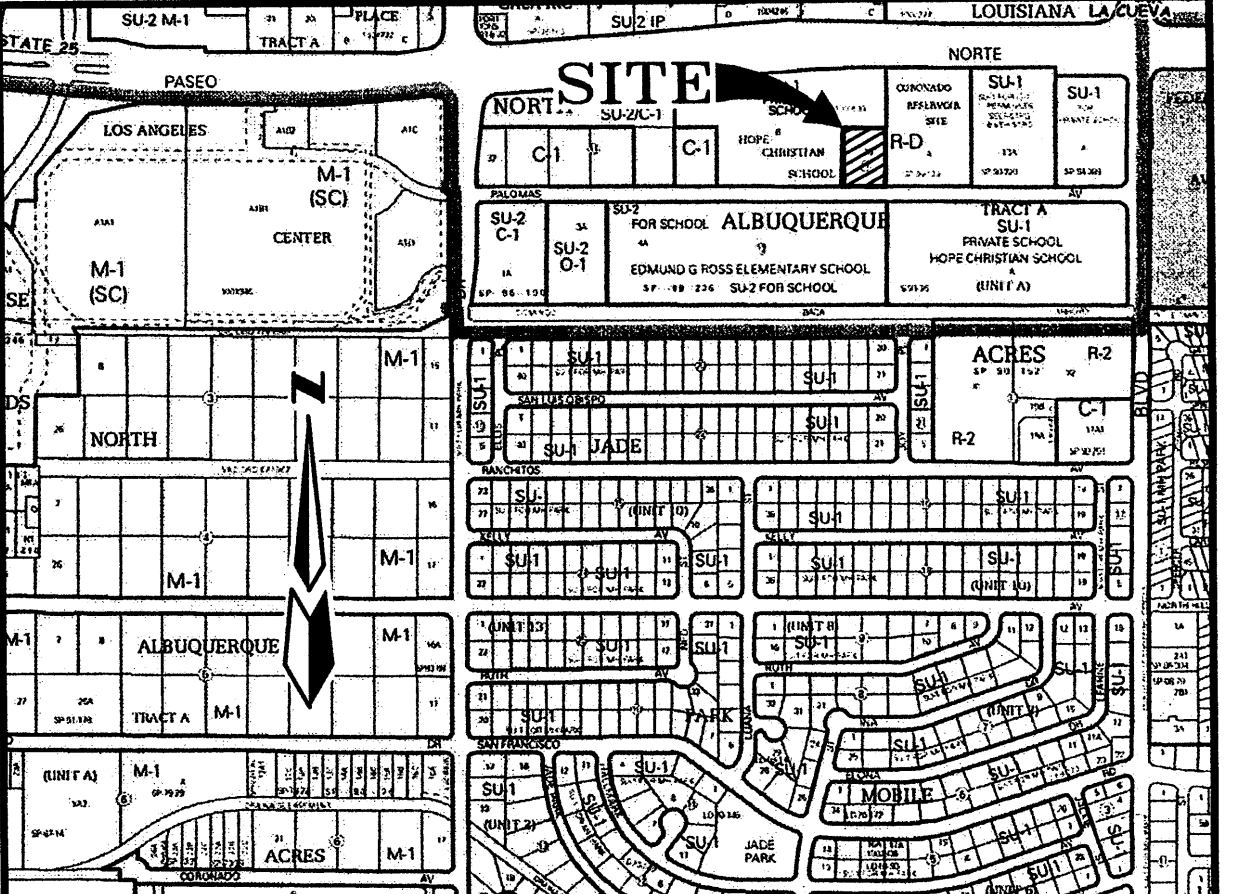
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: DER Checked: DMG Sheet 2 of 4
Scale: 1" = 30' Date: 8/20/2010 Job: A10032

Basin	Area	Existing Discharge	Proposed Discharge
(A)	8,696 sf		0.82 cfs
(B)	4,460 sf		0.55 cfs
(C)	21,148 sf		2.45 cfs
(D)	9,337 sf		0.93 cfs
(E)	4,110 sf		0.32 cfs
(F)	2,863 sf		0.32 cfs
ALL	50,614 sf	4.14 cfs	5.39 cfs



LEGAL DESCRIPTION
 LOT NUMBERED TWENTY-THREE (23), BLOCK ELEVEN (11) OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1937 IN BOOK D, PAGE 129.



