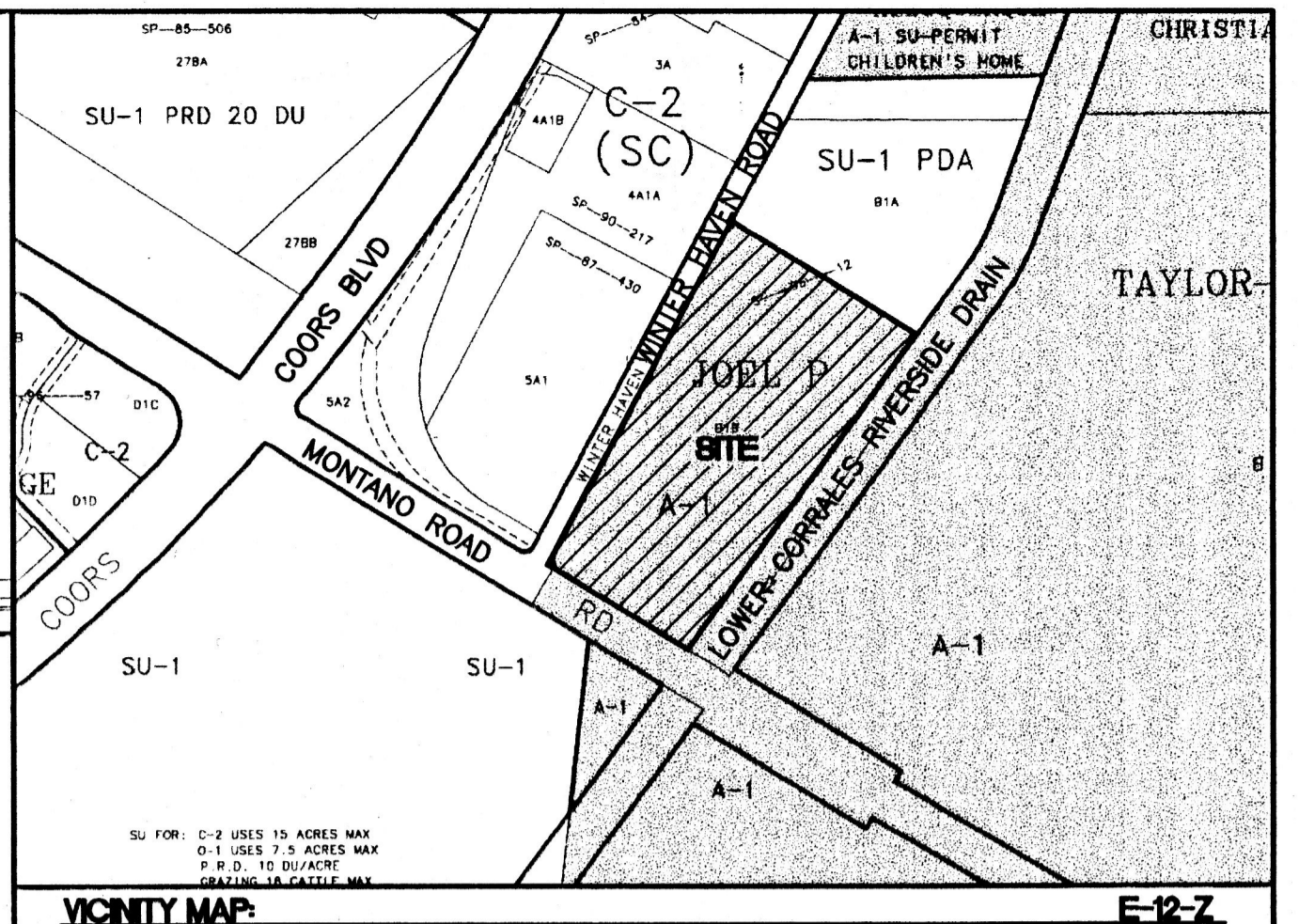


CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	37.79	25.00	86°35'50"	23.56	S14°55'48"E	34.29



**LEGAL DESCRIPTION:**  
TRACT B-1B LAND JOEL P. TAYLOR

**LEGEND**

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED TRAIL
- PROPOSED CMU BLOCK WALL
- PROPOSED WROUGHT IRON FENCE
- PROPOSED STREET LIGHT
- EXISTING COTTONWOOD TREE
- PROPOSED EXPOSED CONCRETE PEDISTRIAN CROSSING

**SITE DATA**

ZONING:	SU-1 PDA
PROPOSED USAGE:	SINGLE FAMILY RESIDENTIAL
LOT AREA:	435,482.46 SF (9.997 ACRES)
DENSITY:	6.10 UNITS/ACRE
TOTAL LOTS:	61
TOTAL LANDSCAPING:	225,546 SF ±
OFF-STREET PARKING:	21 SPACES
OPEN SPACE CALC.:	61 UNITS @ 1310 SF = 79,910 SF
TOTAL REQUIRED:	79,910 SF
OPEN SPACE 61 UNITS:	98,515 SF
OPEN SPACE BUFFERS:	94,655 SF
MISC. OPEN SPACE PROVIDED:	32,378 SF
TOTAL OPEN SPACE PROVIDED:	225,546 SF

**PROJECT NO. 1000556**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 10/18/00 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

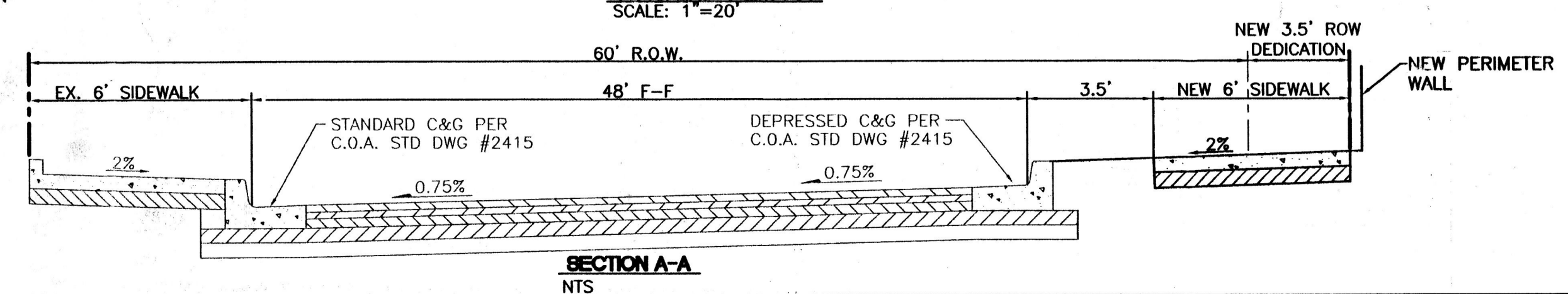
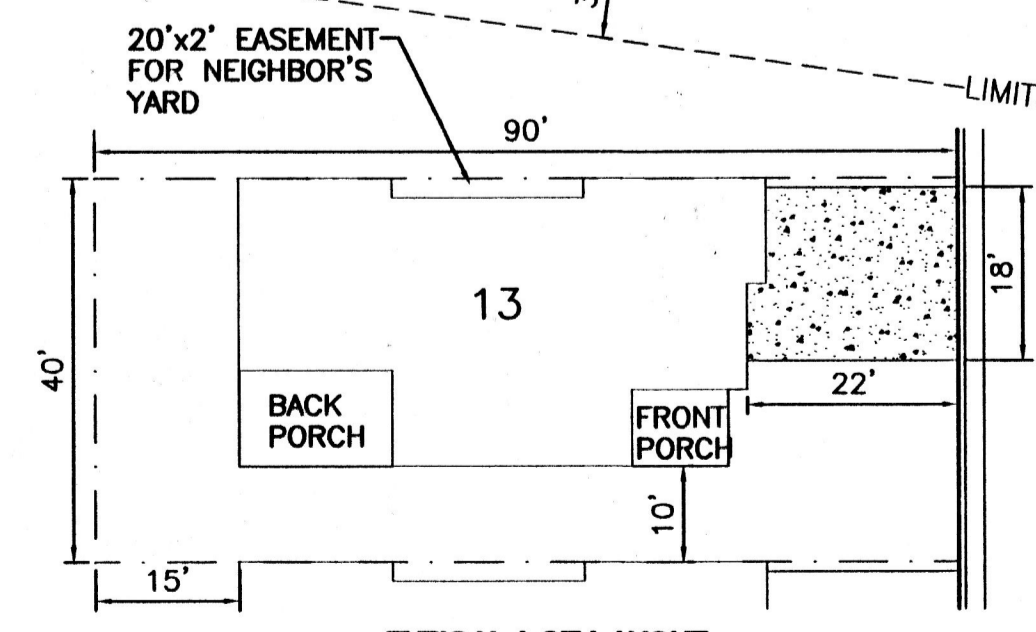
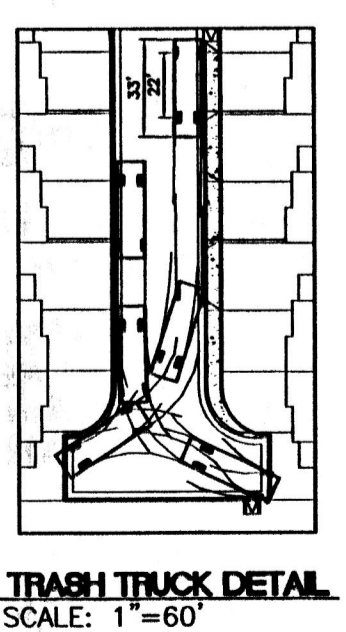
**SITE DEVELOPMENT PLAN**

<i>Paul D. ...</i>	10/18/00
Traffic Engineer, Transportation Division	Date
<i>Adriana E. ...</i>	10/18/00
Parks and Recreation	Date
<i>Bradley B. ...</i>	10/18/00
Public Works, Water Utilities Division	Date
<i>Bradley B. ...</i>	2/15/01
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner Albuquerque / Bernalillo County Planning Division  
PLNZ (10706) 4/96

- GENERAL NOTES:**
- WALLS:  
A 4" SCREEN WALL WILL BE PROVIDED BETWEEN CLUSTER LOTS WITH AN 18" MAXIMUM RETAINAGE BETWEEN GRADES  
A 5" SCREEN WALL AND WROUGHT IRON FENCE SHALL BE PROVIDED AROUND THE PERIMETER.  
ALL CMU BLOCK WALLS SHALL BE STUCCOED TO MATCH BUILDINGS.
  - SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED HPS FIXTURES TO THE GREATEST EXTENT POSSIBLE. LIGHTING SHALL BE BUILDING-MOUNTED. LIGHTING SHALL BE CONTROLLED BY PHOTO-CELLS AND/OR TIME CLOCKS AS MAY BE APPROPRIATE. POST LIGHTING SHALL BE 15' MAXIMUM HEIGHT. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES.
  - CURBS AND GUTTERS:  
4" MOUNTABLE CURB AND GUTTER WILL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE CONVEYANCE.
  - BUILDING HEIGHT: STRUCTURE SHALL NOT EXCEED 26 FEET IN HEIGHT.
  - ALL OF THE STREETS ARE PRIVATE AND WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
  - THERE SHALL BE NO DIRECT ACCESS TO MONTANO.
  - ALL BUILDING PERMIT SUBMITTALS SHALL CONTAIN THE EPC SIGNED OFF SITE PLAN.
  - ANY ONE FOOTPRINT OR ELEVATIONS MAY BE USED IN ANY LOT, BUT MUST FIT IN THE SETBACKS.
  - ALL EXISTING COTTONWOOD TREES SHOWN MUST REMAIN. A PERVIOUS AREA BELOW THE CANOPY OF EACH TREE SHALL BE PRESERVED FOR THE MAJORITY OF THE DROP AREA BELOW THE TREE.
  - INDIVIDUAL ROLL-OUT CARTS WILL BE UTILIZED FOR SOLID WASTE PICK-UP. CARTS SHALL BE STORED OUT OF VISIBILITY FROM THE ROADWAY, EITHER IN GARAGES OR REAR YARDS. DECLARATIONS OF COVENANTS AND RESTRICTIONS SHALL REQUIRE THAT THE HOMEOWNER IS RESPONSIBLE FOR KEEPING CARTS OUT OF VIEW.
  - ALL TRASH CARTS WILL BE ROLLED TO RIVERWALK DRIVE FOR EASY PICKUP.
  - ALL REAR YARD LANDSCAPING TO BE COMPLETED BY THE OWNER.



**MIRGCD NOTES:**

- The Homeowner's Association will repair any damage that occurs to the Lower Corrales Riverside Drain, due to an overflow from the on-site retention ponds.
- Due to the site's close proximity to the Rio Grande, fluctuations in the water table may occur. These fluctuations may raise the water table and cause seepage into the retention ponds. The Middle Rio Grande Conservancy District has no control over or responsibility for seepage from the water table. This may cause the on-site ponds' capacity to be decreased.

MIRGCD APPROVAL

**SHEET INDEX**

- SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT
- LANDSCAPING PLAN
- LANDSCAPING DETAILS
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- EXTERIOR ELEVATION CRITERIA

**GRAPHIC SCALE**

SCALE: 1" = 40'

APPROVED - SOLID WASTE *John ...* DATE 3-15-01

ENGINEER'S SEAL

**BOSQUE MONTANO**



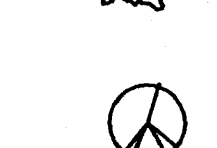

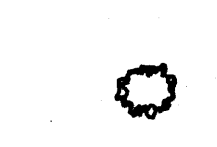
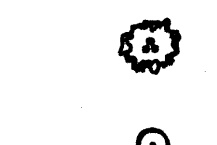



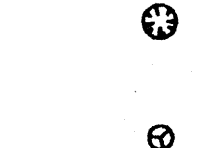
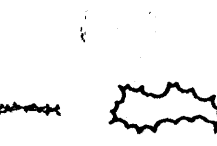

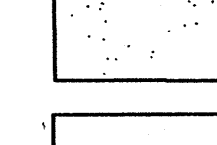
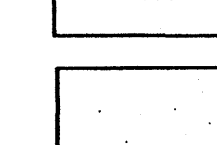


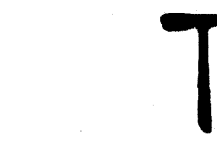

**SITE PLAN FOR BUILDING PERMIT AND SUBDIVISION**

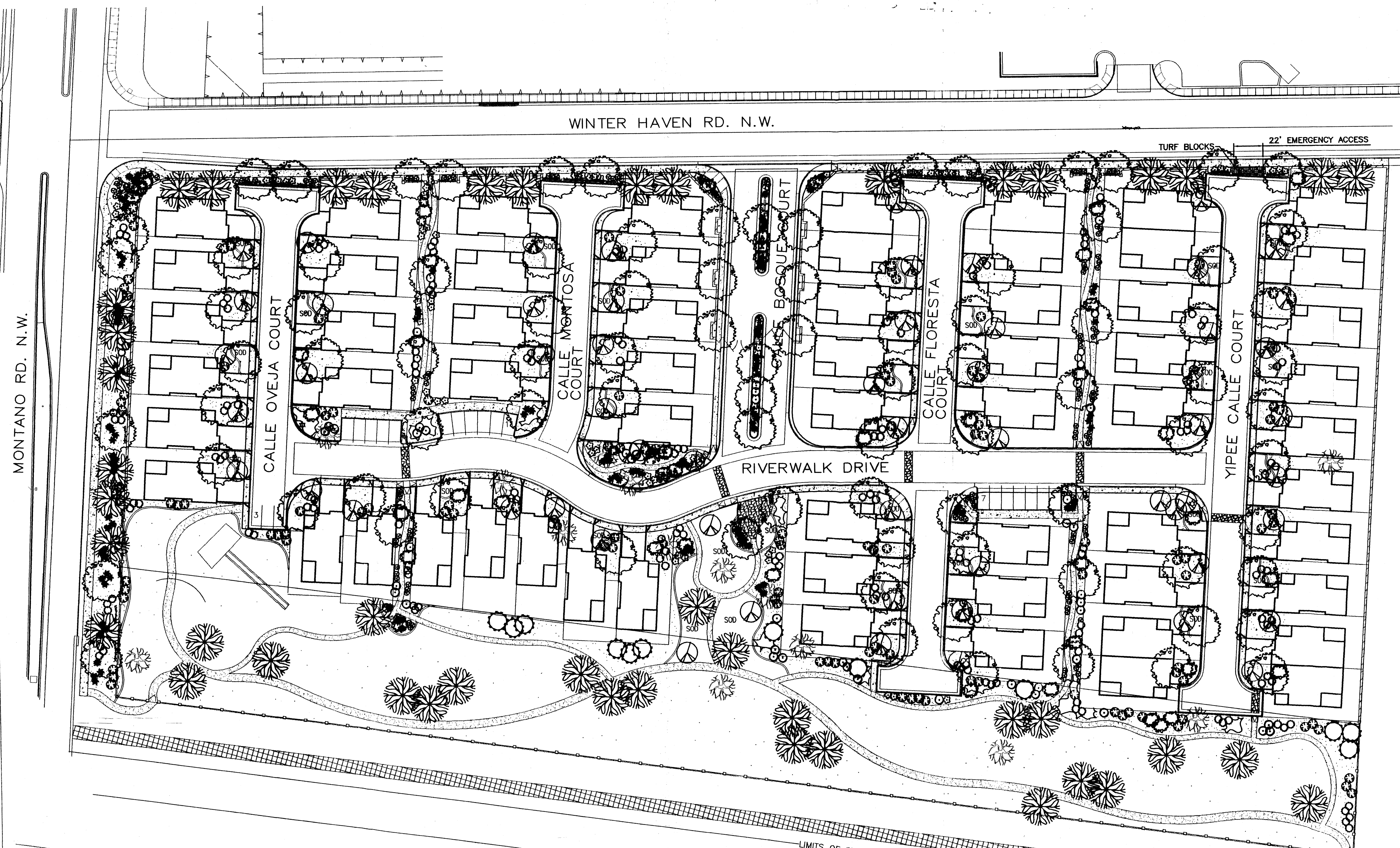
**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

DRAWN BY JDN  
DATE 10-18-00  
2041SP3.DWG  
SHEET # 1 OF 8  
JOB # 200041

PROJ 1000556

**PLANT LEGEND**

-  COTTONWOOD (H) 45  
Populus spp.  
2" Cal
-  ASH(H) OR HONEY LOCUST (H) 65  
Fraxinus pennsylvanica  
Gleditsia triacanthos  
2" Cal
-  FLOWERING CRABAPPLE (M) 29  
Pyrus calleryana  
2" Cal
-  DESERT WILLOW (M) 12  
Chilopsis linearis  
5 gal
-  NEW MEXICO OLIVE (M) 20  
Forestiera neomexicana  
5 gal
-  WASHINGTON HAWTHORN (H) 11  
Crataegus phenopyrum
-  RUSSIAN SAGE (M) 45  
Perovskia atriplicifolia  
5 gal
-  THREE-LEAF SUMAC (M) 78  
Rhus trilobata  
5 gal
-  CORAL BEAUTY COTONEASTER (M) 58  
Cotoneaster spp.  
5 gal
-  MAIDEN GRASS (M) 48  
Miscanthus sinensis  
5 gal
-  CHAMISA (L) 64  
Chrysothamnus nauseosus  
1 gal
-  WILDFLOWER 130  
1 gal
-  HONEYSUCKLE (M) 103  
Lonicera japonica  
1 gal
-  OVERSIZED GRAVEL  
& BOULDERS
-  3/8" GREY GRAVEL  
W/ FILTER FABRIC
-  SOD
-  CRIMP STRAW NATIVE SEED
-  COMMERCIAL GRADE  
STEEL EDGING



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

7/8" Crushed Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters  
Shrubs to receive (2) 1.0 GPH Drip Emitters  
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

