

South Eubank State Land Office 20 Acres

20 Acre Master Planned Development

25 May, 2000

Revised 9/7/00 EPC Staff Comments

Revised 10/24/00
11/14/00 Per EPC Comments

INDEX OF DRAWINGS

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Master Development Plan

Eubank, SE

Albuquerque, New Mexico

EPC SUBMITTAL

Owner:

Commissioner of Public Lands
310 Old Santa Fe Trail
PO Box 1148 Santa Fe, New Mexico 87504

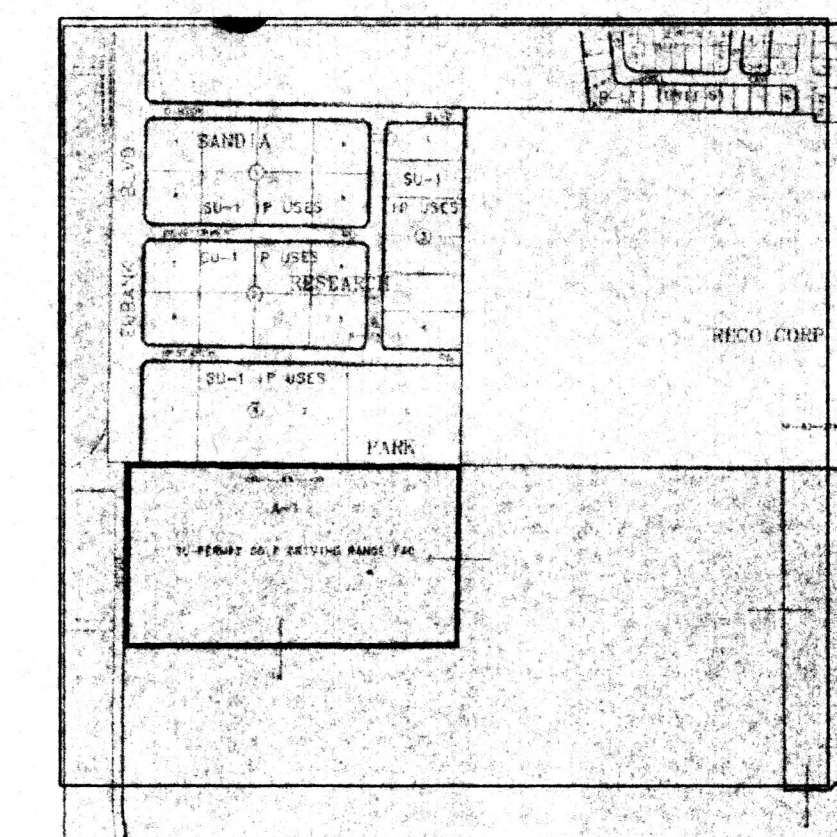
Architectural/Structural

Dekker/Perich/Sabatini, Ltd.
6801 Jefferson N.E., Suite 100
Albuquerque, New Mexico 87109
(505) 761-9700
Fax: 761-4222

Civil:

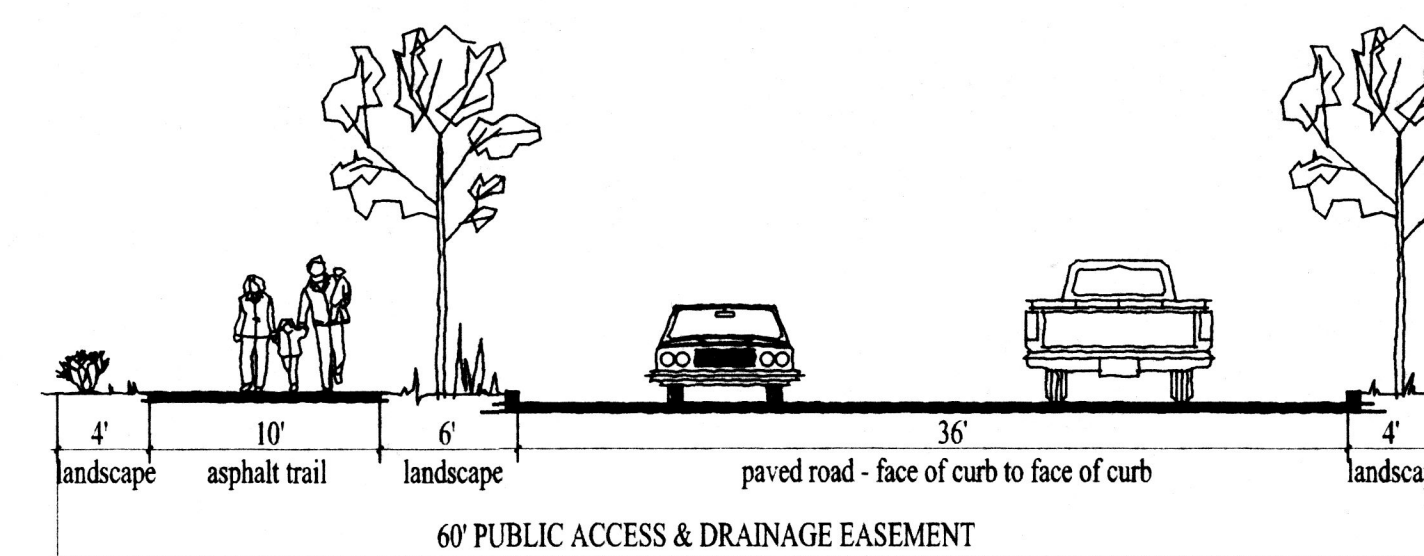
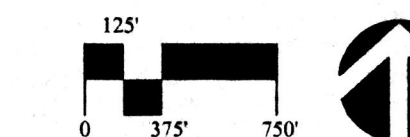
Brasher & Lorenz, Inc.
2210 San Pedro NE Building 1 Suite 210
Albuquerque, New Mexico 87711
(505) 888-6088
Fax: 888-6188

DEC 19 2000
REVIEW



Vicinity Map

M-21-Z



SECTION AA

GENERAL NOTES continued. See also Design Guidelines - Criteria Sheet 5 of 5:

SITE DESIGN INDEX

- PARKING AND VEHICULAR CIRCULATION
- PEDESTRIAN CONNECTIONS
- LANDSCAPE BUFFERS
- BUILDING SETBACKS
- SCREENING AND SHADE
- ARCHITECTURE
- SIGNAGE
- EMPLOYEE SPACES: PLAZAS, STORAGE AND MISCELLANEOUS
- CA / VAN POOL PREFERRED PARKING

PARKING AND VEHICULAR CIRCULATION

1. All street CL radii to be per DPM Standards.
2. Exact location of driveway access cuts to tracts A and B from 60' public access easement to be determined during individual site plan approval. These to conform with DPM Standards.
3. The allowed parking shall be equal to the required parking plus 10%. ADA-compliant parking shall be located adjacent to main building entries.
4. Cross access provisions between adjoining parcels are required for further subdivision of Tracts A & B should that occur.

PEDESTRIAN CONNECTIONS

5. All HC ramps at lot corners and drive lots to be constructed during individual tract site development.
6. Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
7. Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area. (Assume a 2' overhang for cars.)
8. Shaded pedestrian access shall be provided from Eubank for Tracts A and B, and from the east-west easement along the south property line for Tract B, including a clear 6' wide path with adjacent trees spaced 25' on center.
9. A sidewalk with a minimum clearance of 8' shall be provided (15' for multiple entry and/or multiple tenant buildings) along building sides where needed to provide direct connections from the pedestrian circulation system to the building entrance. Shade shall be provided for these sidewalks when they are located along the west and south sides of buildings. Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet. Single tenant buildings shall provide a "plaza" at the main entrance of no less than 400 square feet.
10. Convenient pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet. The minimum width for planting areas for street trees shall be 5 feet.

LANDSCAPE BUFFERS

11. Landscape easement at entry shall include the 35' clear sight triangle.
12. A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone, and a minimum of a 6' high solid screen wall to screen parking, loading, refuse collection and delivery/storage areas is required where adjacent to residential zones.
13. A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
14. Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
15. 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.

BUILDING SETBACKS

16. Building setbacks at front/street to be 20' and at side and rear shall be 10'

SCREENING AND SHADE

17. Perimeter walls shall comply with the City's Design Manual for Subdivision Access and Perimeter Walls
18. No chain link, razor wire (concertina) or plastic vinyl fencing is permitted.
19. Low walls 2 1/2 to 3' high shall be used to screen parking spaces adjacent to Eubank. The walls shall integrate with building materials/colors and shall comply with the City's Design Manual for Subdivision Access and Perimeter Walls.
20. Loading docks where they are adjacent to residential zones, or visible from Eubank shall be screened by walls and covers that are architecturally integrated with the building.
21. Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
22. Drive through facilities shall be shaded with architecturally integrated canopies.

ARCHITECTURE

23. Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All fixtures shall be full cut-off type to prevent fugitive light; no light source shall be visible from the site perimeter.
24. Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
25. All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.
26. The top of all rooftop equipment shall be below the top parapet and screened from view from all property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. All visible roof penetrations shall be painted to match the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
27. No generic franchise building elevations or canopies are permitted.
28. No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
29. No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into building architecture.
30. ATM's shall be architecturally integrated with building design.

SIGNAGE

31. Monument signs which are integrated with building colors and materials are the only freestanding signs allowed.
32. Building mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos. All building signage shall be limited to a maximum area of 6% of the wall area the sign is mounted on. Maximum letter height shall be 3 feet.

EMPLOYEE SPACES: PLAZAS, STORAGE, MISCELLANEOUS

33. An outdoor patio space, minimum 250 SF with tables and seating shall be provided for each occupied building over 10,000 square feet. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
34. Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
35. A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building with 30 or more occupants per shift.
36. Each building with 30 occupants or more per shift shall provide a convenient shower facility available to bicyclists and other employees.

