

LANDSCAPE PLAN

Scale: 1"=20'

REPRESENTATIVE PLAN PALETTE

Deciduous Trees

BOTANICAL NAME COMMON NAME	VARIETY	W / HT.	USE
<i>Pistachia chinensis</i> Chinese Pistache		40/30	LG. SHADE CANOPY
<i>Vitex agnus-castus</i> Monk tree		20/20	FLOWERING ACCENT
<i>Forestiera neo-mexicana</i> New Mexican olive		15/15	SMALL SCALE TREE
<i>Pinus nigra</i> Austrian pine		35/25	VISUAL SCREEN
<i>Chilopsis x chitalpa</i> Chitalpa		30/30	FLOWERING ACCENT
<i>Koeleruteria paniculata</i> Goldenrain tree		25/25	FLOWERING ACCENT
<i>Pyrus callerana</i> Ornamental pear	'Bradford'	25/15	SEASONAL ACCENT
<i>Cercis reniformis</i> Oklahoma redbud		25/25	FLOWERING ACCENT
<i>Celtis occidentalis</i> Common hackberry		25/25	LG. SHADE CANOPY
<i>Gleditsia triacanthos</i> Honeylocust	'Shademaster'	35/40	LG. SHADE CANOPY (LT.)

Shrubs / Vines / Perennials

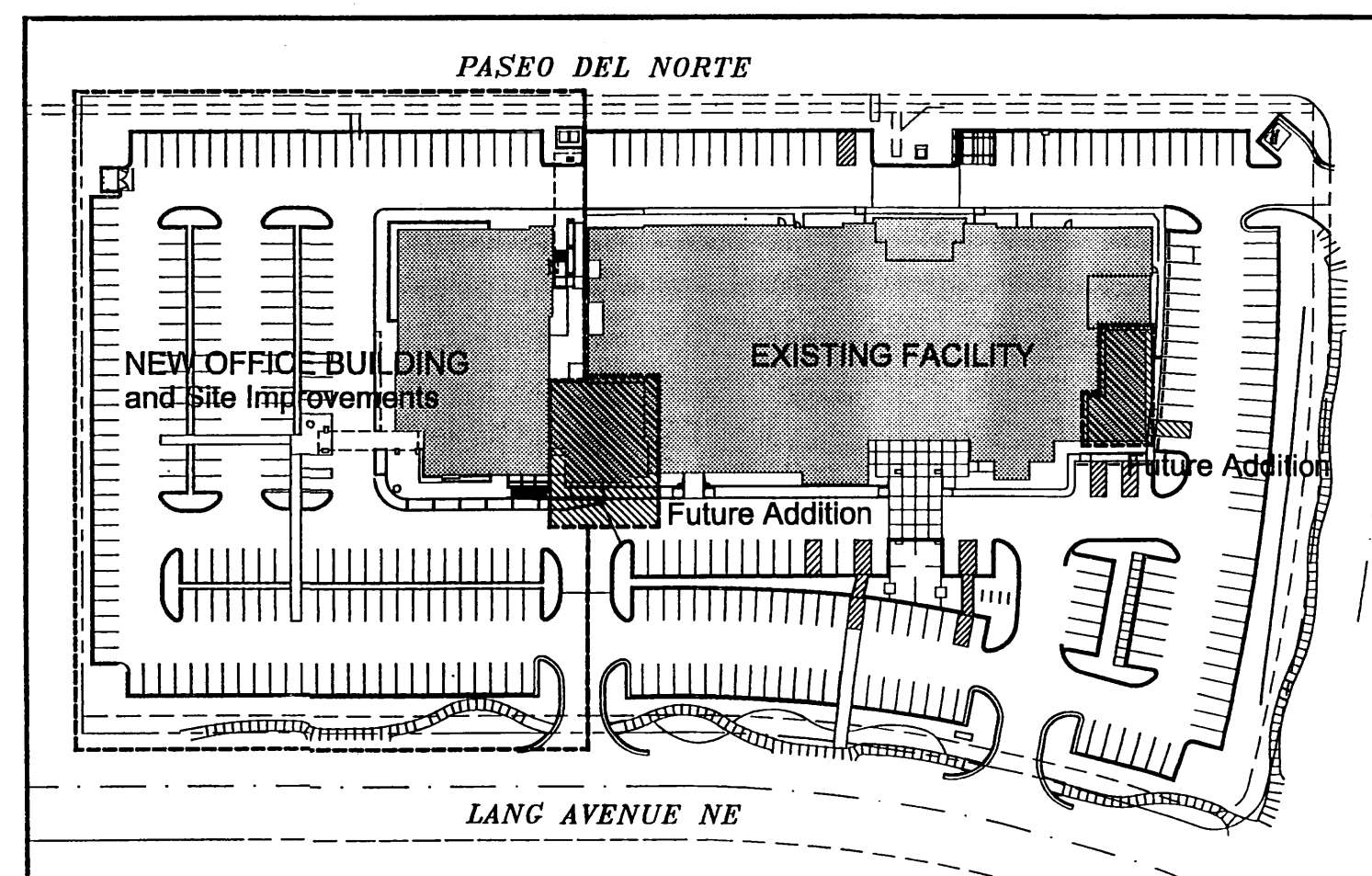
BOTANICAL NAME COMMON NAME	VARIETY
<i>Mahonia aquifolia</i> Oregon grape	'Compacta'
<i>Achillea 'Moonshine'</i> Moonshine yarrow	'Moonshine'
<i>Buddleia davidii</i> Butterfly Bush	
<i>Potenilla fruticosa</i> Spring Cinquefoil	'Forever Gold'
<i>Chrysothamnus nauseosus</i> Chamisa	
<i>Gaura lindheimeri</i> Whirling butterflies	
<i>Lavandula angustifolia</i> English Lavender	
<i>Falugia paradoxa</i> Apache Plume	
<i>Caryopteris X clandonensis</i> Blue Mist Spirea	
<i>Cistus icanus</i> Orchid rockrose	
<i>Cotoneaster lacteus</i> Clusterberry cotoneaster	
<i>Salvia greggii</i> Autumn sage	
<i>Penstemon sp.</i> Beard tongue	
<i>Parthenocissus tricuspidata</i> Boston ivy	

Groundcovers

BOTANICAL NAME COMMON NAME
<i>Rosemarinus officinalis</i> Rosemary
<i>Cotoneaster buxifolia</i> Gray cotoneaster
<i>Duchesnea indica</i> Mock strawberry
<i>Santolina chamaecyparissus</i> Lavendar cotton
<i>Teucrium chamaedrys</i> Greek germander
<i>Ceratostigma plumbagoides</i> Hardy plumbago

Grasses

BOTANICAL NAME COMMON NAME	VARIETY
<i>Nassella tenuissima</i> Mexican threadgrass	
<i>Bouteloua gracilis</i> Glue gramma	Seed
<i>Buchloe dactylo</i> Buffalograss	
<i>Helictotrichon sempervirens</i> Blue avena	



ENTIRE SITE PLAN (Existing, New and Future)

Not to Scale

SUMMARY OF LANDSCAPING AREA COMPLIANCE

NOTE: Calculations include both existing facility and proposed facility.