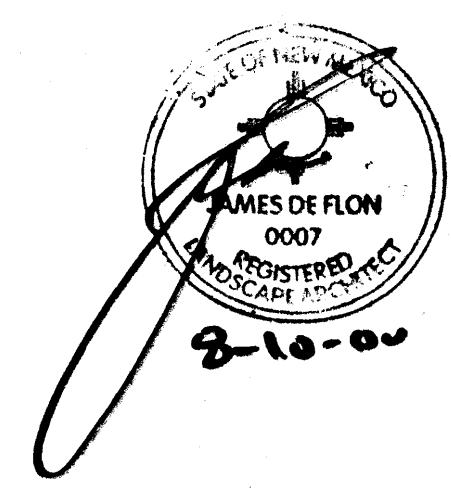
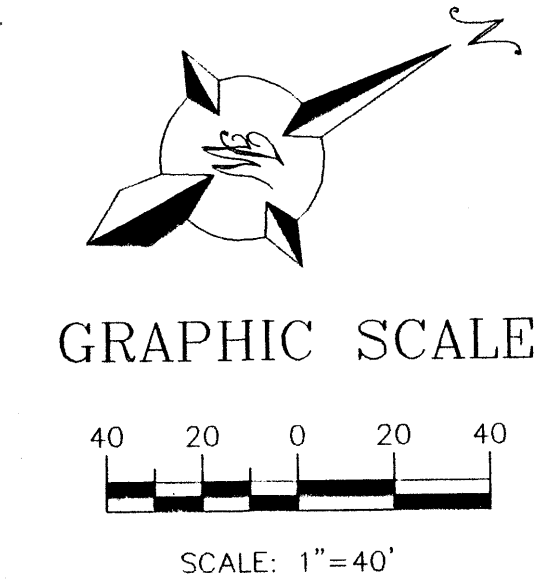
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE CALCULATIONS**

TOTAL LANDSCAPE REQUIREMENT	79,910 square feet
TOTAL LANDSCAPE PROVIDED	225,549 square feet

FRONT AND REAR YARD LANDSCAPING TO BE DONE BY OWNER



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-8890  
Fax (505) 898-7737  
it@hilltoplandscaping.com

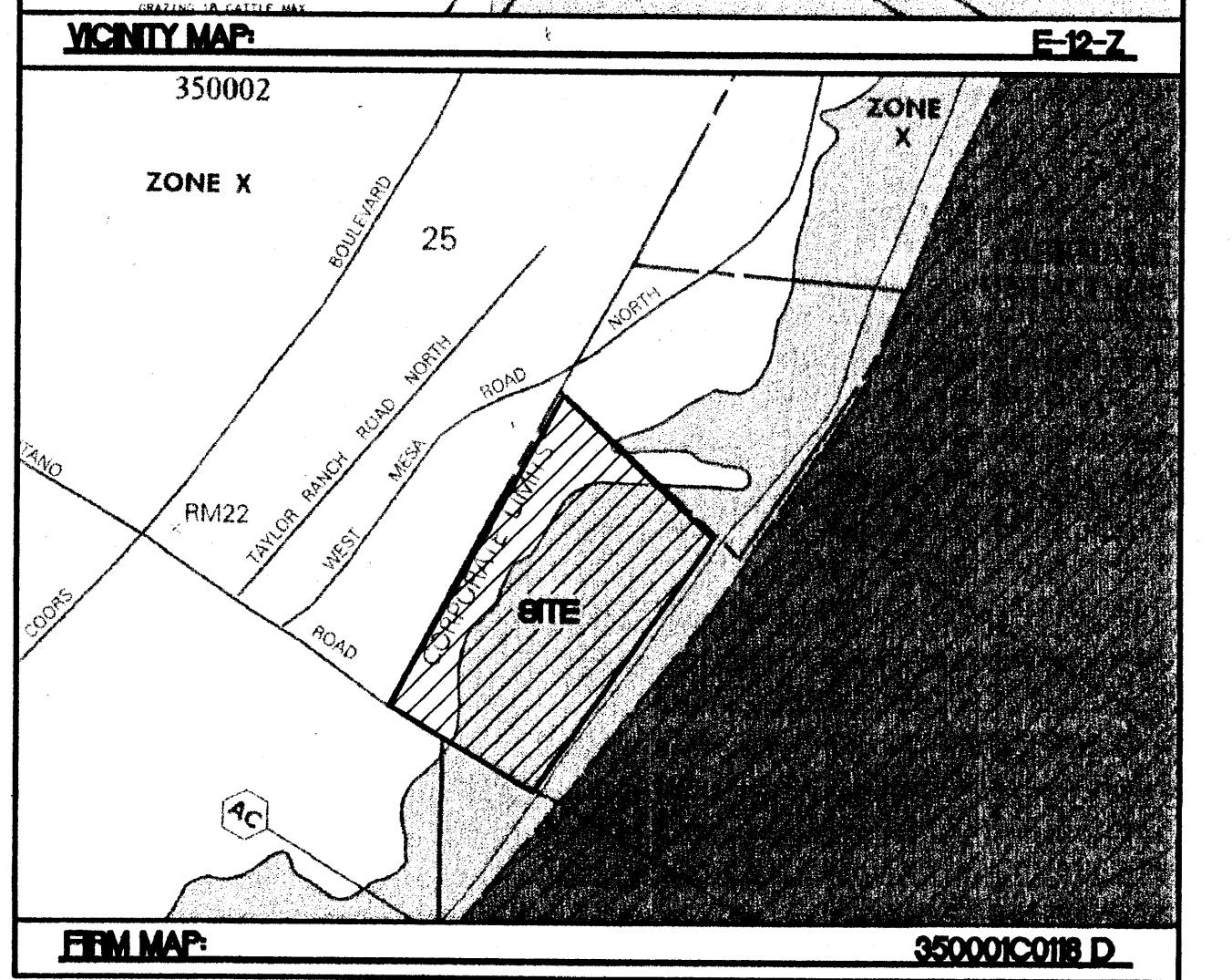
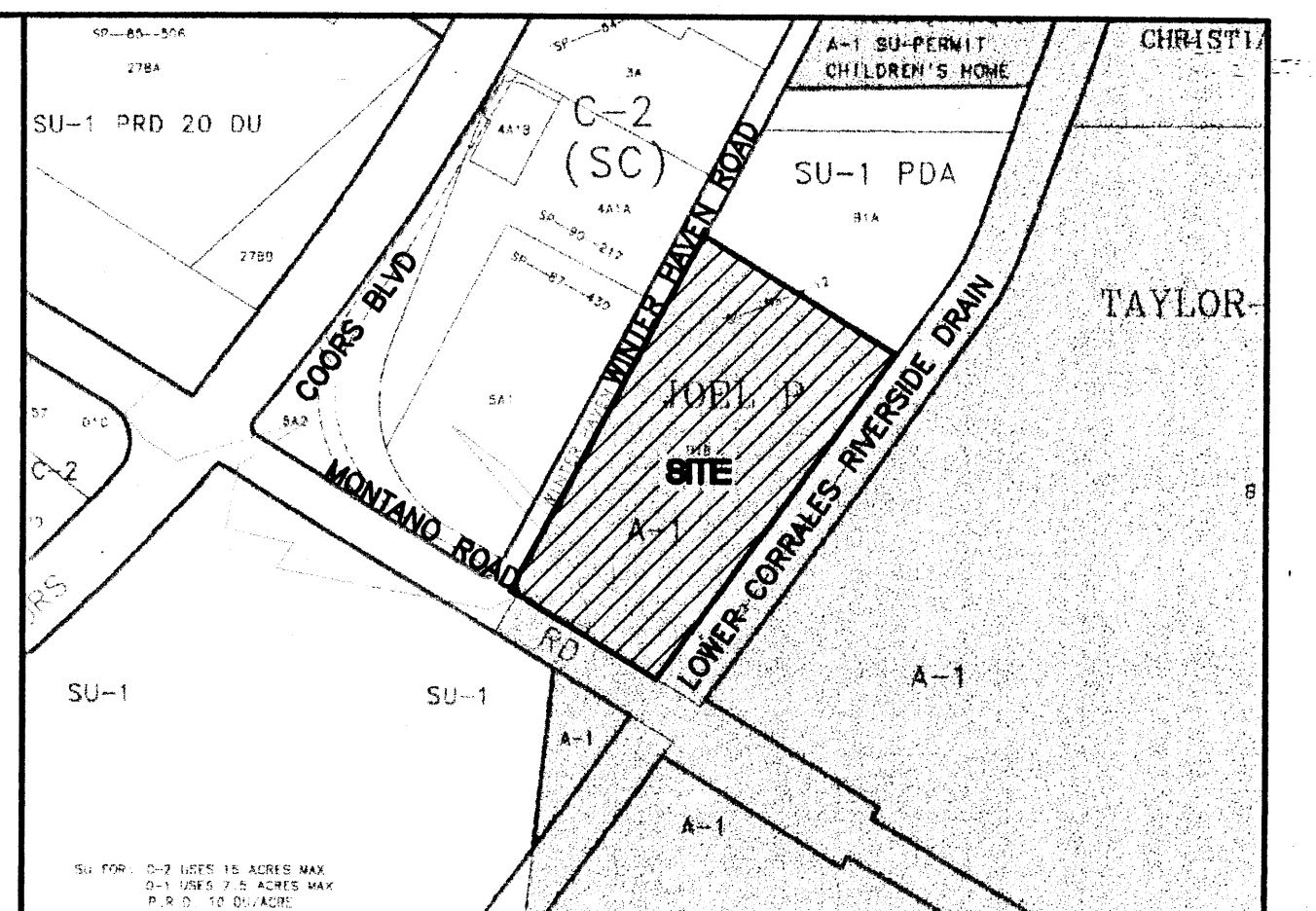
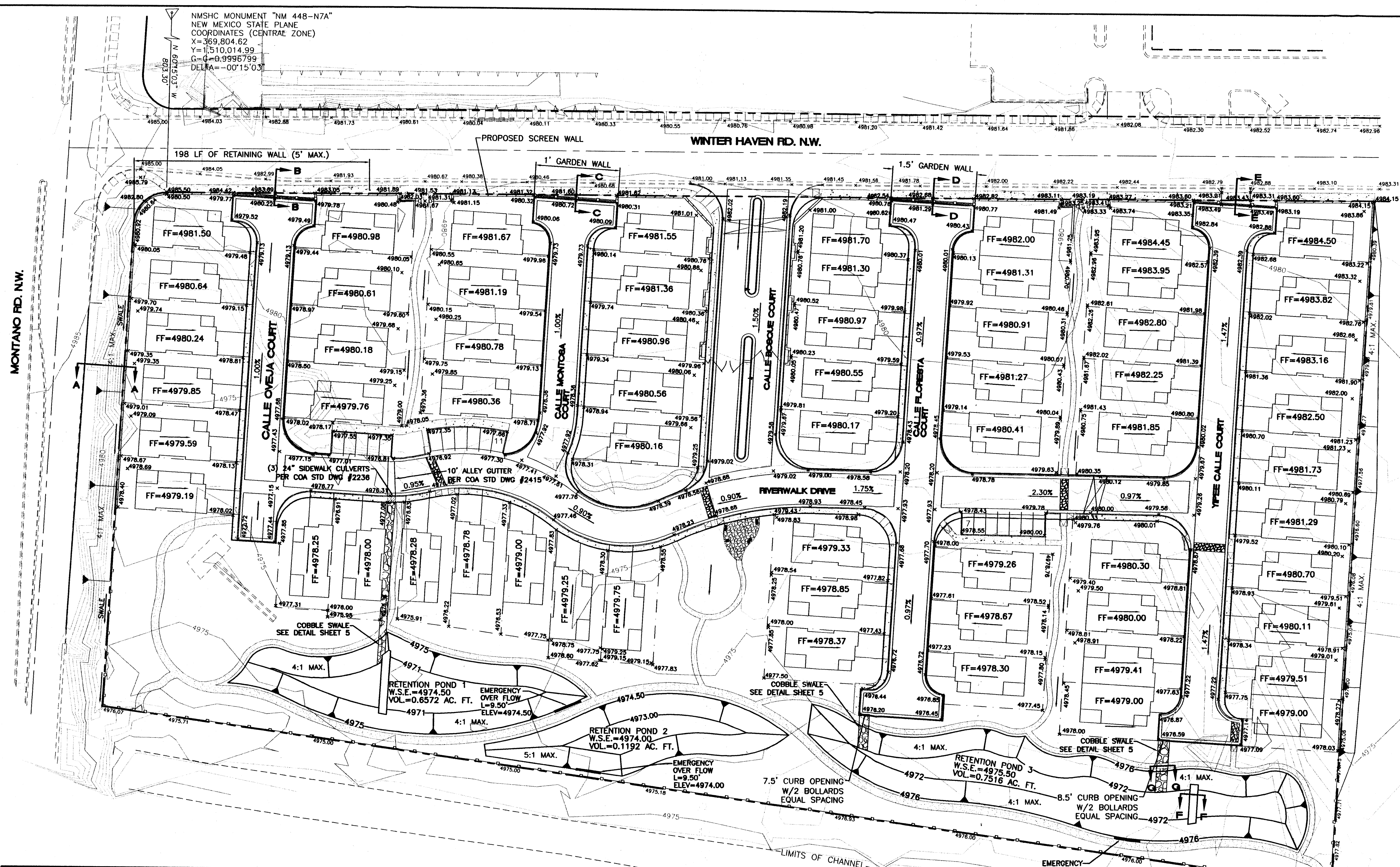
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THE HILLTOP

LANDSCAPE ARCHITECT SEAL	BOSQUE MONTANO	DRAWN BY IRT
	LANDSCAPE PLAN	DATE 08-02-00
JAMES DEFLON # 0007	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 2 OF 8
		JOB # 200041



NMSHC MONUMENT "NM 448-N7A"  
 NEW MEXICO STATE PLANE  
 COORDINATES (CENTRAL ZONE)  
 X=369,804.62  
 Y=1,510,014.99  
 G=0.9996799  
 DELTA=-00'15.03"



**LEGAL DESCRIPTION:**  
 TRACT B-1B LAND JOEL P. TAYLOR

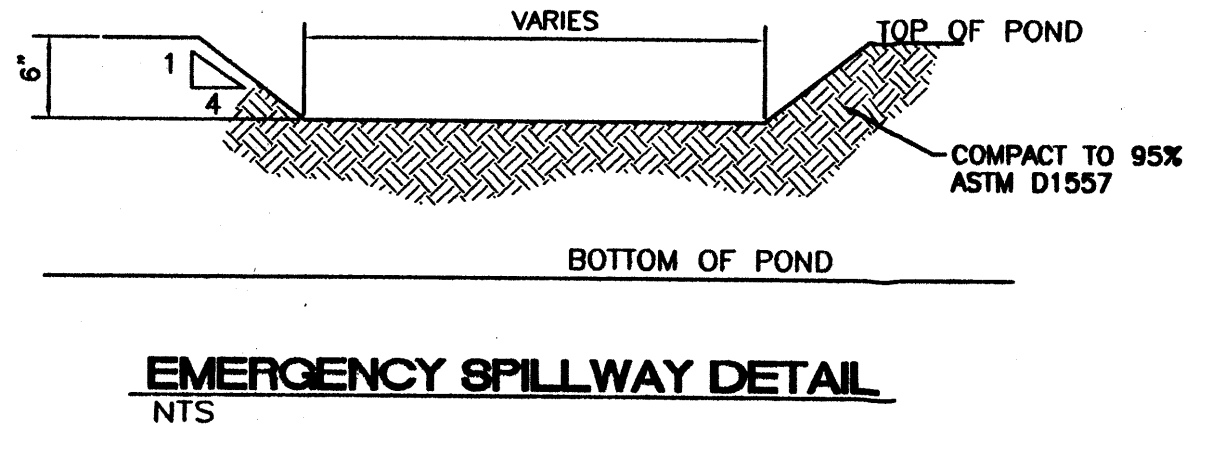
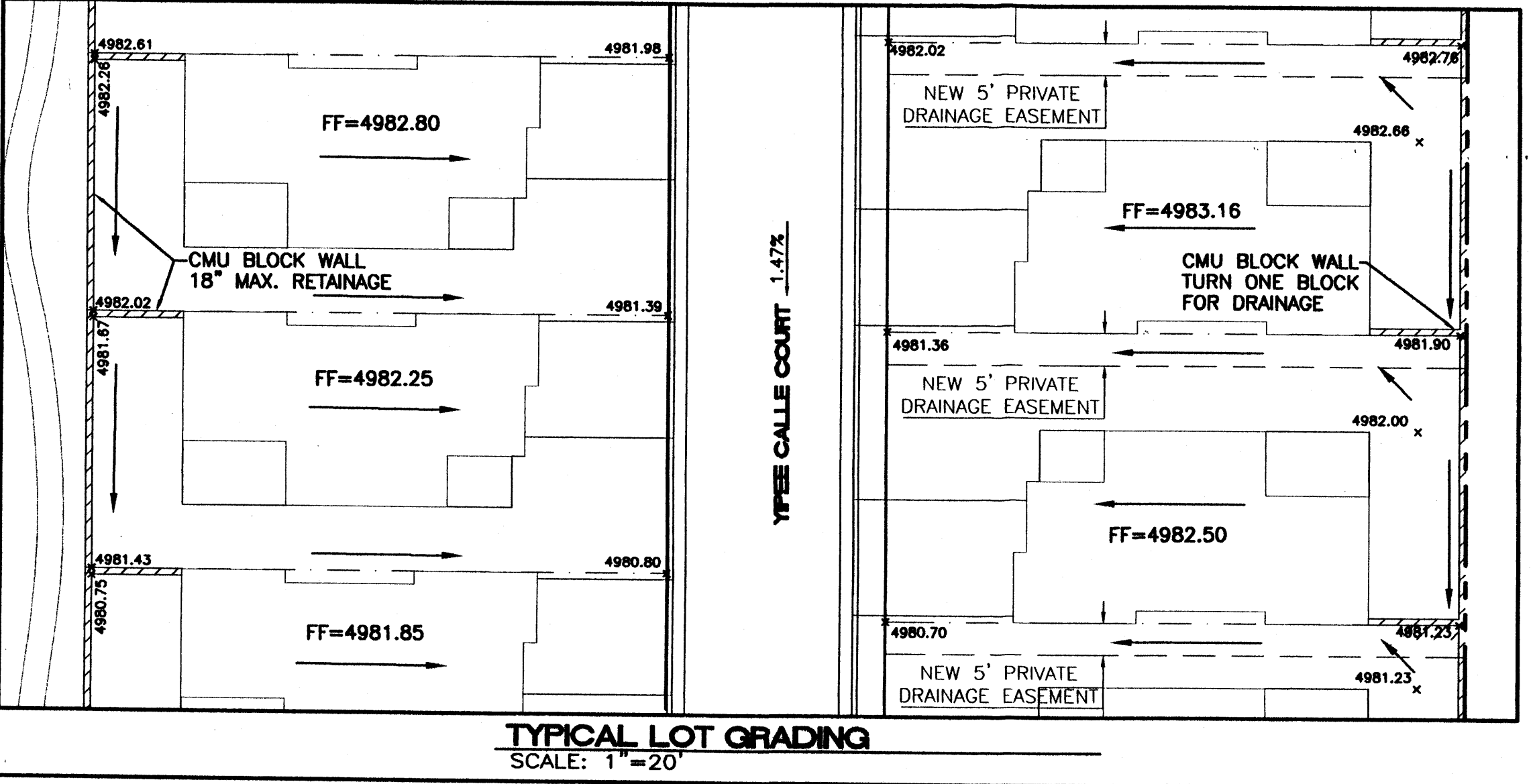
- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- GENERAL NOTES:**
- EXISTING TREES SHALL BE SURROUNDED BY 6' CHAINLINK FENCE PLACED AT THE CANOPY LINE.
  - SEVERAL PADS WILL NEED EXTENDED FOOTINGS ON THE COMMON LOT LINE.
  - SEE SHEET 5 FOR CROSS-SECTIONS AND DETAILS.

