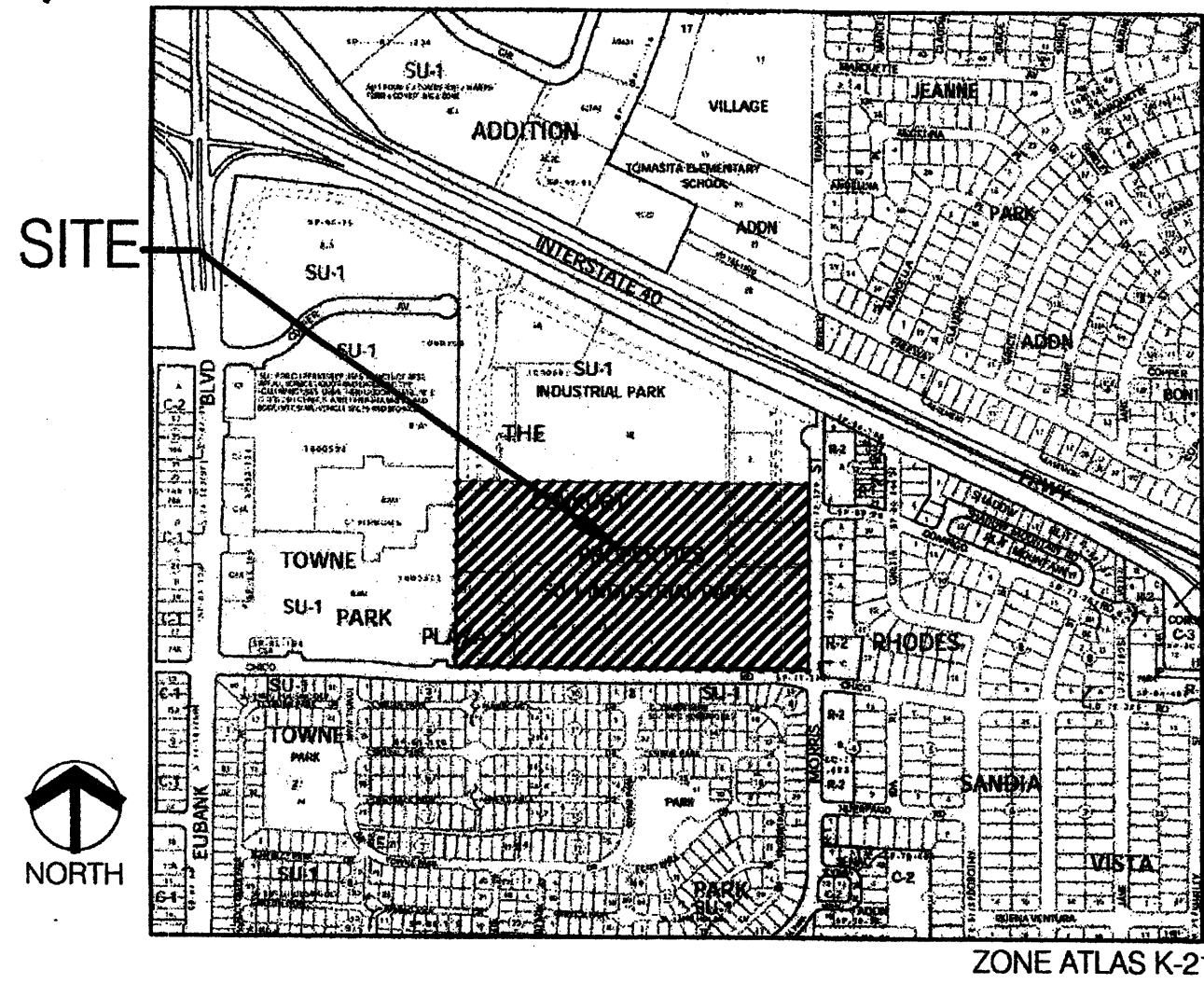
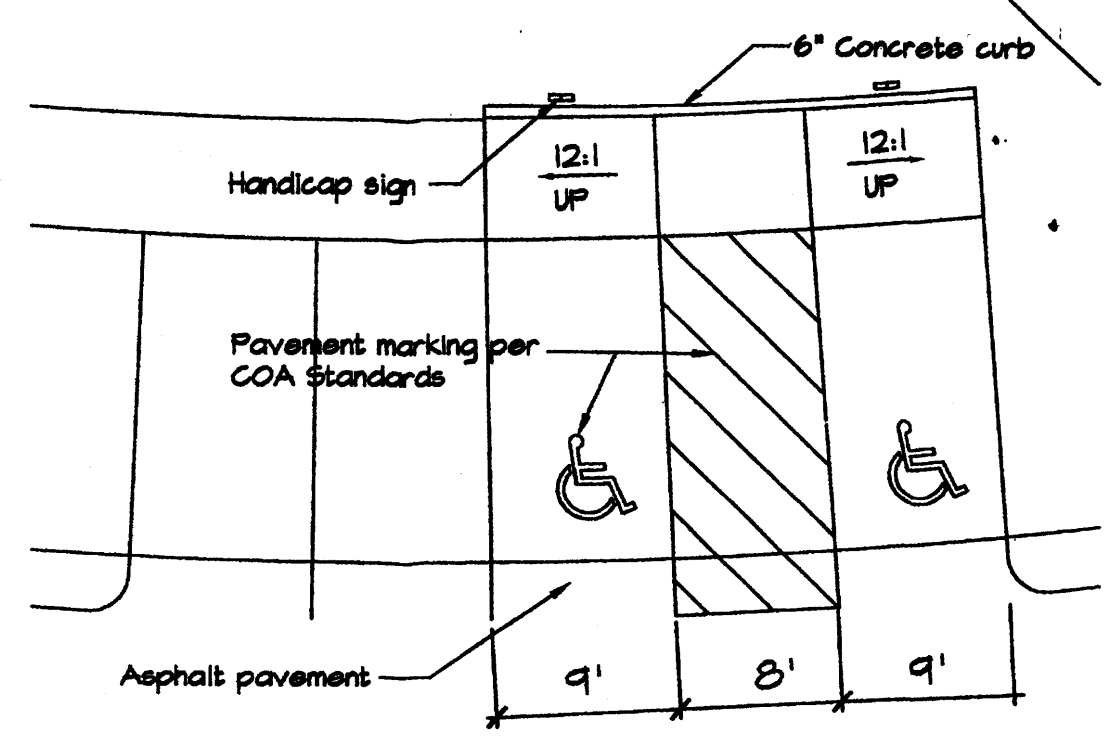