1. LANDSCAPING - All property areas not occupied by buildings and paved pedestrian and vehicular circulation are landscaped with trees, shrub massing and various types of groundcovers.

2. REQUIRED LANDSCAPING

Total lot area:	261,319 s.f. (6.1 acres)
Total building footprint:	56,039 s.f.
Canopy area	1,310 s.f.
NET LOT AREA (NLA):	203,969 s.f. (4.6 acres)

NOTE:
The Existing Site Development Plan shows 33,533 s.f. of landscaping. 700 s.f. will be reclaimed for parking and has been removed from available landscape area.

Landscaping required @ 15% NLA:	30,596 s.f.
Landscaping provided:	48,909 s.f.
Vegetative cover @75%:	36,681.75 s.f.
Vegetative cover provided:	approximately 42,000 s.f.

3. LANDSCAPING WITHIN PARKING AREAS:

Parking Spaces Provided:	349
Required Trees @ 1 tree per 10 parking spaces:	35
Trees Provided:	61 proposed, >20 existing; total = >81

STATEMENT OF COMPLIANCE WITH WATER CONSERVATION

Landscaping shall be in compliance with requirements given in the City's "Water Conservation Landscaping and Waster Water Ordinance".

RESPONSIBILITY FOR MAINTENANCE

Owner will be responsible for maintaining the landscape in a condition that is safe, aesthetically pleasing, provides for the optimal health of plant materials, and is consistent with the Journal Center's "Project Standards".

IRRIGATION SYSTEM

The proposed irrigation system shall be fully automatic with a solid state irrigation controller. This system will be separate from the existing system of the adjacent facility with a separate meter and point of connection. The point of connection shall have an RP type backflow preventer with a flow meter and master valve.

Plants will be watered by a PVC lateral pipe distribution system with pop-up low-flow bubblers at each plant. Small radius spray irrigation may be used in areas where there is native grass or wildflower seeding. It is anticipated the spray irrigation will be used primarily for establishment.

MATERIALS

Plaza Pavement	Colored and scored concrete
Landscape Terraces	Cast-in-place colored and sand blasted concrete
Street Trees	2.5 inch caliper (10' - 12' tall at planting)
Trees	1.5 - 2 inch caliper (8' - 12' tall at planting)
Shrubs	5 gallon (12" - 36" tall)
Perennials / Vines	1 gallon (6" - 18" tall)
Groundcovers	Low spreading plants, shredded wood bark, gravel

THE DESIGN GROUP
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ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6881

PROJECT NAME:
NM Cancer Center Addition/Remodel
4901 Lang Avenue NE
Albuquerque, New Mexico

REVISIONS	
No.	DESCRIPTION

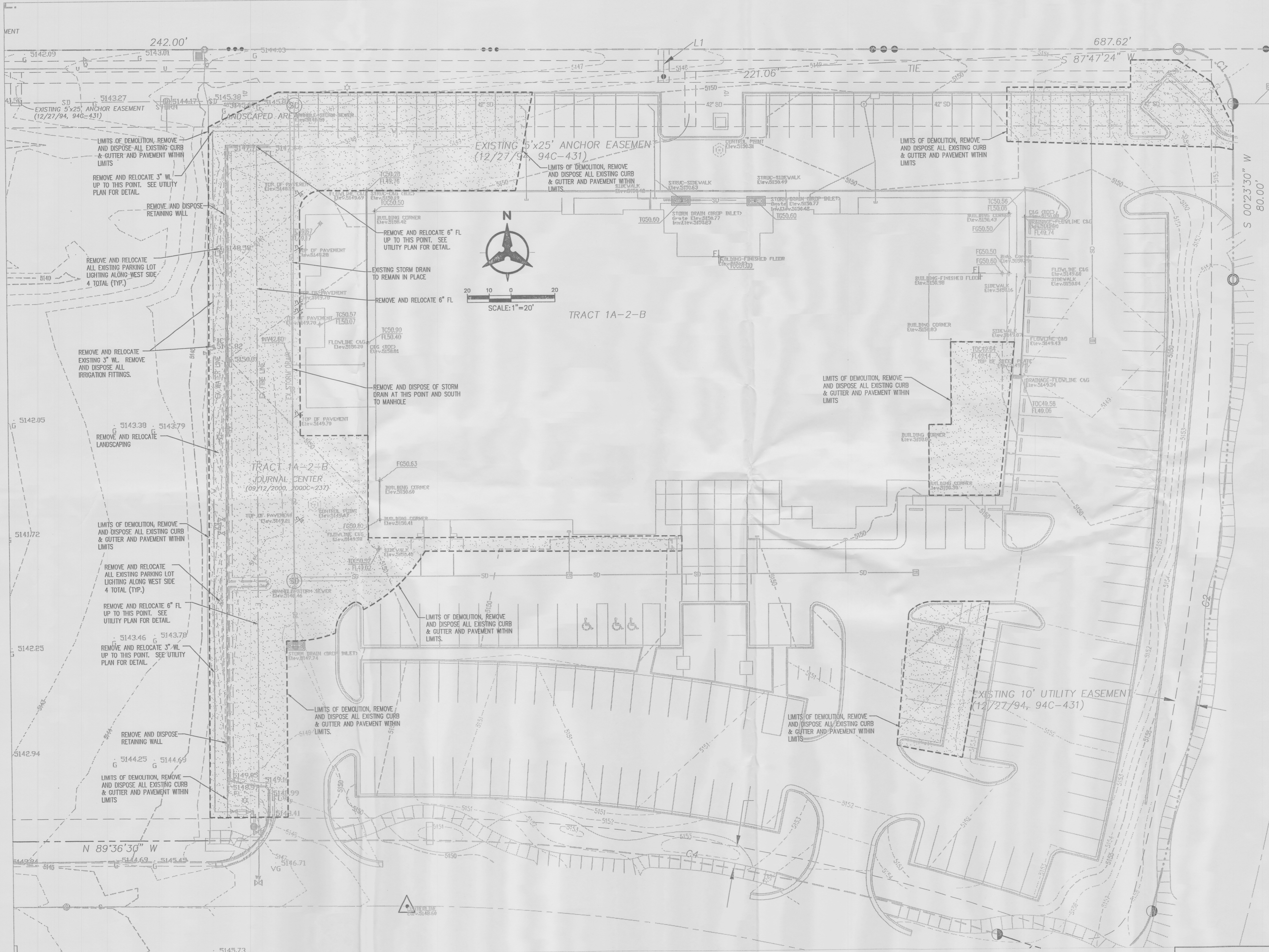
SHEET TITLE:
PLANTING PLAN

DRB SUBMITTAL

RICHARD A. BORKOVETZ, ASLA
Landscape Architecture

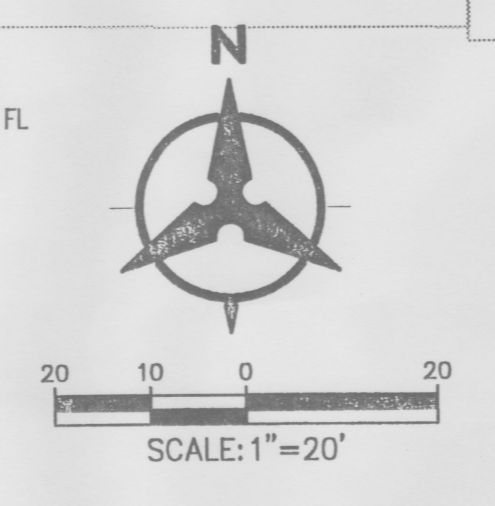
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DEMOLITION NOTES