CAR / VAN POOL PREFERRED PARKING

The following measures to encourage non-vehicular travel are required: Car / van pool preferred parking near the entrances to buildings that is clearly demarcated for this purpose.

CASE NUMBER: 00128 00000 00718

Master Development Plan DRB 00450-00000-01493

THIS MASTER DEVELOPMENT PLAN IS CONSISTENT WITH THE SPECIFIC MASTER DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 9/2/2000 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH: EPC sign-off for PHASE I ONLY. Phase II to be signed-off at a future date by DRB. No building permit on Phase II will be issued until Phase II Master Plan is approved.

Richard Dant 12/13/00
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Wilma E. Castellana 12/13/00
PARKS & RECREATION DEPARTMENT DATE

Roger A. Huan 12/13/00
PUBLIC WORKS/WATER UTILITIES DIVISION DATE

Lawrence J. Manning 12/13/00
CITY ENGINEER, ENGINEERING DIVISION / AMAFAC DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

Richard Dant 12/20/00
CITY PLANNER, ALBUQUERQUE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT DATE

Master Development Plan
South Eubank State Land Office
20 Acres

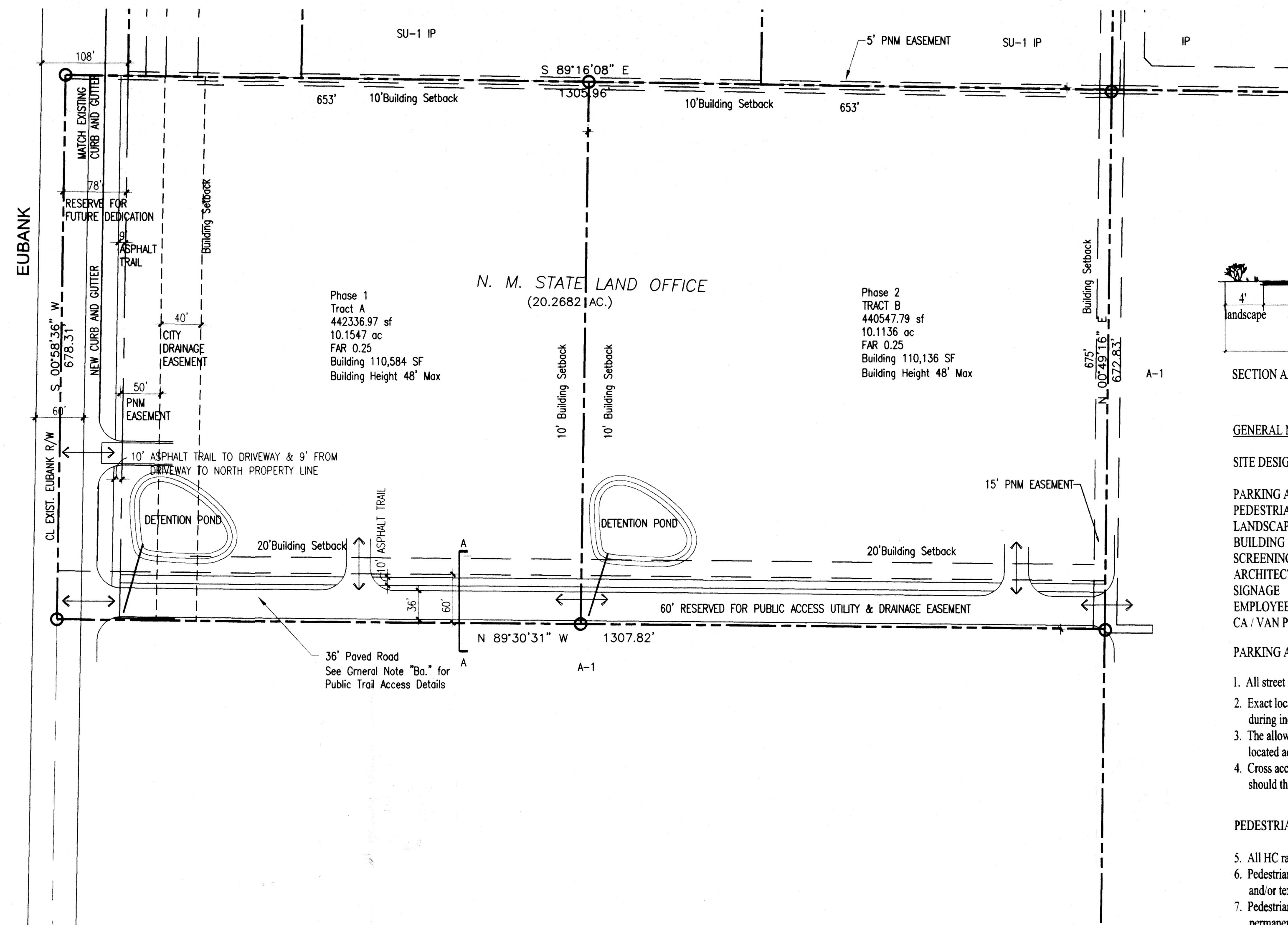
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2	10/24/00	per EPC conditions
	11/14/00	

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S:\00037\10-24-SUBMITTAL\SHEET1.DWG
drawn by: AL
reviewed by:
date: 5/25/2000
project no.: 00037
drawing name:

**Master Development Plan
South Eubank State
Land Office
20 Acres**

sheet no. 1
1 of 5



**Master Development Plan
South Eubank State Land Office
Eubank, SE Albuquerque, NM
Site Data**

TOTAL ACREAGE: 20.2683 ACRES - 882,885 SF

SITE AREA TOTAL BUILDING AREA (FAR = 0.25)

TRACT A: 442,337 SF 110,584 SF MAXIMUM
TRACT B: 440,548 SF 110,136 SF MAXIMUM
TOTAL: 882,885 SF 220,720 SF MAXIMUM

Legal Description

Tract of land in Section 33 T 10 N, R 4 E, in the North 1/2 of the SW 1/4 of the NW 1/4.

Existing Zoning

Tract is zoned County A-1 with a special use for a freestanding wireless telecommunications facility

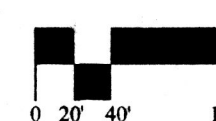
Proposed Zoning

Tract is to be "IP - Industrial Park" per the City of Albuquerque Zone Code

Subdivision Concept

The plan for the approximately 20 acre subdivides the site into two (2) tracts, Tract A & Tract B and grants a 60' public access utility and drainage easement along the southern property line for access from Eubank Blvd. to Tract B. development of tracts A & B will be in conformance with Design Guidelines and Criteria attached hereto, Sheet 5 of 5.

Scale 1"=100'

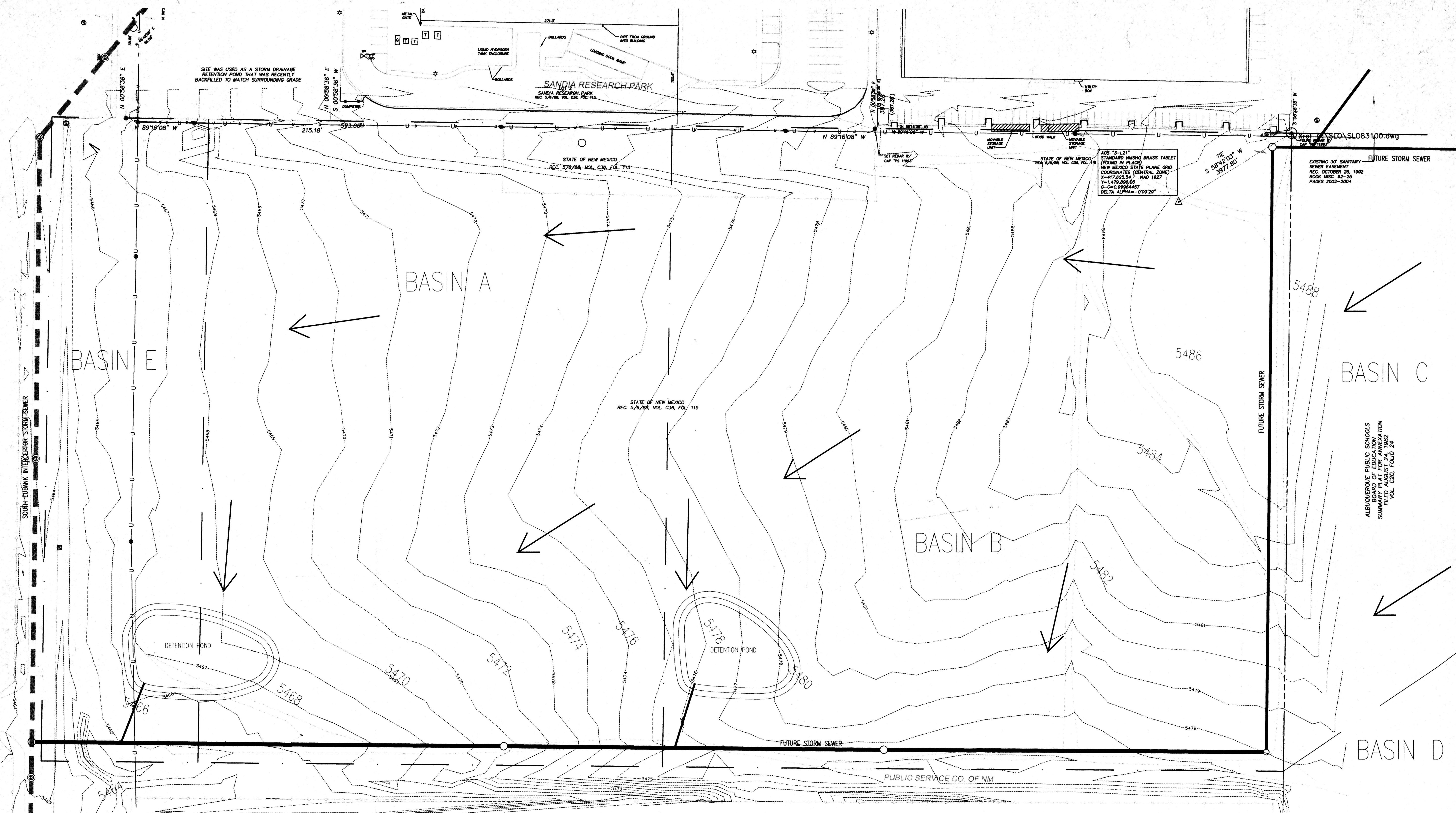


Land Utilization

The proposed land uses and restrictions for both tracts are the same, Industrial Park. Proposed density of development is a floor area ratio (far) of 0.25. This allows a building area of approximately 110,585 square feet for each tract.