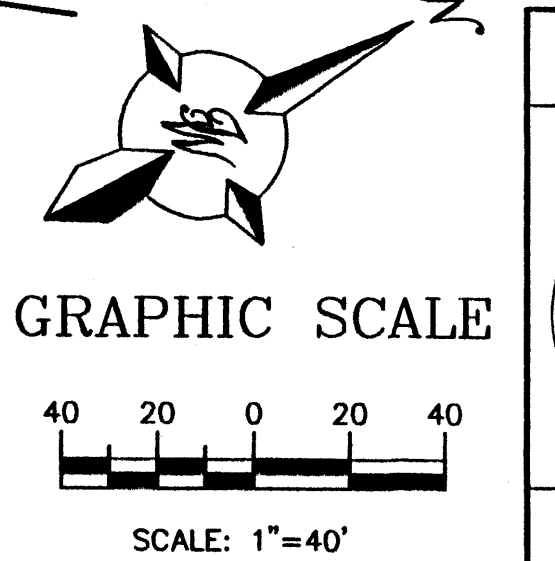
- MRGCD NOTES:**
- THE HOMEOWNER'S ASSOCIATION WILL REPAIR ANY DAMAGE THAT OCCURS TO THE LOWER CORRALES RIVERSIDE DRAIN DUE TO AN OVERFLOW FROM THE ON-SITE RETENTION PONDS.
  - DUE TO THE SITE'S CLOSE PROXIMITY TO THE RIO GRANDE RIVER, FLUCTUATIONS IN THE WATER TABLE MAY OCCUR. THESE FLUCTUATIONS MAY RAISE THE WATER TABLE AND CAUSE SEEPAGE INTO THE RETENTION PONDS. THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT HAS NO CONTROL OVER OR RESPONSIBILITY FOR SEEPAGE FROM THE WATER TABLE. THIS MAY CAUSE THE ON-SITE PONDS' CAPACITY TO BE DECREASED.

*[Signature]* 2/14/01  
 MRGCD APPROVAL DATE

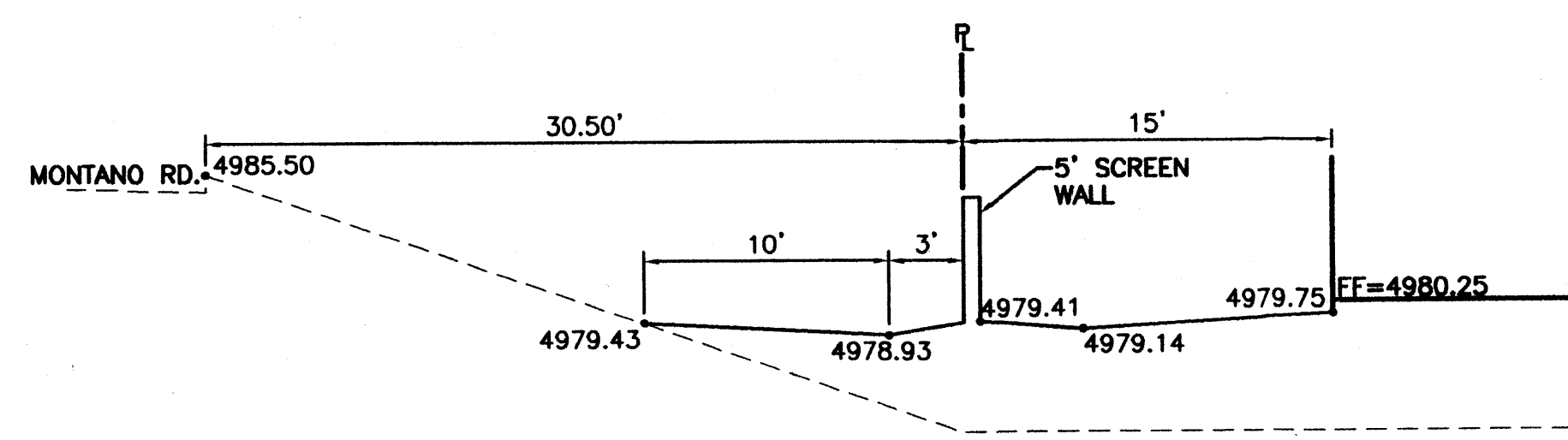
ROUGH GRADING APPROVAL DATE



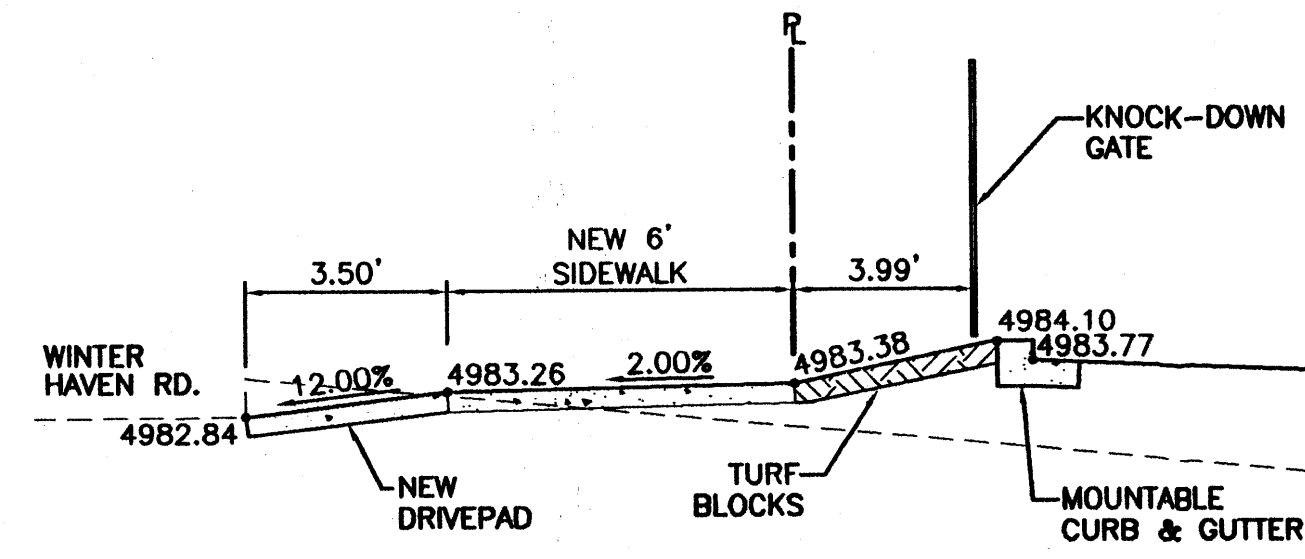
- LEGEND**
- EXISTING CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED SIDEWALK
  - EXISTING INDEX CONTOUR
  - EXISTING CONTOUR
  - PROPOSED SCREEN WALL



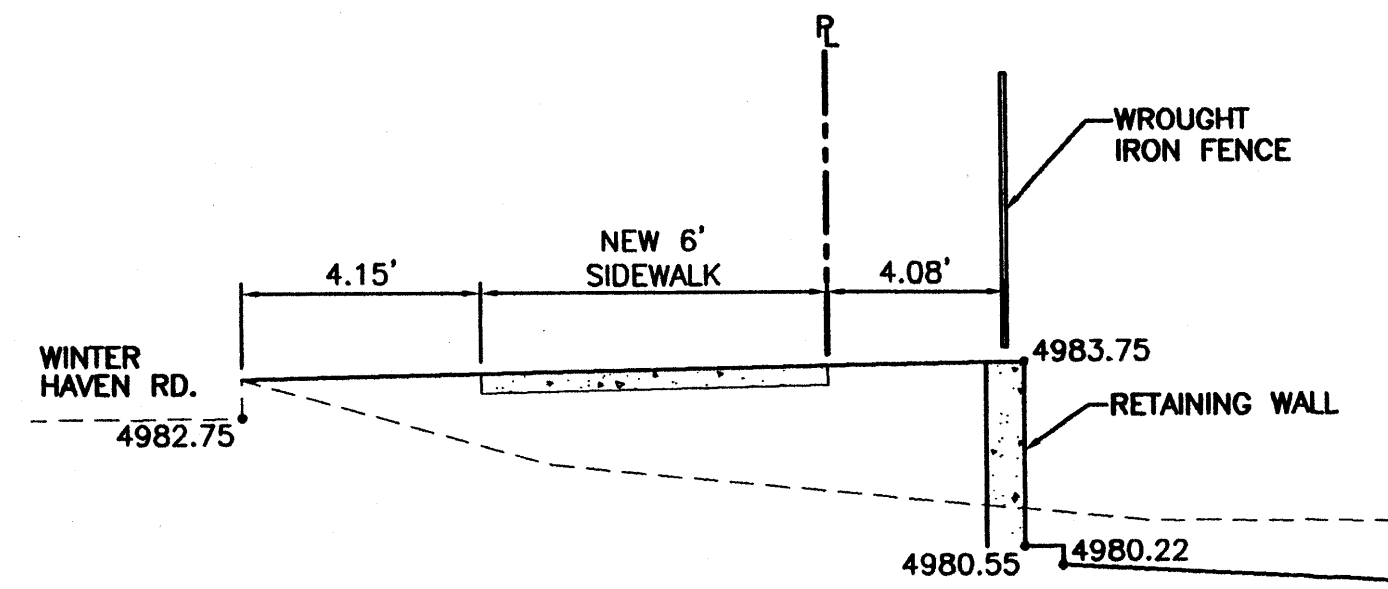
	<b>BOSQUE MONTANO</b> <b>GRADING AND DRAINAGE PLAN</b> TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY JDN DATE 02-02-01 2041GR.DWG
		SHEET # 4 OF 8 JOB # 200041



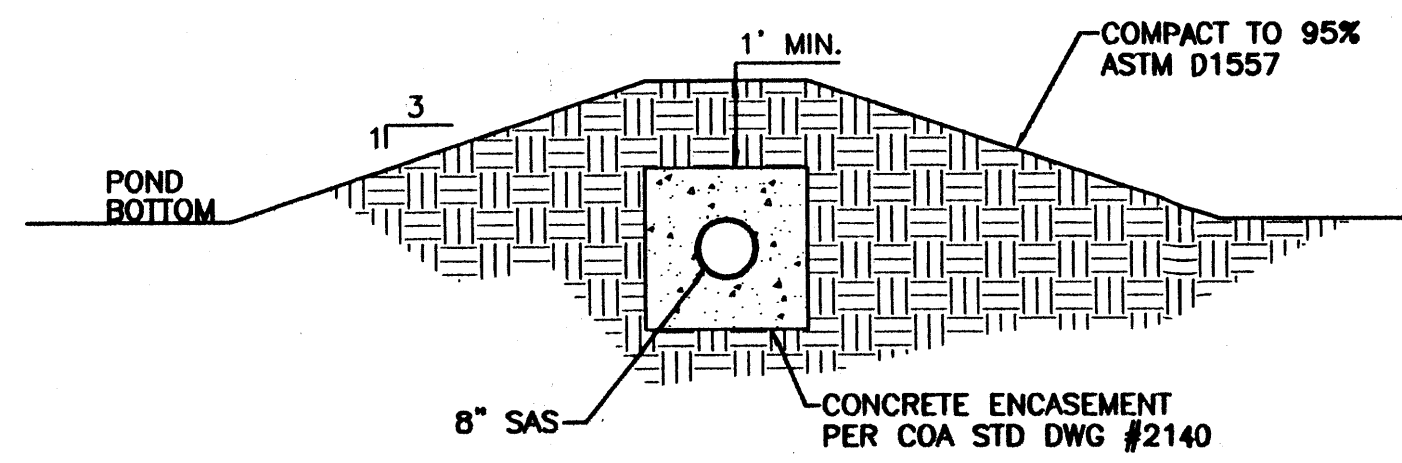
**SECTION A-A**  
SCALE: 1"=10'



**SECTION E-E**  
SCALE: 1"=5'

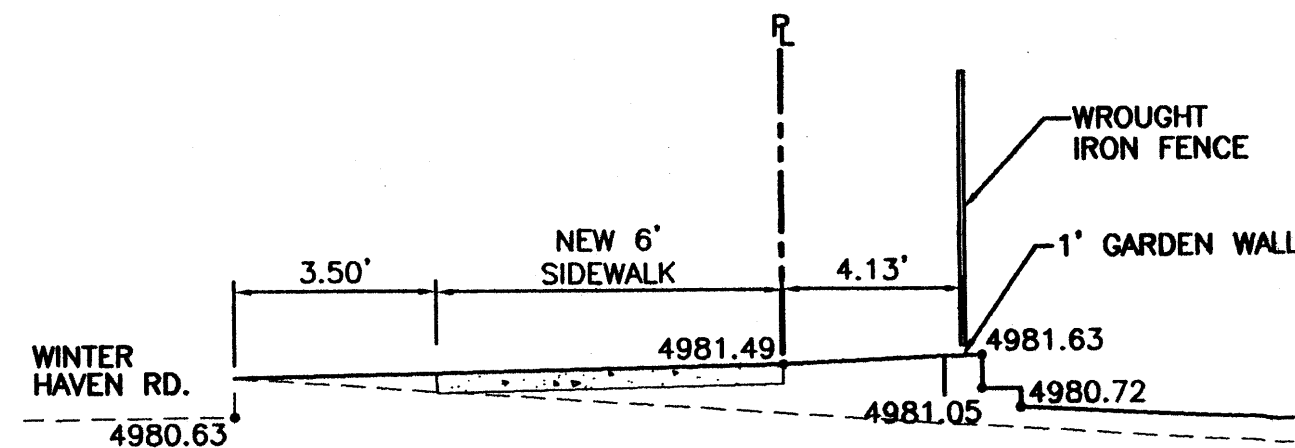


**SECTION B-B**  
SCALE: 1"=5'

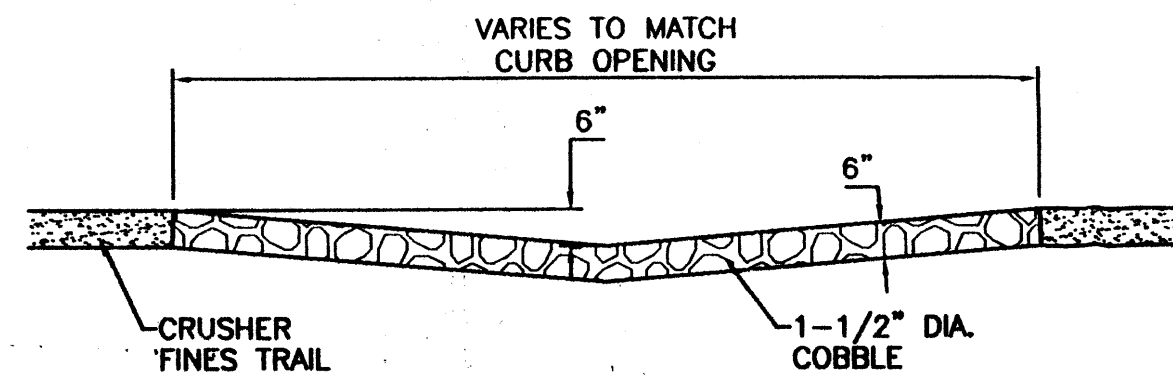


NOTE:  
PLACE ADDITIONAL #4 REBARS @ 6" O.C. ACROSS  
TOP AND 3-#4 REBARS CONTINUOUS ALONG TOP.

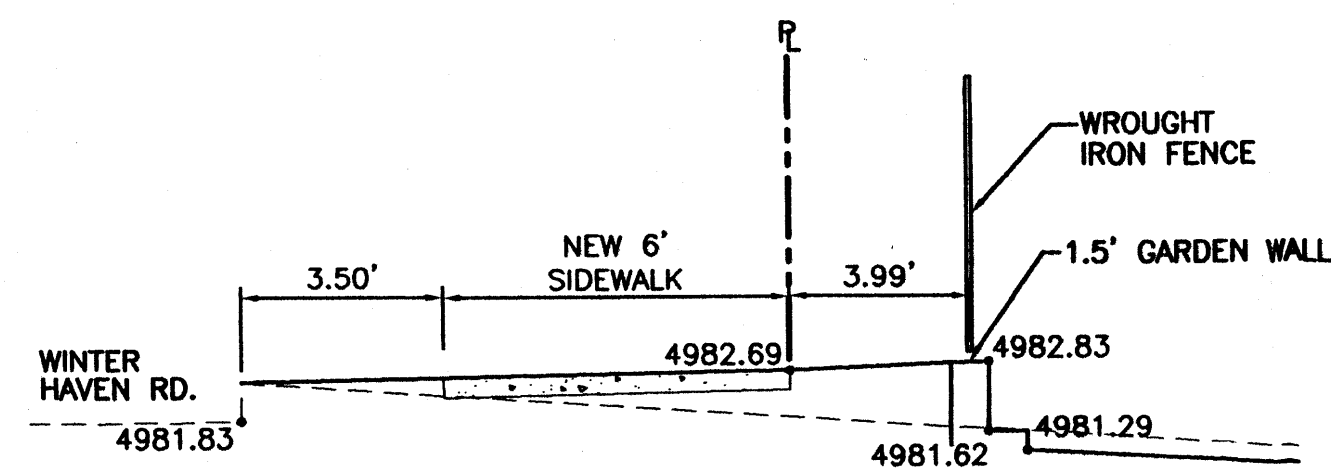
**SECTION F-F**  
NTS



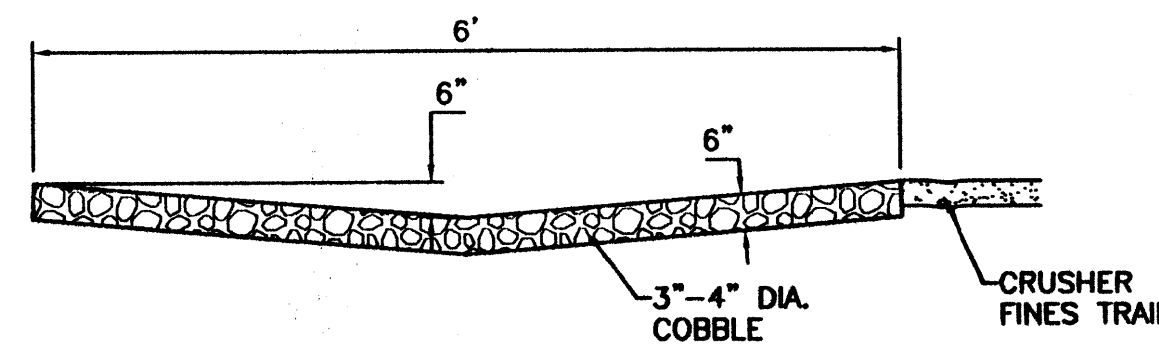
**SECTION C-C**  
SCALE: 1"=5'