1. ALL UTILITY COMPANY FACILITIES AND UNDERGROUND UTILITY LINES, WHETHER INDICATED OR NOT INDICATED ON THE DRAWING, SHALL BE REMOVED AS REQUIRED FOR NEW CONSTRUCTION AND CAPPED. CONTRACTOR TO COORDINATE THIS WORK WITH UTILITY COMPANIES.
2. CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS THAT ARE TO REMAIN FROM DAMAGE DURING ALL PROJECT WORK. SPECIAL CARE SHOULD BE TAKEN WITH DRIP LINES OF EXISTING TREES. MINIMIZE TRENCHING OR EXCAVATION WITHIN TREE DRIP LINES. MAXIMUM FILL WITHIN 4' OF TRUNK SHALL BE 6" UP TO MAXIMUM 14" FILL WITHIN REMAINING AREA OF DRIP LINE; MAXIMUM CUT WITHIN 4' OF TRUNK SHALL BE 0" MAXIMUM WITHIN REMAINING AREA OF DRIP LINE SHALL BE 4". ANY CONTRACTOR-CAUSED DAMAGE TO EXISTING SITE IMPROVEMENTS, INCLUDING DAMAGE TO ANY TREES TO REMAIN, SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
3. SEE LANDSCAPE PLANS FOR NOTES REGARDING SALVAGE OF EXISTING IRRIGATION EQUIPMENT.
4. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION WATER TO ALL UNDISTURBED TREES, SHRUBS, GRASS AND GROUND COVER WHICH HAVE IRRIGATION SERVICE INTERRUPTED DUE TO THE CONSTRUCTION.
5. DEMOLITION PHASING SHALL PROCEED ONLY WITH THE PHASING OF THE CONSTRUCTION WORK SO THAT DEMOLITION DOES NOT OCCUR UNTIL CONSTRUCTION IS IMMINENT.
6. ALL SIGNS, CHAIN LINK FENCE AND PARKING BUMPERS SHALL BE STOCKPILED FOR RE-USE. ITEMS TO BE RE-USED SHALL BE IN GOOD CONDITION, AS APPROVED BY OWNER'S REPRESENTATIVE.
7. CONTRACTOR SHALL COORDINATE WORK INDICATED ON THE SITE DEMOLITION PLANS WITH THE CONSTRUCTION PLANS TO DETERMINE SPECIFIC REMOVAL LIMITS.
8. CONTRACTOR IS RESPONSIBLE FOR ALL VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. CONTRACTOR SHALL COORDINATE WITH CITY OF ALBUQUERQUE, FOR WORK WITHIN THE PUBLIC RIGHT OF WAY AND WITH OWNER'S REPRESENTATIVE FOR WORK ON-SITE. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANS PRIOR TO IMPLEMENTATION.
9. CONTRACTOR IS RESPONSIBLE FOR DRAINAGE MANAGEMENT AND EROSION CONTROL AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
10. EXISTING SIGNS WHICH ARE REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND UTILITY TRENCHING NECESSARY TO PERFORM THE WORK SHOWN ON THE UTILITY AND ELECTRICAL PLANS.



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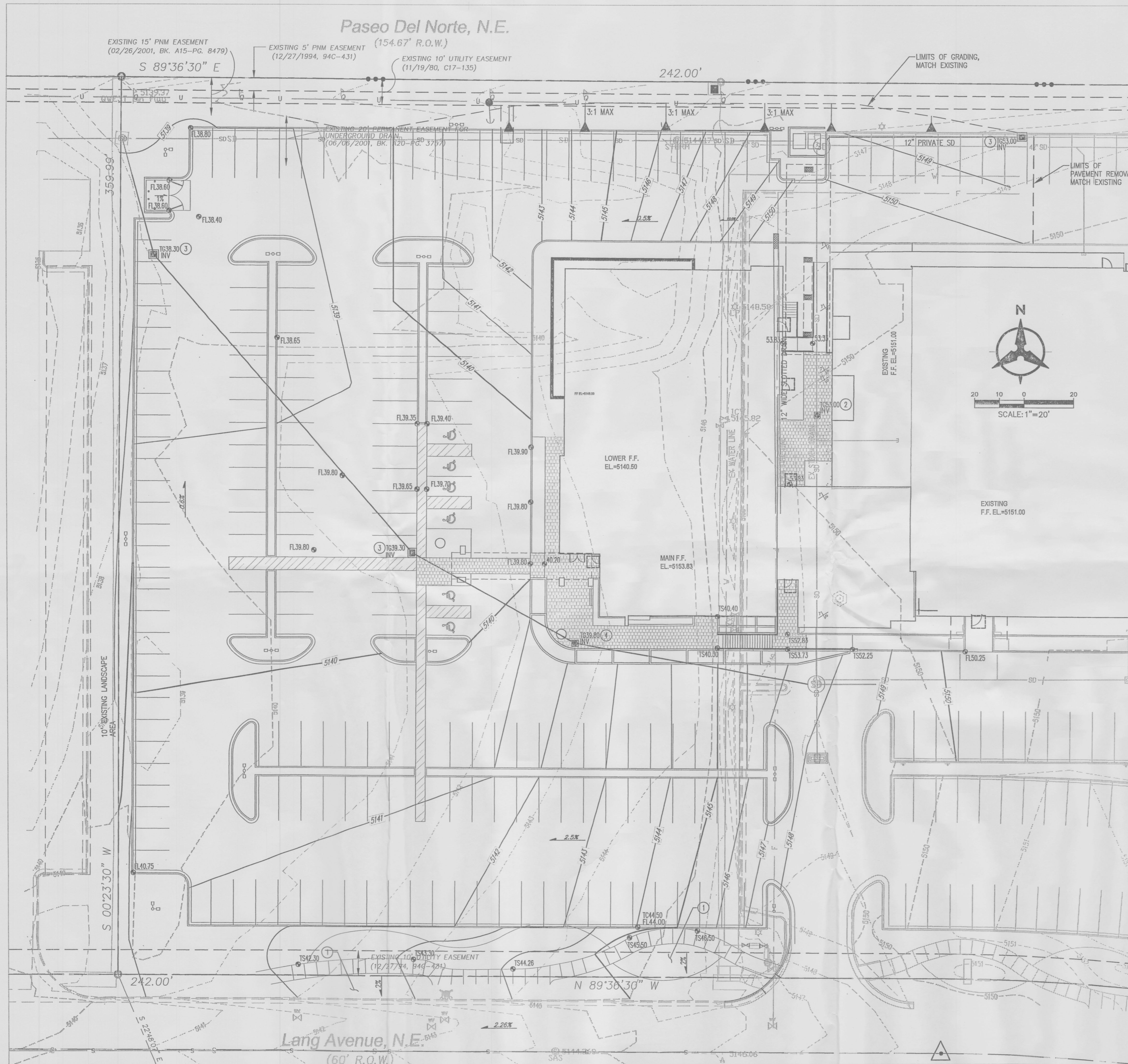
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SHEET TITLE:
DEMOLITION PLAN