**SITE VICINITY**



ZONE ATLAS K-21

**ADMINISTRATIVE AMENDMENT**  
 File # 09AA-105A Project # 1000572  
 Addition of single-family, detached product. Delete 36 condo units and replace with 24 single-family units.  
 Russell B. Bingham 26 June '09  
 APPROVED BY DATE



**ARGUELLO TRAIL NE**  
 Handicap Parking Area Enlargement  
 Scale 1" = 10'

FOR AMENDMENT:  
 PROJECT NUMBER: 1000572  
 Application Number: 06DE15-01983  
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11/14/06 and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required?  Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:  
 Traffic Engineering, Transportation Division Date 1-3-07  
 Water Utility Department Date 1/3/07  
 Parks and Recreation Department Date 1-4-07  
 Solid Waste Management Date 1/3/07  
 City Engineer Date 1-4-07  
 DRB Chairperson, Planning Department Date 1-4-07

**Site Information:**  
 The site consists of approximately 23.7 acres. The legal description for the site is The Presidio - Unit 1.  
 Proposed Use and Zoning:  
 Approximately 87 townhomes and 55 triplex units and 2 duplex units containing approximately 169 condominium units are proposed for the site for a total of 256 dwelling units. The townhomes will be comprised of duplex, and tri-plex units, containing 2-3 bedrooms and 1 - 2 1/2 baths. The site also contains Private Open Space and a Clubhouse/Recreational building. The proposed zoning is SU-1 PRD. Gross density is at 10.9 DU/Acre. The community will be gated and all internal streets will be private and maintained by the Homeowners Association.

**Pedestrian and Vehicular Ingress and Egress:**  
 VEHICULAR ACCESS - Primary access into the development will be off of Chico Road NE. One additional access point is provided off Morris Street NE. Both accesses will be gated. All internal roadways will be private.  
 PEDESTRIAN ACCESS - Pedestrians will be provided direct access through the development from entryways off of Chico Drive NE and Morris Street NE. Two additional pedestrian access points will be provided along the northern property line: one at Moraga Way NE and one at the alley near the western boundary. All entryways will be gated and residents will use a code or key to enter the community. Pedestrian access shall be provided by sidewalks constructed within private roadway easements. Pedestrian circulation will be facilitated through a network of walking paths that lead from the parking areas to each triplex or townhome unit. The point where the trails access the streets will be ADA compliant.