VICINITY MAP D-18

BENCH MARK
 ACS MONUMENT "16_D19" HAVING AN ELEVATION OF 5394.008 (NAVD88).
 TEMPORARY BENCH MARK
 TEMPORARY BENCH MARK MARKED WITH AN "X" (SHOWN Δ) IN CONCRETE ON SOUTH SIDE OF PALOMAS AVE. HAVING AN ELEVATION OF 5289.78 FEET.

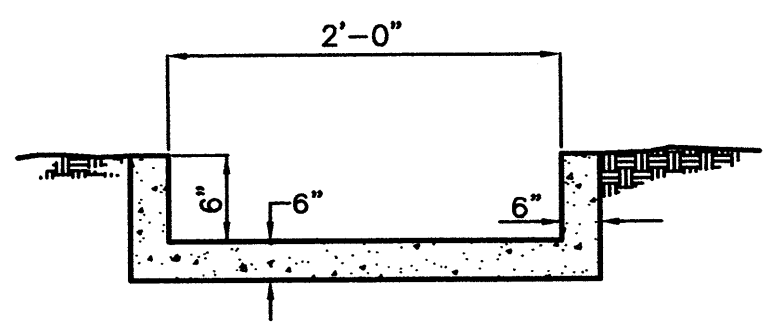
SURVEY NOTES

1. FIELD SURVEY PERFORMED IN JUNE 2010 BY CARTESIAN SURVEYS
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAVD 88).
4. THE EASEMENTS SHOWN HEREON ARE ONLY THE EASEMENTS AS SHOWN ON THE PLAT OF RECORD. A TITLE COMMITMENTS WILL BE REQUIRED TO SHOWN OTHER EASEMENTS.
5. THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.

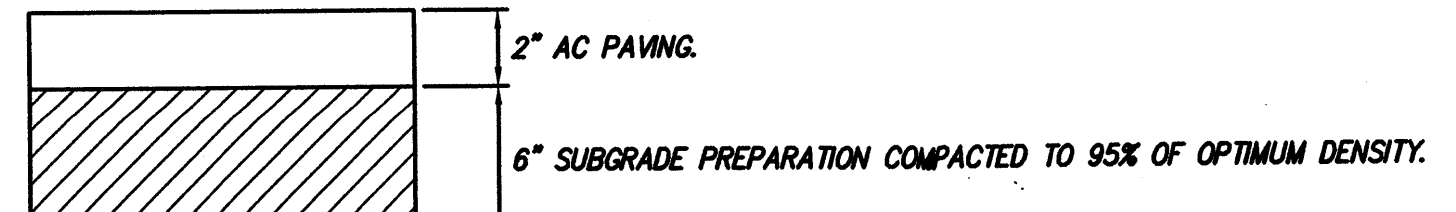
LEGEND

	CRUB AND GUTTER
	FENCE
	CONTOUR LINE
	EASEMENT LINE
	WATER METER
	WATER VALVE
	LIGHT POLE
	GAS METER
	FIRE HYDRANT
	POWER POLE
	OVERHEAD UTILITY LINES
	STORM DRAIN INLET
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	WATER MANHOLE
	UTILITY PEDESTAL
	WALL
	BC 5744.09 BACK OF CURB ELEVATION
	FL 5744.09 FLOW LINE ELEVATION
	EP 5744.09 EDGE OF PAVEMENT ELEVATION
	TAC 5444.09 TOP OF ASPHALT CURB ELEVATION
	5444.09 GROUND SPOT ELEVATION
	EXISTING MODULAR BUILDINGS
	PROPOSED MODULAR BUILDINGS
	PROPOSED WHEEL STOP
	PROPOSED SPOT ELEVATION
	PROPERTY LINE
	LANDSCAPED SWALE
	PROPOSED NEW CONTOUR
	FLOW DIRECTION
	ROOF DRAIN
	BC 5289.21 TOP OF CURB ELEVATION
	FL 5289.41 FLOWLINE ELEVATION
	NEW EXTRUDED CONC. CURB PER CITY STD. DWG. 2415B
	DRAINAGE BASIN BOUNDARY
	DRAINAGE BASIN