General Notes

- A. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each EPC condition.
- B. The site plan shall provide additional detail to specify approximate locations or relationships of separate pedestrian and vehicular access and circulation:
 - a. East-west public trail access through the site shall be maintained in one of the following ways: 1) Provision of a 20' east-west public trail easement on the south side of the property 2) east-west internal public trail connection, or 3) provision of an east-west on-street bike facility. Item 2' was selected. The Master Development Plan was revised to include a 10' asphalt trail along the north side of the east-west roadway.
 - b. Construction of an 8'-10' asphalt trail on Eubank for the length of the property in-lieu of sidewalk. This trail shall be separated from the street by a 5' buffer.
 - c. The Design Guideline Criteria shall provide for buffering of the pedestrian circulation system from vehicles traveling on the internal streets. This buffer shall occur in the form of landscaping, wider sidewalks, on-street bicycle lanes, or on-street parking
- C. Individual site plans shall have landscaping on at least fifteen percent of the net lot area.
- D. Individual site plans in conformance with the Master Development Plan Design Guidelines - Criteria may go directly to Building Permit.
- E. Tract A site plan shall be developed first. A TIS has been performed. TIS mitigation shall be added to the MDP prior to DRB approval. Note: Off-site mitigation costs include design costs, tax and contingency. Financial guarantees for off-site improvements shall be provided to the City prior to the issuance of Certificates of Occupancy as follows:
Prior to C.O. for Phase I - \$52,420.81
Prior to C.O. for Phase II - \$52,208.85
- F. To protect against risks associated with landfill gas, the project shall include input from an environmental professional, with expertise in landfills, to determine whether landfill gas exists or whether there is potential for landfill gas to be generated in the future. If determined a risk, plans shall include risk abatement measures prior to final sign off at DRB. Note: It has been determined by the City Environmental Health Dept. that the landfill gas study is not required for Phase I. The City will determine the requirements for a landfill gas study and report as a condition of Building Permit for Phase II.
- G.
 - a. Each solid and dashed line indicating rights-of-way and easements or delineated area on the MDP shall be identified and clarified on the drawing.
 - b. Reserve for future dedication by State Land Office's (SLO's) successors in interest, a 78' public road access, utility and drainage easement east of the center line of Eubank Blvd.
 - c. Provide a 60' public access, utility and drainage easement along the full length of the southern property boundary.
- H. All outdoor storage shall be limited to 20 feet in height. Outdoor storage tanks shall be limited to 40' in height.
- I. All walls shall follow all wall criteria set forth in the City's Design Manual for Subdivision Access and Perimeter Walls.



Master Drainage Plan

STATE OF NEW MEXICO
SUMMARY PLAT FOR ANNEXATION
FILED AUGUST 24, 1992
VOL. C20, FOLIO 24

PURPOSE AND SCOPE

This Master Drainage Plan sets forth the drainage management criteria for controlling developed runoff on and exiting the site. Annexation, subdivision, and industrial land uses are proposed for the property.

EXISTING CONDITIONS

The 20.27-acre tract shown hereon lies within the County of Bernalillo, and is presently vacant, having never been developed. The tract is encumbered by electric and storm sewer easements along its perimeter boundaries. It is bounded on the west by Eubank, currently an unpaved road; on the north by Sandia Research Park, a partially developed industrial subdivision; on the east by undeveloped lands of the Board of Education (Albuquerque Public Schools, APS); and on the south by Sandia Switching Station, an electric facility of the Public Service Company of New Mexico, PNM. The terrain is vegetated with a moderate density of native grasses and shrubs. It slopes generally from the east down to the west at an average of approximately 2 percent. Storm water generated within Sandia Research Park is managed within the Park and does not contribute runoff to the project site. The flat terrain of the switching station and a ditch/dike along its north property line preclude passage of storm water between the station property and the project site. Under existing conditions, an area of approximately 7.2 acres of the vacant land to the east of the site drains by sheet flow across the site. The City of Albuquerque has constructed the South Eubank Storm Sewer Interceptor within Eubank across the frontage of the project site. The interceptor has not been designed with sufficient hydraulic capacity to accept the free discharge of fully developed flows from the undeveloped lands within the drainage basin it serves. As a result, the interceptor will accept only controlled flows from undeveloped lands such as this project.

PROPOSED CONDITIONS

The project site is to be subdivided by a north/south property line into two parcels of approximately ten acres each. It is intended that the property be annexed to the City, and simultaneously zoned as an industrial Park. Under the City's South Eubank Interceptor Storm Sewer Project, the available hydraulic capacity of the new interceptor has been allocated amongst the vacant lands in the vicinity of this project, and South Pointe Village Mobile Home Park, to the east and north of the project site. Accordingly, each tract is allowed to discharge to the interceptor at specified, limited rates. This limitation imposes on each undeveloped parcel the requirement to provide detention ponding on each site. In order to connect to the interceptor, the City has committed to construct the City storm sewer shown as "Future Storm Sewer" on this plan. Though the corridor for this line has not been defined or acquired, the alignment indicated will be designed to serve the drainage basins shown. The two industrial tracts of this project will be developed at a floor/area ratio of approximately 0.25. Each tract will be graded such that runoff generated on the tract will be managed on site with individual detention ponds and outlets draining to the Eubank Interceptor. On site ponding will be privately owned and maintained, and may be considered as a landscaping feature. The total capacity of the Eubank Interceptor allocated to the total project site will be divided between the two tracts in proportion to their respective acreages.

CALCULATIONS

The calculations shown hereon define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per Chapter 22, Development Process Manual, Vol. 2, 1997 Revision. The ponding requirements of each parcel as tabulated reflect the anticipated pond volume requirements for each tract assuming detention releases not exceeding the allocated rates.

PROJECT HYDROLOGY

ZONE 3 P360 = 2.60 in P1440 = 3.10 in.

Basin	Area (ac)	Aa (ac)	Ab (ac)	Ac (ac)	Ad (ac)	E	Q100 (cfs)	Vol (af)
EXISTING Basin								
A	8.79	8.79	0.00	0.00	0.00	0.66	16.47	0.4802
B	8.83	8.83	0.00	0.00	0.00	0.66	16.53	0.4821
C	7.17	7.17	0.00	0.00	0.00	0.65	13.42	0.3913
D	33.12	33.12	0.00	0.00	0.00	0.65	61.99	1.8082
E	2.75	2.75	0.00	0.00	0.00	0.83	5.99	0.1891

DEVELOPED Basin

A	8.79	0.00	0.44	0.88	7.47	2.18	41.70	1.5942
B	8.83	0.00	0.44	0.88	7.51	2.18	41.86	1.6005
C	7.17	0.00	0.36	0.72	6.09	2.17	33.98	1.2992
D	33.12	0.00	1.66	3.31	28.15	2.18	156.96	6.0030
E	2.75	0.00	0.14	0.28	2.33	2.18	13.05	0.4985

ROUTED Basin

Basin	Area (ac)	Qpeak (Cfs)	Vol. (CF)	Qout Depth (ft)
A	8.79	11.58	34,848	12.00
B	8.83	11.62	34,848	12.00
E	2.50	0.98	17,424	1.00

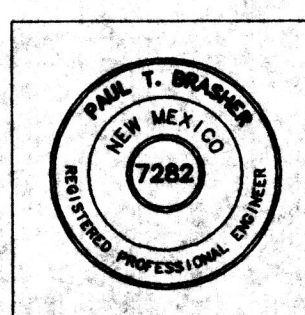
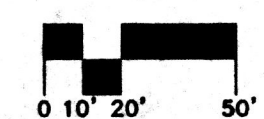
TOPOGRAPHY FROM PRECISION SURVEYS, DATED JUNE, 2000

Site Data

TOTAL ACREAGE: 20.2683 ACRES - 882,885 SF

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TRACT A: 442,337 SF 110,585 SF MAXIMUM
TRACT B: 440,548 SF 110,137 SF MAXIMUM
TOTAL: 882,885 SF 220,722 SF MAXIMUM



revisions

- △
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- △ STAFF COMMENTS (9/7/00)

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drawn by **AJV**

reviewed by

date

project no. **99999**

drawing name

**Master Drainage Plan
South Eubank State
Land Office
20 Acres**

sheet no.