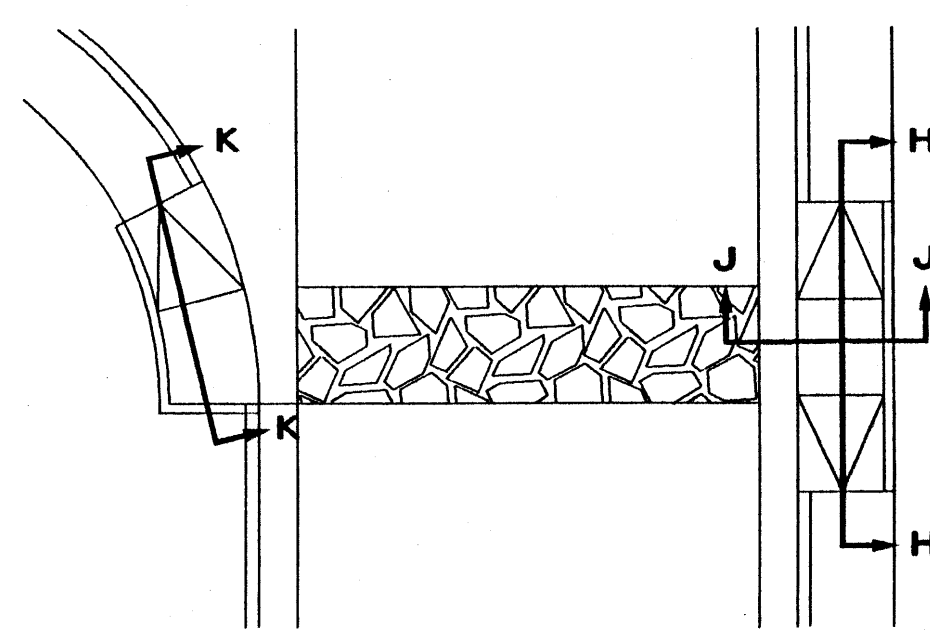
**SECTION G-G**  
**SWALE AT TRAIL CROSSINGS**  
NTS



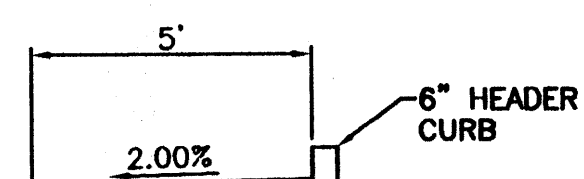
**SECTION D-D**  
SCALE: 1"=5'



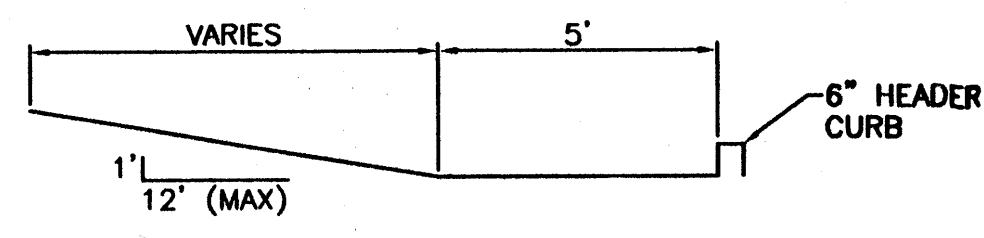
**SECTION H-H**  
**COBBLE SWALE RUNDOWN DETAIL**  
NTS



**WHEELCHAIR RAMP DETAIL**  
NTS



**SECTION J-J**  
NTS



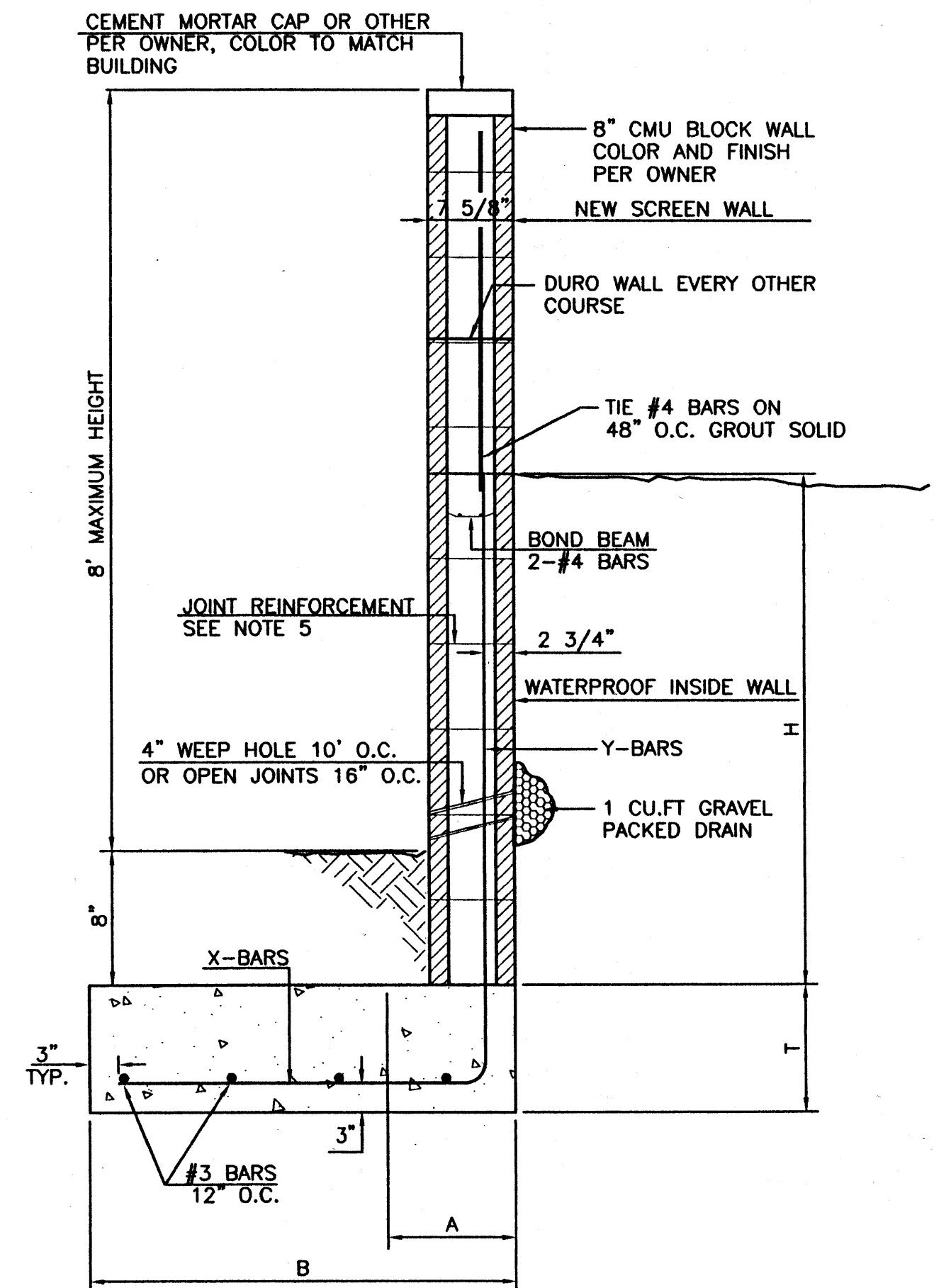
**SECTION K-K**  
NTS

**GENERAL NOTES:**

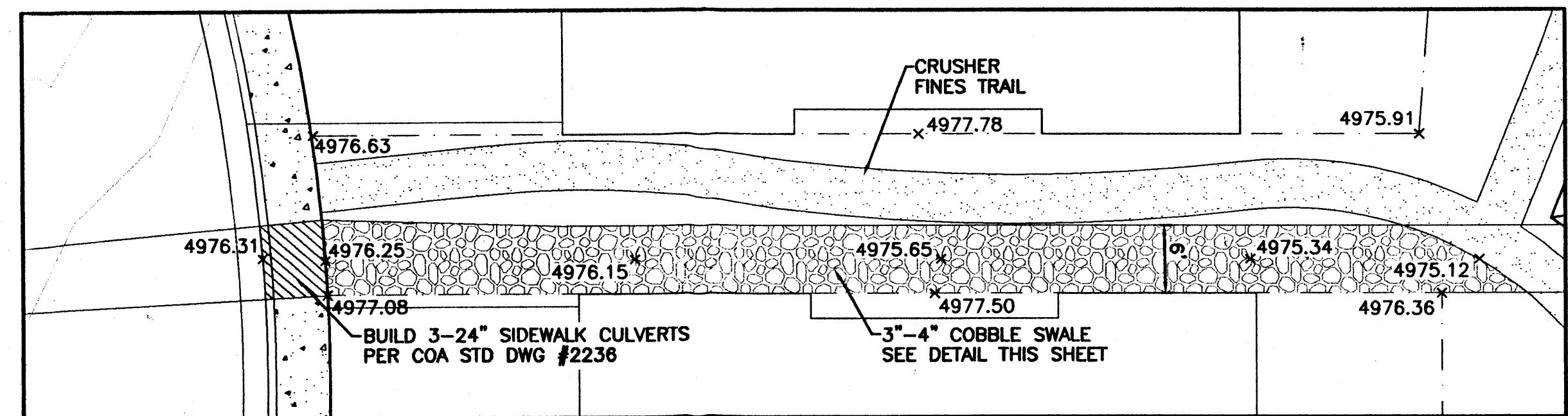
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

**8 INCH REINFORCED CONCRETE MASONRY WALL  
(FOR RETAINING PORTION ONLY)**

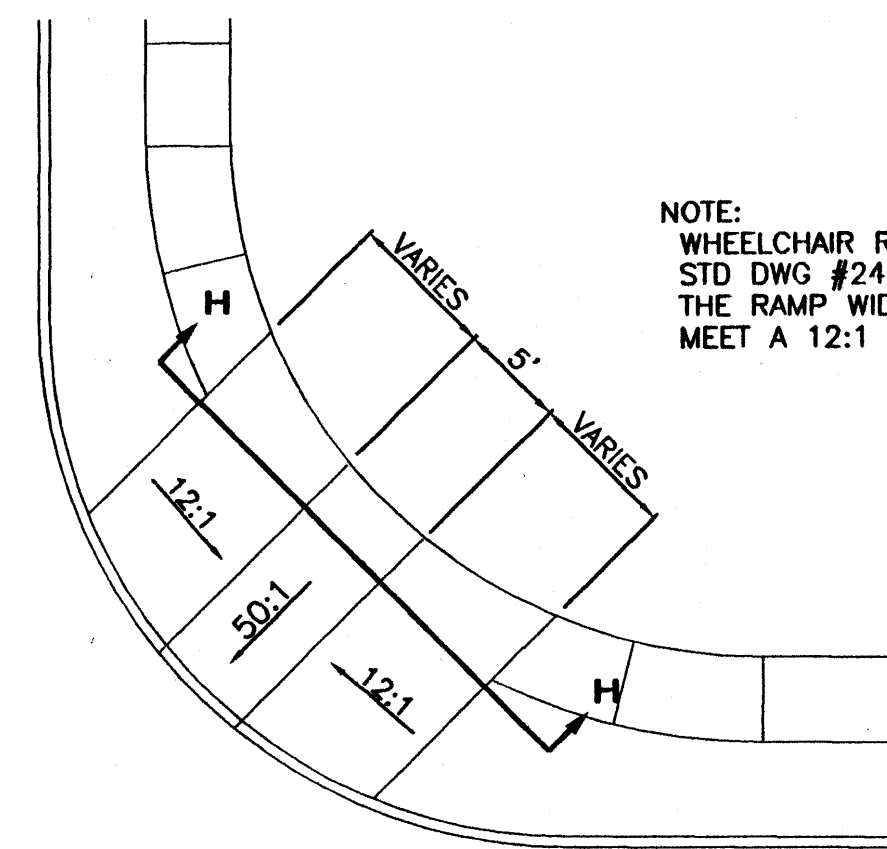
H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.



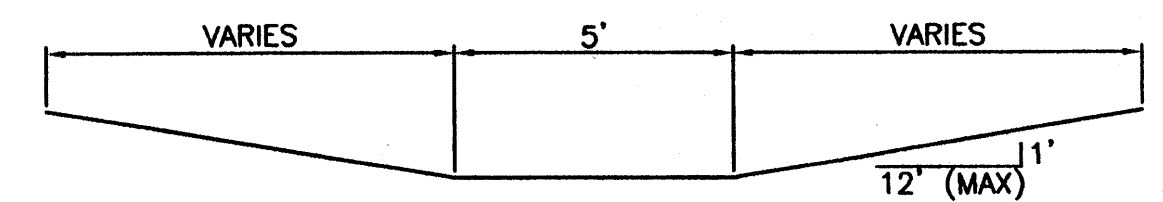
**L-FOOTING  
RETAINING WALL DETAIL**  
NTS



**DRAINAGE SWALE DETAIL AT LOTS 40 AND 41**  
NTS

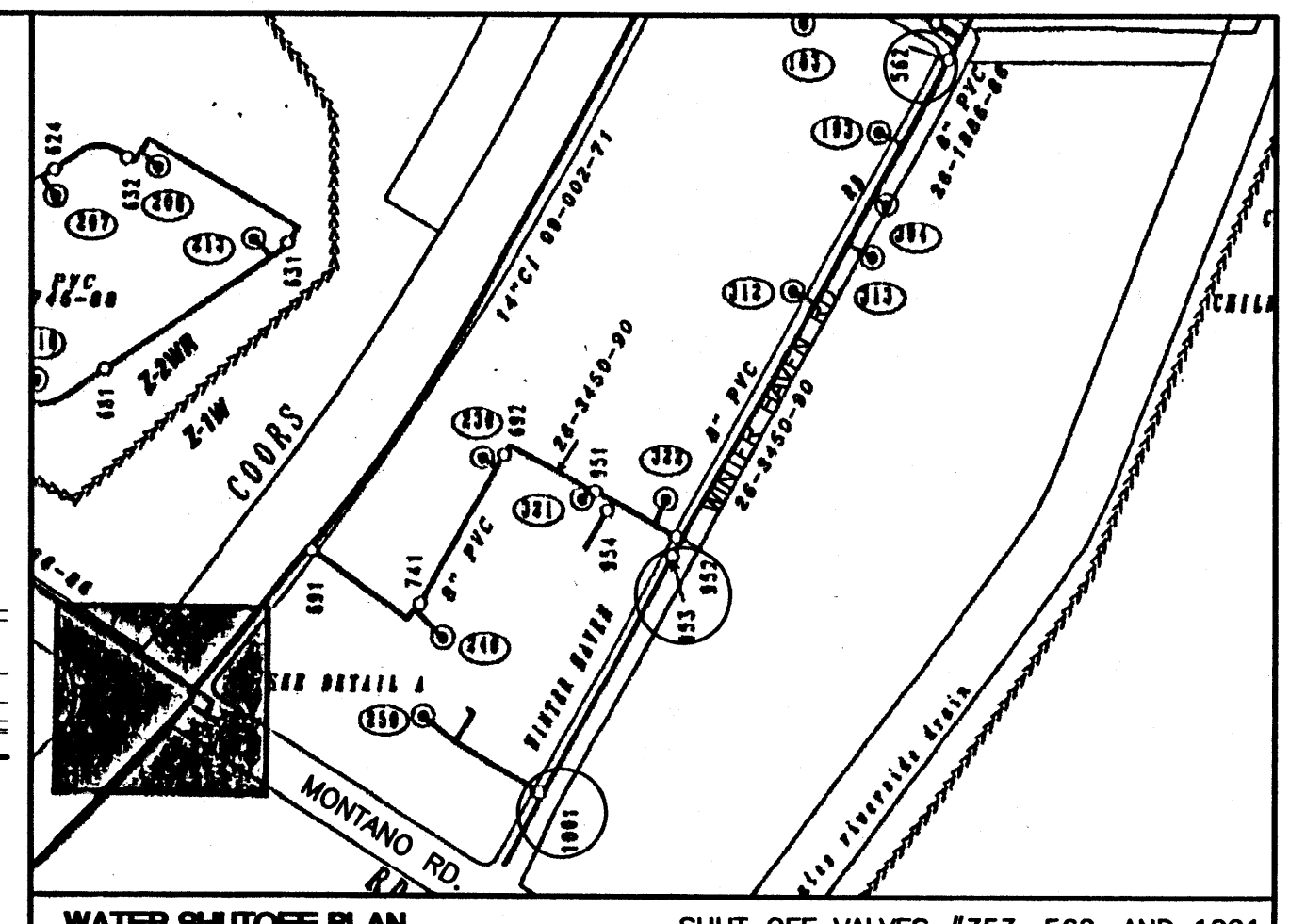
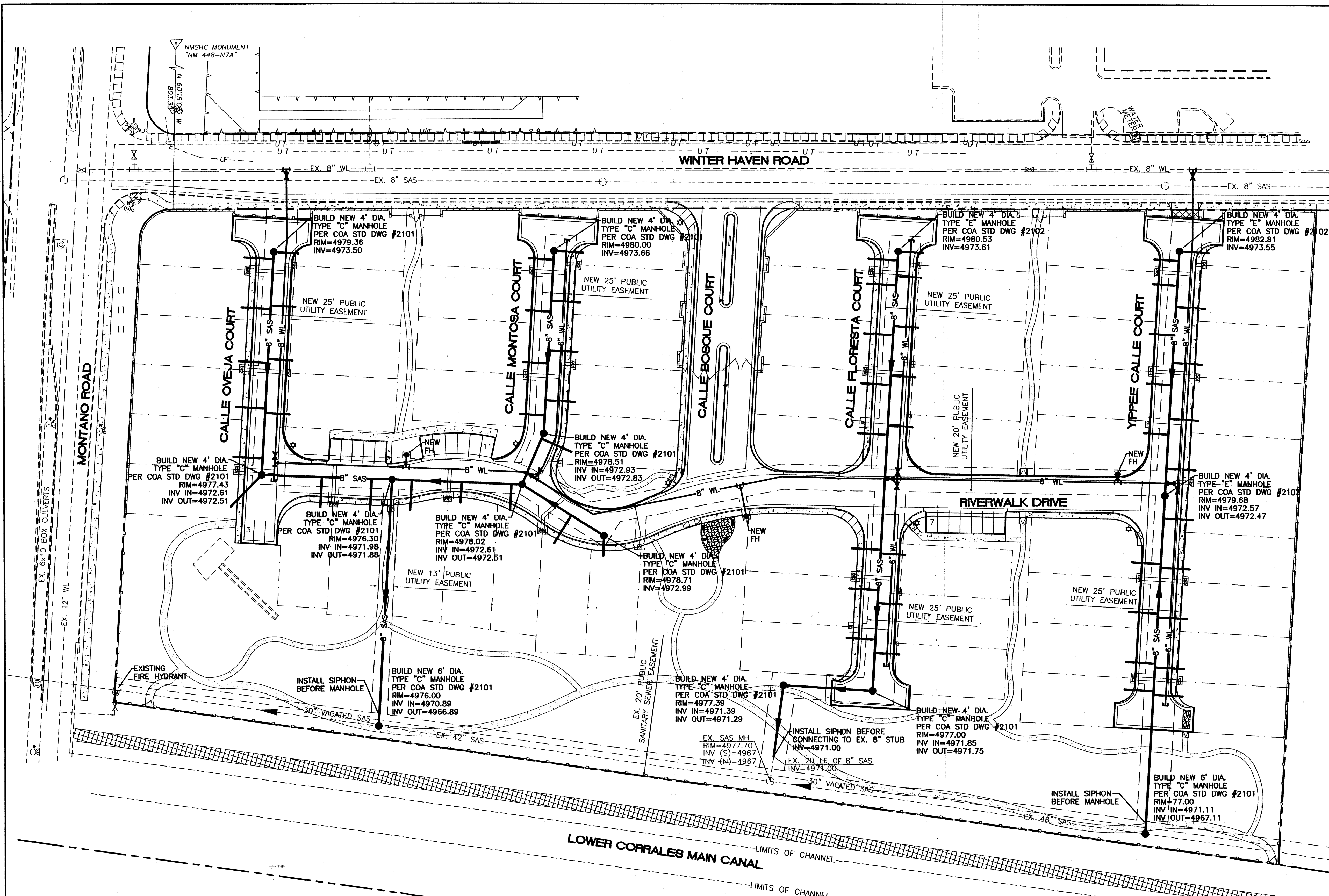