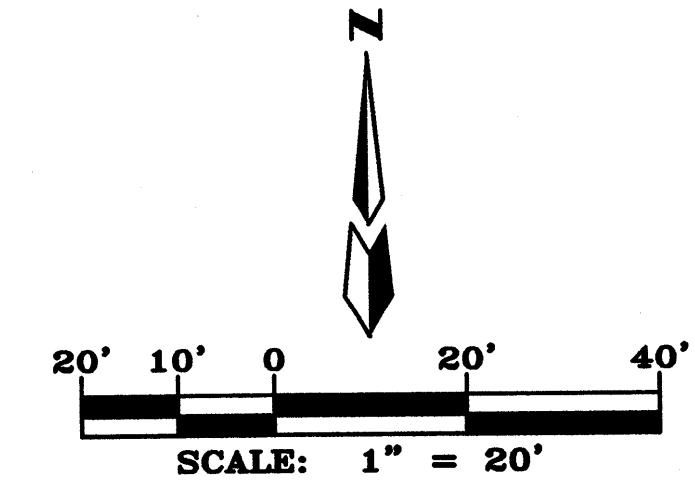
1. INSTALL NEW 12" SIDEWALK CULVERT PER CITY STD. DWG. 2236.
2. BUILD NEW 24" PRIVATE DRIVEWAY PER CITY STD. 2425.
3. INSTALL NEW PAVING PER DETAIL THIS SHEET.
4. BUILD 2" CAST IN PLACE CONCRETE CHANNEL SEE DETAIL THIS SHEET.
5. REMOVE 165 LF OF EXISTING CURB.
6. REMOVE 47 S.Y. EXISTING PAVING.
7. REMOVE 30 LF OF EXISTING CURB.
8. REMOVE EXISTING FENCE AS NECESSARY.
9. BUILD NEW 24" SIDEWALK CULVERT PER CITY STD DWG 2236.
10. BUILD NEW HC RAMP. RAMP SLOPE NOT TO EXCEED 12:1.



CONCRETE CHANNEL SECTION
 N.T.S.



2" AC PAVING
 6" SUBGRADE PREPARATION COMPACTED TO 95% OF OPTIMUM DENSITY.



**HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION
 GRADING AND DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG Sheet 3 of 4
 Scale: 1" = 30' Date: 6/14/2010 Job: A01032

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

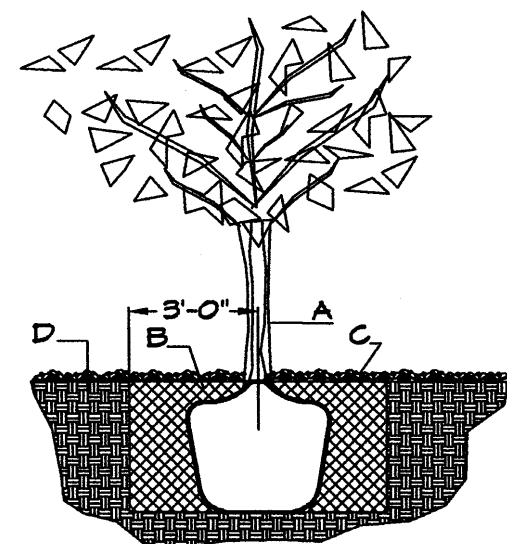
LANDSCAPE CALCULATIONS

TOTAL BED PROVIDED	3034	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	2275	square feet
TOTAL GROUND COVER PROVIDED	2304	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL RAKED EARTH AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	3034	square feet