Master Utilities Plan
South Eubank State Land Office
20 Acres

EUBANK

SU-1 IP

SANDIA RESEARCH PARK

SU-1 IP

IP

S 89°16'08" E
1305.96'

10' Building Setback

10' Building Setback

FUTURE STORM SEWER

EXIST. 8" SEWER

Phase 1
Tract A
442336.97 sf
10.1547 ac
FAR 0.25
Building 110,584 SF
Building Height 48' Max

N. M. STATE LAND OFFICE
(20.2682 AC.)

Phase 2
TRACT B
440547.79 sf
10.1136 ac
FAR 0.25
Building 110,136 SF
Building Height 48' Max

BOARD OF EDUCATION

A-1

PHASE I
10' Building Setback

PHASE II
10' Building Setback

15' PNM EASEMENT

RETENTION POND

20' Building Setback

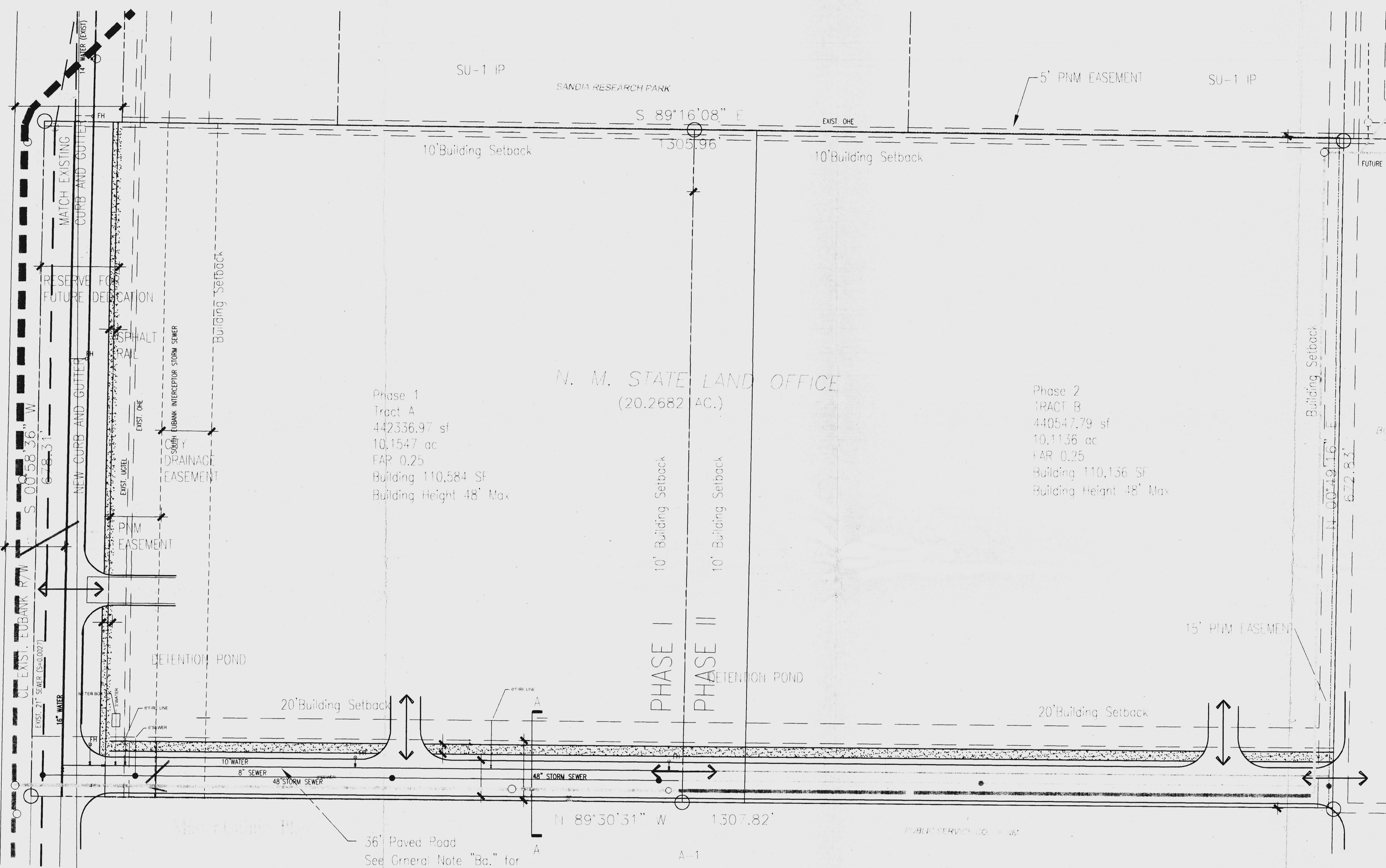
RETENTION POND

20' Building Setback

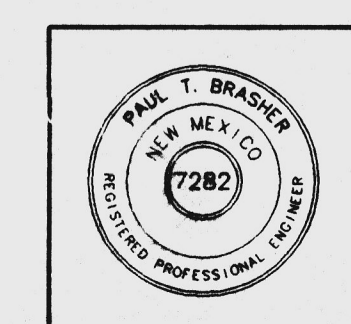
N 89°30'31" W
1307.82'

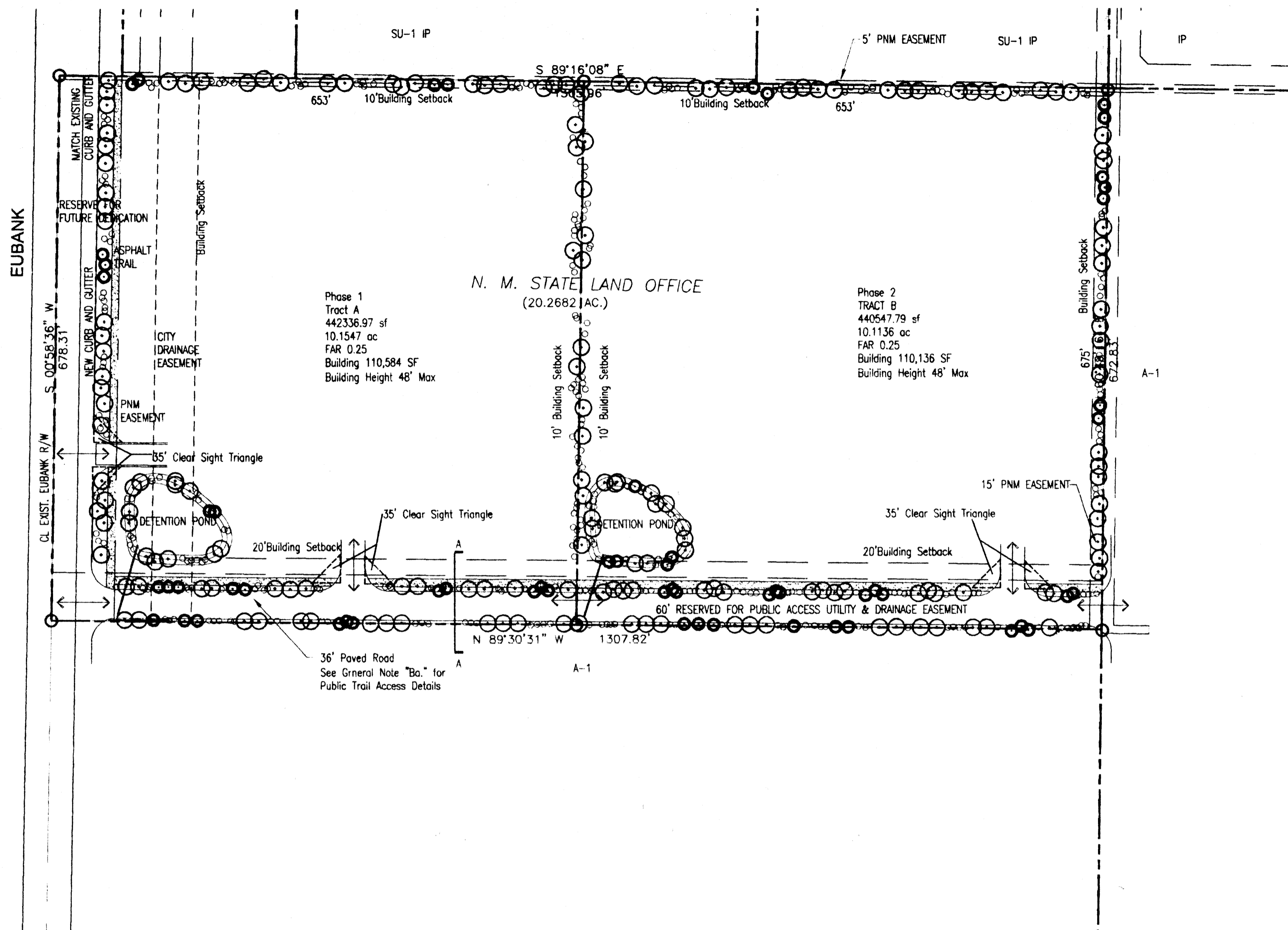
36' Paved Road
See General Note "Ba." for
Public Trail Access Details

PUBLIC SERVICE CO. 16" W



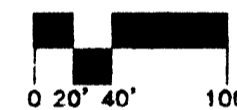
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drawn by	AJV
reviewed by	
date	
project no.	99999
drawing name	Master Utilities Plan South Eubank State Land Office 20 Acres
sheet no.	3





Master Development Plan: Landscape Plan
South Eubank State Land Office
Eubank, SE Albuquerque, NM

Scale 1"=100'



Plant Legend

- Shade Trees 2 - 2 1/2" cal
All shade trees shall be selected from COA plant list and shall meet all COA requirements.
- Ornamental trees
All ornamental trees shall be selected from COA plant list and shall meet all COA requirements.
- Evergreen Trees 15 gal
All evergreen trees shall be selected from COA plant list and shall meet all COA requirements.
- Shrubs 1-5 gal
All shrubs shall be selected from COA plant list and shall meet all COA requirements.
- Sod
Sod shall not exceed 20% of total landscape area.
- Gravel
All landscape beds shall be mulched with 2-3" of landscape gravel over filter fabric.

General Notes

- See sheet 5 of 5 "Design Guidelines Criteria" D. Landscaping for additional requirements.
- 1. Individual site plans shall have landscaping on at least 15% of the net lot area.
- 2. Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.
- 3. All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub. Point of Connection for irrigation system is unknown at current time and will be coordinated in the field.
- 4. It is the intent of this plan to comply with the City of Albuquerque water conservation and waste water ordinance. 1/3 live ground cover
- 5. All landscape beds shall be planted so to achieve 75% at maturity.
- 6. Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.
- 7. To the extent possible, all existing cottonwood trees on the site to remain.
- 8. The minimum width for planting areas for street trees shall be 5 feet.

revisions		
1	9/7/00	Steff Comments
2	10/24/00	per EPC comments
	11/14/00	

sheet no.	11-22-2000 11:02A
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drawn by	AJV
reviewed by	
date	5/25/00
project no.	00087
drawing name	

Master Landscape Plan
South Eubank State
Land Office
20 Acres

sheet no.