**WHEELCHAIR RAMP DETAIL**  
NTS



**SECTION H-H**  
NTS

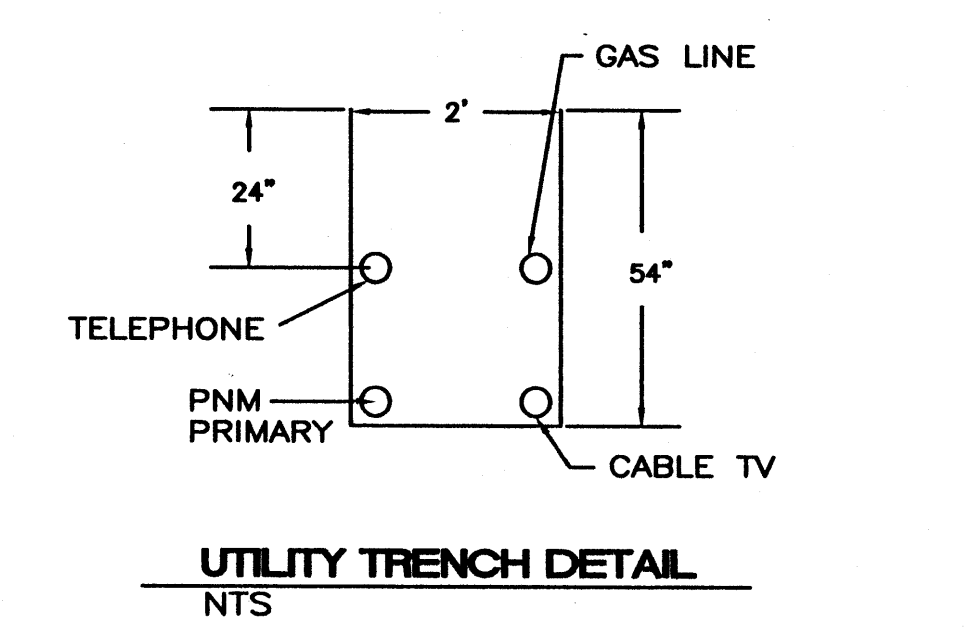
ENGINEER'S SEAL 	<b>BOSQUE MONTANO</b>	DRAWN BY JDN
	<b>GRADING AND DRAINAGE DETAIL SHEET</b>	DATE 02-02-01
	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2041DET.DWG
		SHEET # 4A OF 8
		JOB # 200041



**WATER SHUTOFF PLAN** SHUT OFF VALVES #353, 562, AND 1001

- NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

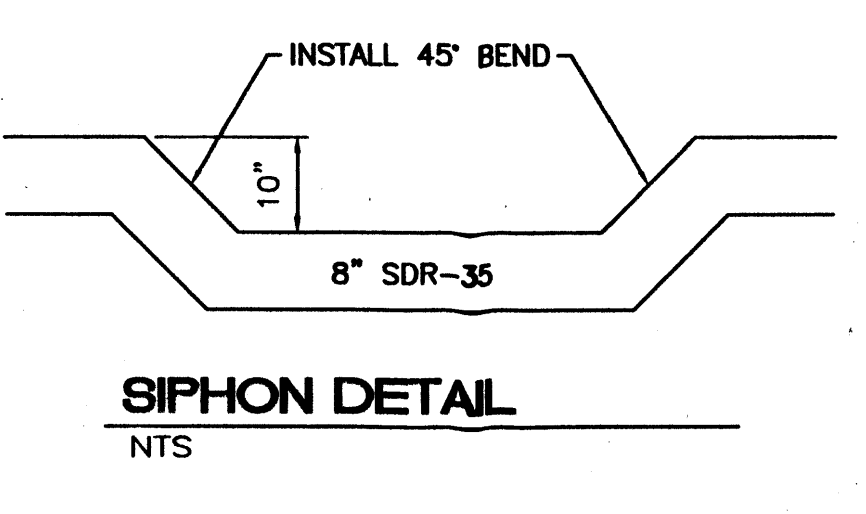
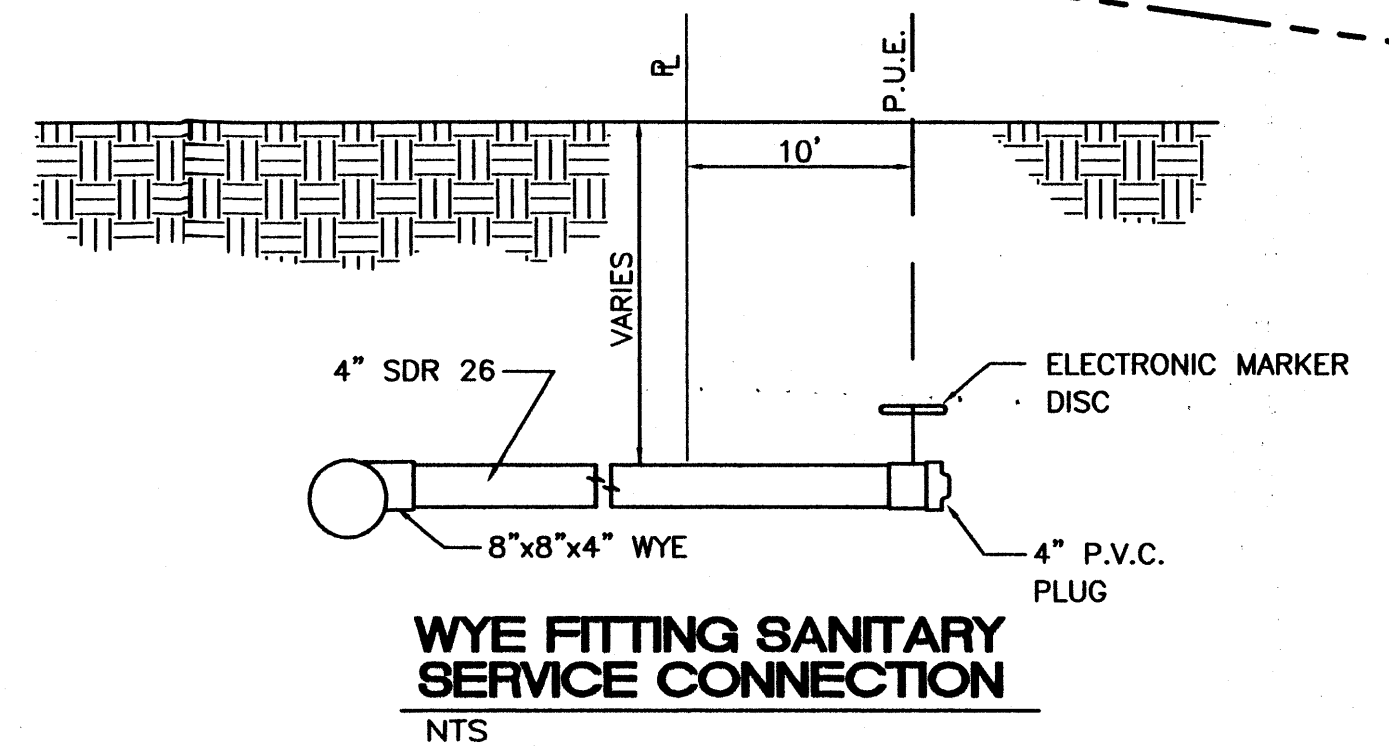
- LEGEND**
- EXISTING SD MANHOLE
  - EXISTING SAS MANHOLE
  - EXISTING METER
  - EXISTING VALVE W/BOX
  - EXISTING FIRE HYDRANT
  - EXISTING SANITARY SEWER LINE
  - EXISTING WATER LINE
  - EXISTING CURB & GUTTER
  - PROPOSED SANITARY SEWER LINE
  - PROPOSED WATERLINE
  - BOUNDARY LINE
  - EASEMENT
  - NEW SANITARY SEWER MANHOLE
  - NEW FIRE HYDRANT
  - NEW WATER SERVICE
  - NEW GATE VALVE



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

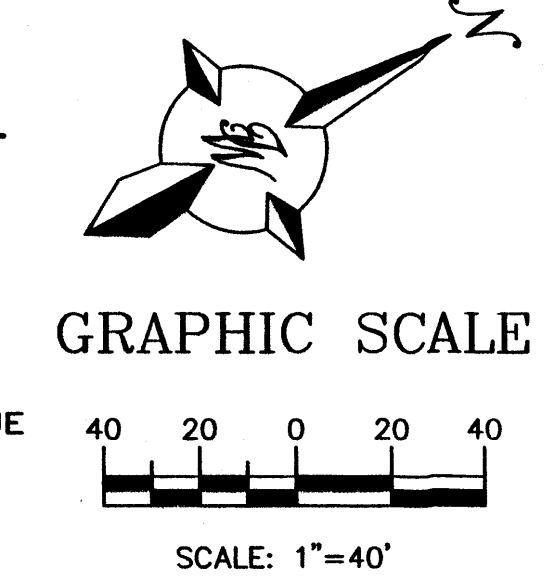
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



**GENERAL NOTES**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
4. ALL PIPE MATERIAL TO BE USED PER UPC.



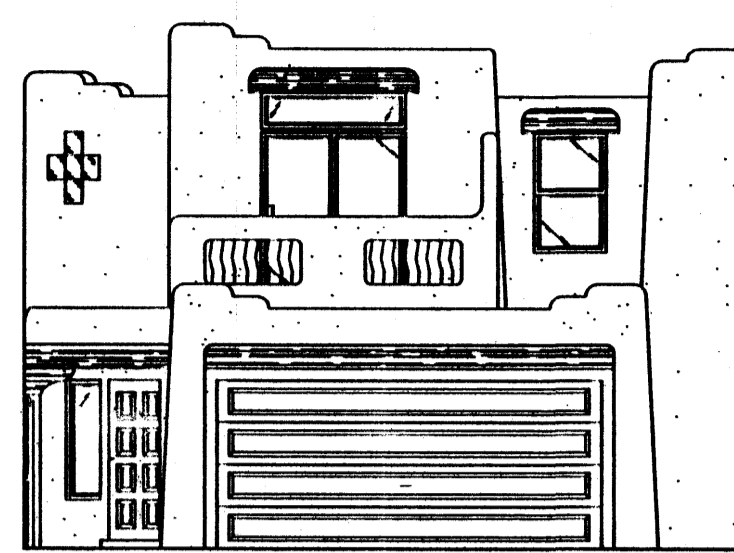
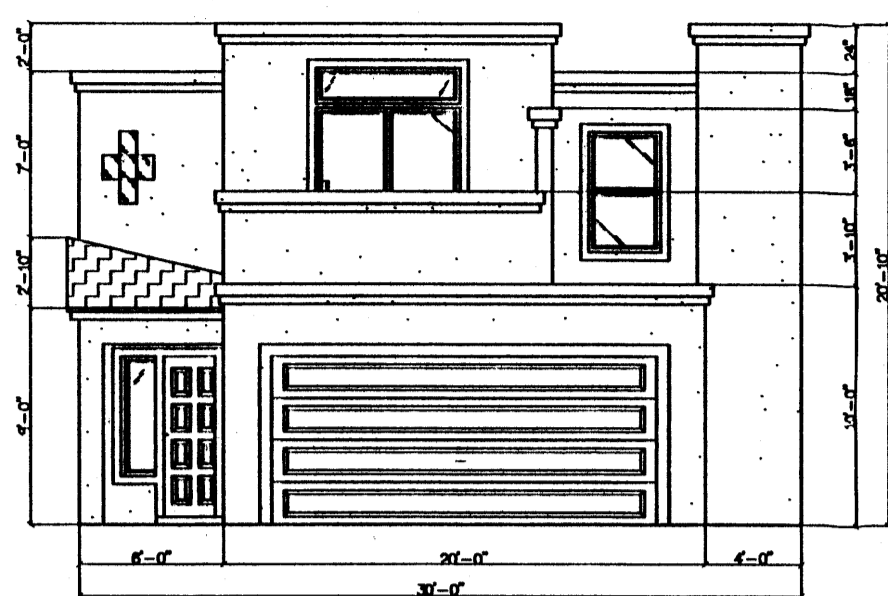
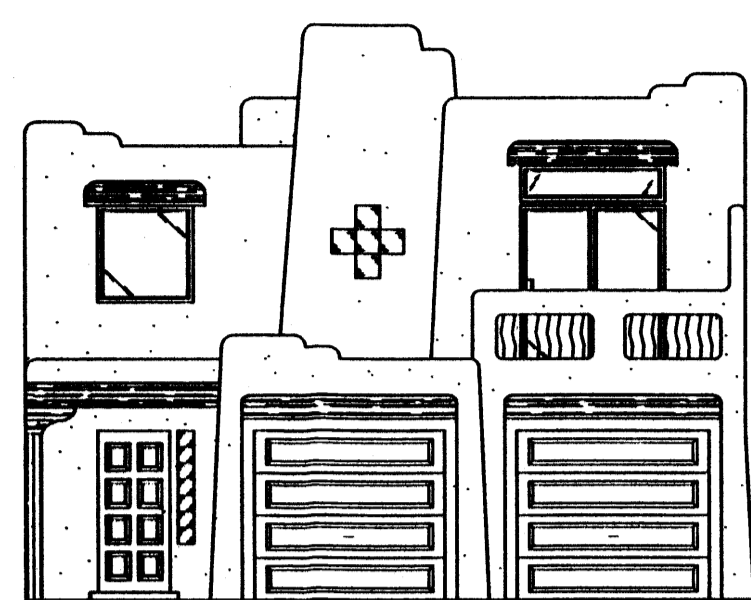
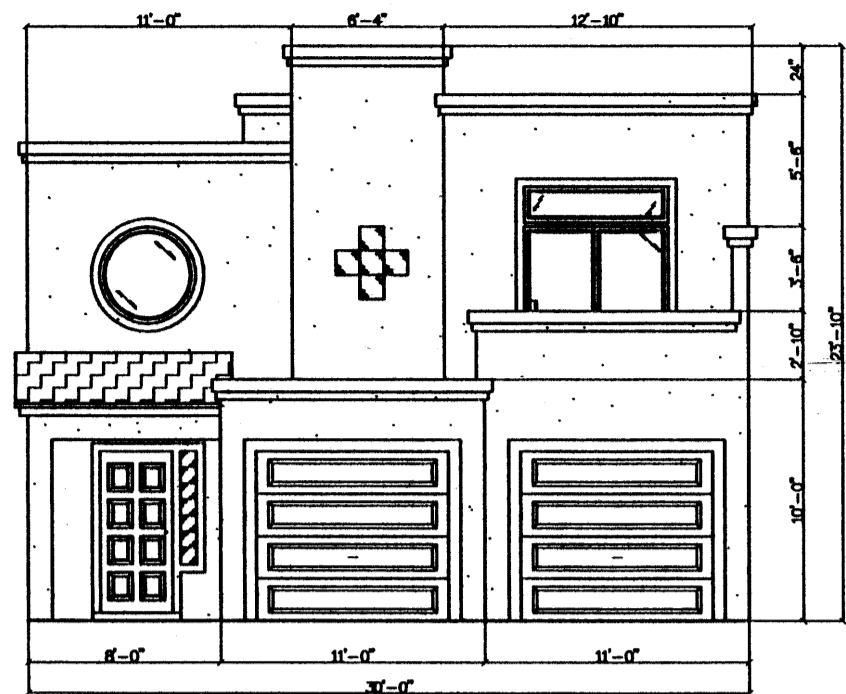
	<b>BOSQUE MONTANO</b>	DRAWN BY JDN
	<b>MASTER UTILITY PLAN</b>	DATE 10-18-00
		2041MU.DWG
8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		<b>SHEET # 5 OF 8</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 200041

TERRITORIAL / CONTEMPORARY

TRADITIONAL PUEBLO

TERRITORIAL / CONTEMPORARY

TRADITIONAL PUEBLO

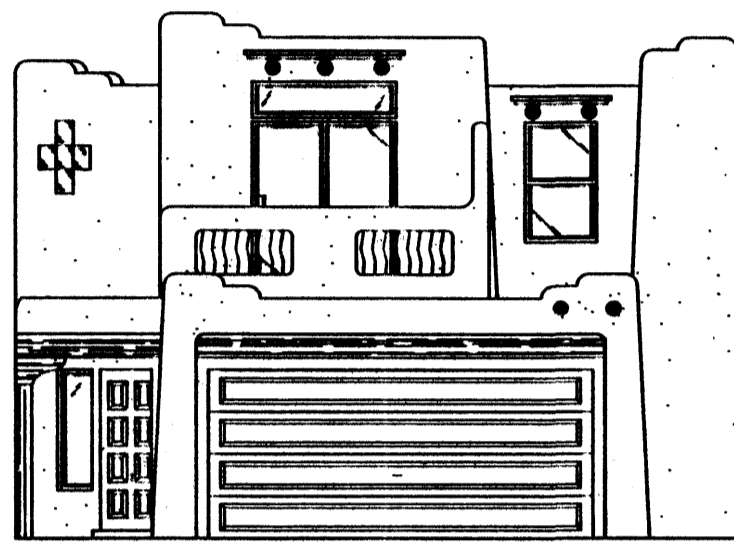
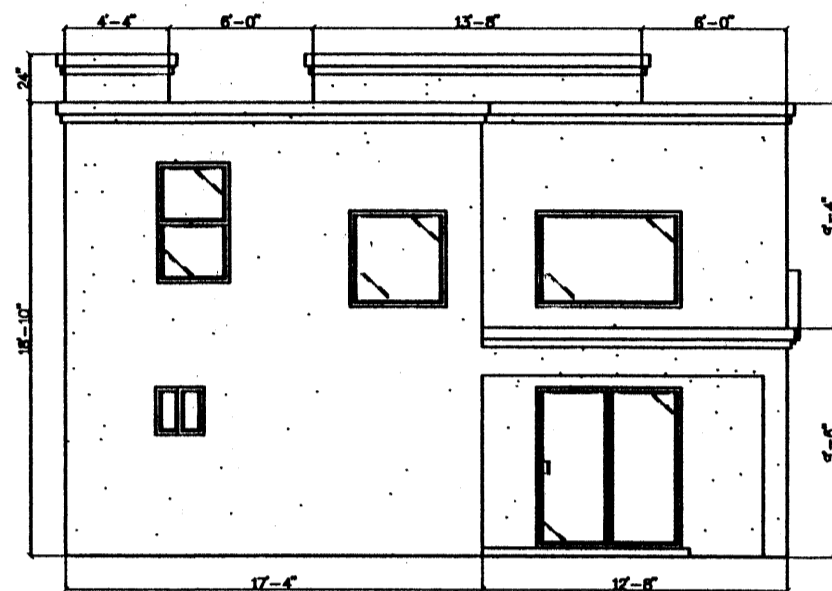
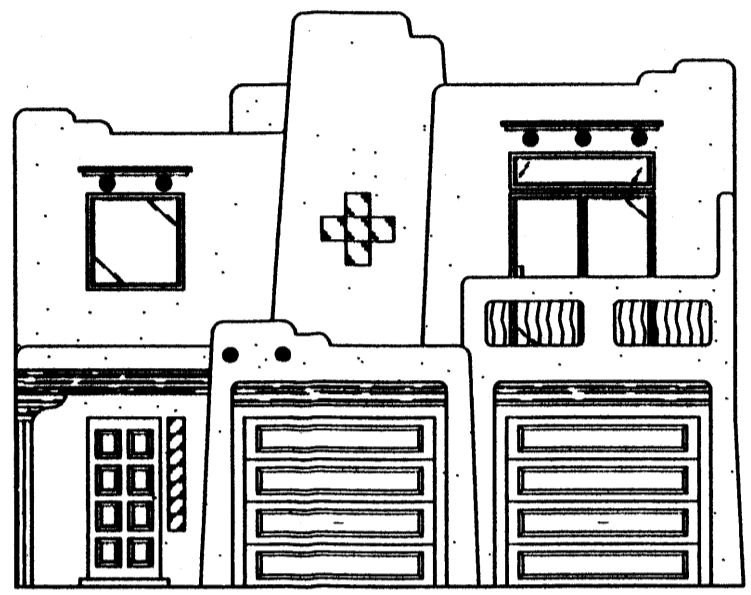
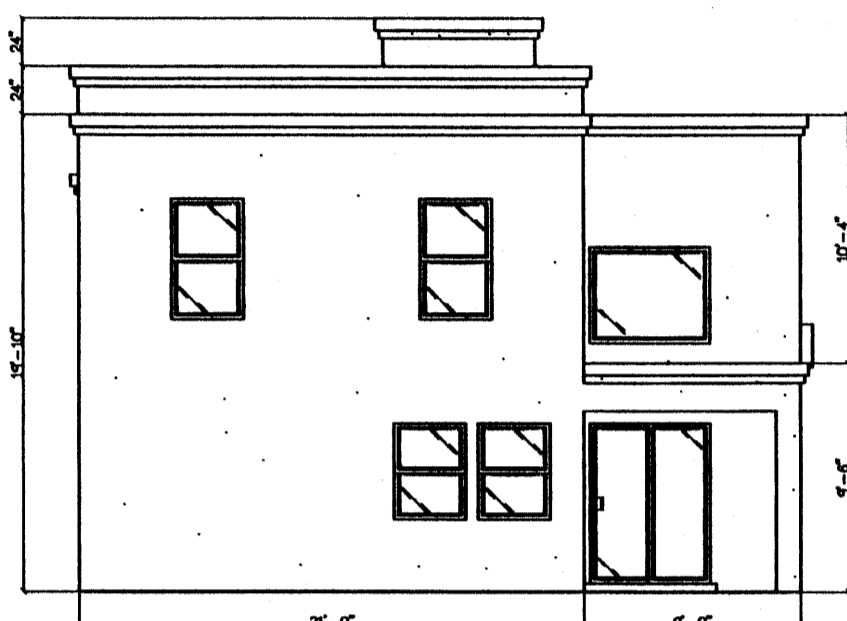