DESIGNED: RMM SCALE: 1" = 20'
 CHECKED: BJS JOB NO: 2316
 DATE: 07.06.06 COMP. FILE:

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

- PROPERTY LINE
- - - - - 5301 --- EXISTING CONTOURS
- x 5301.15 EXISTING GROUND SPOT ELEVATION
- o EXISTING ELECTRICAL POLE
- o 65.23 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, EX=EXISTING, TG=TOP OF GRATE
- - - - - S=2.0% PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- - - - - 5305 --- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & CUTTER
- - - - - EASEMENT
- o EXISTING TREE
- o PROPOSED LIGHTING
- o PROPOSED STORM DRAIN LINE
- o PROPOSED STORM DRAIN MANHOLE
- o PROPOSED STORM DRAIN INLET
- o EXISTING STORM DRAIN MANHOLE

GRADING KEYED NOTES

- SLOPE FROM BACK OF SIDEWALK TO TOP OF CURB = 2%.
- INSTALL NEW 15"x15" ADS AREA DRAIN OVER EXIST STORM DRAIN.
- INSTALL TYPE D INLET AS PER COA STD DWG. 2206
- INSTALL 15"x15" GRATE W/ ADS DRAIN BASIN OR APPROVED EQUAL.

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEO-TECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

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PROJECT NAME:
NM Cancer Center Addition/Remodel
4901 Lang Avenue NE
Albuquerque, New Mexico

REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:
CONCEPTUAL GRADING AND DRAINAGE PLAN

DESIGNED: **RMM** SCALE: 1" = 20'
CHECKED: **BJS** JOB NO: **2316**
DATE: **07.06.06** COMP. FILE:

DRB SUBMITTAL

Bohannon & Huston
Court yard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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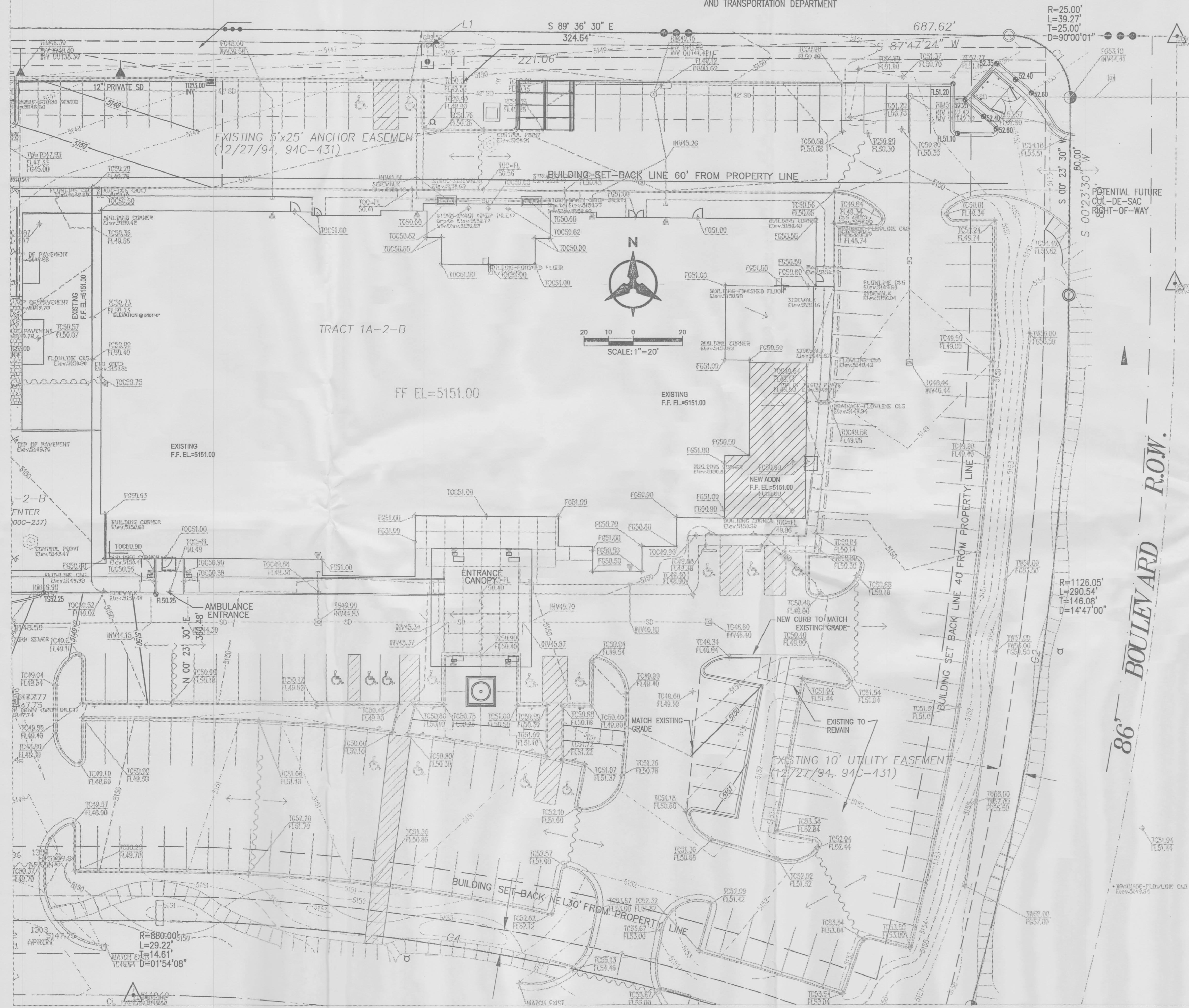
PASEO DEL NORTE

154.67' R.O.W.

CONTROLLED ACCESS TO PASEO DEL NORTE BY NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- 5301.15 EXISTING GROUND SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TO=TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- ▬ WATER BLOCK
- PROPOSED RETAINING WALL
- - - - - PROPOSED INDEX CONTOURS
- - - - - PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- SD PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE



(A) EXISTING SITE IMPROVEMENTS
SCALE: 1"=20'