Design Guidelines - Criteria

The purpose of design criteria is to provide a framework to ensure a desirable character, quality, and visual appearance to the site and surrounding neighborhoods. These criteria address the issues of setbacks, screening, lighting, signage, landscaping, creating a desirable visual image for the NM State Land Office. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code and other pertinent city ordinances.

All buildings and structures within the site shall comply with all applicable City of Albuquerque zoning and building requirements as well as other local applicable codes.

Site Design

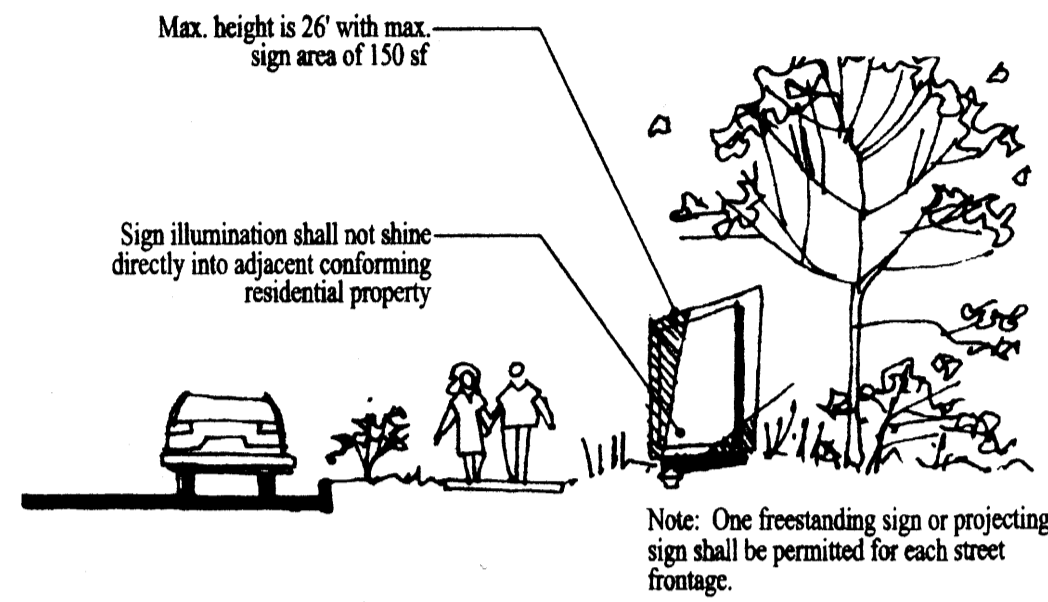
Site development plans for building permits shall incorporate the design criteria in order to achieve the desired character and integration of the site. Building setbacks as well as landscape setbacks have been identified and help to reduce the visual impact of a building on adjacent neighborhoods. The overall land use concept maintains office/warehouse use as permissible on lot sizes of at least an acre

DESIGN INDEX

See also "Master Development Plan, Sheet 1 of 5" for Additional Site Design Standards, Allowable Floor Area Ratio (FAR), "Parking and Vehicular Circulation" and "Car / Van Pool Preferred Parking".

- PROJECT IDENTIFICATION
- INTERNAL STREETS AND INTERSECTIONS
- PEDESTRIAN CONNECTIONS
- LANDSCAPE BUFFERS
- BUILDING SETBACKS
- SCREENING AND SHADE
- ARCHITECTURE
- SIGNAGE
- EMPLOYEE SPACES: PLAZAS, STORAGE AND MISCELLANEOUS

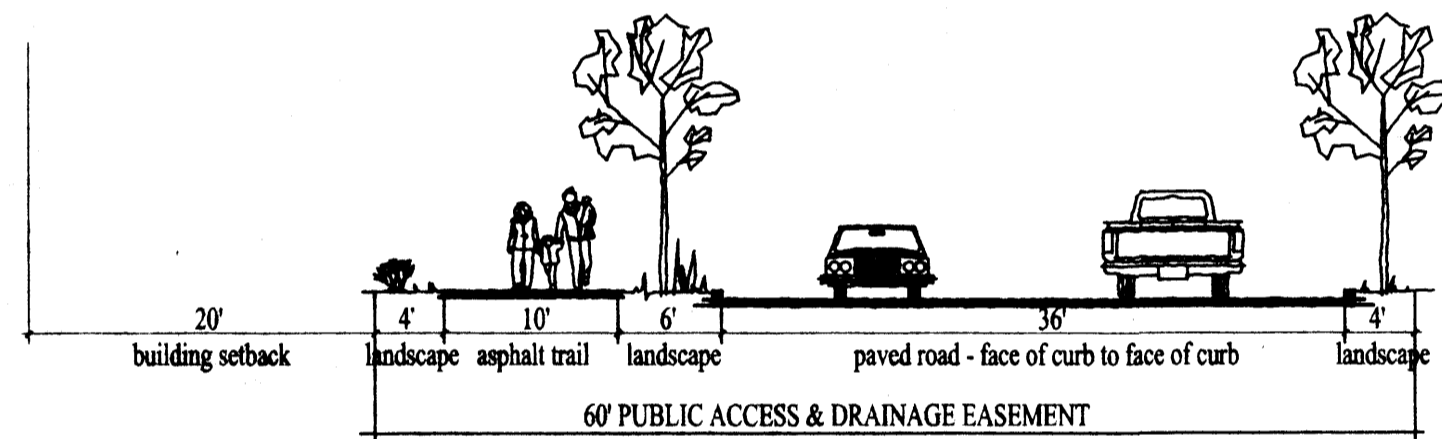
A. PROJECT IDENTIFICATION



B. INTERNAL STREETS AND INTERSECTIONS

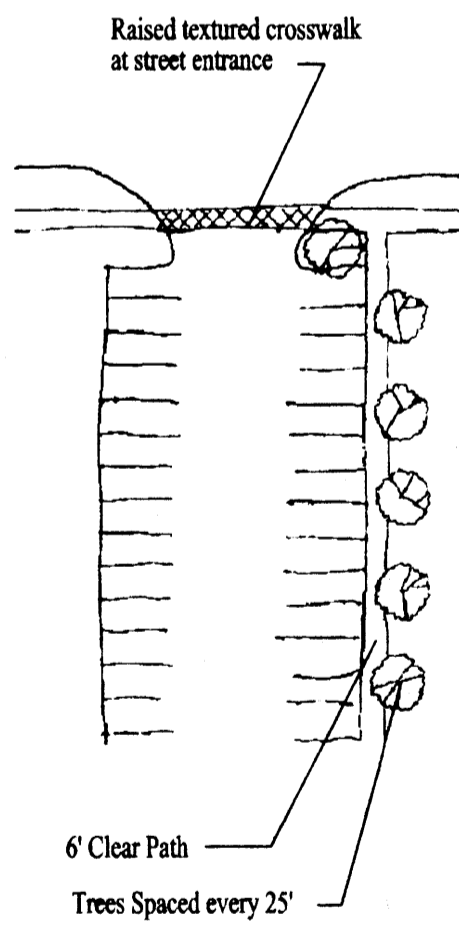
Internal intersections are treated consistently creating a strong visual impact and project identity and provide access to other parcels. The interior driveways shall be improved by the individual site developers.

- East-West 60' Public Access, Utility & Drainage Esmt.
- Internal Street Design. Additional internal streets shall provide a 60' public access esmt. with a 4' walk on both sides of the street

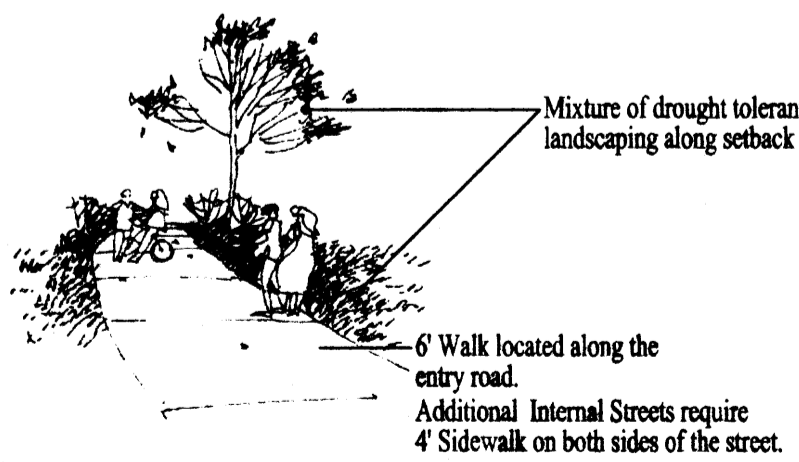


C. PEDESTRIAN CONNECTIONS

- All HC ramps at lot corners and drive lots to be constructed during individual tract site development.
- Pedestrian crossings that are a minimum width of 6-feet which are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area. (Assume a 2' overhang for cars.)
- Shaded pedestrian access shall be provided from Eubank for Tracts A and B, and from the east-west easement along the south property line for Tract B, including a clear 6' wide path with adjacent trees spaced 25' on center.
- A sidewalk with a minimum clearance of 8' shall be provided (15' for multiple entry and/or multiple tenant buildings) along building sides where needed to provide direct connections from the pedestrian circulation system to the building entrance. Shade shall be provided for these sidewalks when they are located along the west and south sides of buildings. Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of 25 feet in planters with a minimum interior dimension of 5 feet x 5 feet. Single tenant buildings shall provide a "plaza" at the main entrance of no less than 400 square feet.
- Convenient pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.