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 4 Provided 4

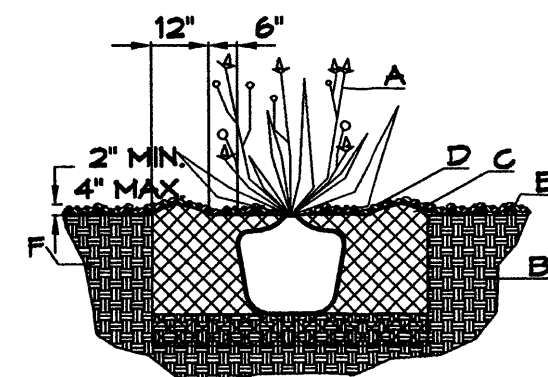


TREE PLANTING DETAIL

- NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

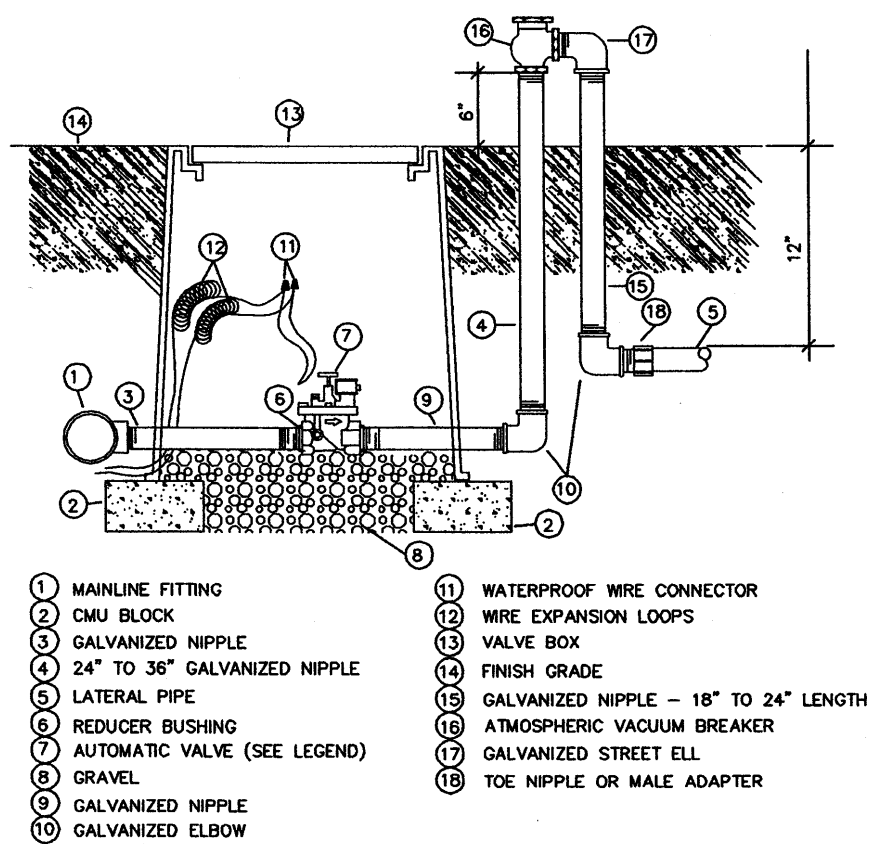
- CONSTRUCTION NOTES:
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