FRONT ELEVATION

MGA/LATILLA PUEBLO

FRONT ELEVATION

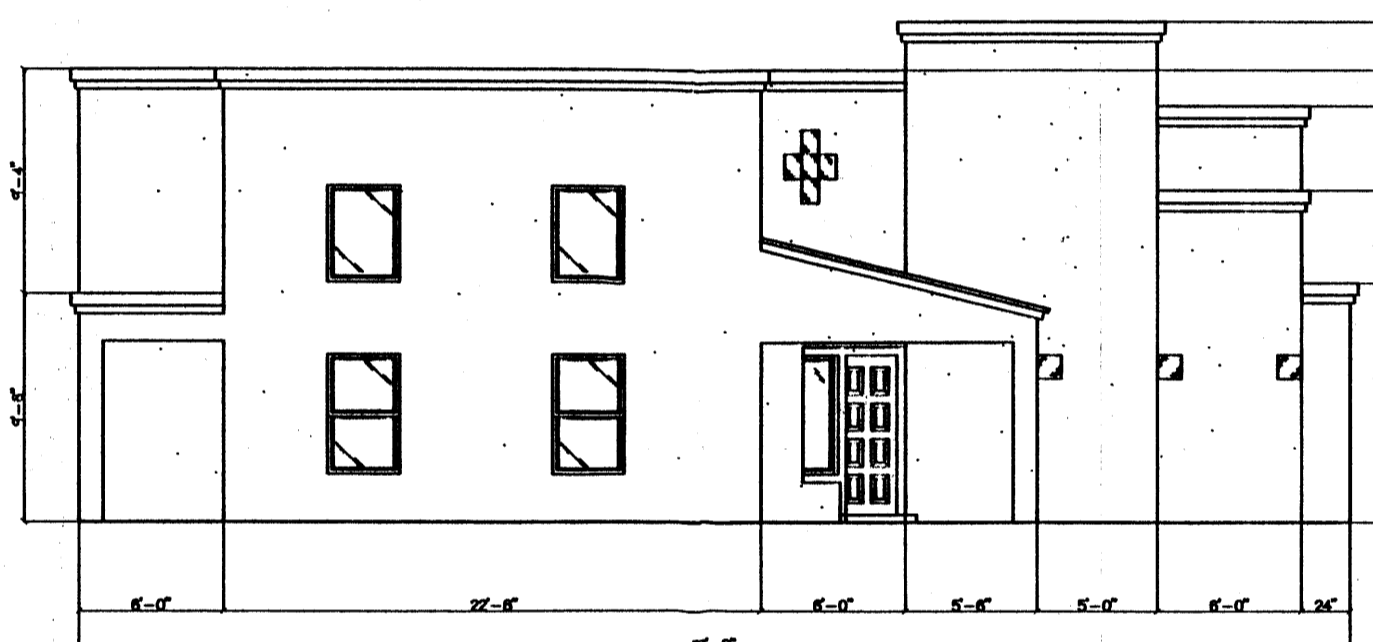
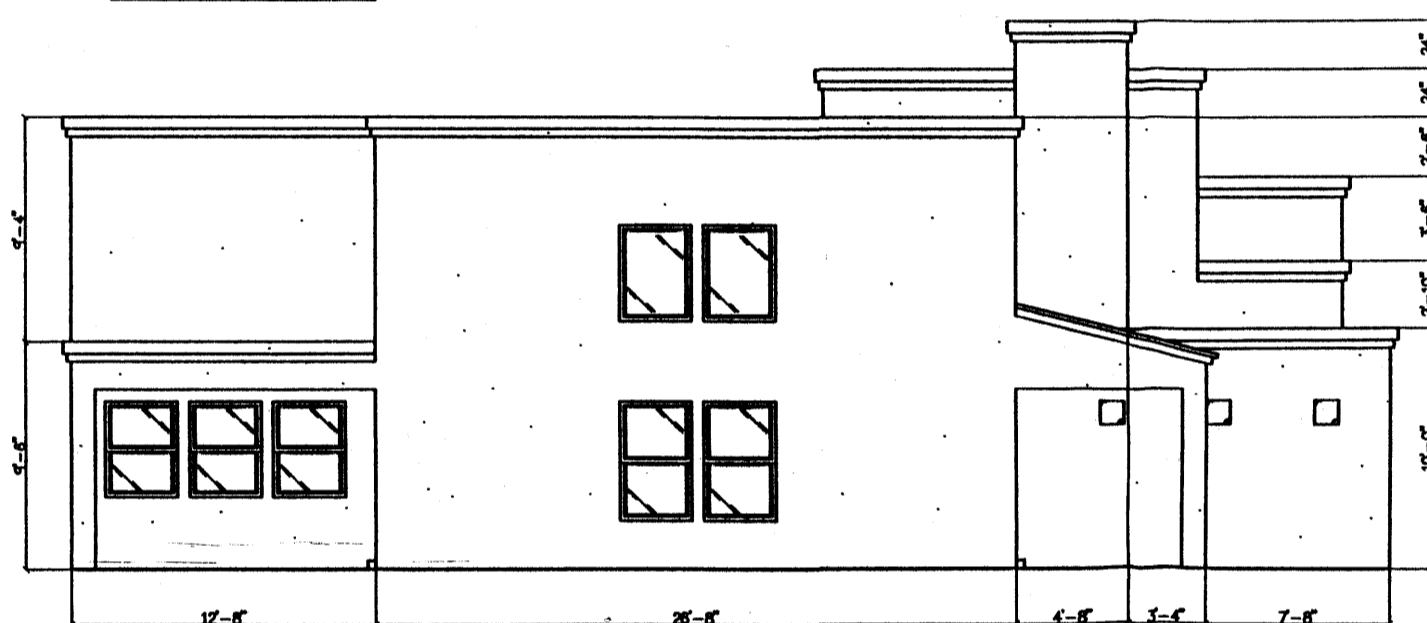
MGA/LATILLA PUEBLO



REAR ELEVATION

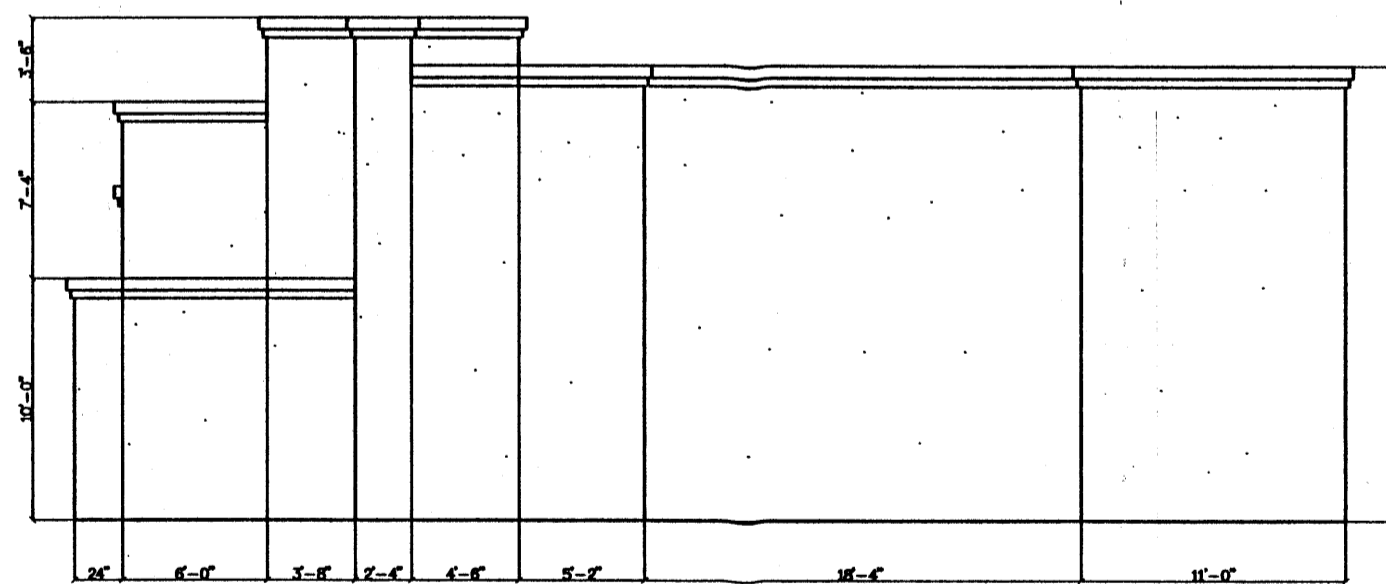
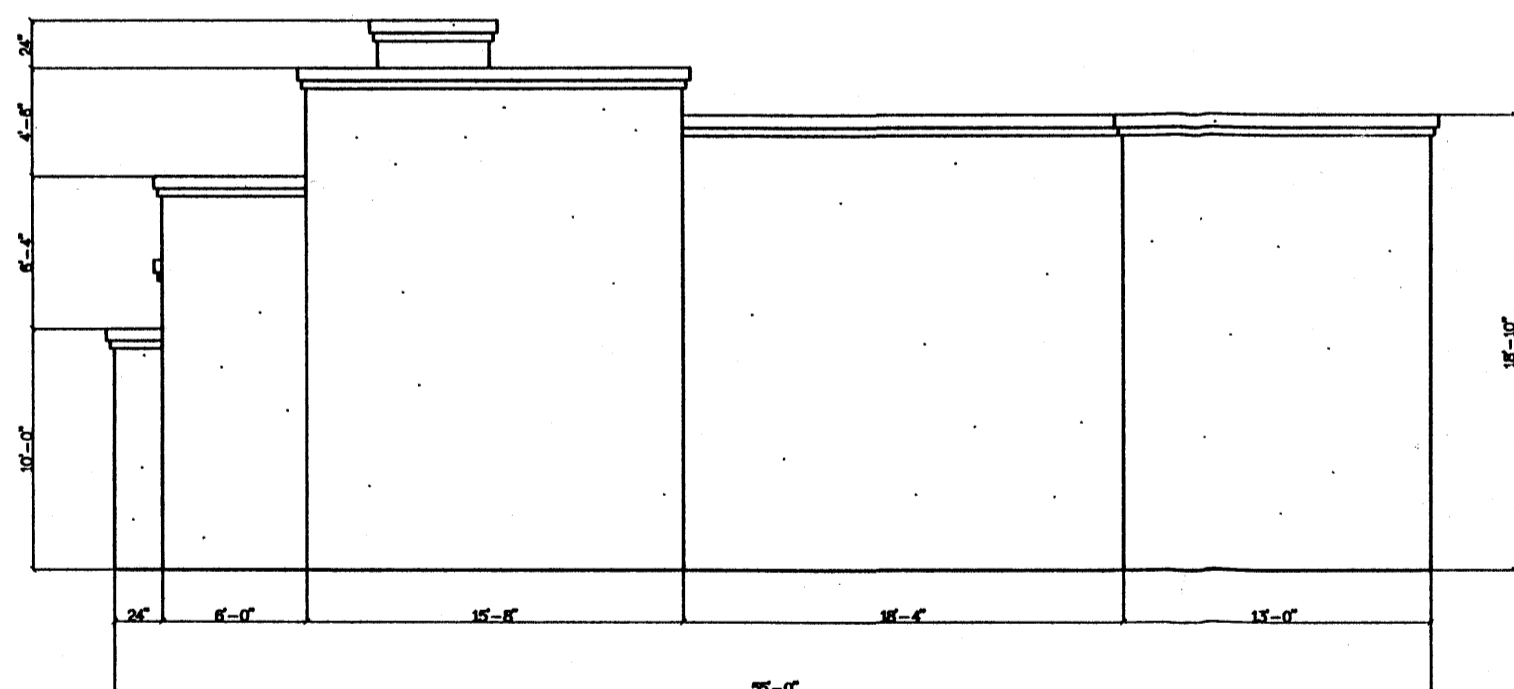
REAR ELEVATION

MASSING & DESIGN SIZE NOTES:  
ALL MASSING OFFSETS ARE 2' OR GREATER  
NO DESIGN EXCEEDS 26'-0" IN HEIGHT  
ALL DESIGNS ARE 30' WIDE ON 40' "Z" LOTS  
ALL DESIGNS DO NOT EXCEED 55' DEEP



LEFT ELEVATION

LEFT ELEVATION



RIGHT ELEVATION

RIGHT ELEVATION

PLAN #1

TABLE OF EXTERIOR FINISHES					
	WALLS	TRIM	WINDOWS	DOORS	TILED ROOF
FINISH	STUCCO ONLY	STUCCO OR EXP. WOOD	VINYL OR WOOD CLAD	VINYL OR WOOD CLAD	SPANISH CONC. TILE (ENTRY ONLY)
COLOR OPT.	HACENDA, SABLE-WOOD, DRIFTWOOD, BLACKSPIN, PALM, PALMFROND, CORAL AZOQUE, LA LUZ, SUEDE AND SAND	HACENDA, SABLE-WOOD, DRIFTWOOD, BLACKSPIN, PALM, PALMFROND, CORAL AZOQUE, LA LUZ, SUEDE AND SAND	WHITE, BRONZE AZOQUE, GREY OR TAN	WHITE, BRONZE AZOQUE, GREY OR TAN	DESERT RANCH BLEND OR HERLOCK BLEND
SIZE RANGE:	N/A	N/A	3040 TO 5040 8" TO 12" GL.S. 4" ROUND	3068 TO 8070 GARAGE DOORS 5068 SGD	N/A

PLAN #1 - 1620 SQ. FT.

PLAN #2

TABLE OF EXTERIOR FINISHES					
	WALLS	TRIM	WINDOWS	DOORS	TILED ROOF
FINISH	STUCCO ONLY	STUCCO OR EXP. WOOD	VINYL OR WOOD CLAD	VINYL OR WOOD CLAD	SPANISH CONC. TILE (ENTRY ONLY)
COLOR OPT.	HACENDA, SABLE-WOOD, DRIFTWOOD, BLACKSPIN, PALM, PALMFROND, CORAL AZOQUE, LA LUZ, SUEDE AND SAND	HACENDA, SABLE-WOOD, DRIFTWOOD, BLACKSPIN, PALM, PALMFROND, CORAL AZOQUE, LA LUZ, SUEDE AND SAND	WHITE, BRONZE AZOQUE, GREY OR TAN	WHITE, BRONZE AZOQUE, GREY OR TAN	DESERT RANCH BLEND OR HERLOCK BLEND
SIZE RANGE:	N/A	N/A	2020 TO 6040 12" GLASSBLOCK	3068 TO 16070 GARAGE DOOR 6068 SGD	N/A

PLAN #2 - 1630 SQ. FT.

PROJECT:  
BOSQUE MONTANO TOWNHOUSES PLANS #1&#2  
DESCRIPTION:  
PRESENTATION DRAWING

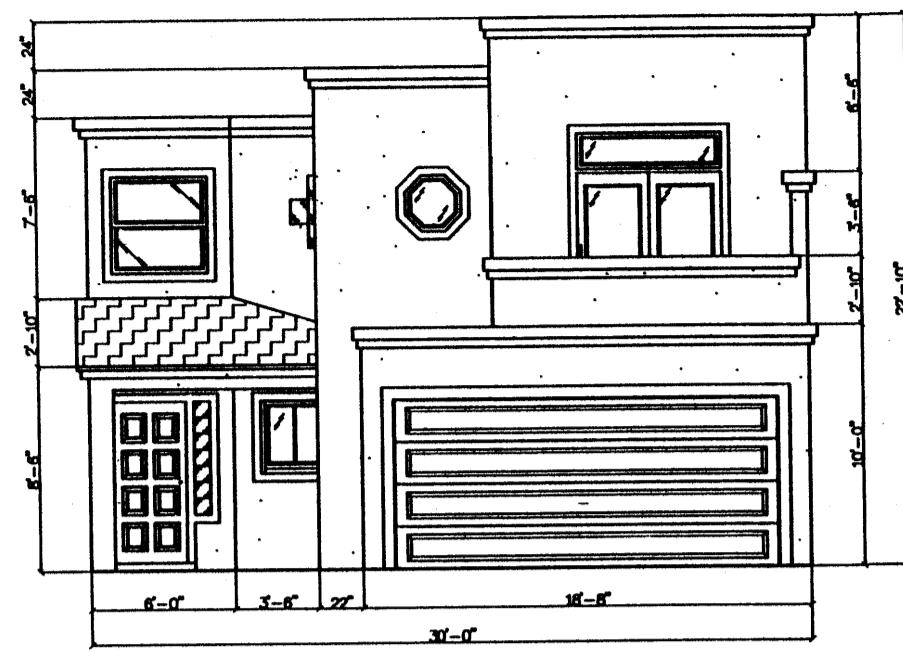
CLIENT:  
RAYLEE HOMES

SHEET #  
6  
OF 8

CLIENT REFERENCE #

DESIGNED BY: M.G.	ORIENTATION: N E S W	0 0 8 4 A	COMPUTER DRAFTING & DESIGN BY: YOUR CAD DRAFTING
DRAFTED BY: M.G./M.C.			
CHECKED BY: S.G.			
REVISED ON: / /			
SCALE: 1/8" = 1'-0"	DATE: 9/13/00		CALL: 805-899-1199