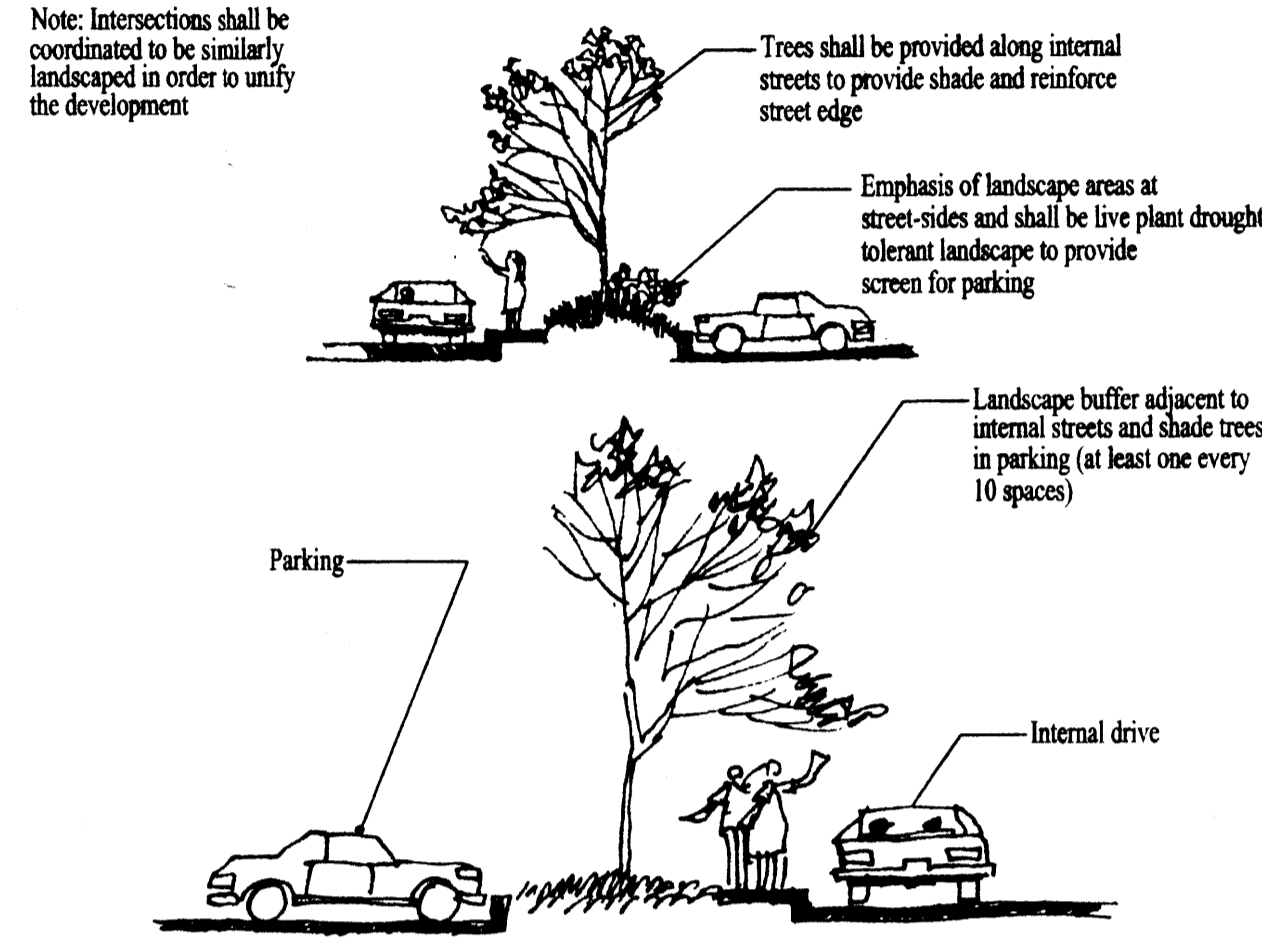


The minimum width for planting areas for street trees shall be 5 feet.



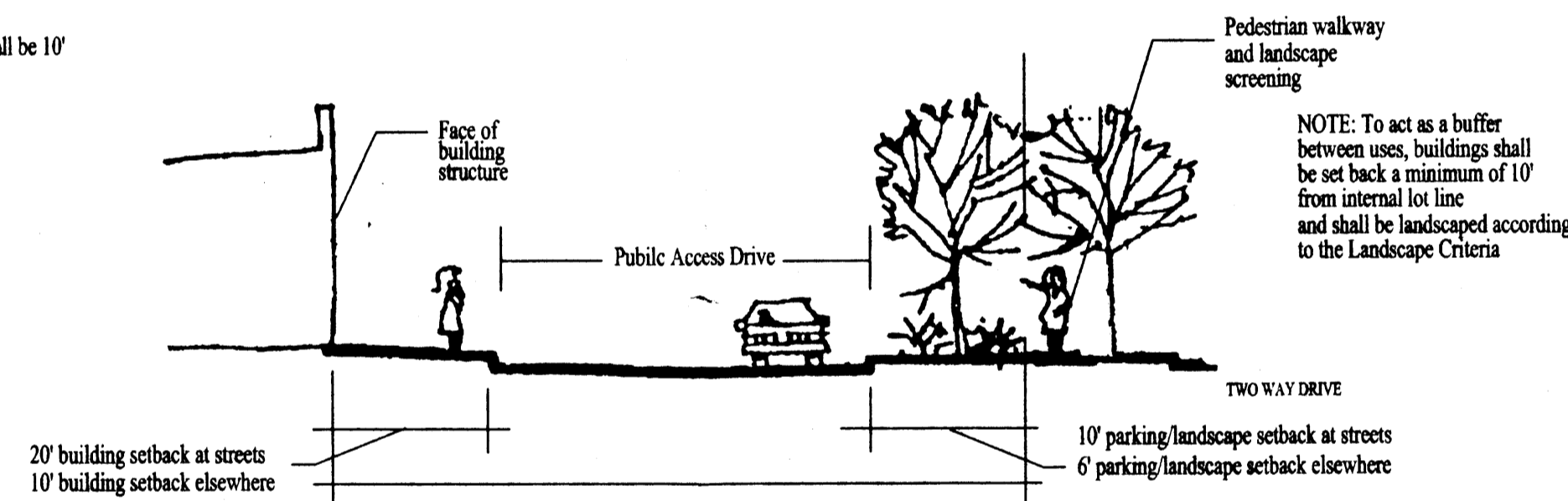
D. LANDSCAPE BUFFERS

- This development is designed to include landscaping as a unifying system. Drought tolerant landscape shall be used, not only for minimizing water use, but to relate to the desert environment of New Mexico. A mixture of drought tolerant species and lawns can be combined at landscaped areas. Live plant material shall be used extensively, gravel, colored rock, bark and similar materials are generally not acceptable as groundcover. An irrigation system is to be designed as part of the landscaping and should avoid overspraying roadways, buildings and walls.
 - Individual Site Plans shall have landscaping on at least fifteen percent of the net lot area.
- Landscape easement at entry shall include the 35' clear sight triangle.
 - A 10-foot wide landscape buffer (with trees at least 8-feet high at the time of planting) is required along property lines which abut residential zones. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone, and a minimum of a 6' high solid screen wall to screen parking, loading, refuse collection and delivery/storage areas is required where adjacent to residential zones.
 - A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.
 - Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.
 - 75% of landscape areas must be covered with living, vegetative material. High-water use turf must be limited in application to 20% of the landscaped area.



E. BUILDING SETBACKS

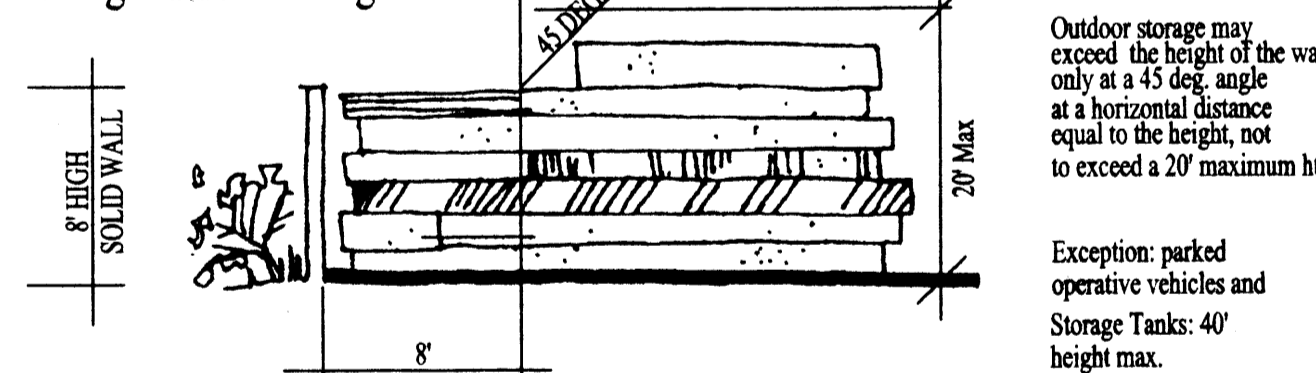
- Building setbacks at front/street to be 20' and at side and rear shall be 10'