**BICYCLE ACCESS** - An existing bike trail is located north of the site, not shown.  
**TRANSIT ACCESS** - The site is currently not on a direct transit route, however, it is located within walking distance of Albuquerque Ride's Eubank service (Route #2).

**INTERNAL CIRCULATION** - Internal roads will be designed and built in compliance with the Development Process Manual (DPM). Local roads (at varying lengths) internal to the development will provide access to each home and access to parking areas that serve as additional guest parking for the townhomes.  
**PARKING** - Parking will be provided in compliance with 14-16-3-1 of the City of Albuquerque Comprehensive Zoning Code. Additional guest parking will be provided at common parking areas located throughout the Presidio Community. There are 73 additional guest parking spaces provided within the Presidio Community.

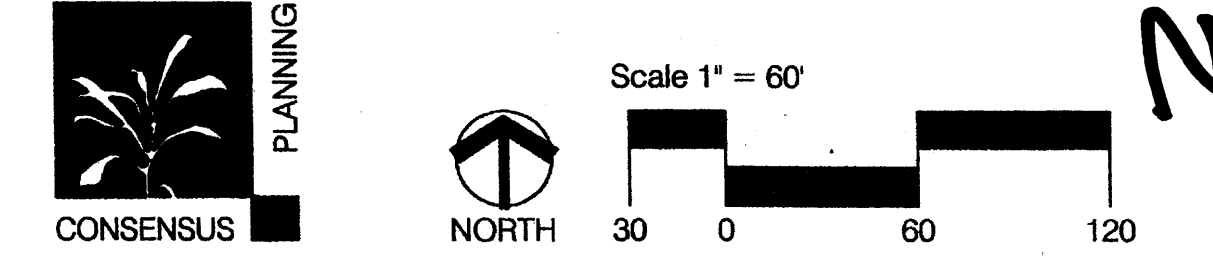
**Landscape Plan** - The Landscape Plan, (see sheet 3) provides street trees within the subdivision and also along Chico Road NE in accordance with the Street Tree Ordinance. Street trees will also be provided in the same manner along Morris Street NE.

PROJECT NUMBER: 1000572  
 Application Number: 05-EPC-01116  
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 19, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:  
 Traffic Engineering, Transportation Division Date 8-23-06  
 Water Utility Department Date 8/23/06  
 Parks and Recreation Department Date 8/23/06  
 Solid Waste Management Date 8/23/06  
 City Engineer Date 8/28/06  
 DRB Chairperson, Planning Department Date 8/28/06