TERRITORIAL/CONTEMPORARY



FRONT ELEVATION

TRADITIONAL PUEBLO

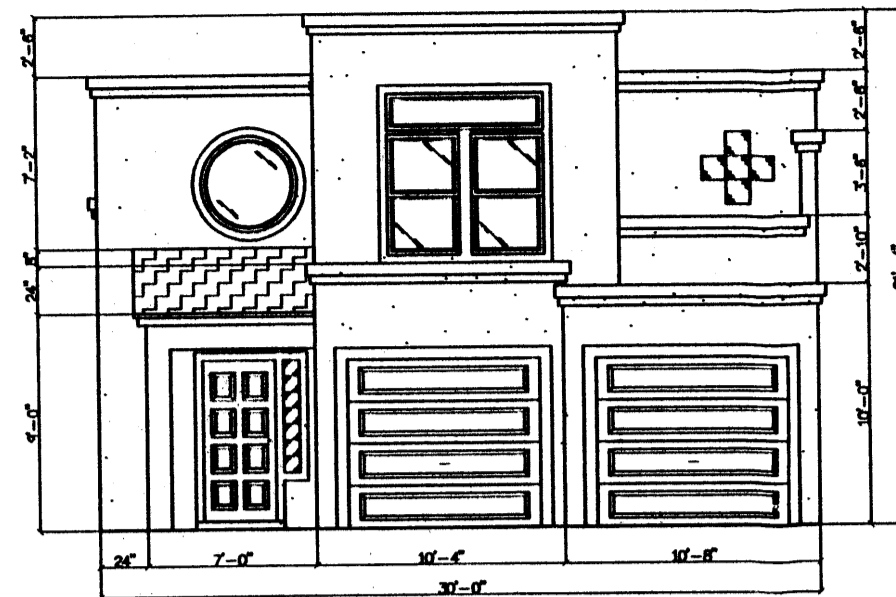


VIGA/LATILLA PUEBLO



REAR ELEVATION

TERRITORIAL/CONTEMPORARY



FRONT ELEVATION

TRADITIONAL PUEBLO

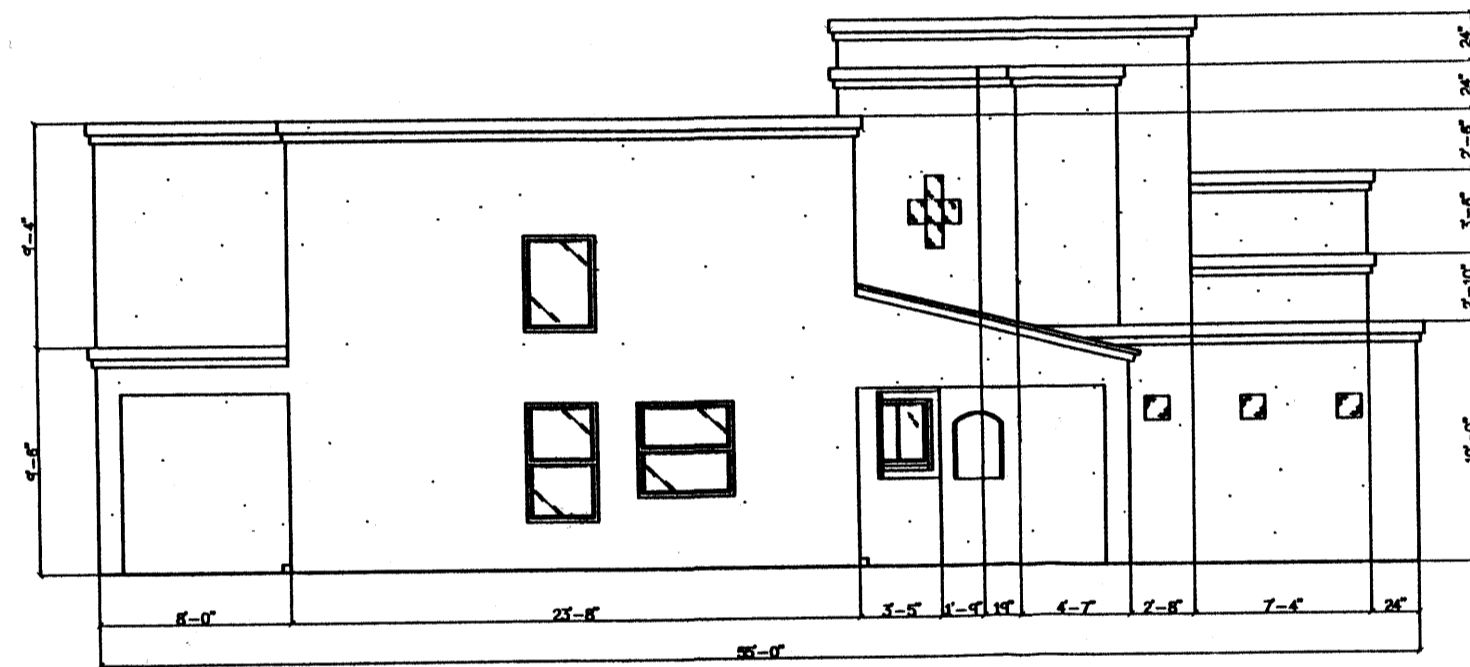


VIGA/LATILLA PUEBLO

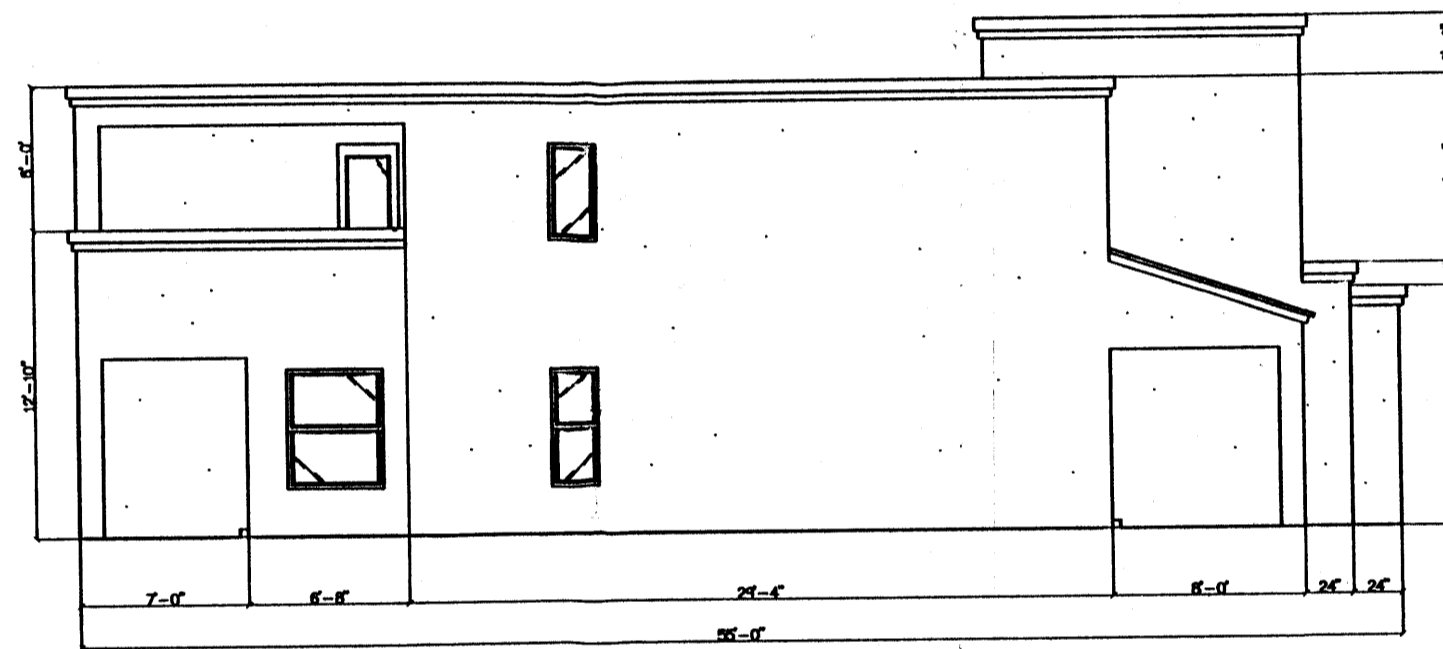


REAR ELEVATION

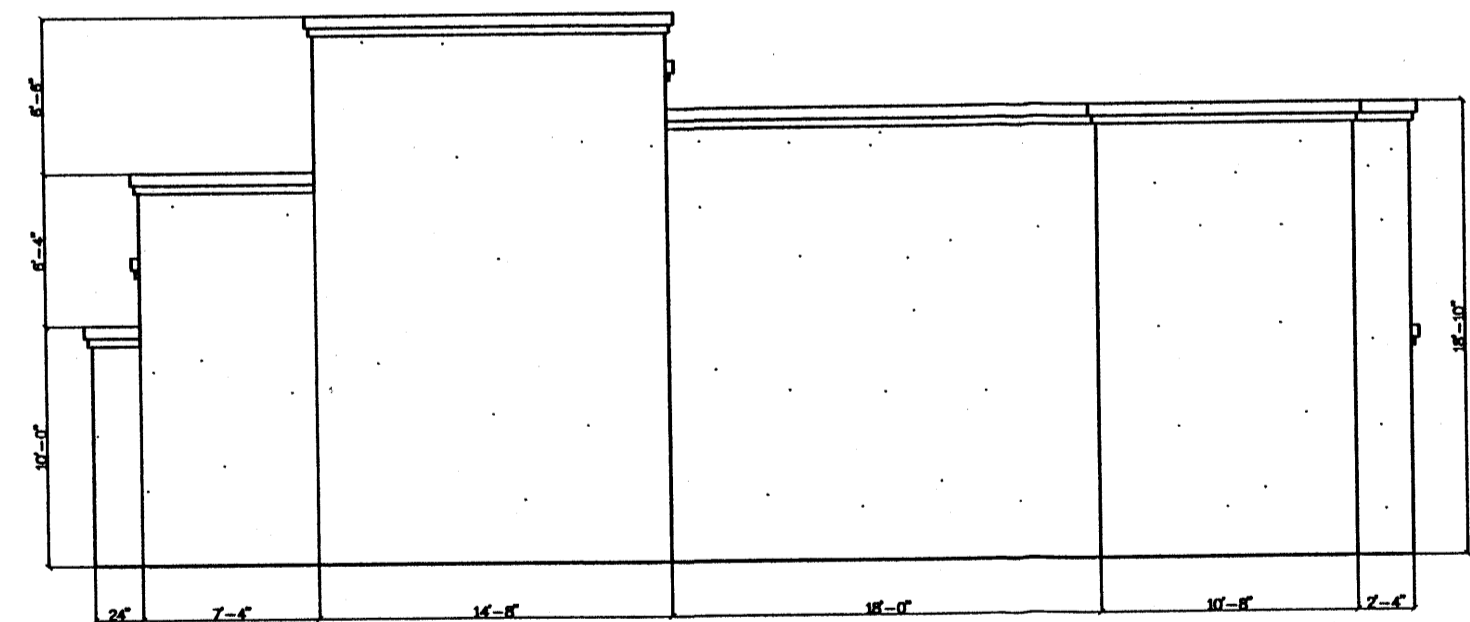
MASSING & DESIGN SIZE NOTES:  
 ALL MASSING OFFSETS ARE 2' OR GREATER  
 NO DESIGN EXCEEDS 26'-0" IN HEIGHT  
 ALL DESIGNS ARE 30' WIDE ON 40' "Z" LOTS  
 ALL DESIGNS DO NOT EXCEED 55' DEEP



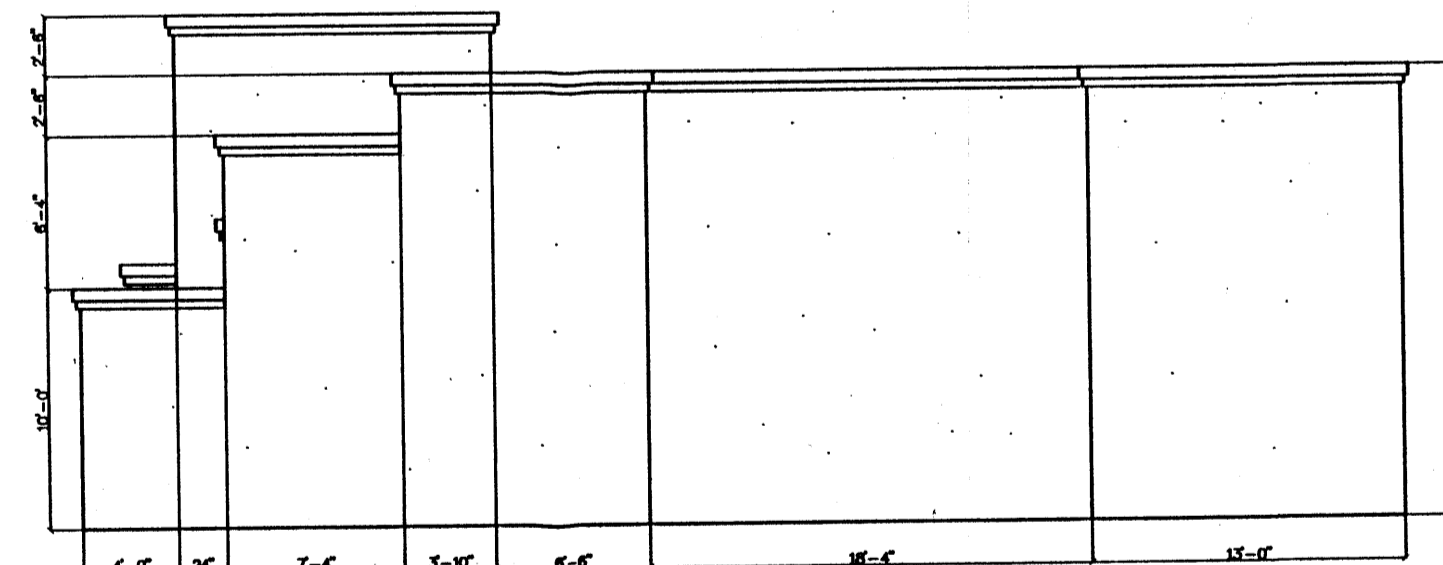
LEFT ELEVATION



RIGHT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

PLAN #3

TABLE OF EXTERIOR FINISHES					
FINISH	WALLS	TRIM	WINDOWS	DOORS	TILED ROOF
	STUCCO ONLY	STUCCO OR EXP. WOOD	VINYL OR WOOD CLAD	VINYL OR WOOD CLAD	SPANISH CONC. TILE (ENTRY ONLY)
COLOR OPT.	HACONDA, SMOKE-WOOD, BIRCHWOOD, BUCKSKIN, FAWN, PALOMPO, CORAL, AZUL, LA LUZ, SUEZ AND SAND	HACONDA, SMOKE-WOOD, BIRCHWOOD, BUCKSKIN, FAWN, PALOMPO, CORAL, AZUL, LA LUZ, SUEZ AND SAND	WHITE, BRONZE, AZUL, GREY OR TAN	WHITE, BRONZE, AZUL, GREY OR TAN	DESERT RANCH BLEND OR PERLOOR BLEND
SIZE RANGE:	N/A	N/A	3030 TO 6040 8" TO 12" G.B. 2' OCTAGONAL	3068 TO 6070 GARAGE DOOR 6068 SGD	N/A

PLAN #3 - 1640 SQ. FT.

PLAN #4

TABLE OF EXTERIOR FINISHES					
FINISH	WALLS	TRIM	WINDOWS	DOORS	TILED ROOF
	STUCCO ONLY	STUCCO OR EXP. WOOD	VINYL OR WOOD CLAD	VINYL OR WOOD CLAD	SPANISH CONC. TILE (ENTRY ONLY)
COLOR OPT.	HACONDA, SMOKE-WOOD, BIRCHWOOD, BUCKSKIN, FAWN, PALOMPO, CORAL, AZUL, LA LUZ, SUEZ AND SAND	HACONDA, SMOKE-WOOD, BIRCHWOOD, BUCKSKIN, FAWN, PALOMPO, CORAL, AZUL, LA LUZ, SUEZ AND SAND	WHITE, BRONZE, AZUL, GREY OR TAN	WHITE, BRONZE, AZUL, GREY OR TAN	DESERT RANCH BLEND OR PERLOOR BLEND
SIZE RANGE:	N/A	N/A	3040 TO 4050 8" TO 12" G.B. 4' ROUND	3068 TO 6070 GARAGE DOORS 6068 SGD 2668 FT.	N/A

PLAN #4 - 1860 SQ. FT.

PROJECT:  
 BOSQUE MONTANO TOWNHOUSES  
 PLANS #3&#4  
 DESCRIPTION:  
 PRESENTATION DRAWING

CLIENT:  
 RAYLEE HOMES

SHEET #  
 7  
 OF 8

CLIENT REFERENCE #

DESIGNED BY: M.G.  
 DRAFTED BY: M.G./M.C.  
 CHECKED BY: S.G.  
 REVISED ON: [REVISIONS]  
 SCALE: 1/8" = 1'-0"

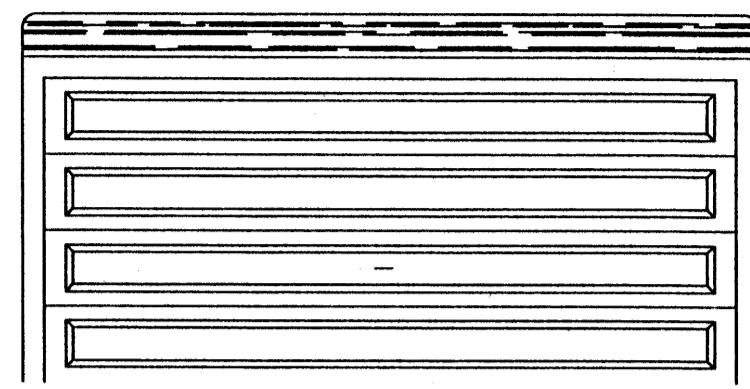
ORIENTATION:  
  
 REFERENCES:  
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 A

COMPUTER DRAFTING & DESIGN BY:  
  