DRB SUBMITTAL

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 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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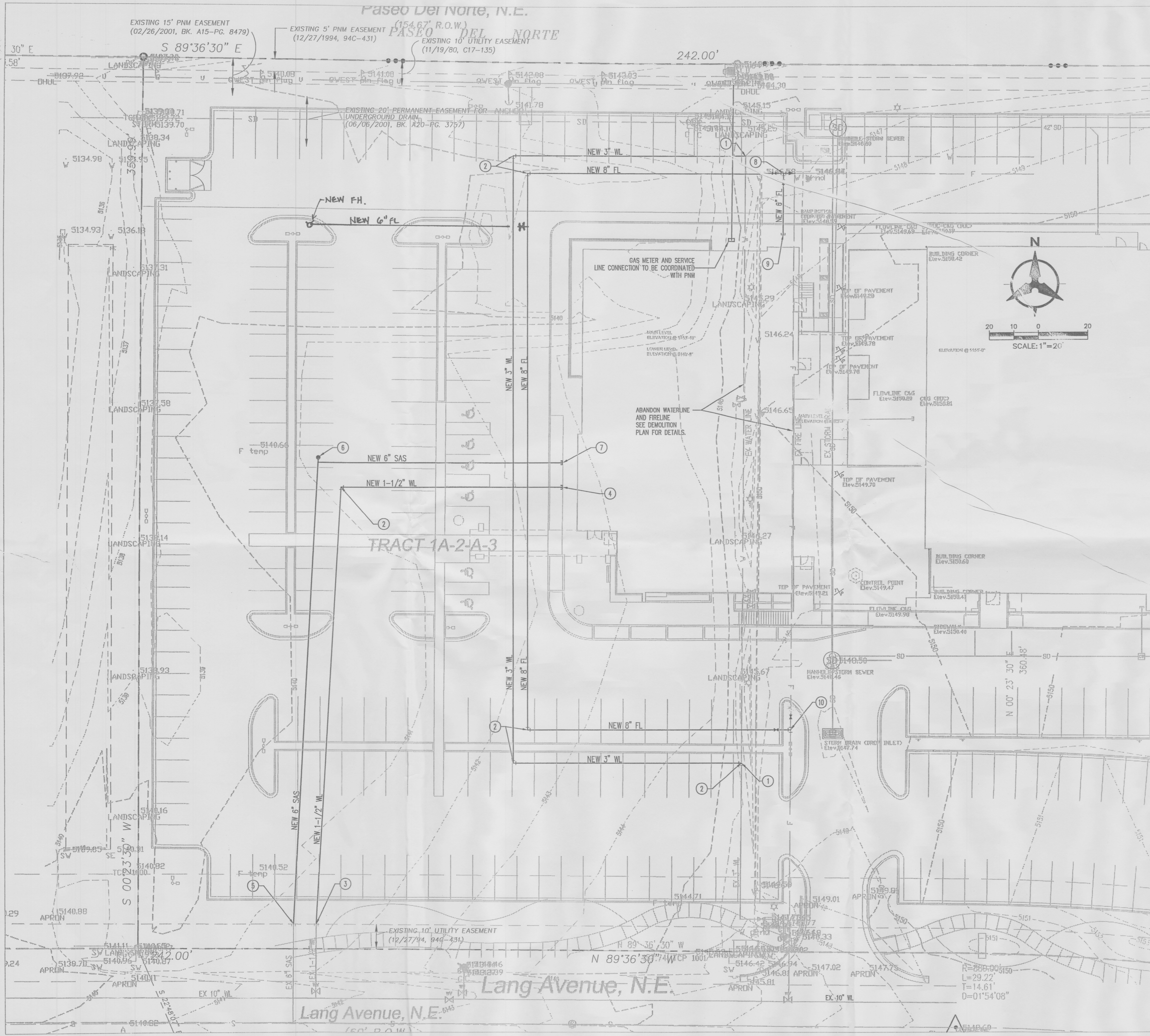
REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:
 CONCEPTUAL
 GRADING AND
 DRAINAGE DETAIL

DESIGNED: RMM SCALR: 1" = 20'
 CHECKED: BJS JOB NO: 2316
 DATE: 07.06.06 COMP. FILE

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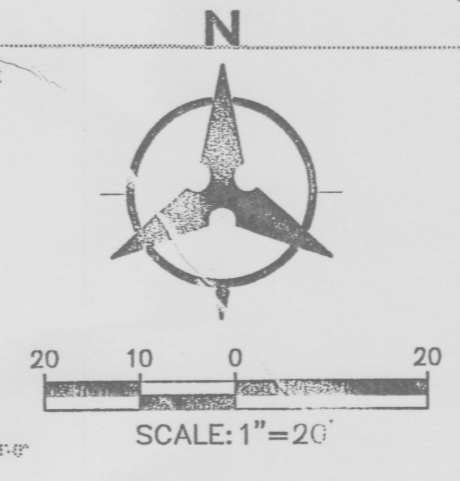


UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UPDO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