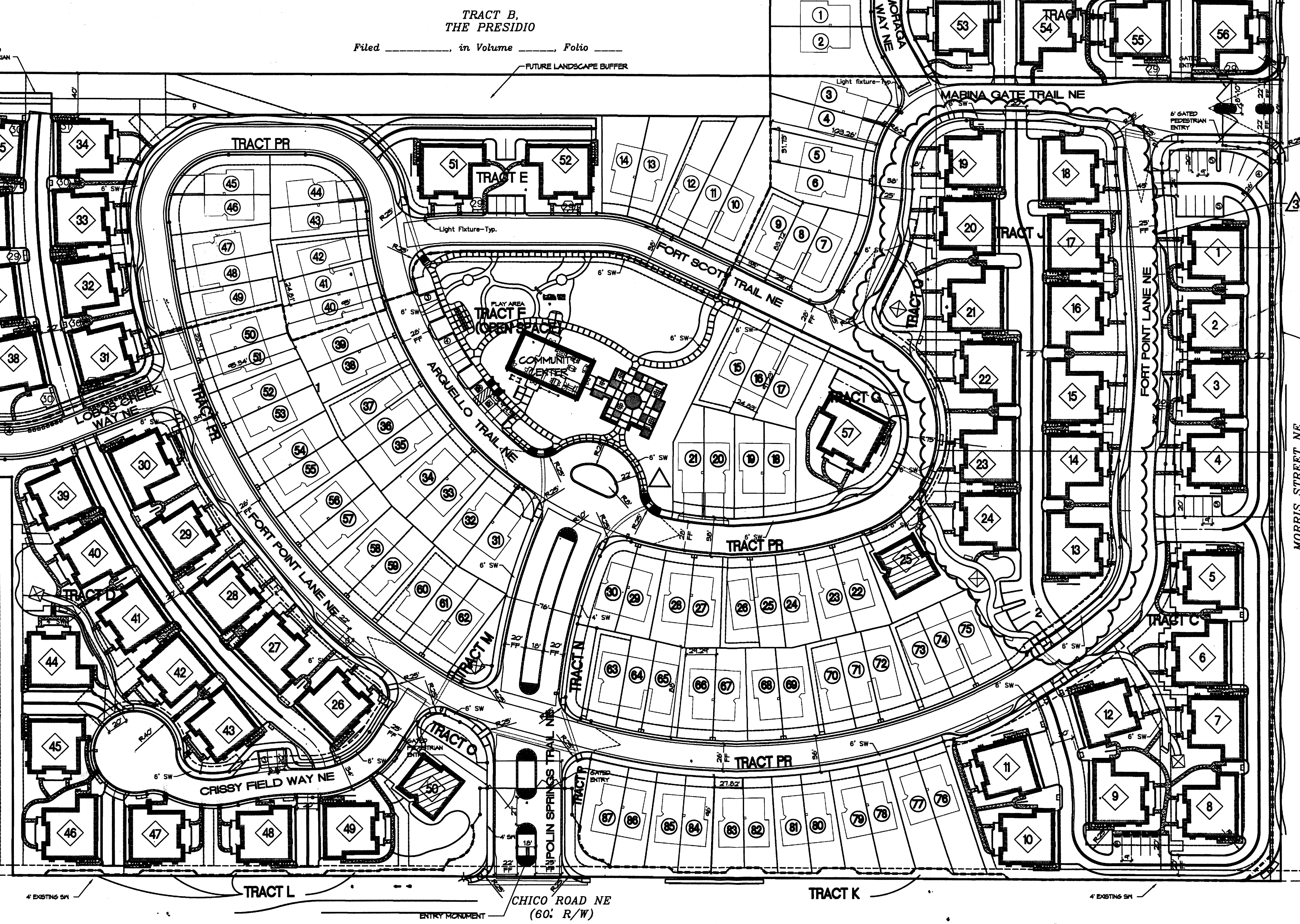
**AMENDED SITE DEVELOPMENT PLAN FOR PRD THE PRESIDIO**

Prepared for:  
 Centex Homes  
 5120 Masthead NE  
 Albuquerque, NM 87109  
 Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102  
 Isaacson & Arfman, P.A.  
 128 Monroe Street NE  
 Albuquerque, NM 87108  
 Dekker Perich Sabatini  
 6801 Jefferson NE, Suite 100  
 Albuquerque, NM 87109



PROJECT # 1000572

TOWNE PARK PLAZA  
 Filed 7/9/2003,  
 in Volume 2003C, Folio 204  
 in Volume 2003C, Folio 36



- 1. Amendment: January, 2007
  - 1.) Land swap that removed western & northern portions of property and replaced with northern most portion of property (north of Marina Gate Trail NE).
  - 2.) Minor adjustments made to location of townhomes to accommodate the land swap.
  - 3.) Replaced a townhome unit with a condominium unit (#25).
- 2. Amendment: June, 2007
  - 1.) Addition of two guest parking areas in western area of property and between condominium unit #13 and townhome #75.
  - 2.) Relocation and reconfiguration of community center.
  - 3.) Recalculation and removal of a portion of the front yard landscaping for the townhome units only.
  - 4.) Refinement of entry sign design and gate detail.
  - 5.) Buildings 25 & 50 are ADA compatible.
- 3. Amendment: June, 2009
  - 1.) Add a new single family product to the project sheet 2.
  - 2.) Modify Tract J, delete (12) condominium buildings (36 Units) and replace with (24) single family houses. This may be implemented in phases (minor plats).



# DESIGN STANDARDS FOR THE PRESIDIO

## A. Introduction

The purpose of these Design Standards is to provide a framework for ensuring that a high quality development occur within the Presidio. The Presidio represents a unique development concept that combines single family homes, townhouses and condominiums within the same project. As a result of this dwelling unit mix, there is more flexibility in both layout and design.

## B. Design Standards

The purpose of these Design Standards is to provide an overview of the development concepts and vision for the property. The primary goal for this property is to achieve a vibrant, residential community that fosters pedestrian accessibility and maintains a network of open space and amenities for the benefit of residents living in the subdivision.