 CALL 505-899-1599

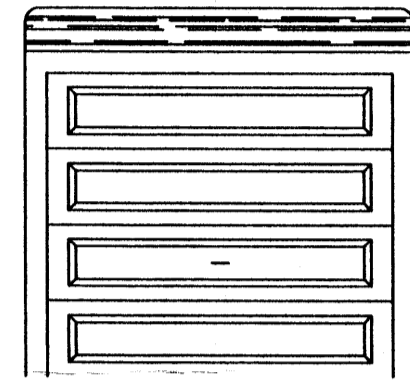
DATE: 9/13/00



**Exterior Elevation Elements**

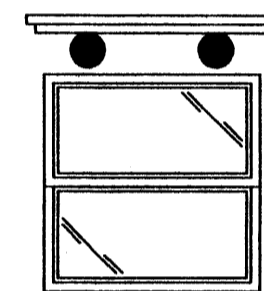


DOUBLE GARAGE DOOR WITH EXPOSED BEAM

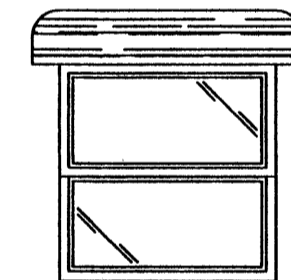


SINGLE CAR GARAGE DOOR WITH EXPOSED BEAM

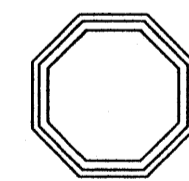
**GARAGE DOOR DETAIL**



VIGA LOOKOUTS WITH LATILLA EYEBROW



WINDOW WITH EXPOSED HEADER



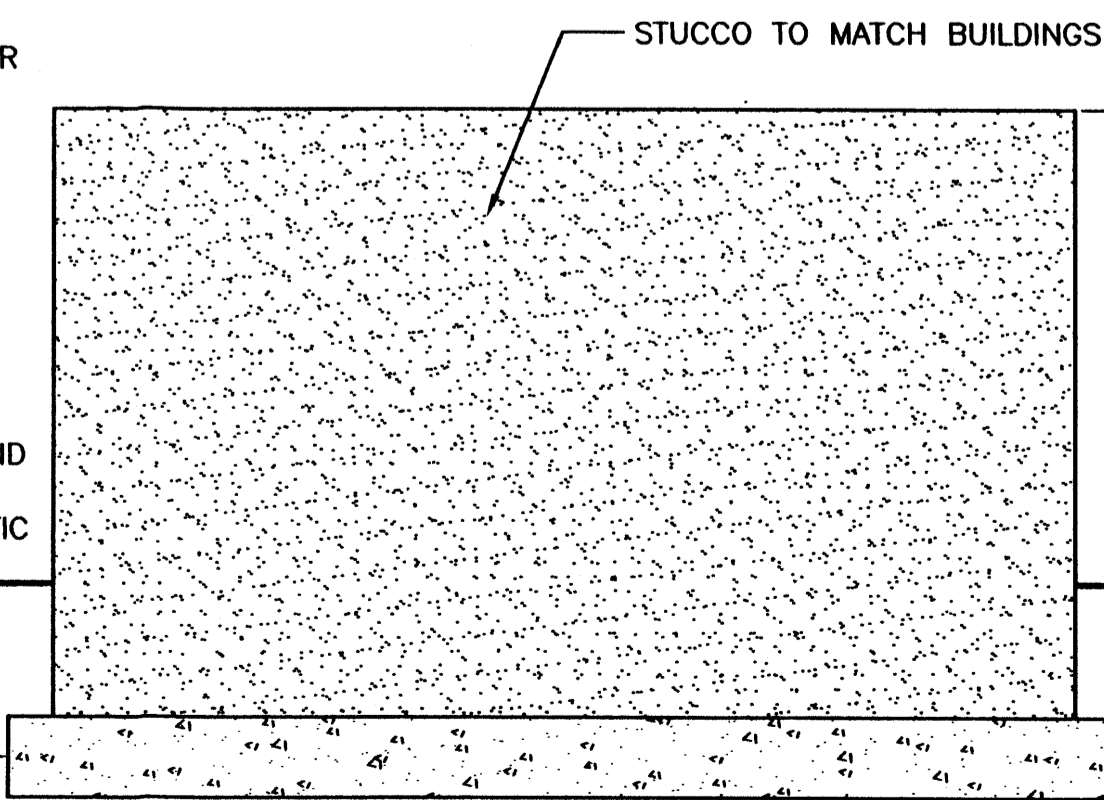
OCTAGON WINDOW

**WINDOW TRIM**

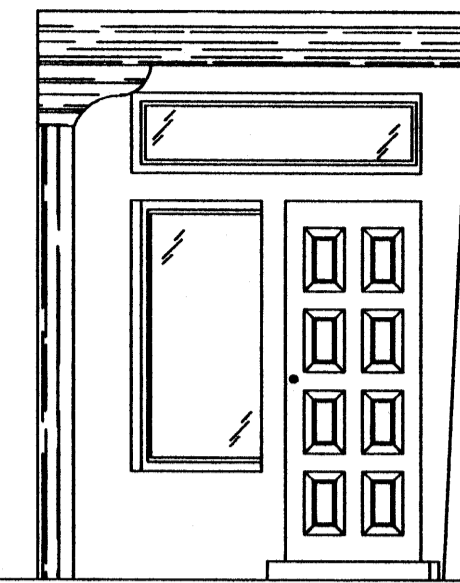
NOTE: BLOCK WALL TO BE DESIGNED AND PERMITTED TO CITY OF ALBUQUERQUE STANDARDS AND SOIL CONDITIONS SPECIFIC TO THE SITE.

FOOTING PER DESIGN

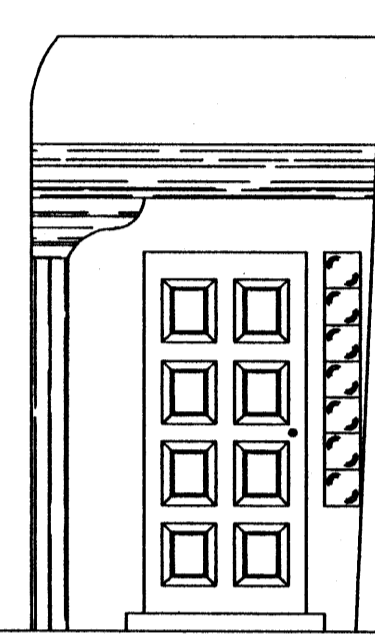
INSTALL 8" PILASTER EVERY 20' TYP.



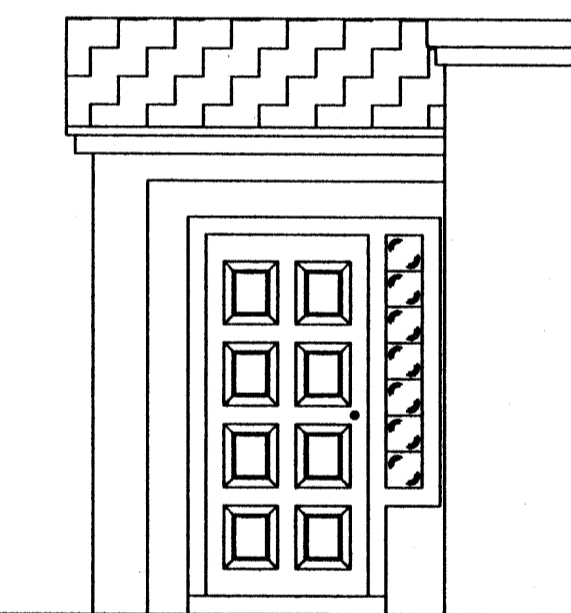
**CMU BLOCK WALL DETAIL**



ENTRY WITH WINDOWS AND ROPED VIGA POST INTO CORBELS INTO EXPOSED BEAMS

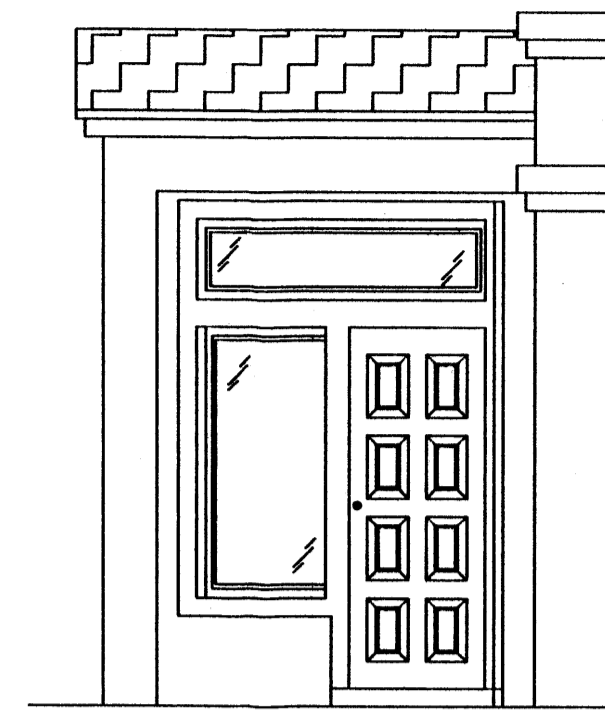


ENTRY WITH 8" GLASS BLOCK AND ROPED VIGA POST INTO CORBELS INTO EXPOSED BEAMS

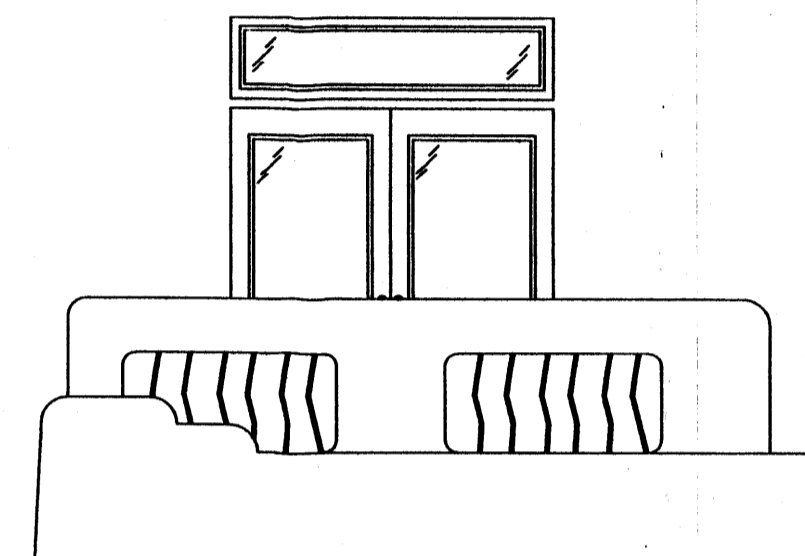


ENTRY WITH 8" GLASS BLOCK, STUCCO POST INTO STUCCOED BEAM, AND A SHED ROOF

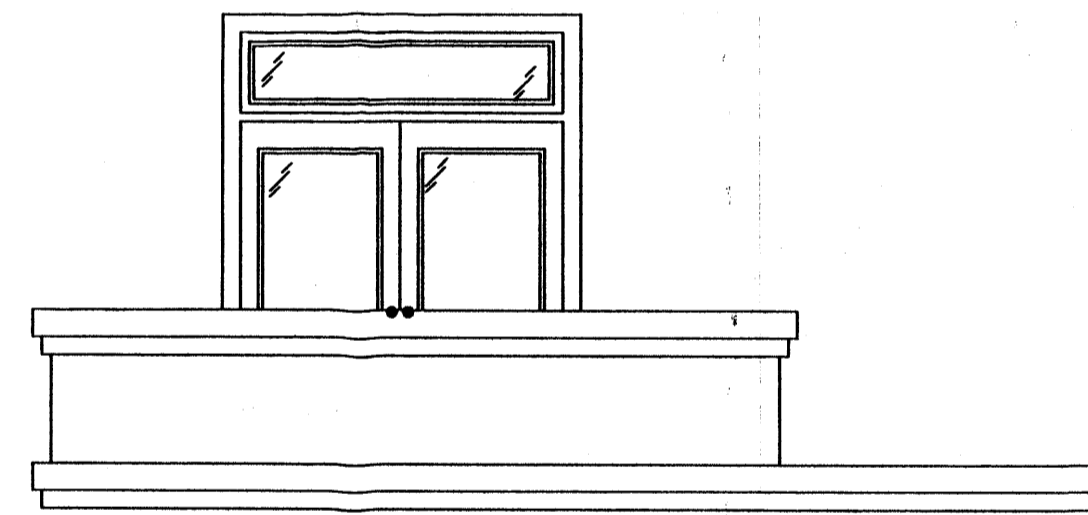
**MAIN ENTRY DETAILS**



ENTRY WITH WINDOWS, STUCCO POST INTO STUCCOED BEAM, AND A SHED ROOF

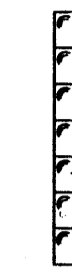


TRADITIONAL PUEBLO STYLE BALCONY

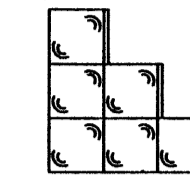


TERRITORIAL STYLE BALCONY

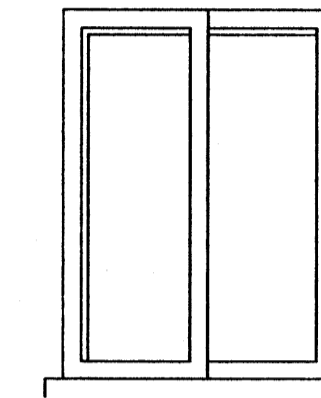
**BALCONIES**



SINGLE COLUMN OF 8" ACRYLIC BLOCKS

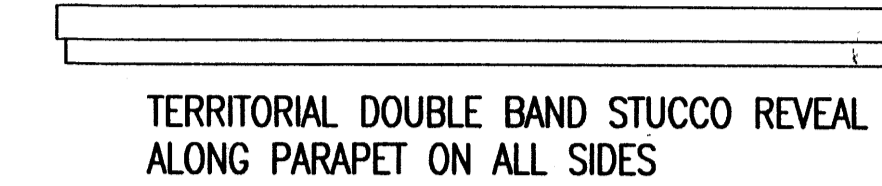


12" ACRYLIC BLOCKS

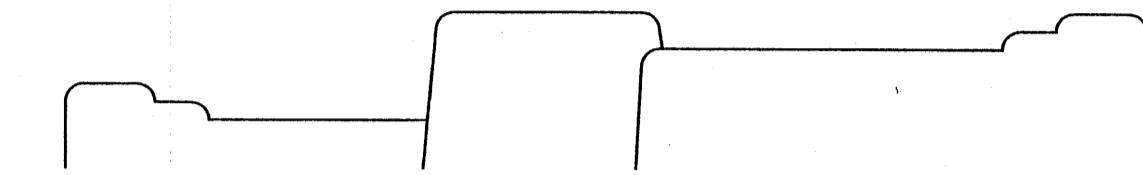


SLIDING GLASS DOOR

**PATIO DOOR**

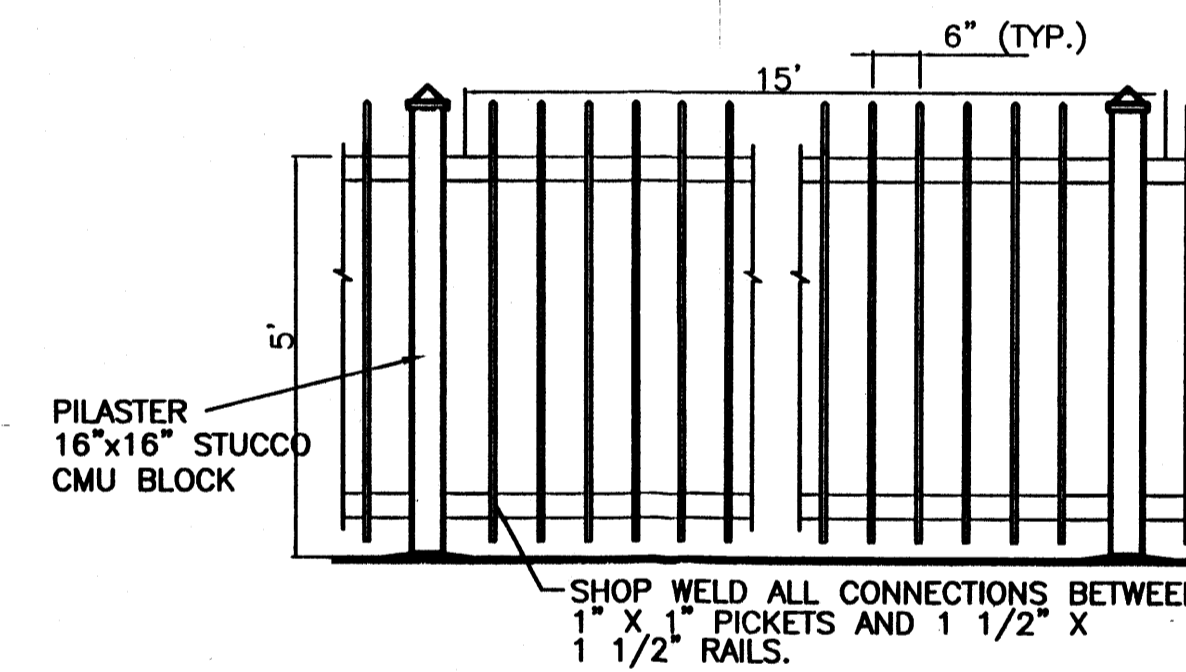


TERRITORIAL DOUBLE BAND STUCCO REVEAL ALONG PARAPET ON ALL SIDES



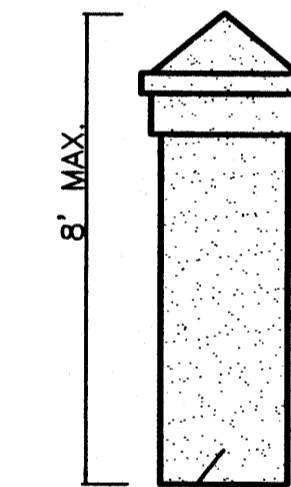
TRADITIONAL PUEBLO STYLE FINISH

**PARAPETS**



PILASTER 16"x16" STUCCO CMU BLOCK

SHOP WELD ALL CONNECTIONS BETWEEN 1" X 1" PICKETS AND 1 1/2" X 1 1/2" RAILS.

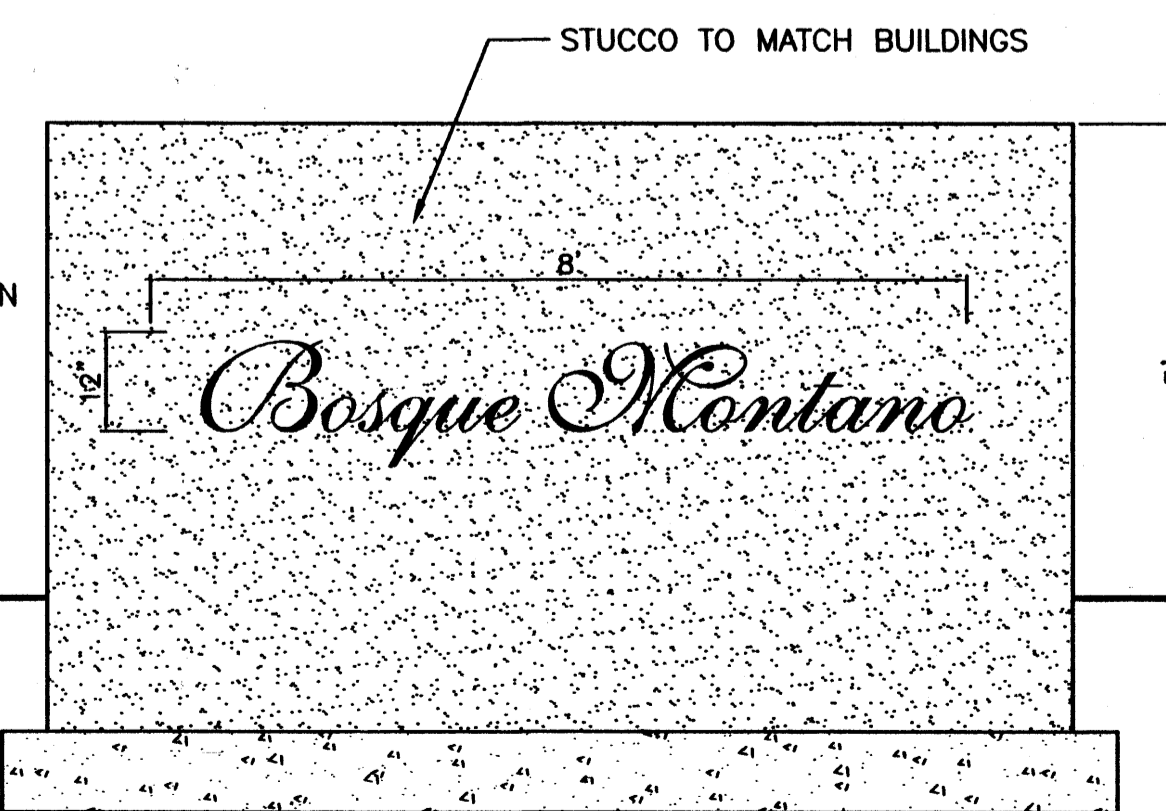


PILASTER 16"x16" STUCCO CMU BLOCK TO MATCH BUILDING

**PERIMETER WALL DETAIL**

NOTE: MONUMENT SIGN SHALL CONTAIN NO LIGHTING.

FOOTING PER DESIGN



**MONUMENT SIGN DETAIL**

- GENERAL NOTES:
1. ALL ELEVATIONS THAT FACE STREET WILL HAVE POPOUTS AROUND DOORS AND WINDOWS. HEIGHT OF ALL STRUCTURES SHALL NOT EXCEED 26'.
  2. ALL CORBELS ARE STUCCO AND SAME COLOR AS ELEVATIONS. ALL VIGAS ARE WOOD AND PAINTED TO MATCH TRIM.

	<b>BOSQUE MONTANO SUBDIVISION</b>	DRAWN BDG
	<b>EXTERIOR ELEVATION</b>	DATE 10-18-00
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	ELEV-DET.DWG	SHEET # <b>10</b>
RONALD R. BOHANNAN P.E. #7868	JOB # 200041	