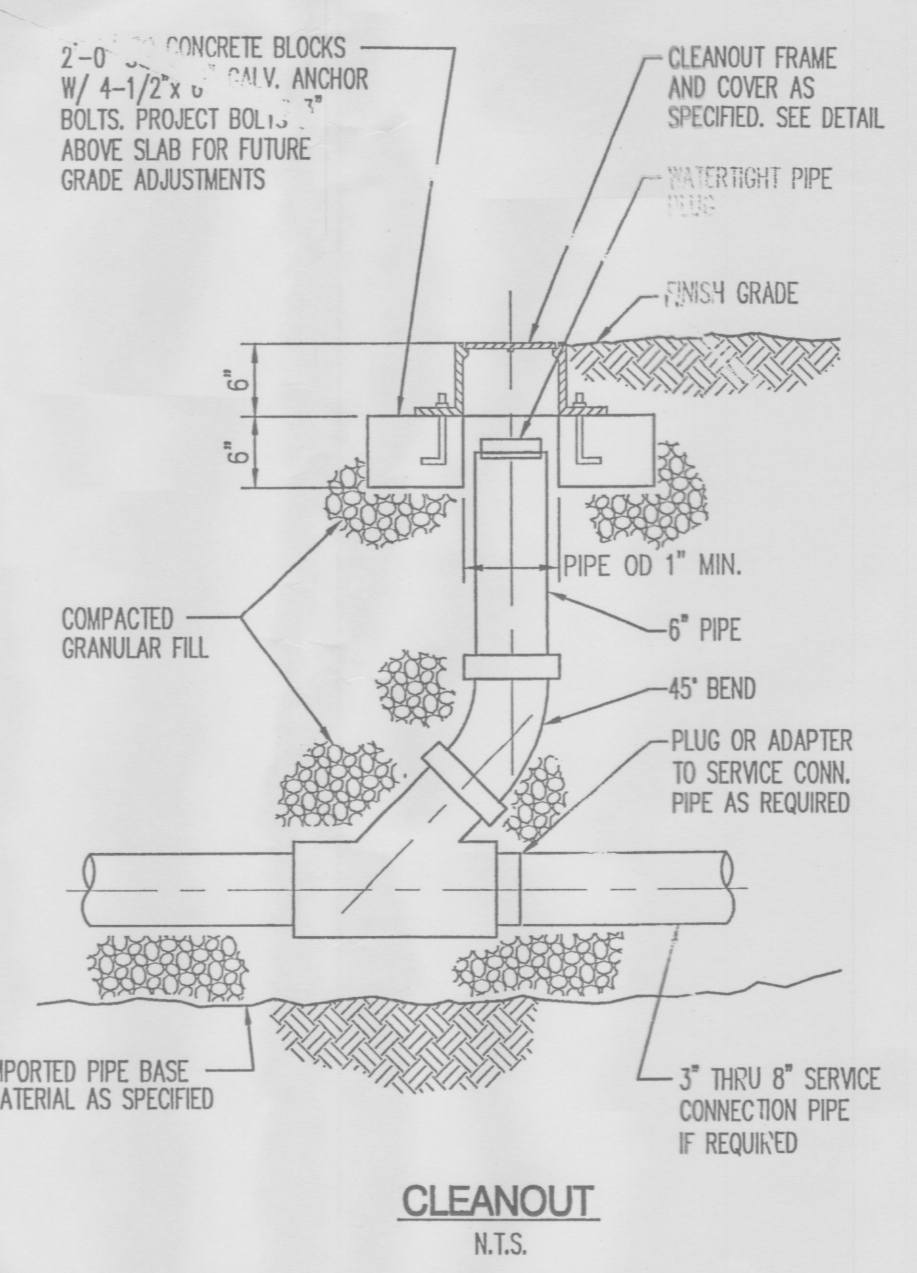
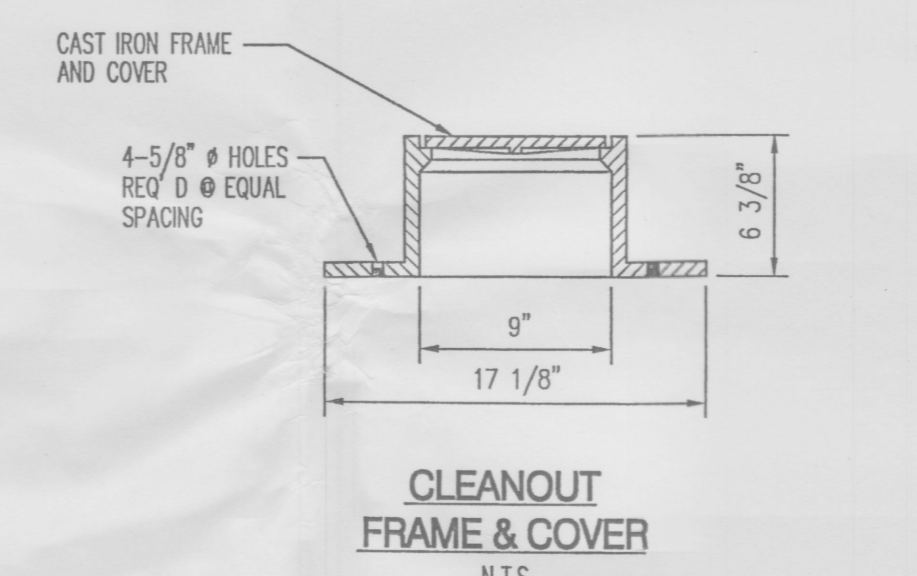
LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- SAS
- EXISTING SANITARY SEWER
- W
- EXISTING WATER LINE
-
- EXISTING WATER METER
- +
- EXISTING CAP
- ⊕
- EXISTING VALVE
- ⊕
- EXISTING FIRE HYDRANT
- ⊕
- EXISTING SANITARY SEWER MANHOLE
- ⊕
- EXISTING STORM DRAIN MANHOLE
-
- EXISTING INLET
-
- PROPOSED EASEMENT
- SAS
- PROPOSED SANITARY SEWER LINE
- ⊕
- PROPOSED SANITARY SEWER MANHOLE
- ⊕
- PROPOSED CLEANOUT
- W
- PROPOSED WATER LINE
- +
- PROPOSED VALVE
- FL
- PROPOSED FIRE LINE
- ⊕
- PROPOSED HYDRANT
- +
- PROPOSED CAP
- ⊕
- PROPOSED WATER METER



UTILITY KEYED NOTES

1. CONNECT NEW 3" WATERLINE TO EXISTING 3" WATERLINE.
2. INSTALL 1 - 90° BEND IN WATERLINE.
3. CONNECT NEW 1-1/2" WATERLINE TO EXISTING STUB OUT.
4. CONNECT NEW 1-1/2" WATERLINE TO STUB OUT FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
5. CONNECT NEW 6" SAS LINE TO EXISTING LINE AT INVERT ELEVATION SHOWN.
6. INSTALL 90° BEND IN SAS LINE. INSTALL NEW CLEANOUT PER DETAIL THIS SHEET.
7. CONNECT NEW 6" SAS LINE TO STUB OUT FROM BUILDING AT INVERT ELEVATION SHOWN. SEE PLUMBING PLANS FOR CONTINUATION.
8. INSTALL 6"x6"x6" TEE FOR FIRE LINE CONNECTION. INSTALL 1 - 6" WL VALVE ON STUB AND 1 - 8" WL VALVE ON MAIN WITH RESTRAINED JOINTS, 1 - 8"x6" REDUCER WITH RESTRAINED JOINTS AND CONNECT TO EXISTING 6" FIRELINE.
9. CONNECT NEW 3" FIRELINE TO STUB OUT FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
10. CONNECT TO EXISTING 6" FIRE LINE WITH 1 - 6"x6"x6" TEE. INSTALL 1 - 8" WL VALVE W/ RESTRAINED JOINTS ON BRANCH, 1 - 6" WL VALVE W/ RESTRAINED JOINTS ON FIRE HYDRANT BRANCH, AND 1 - FIRE HYDRANT. FLANGE ELEVATION = 5148.



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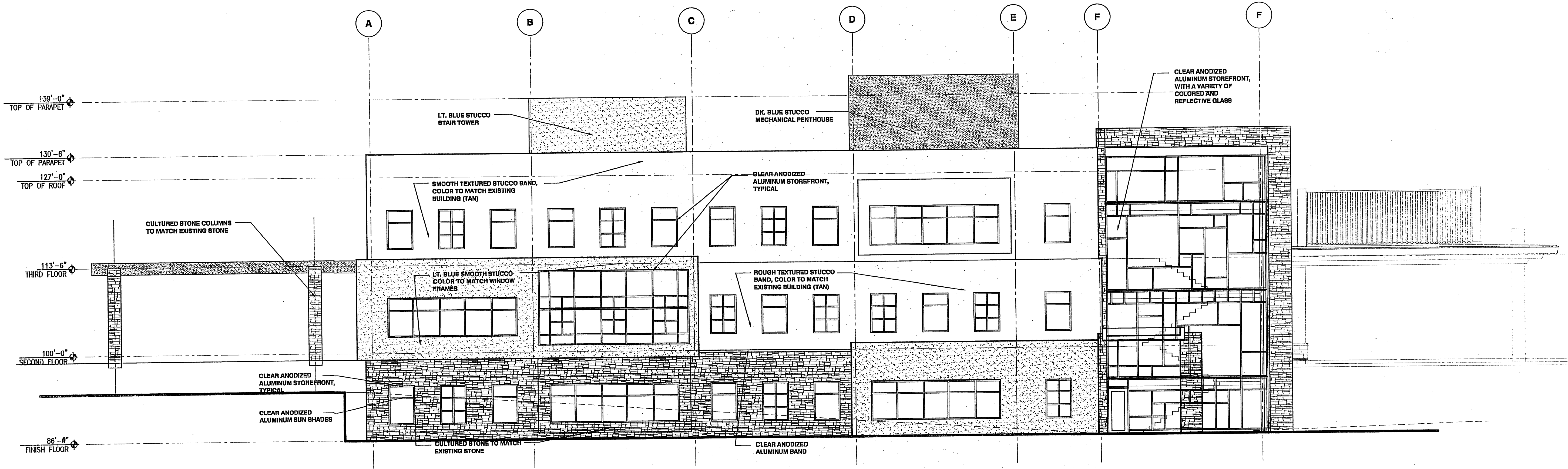
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CONCEPTUAL
UTILITY
PLAN