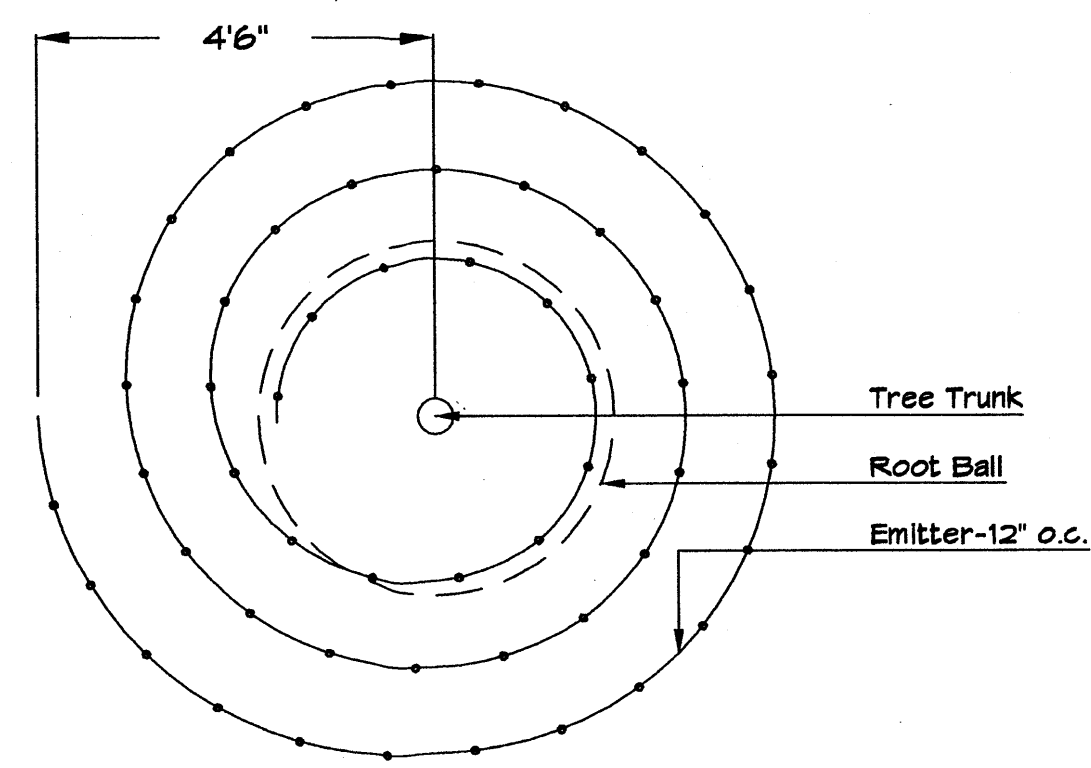
SHRUB PLANTING DETAIL

- NTS
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- A. SHRUB.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.