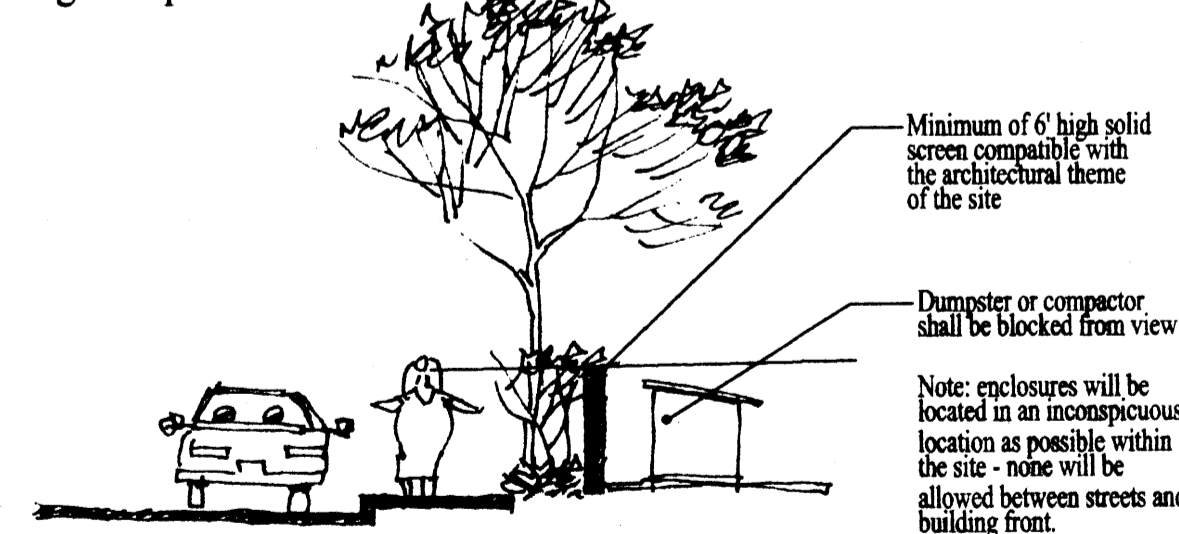
F. SCREENING AND SHADE

- Perimeter walls shall comply with the City's Design Manual for Subdivision Access and Perimeter Walls.
 - No chain link, razor wire (concertina) or plastic vinyl fencing is permitted.
 - Low walls 2 1/2 to 3' high shall be used to screen parking spaces adjacent to Eubank. The walls shall integrate with building materials/colors and shall comply with the City's Design Manual for Subdivision Access and Perimeter Walls.
 - Loading docks where they are adjacent to residential zones, shall be screened by walls and covers that are architecturally integrated with the building.
 - Refuse enclosures shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain link gates are not allowed.
 - Drive through facilities shall be shaded with architecturally integrated canopies.
- All outdoor storage shall be limited to 20 feet in height. Outdoor storage tanks shall be limited to 40' in height. All walls shall follow all wall criteria set forth in the City's Design Manual for Subdivision Access and Perimeter Walls.

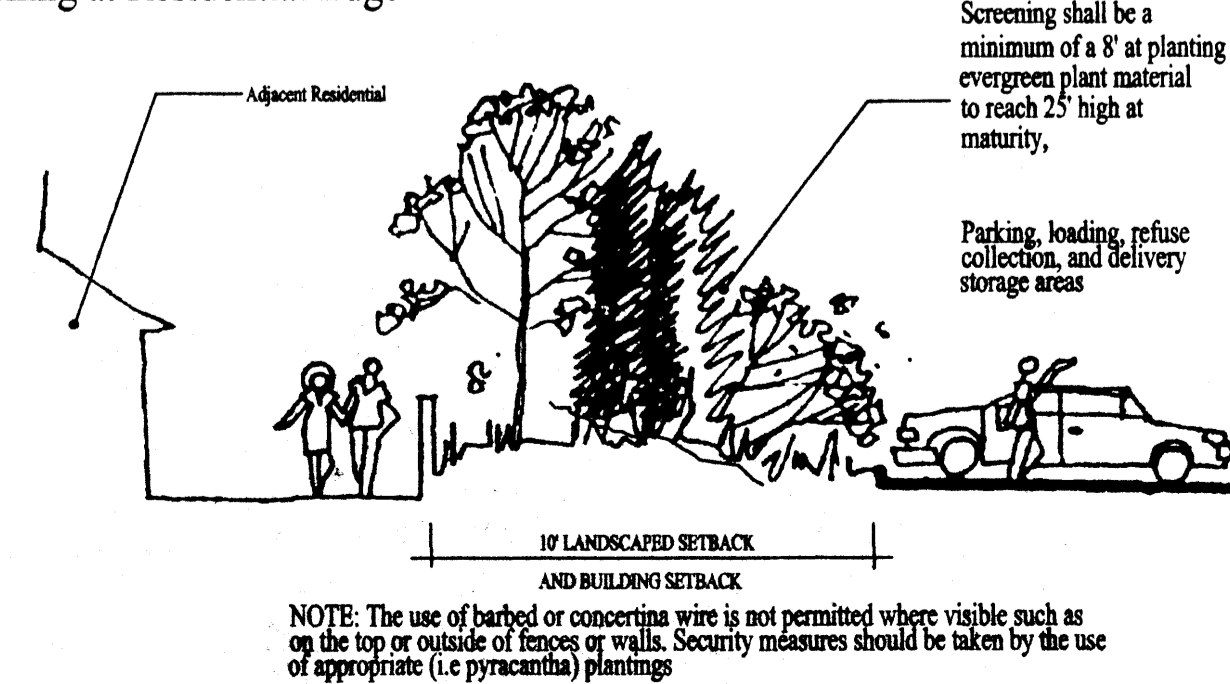
Screening Outdoor storage



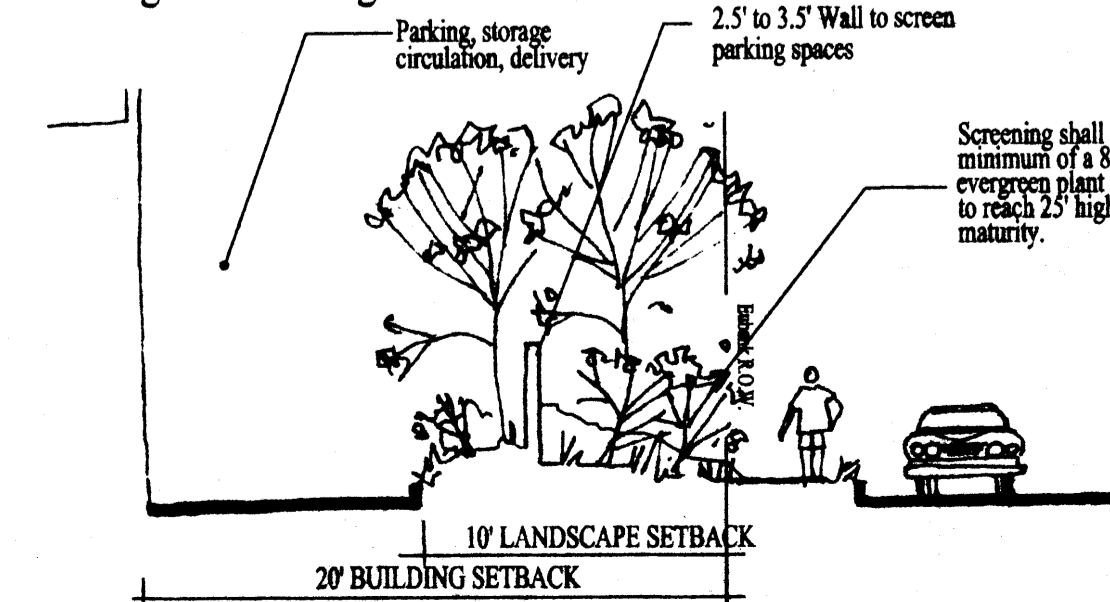
Screening Dumpster



Screening at Residential Edge



Screening at Street Edge



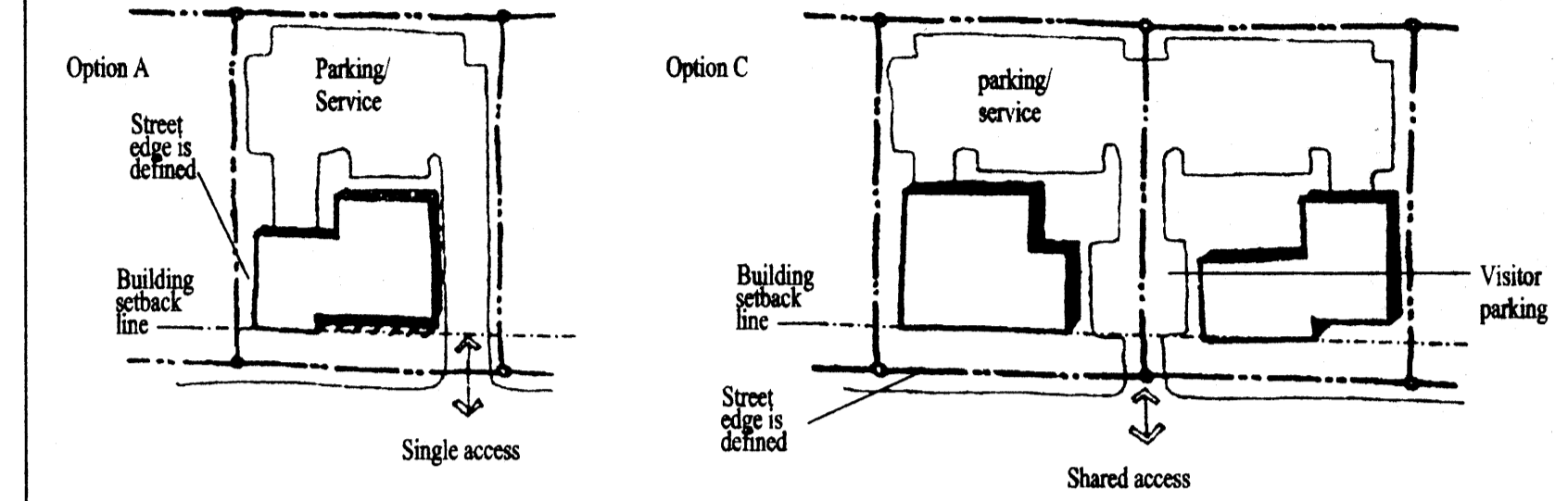
G. ARCHITECTURE

Architectural Expression

Building layouts shall provide continuity for the development and compatibility with adjacent buildings and streets. These controls are important to prevent any building from not fitting in with the design of the overall complex. All building design and exterior building treatments shall be architecturally compatible within individual site development plans and between buildings on separate sites. In this regard, the first project approved and developed will establish the architectural design direction for all subsequent buildings. This is not to imply that all buildings be identical, but should be designed to promote architectural harmony and compatibility in the development. Buildings should have a regional expression, integrating building height, massing and color.