DESIGNED: FMM	SCALE: 1" = 20'
CHECKED: BJS	JOB NO: 2306
DATE: 07.06.06	COMP. FILE:

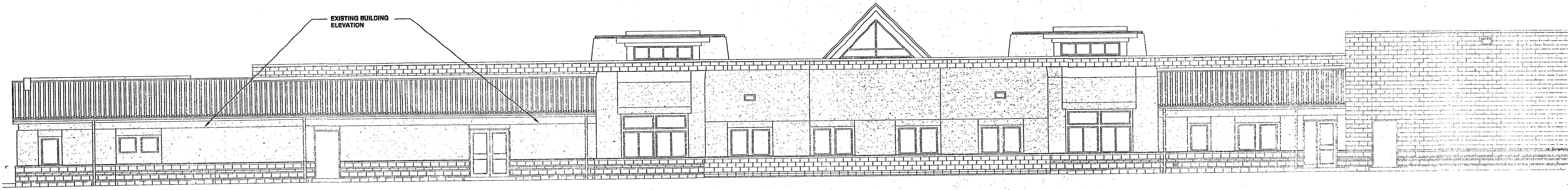
C2.0

DRB SUBMITTAL

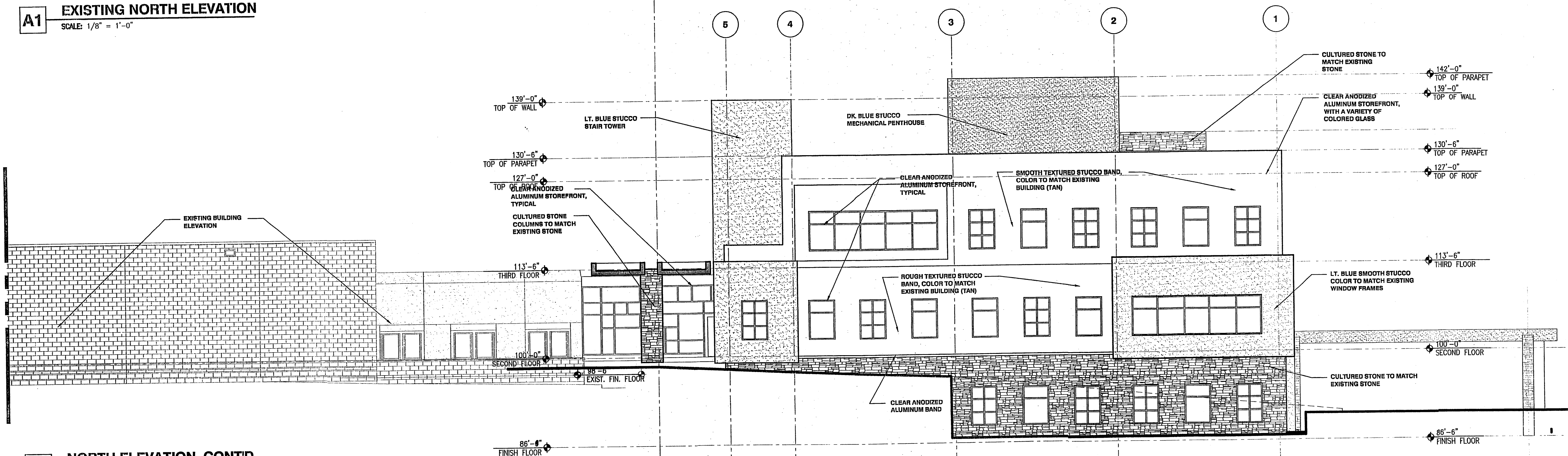
Bohannon & Huston
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335



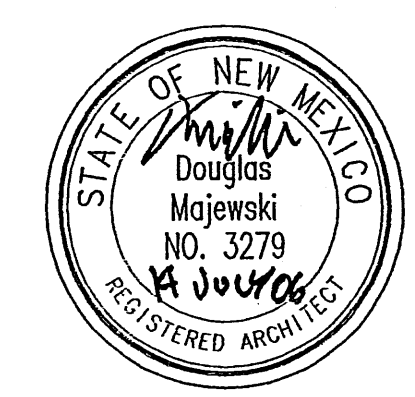
B1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



A1 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 NORTH ELEVATION CONT'D
SCALE: 1/8" = 1'-0"



THE DESIGN GROUP
ARCHITECTS - PLANNERS - INTERIOR DESIGN
292 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6881

PROJECT NAME:
NM Cancer Center Addition/Remodel
4901 Lang Avenue NE
Albuquerque, New Mexico

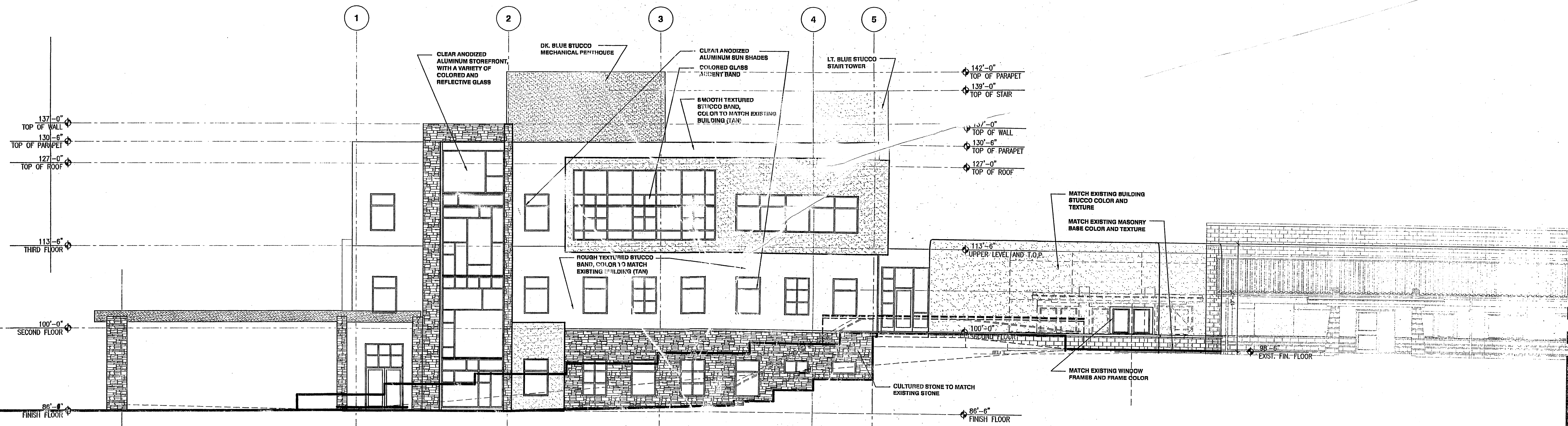
REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:
EXTERIOR
ELEVATIONS