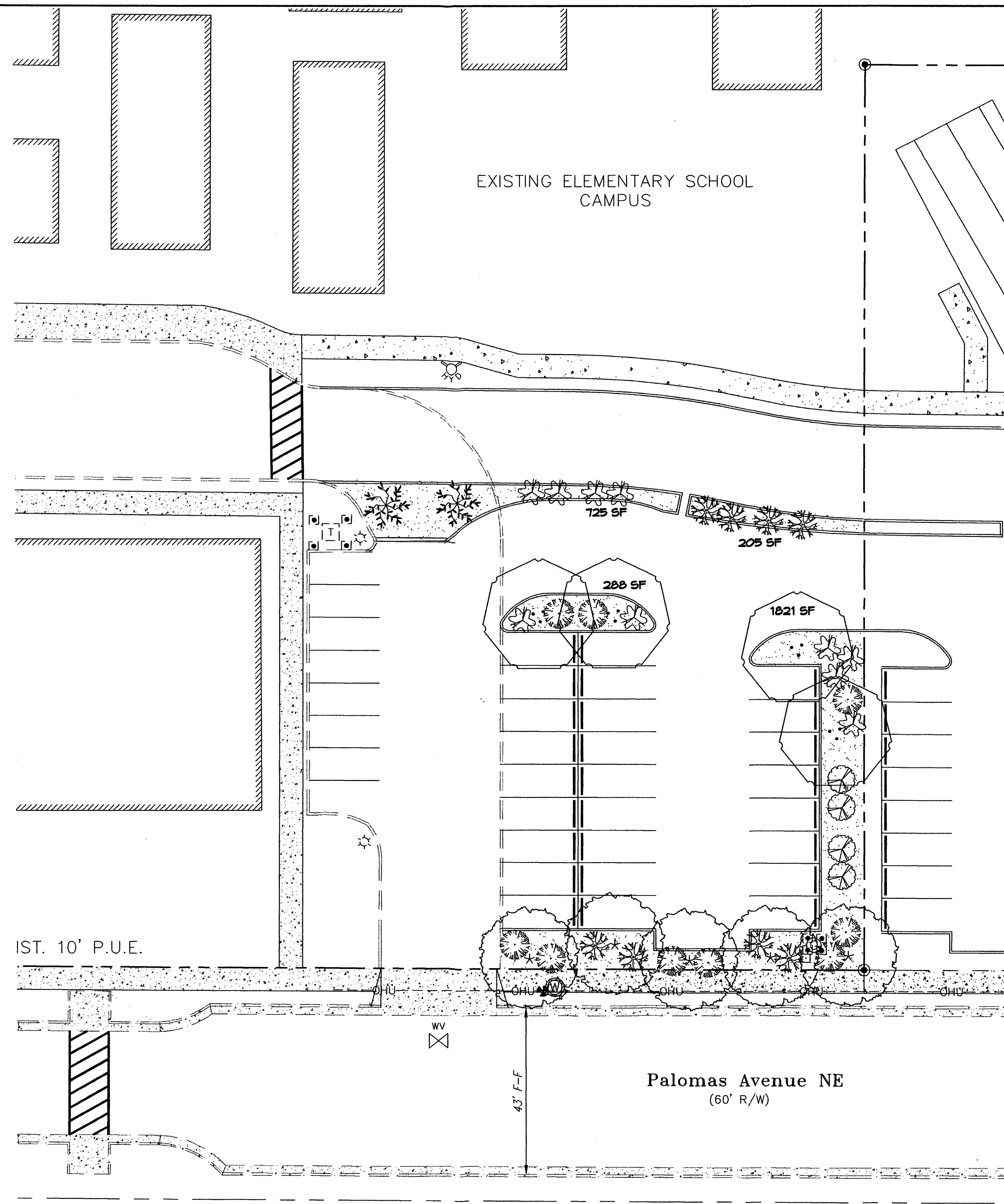


1. MAINLINE FITTING
2. GMI BLOCK
3. GALVANIZED NIPPLE
4. 24" TO 36" GALVANIZED NIPPLE
5. LATERAL PIPE
6. REDUCER BUSHING
7. AUTOMATIC VALVE (SEE LEGEND)
8. GRAVEL
9. GALVANIZED NIPPLE
10. GALVANIZED ELBOW
11. WATERPROOF WIRE CONNECTOR
12. WIRE EXPANSION LOOPS
13. VALVE BOX
14. FINISH GRADE
15. GALVANIZED NIPPLE - 18" TO 24" LENGTH
16. ATMOSPHERIC VACUUM BREAKER
17. GALVANIZED STREET ELB
18. TEE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.S.

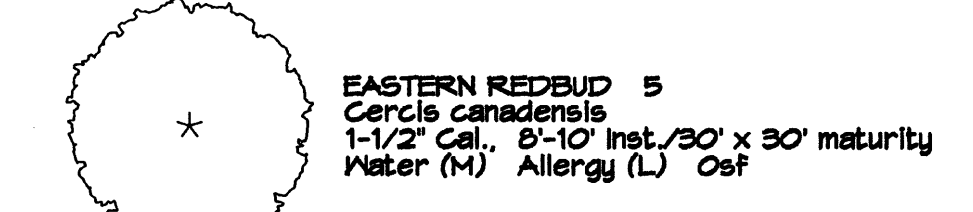
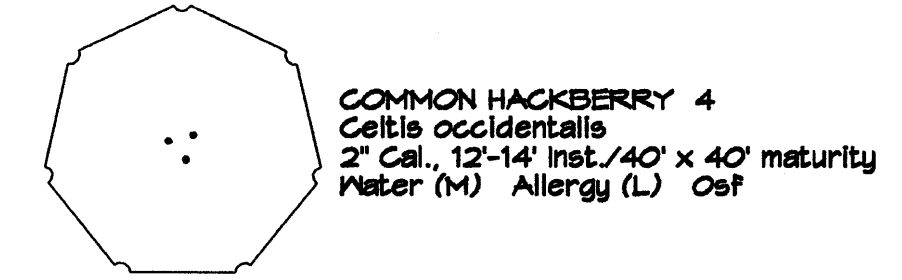