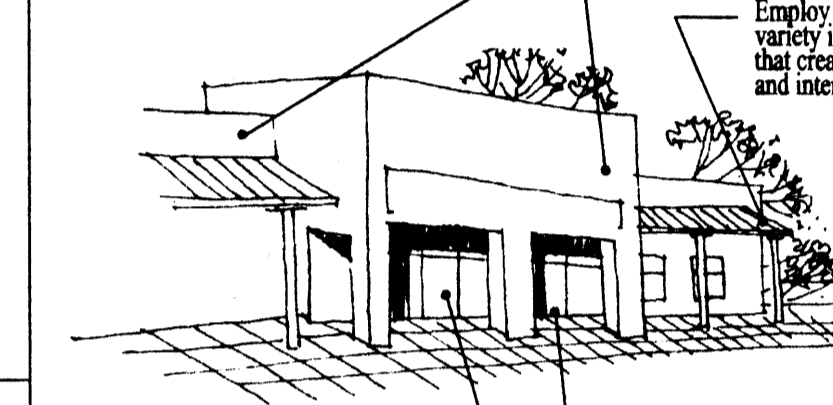
Layout Concepts

The following are recommended for building/site layout. Building footprints are encouraged at the building setback line to give definition to the street and complex while parking at the back of the lots are visually screened.

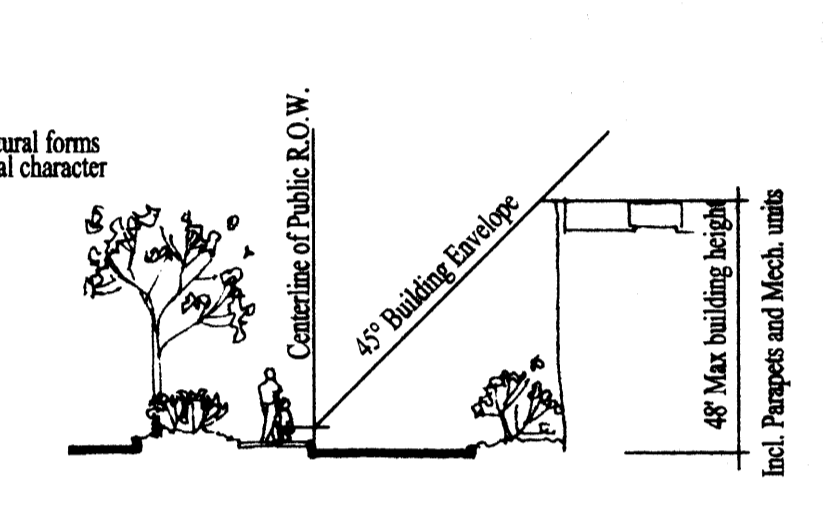


Regional Architectural Expression

Opaque building materials are to be consistent with those found in Albuquerque (i.e. stucco, stone, masonry, concrete)



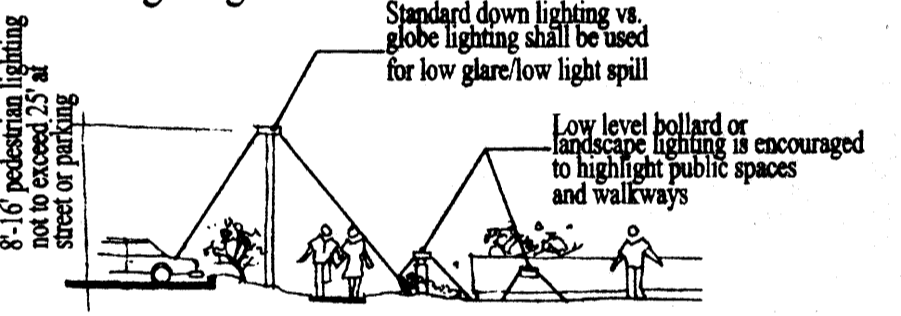
Building Height



Site Lighting

- Light fixtures shall be a maximum of 25 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All fixtures shall be full cut-off type to prevent fugitive light; no light source shall be visible from the site perimeter.
- Building design shall be architecturally integrated within the site and contextual to buildings within the vicinity.
- All canopies and ancillary structures shall be architecturally integrated with main buildings. Special consideration shall be given to roof structures, including materials.
- The top of all rooftop equipment shall be below the top parapet and screened from view from all property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. All visible roof penetrations shall be painted to match the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- No generic franchise building elevations or canopies are permitted.
- No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into building architecture.
- ATMs shall be architecturally integrated with building design.

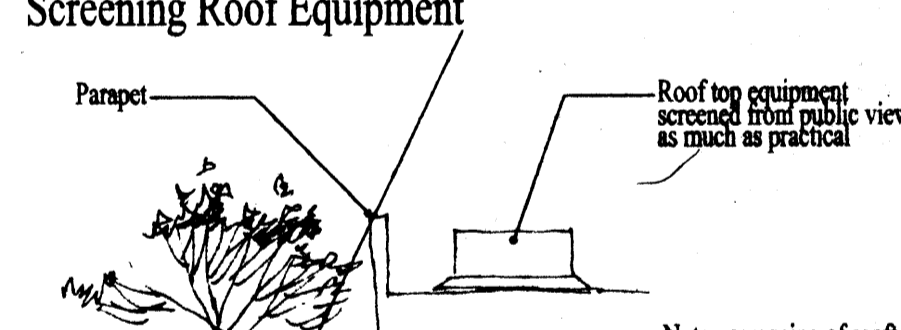
Site Lighting



Screening Roof Equipment

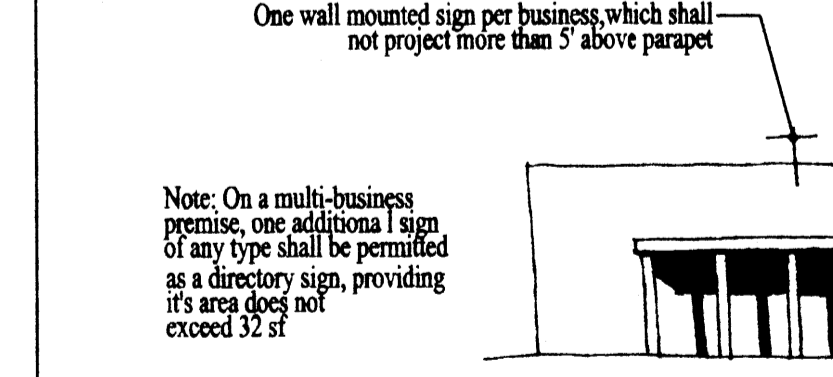
- Roof top equipment shall be screened from public view as much as practical.
- Visible rooftop penetrations shall be painted to match building and/or pitched roof color.

Screening Roof Equipment



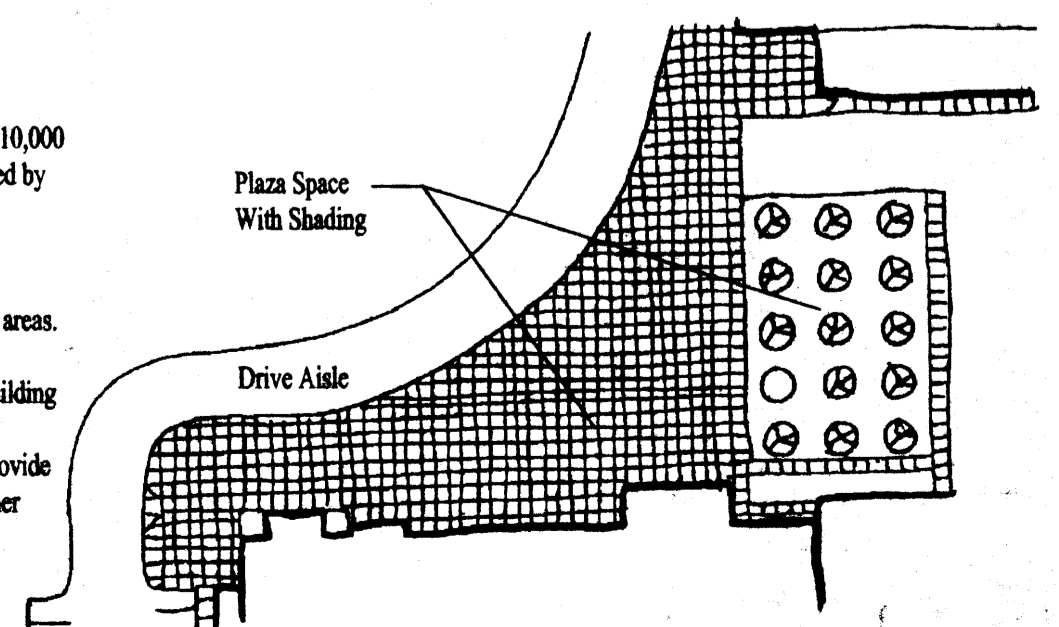
H. SIGNAGE

- Monument signs which are integrated with building colors and materials are the only freestanding signs allowed.
- Building mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos. All building signage shall be limited to a maximum area of 6% of the wall area the sign is mounted on. Maximum letter height shall be 3 feet.



I. EMPLOYEE SPACES: PLAZAS STORAGE MISCELLANEOUS

- An outdoor patio space, minimum 250 SF with tables and seating shall be provided for each occupied building over 10,000 square feet. The patio shall have adequate shading provided by trees and/or a shade structure that integrates with building architecture.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- A covered and secured bicycle storage area that is a minimum of 200 square feet in size is required for each building with 30 or more occupants per shift. Each building with 30 occupants or more per shift shall provide a convenient shower facility available to bicyclists and other employees.



1	9/7/00	EPC Staff Comments
2	10/24/00	per EPC comments
	11/14/00	