DESIGNED: --- SCALE: 1/8" = 1'-0"
CHECKED: --- JOB NO: 2316
DATE: 07.14.06 COMP. FILE: File Name

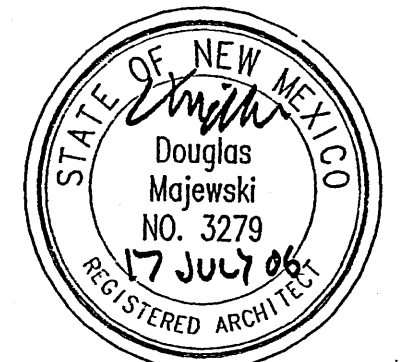
A200



B1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 SOUTH ELEVATION CONT'D
SCALE: 1/8" = 1'-0"



THE DESIGN GROUP
ARCHITECTS • PLANNERS • INTERIOR DESIGN
202 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6886 FAX: 505.242.6881

PROJECT NAME:
NM Cancer Center Additon/Remodel
4901 Lang Avenue NE
Albuquerque, New Mexico

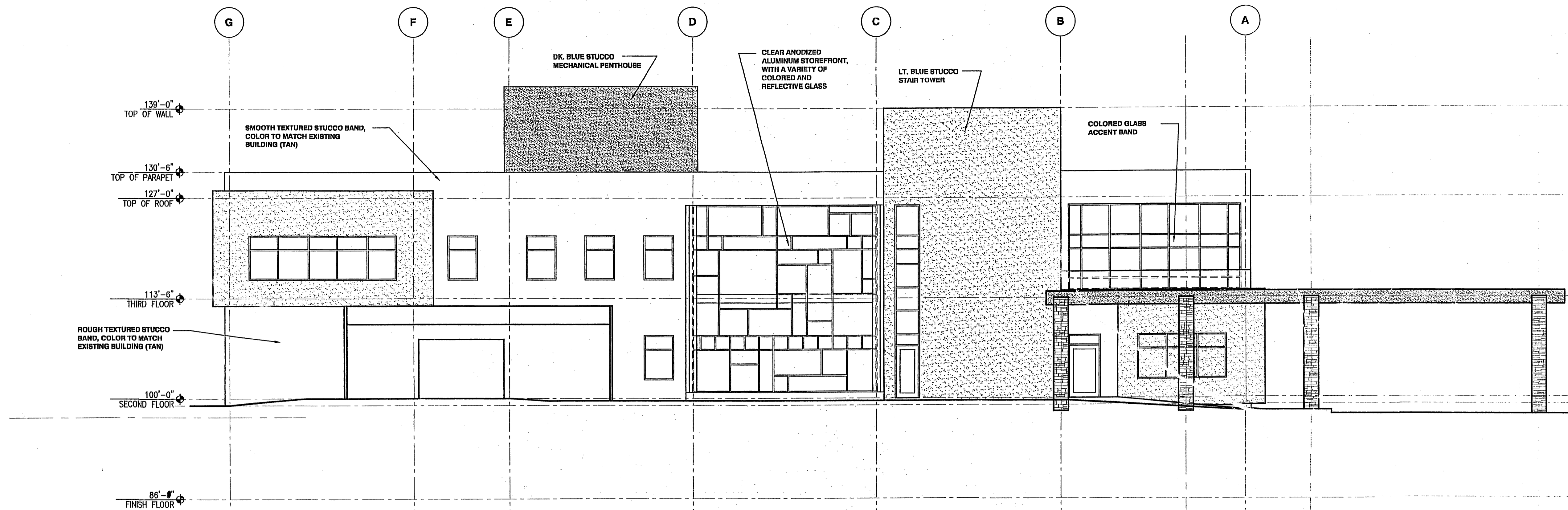
REVISIONS

No.	DATE	DESCRIPTION

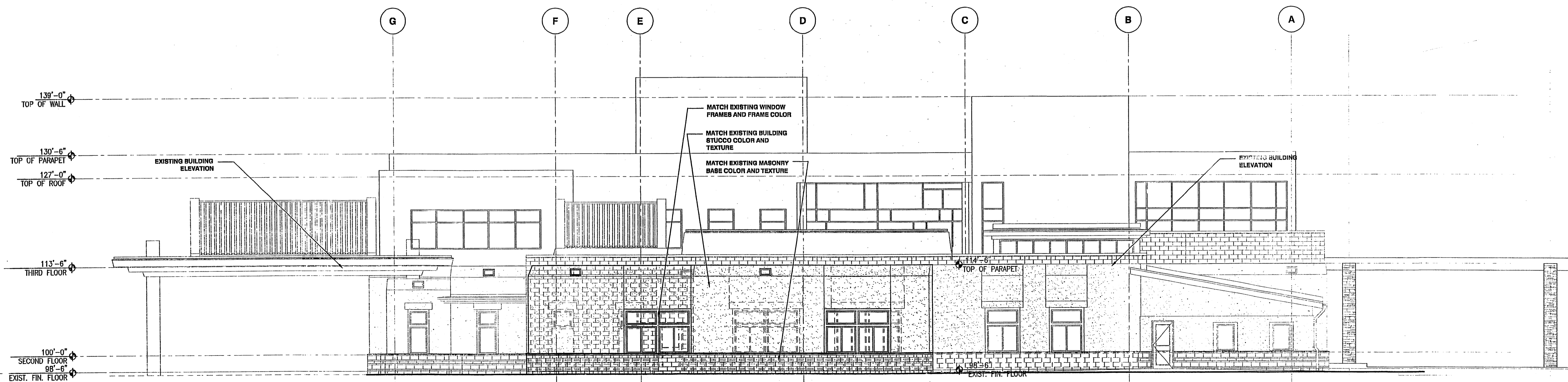
SHEET TITLE:
EXTERIOR
ELEVATIONS

DESIGNED: --- SCALE: 1/8" = 1'-0"
CHECKED: --- JOB NO: 2316
DATE: 07-14-08 COMP. FILE: File Name

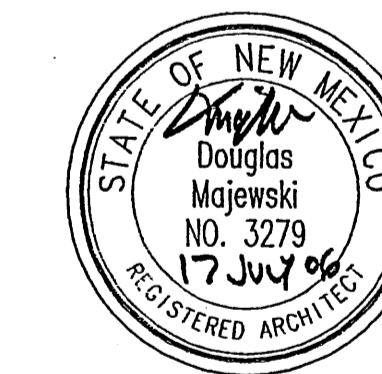
A201



A1 EAST ELEVATION - ADDITION
SCALE: 1/8" = 1'-0"



A1 EAST ELEVATION - REMODEL
SCALE: 1/8" = 1'-0"



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202 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6881

PROJECT NAME:
NM Cancer Center Addition/Remodel
4901 Lang Avenue NE
Albuquerque, New Mexico

REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:
EXTERIOR
ELEVATIONS

DESIGNED: --- SCALE: 1/8" = 1'-0"
CHECKED: --- JOB NO: 2318
DATE: 07.14.06 COMP. FILE: File Name

A202

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