Netafim Spiral Detail

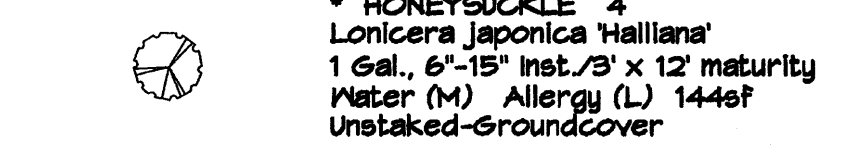
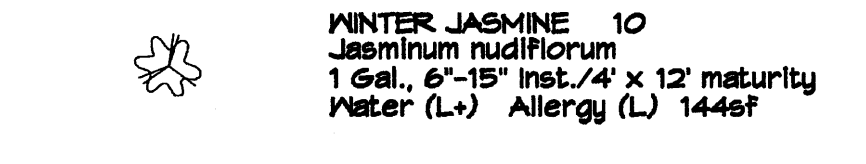
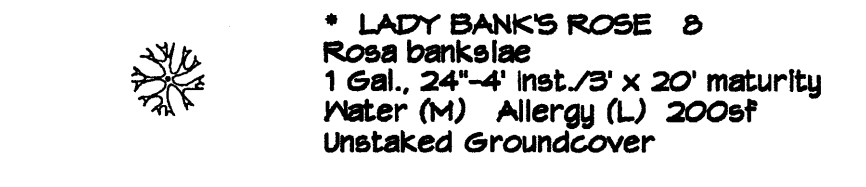
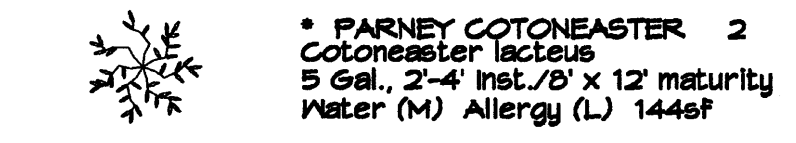


PLANT LEGEND

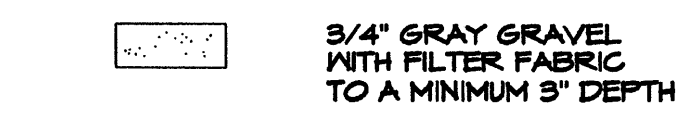
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.



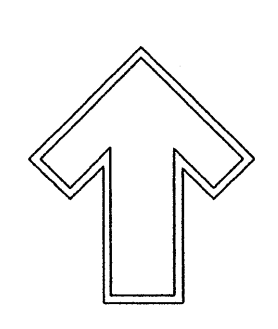
SHRUBS/ORNAMENTAL GRASSES



HARDSCAPES

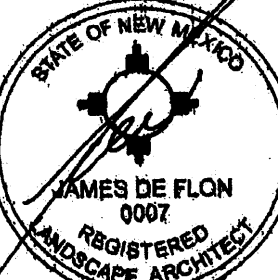


* DENOTES EVERGREEN PLANT MATERIAL



Cont. Lic. #26458
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Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



9/15/16
JAMES DE FLON #0007

HOPE CHRISTIAN ELEMENTARY SCHOOL ADDITION
AMENDED LANDSCAPE PLAN

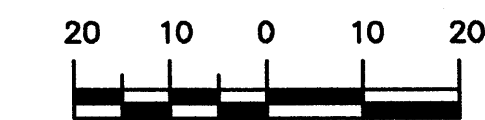
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DRAWN BY: cmj
REVISION # 1/9-15-10
DATE 8-25-10

SHEET # 4 OF 4

GRAPHIC SCALE



SCALE: 1"=20'