The Design Standards shall be used to facilitate a design that integrates the subdivision into the surrounding built environment. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, and signage and that will create the visual image desired for The Presidio. They are intended to establish a development framework that is complimentary to the existing neighborhoods to the south and east.

### Site Amenities

The project's site amenities include a network of walking paths that connect the development. Walking paths will be landscaped in order to offer a pleasing pedestrian environment throughout the development. Other amenities include pocket parks, play areas, and open space located throughout the property. A club house is included as an amenity and will serve a variety of community functions.

Private common areas will be located throughout the Presidio. Common area characteristics include:

- The common areas will be owned, developed, and maintained by the Homeowners Association for the Single Family Homes, Townhouses and a Condominium Association for the condominium common areas.
- Small pocket parks will provide park benches and shade structures in some of the larger open areas.
- Landscaped areas will be provided at entryways into the development.
- Shade structures (Ramada structures) will be provided in the common open space areas to provide areas for outdoor seating.
- There will be a 2,500 square foot club house for use by the residents of the Presidio with a patio, workout room, common living room, and catering kitchen.
- Covered outdoor space and balconies shall be considered on-lot usable open space.
- A network of trails will be developed throughout the property. The network will consist of 6' meandering concrete trails that will be placed within the site landscaping.

### Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Front yard setbacks for single family residential developed have been reduced from the City's standard in order to provide as intimate a streetscape experience as possible.

### Townhomes/Single Family Detached

- Front Yard Setbacks - There shall be a front-yard setback of not less than 10 feet
- Rear Yard Setbacks - Rear yard setbacks shall not be less than 15 feet;
- Side Yard Setbacks - There shall be no required side-yard setback except: There shall be no less than ten feet on the street side of corner lots.

### Condominiums

The following setbacks apply to private roadway tract lines:

- Front Yard Setbacks - There shall be a front-yard setback of not less than 10 feet. Patios are permitted to encroach into the front yard setback.
- Rear Yard Setbacks - Rear yard setbacks shall not be less than 15 feet;
- Side Yard Setbacks - There shall be a side-yard setback of not less than 5 feet except: There shall be ten feet on the street side of corner lots.

The following setbacks apply to private roadway tract lines or lot lines:

- Front Yard Setbacks - There shall be a front-yard setback of not less than 20 feet, measured from the midpoint of garage to private roadway tract line.
- Rear Yard Setbacks - Rear yard setbacks shall not be less than 15 feet;
- Side Yard Setbacks - 5 foot side yard setback from vertical face of unit to lot line 10 foot side yard setback, adjacent to private roadway tract line 10 foot setback from vertical face to vertical face of units

### Landscape

The development of an overall landscape concept will establish a framework that unifies the property and is complementary to the surrounding neighborhoods. The landscape design shall emphasize native and naturalized plant species. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code. The Landscape Plan adheres to Landscaping Regulations, Section 14-16-3-10 of the City of Albuquerque Zoning Code.

The following are minimum standards for the development of specific landscape plans:

- Street trees are required along Chico Road NE and accordance with the City of Albuquerque Street Tree Ordinance. Per the Street Tree Ordinance, tree placement shall be every 30 linear feet along Chico Road. In addition, the same standard shall be applied to Morris Street.
- For the interior residential streets, street trees shall be provided along roadways between driveways and parking bump outs.
- The Homeowners Association will be responsible for the maintenance of all landscaping in the common areas.
- The Homeowners Association will also be responsible for maintaining the front yard landscape for each townhome.

- The Homeowners Association shall maintain all street trees along Chico Road and Morris Street NE in a living and healthy manner.
- Common areas open space within the condominium areas will be maintained by an established Condominium Association.
- All private common parking areas, public space, private roads, trails, and the street trees along Chico Road NE and Morris Road NE shall be maintained by the Presidio Homeowners Association.
- The landscaping plan identifies plant materials that will be used in the Presidio development
- A fully automated irrigation system shall be designed as part of the landscaping for each project. The system shall be designed to avoid overspraying walks, buildings, fences, etc.

### Screening Walls, Fencing, and Buffering

All walls shall comply with the adopted City of Albuquerque Wall Design Regulations. The effective use of screening devices for refuse collection and mechanical equipment is essential to limit their adverse visual impact on the property. Perimeter walls are allowed on the property; however, an effort shall be made by the site designer to lessen its visual impact through landscaping, meandering within a landscaped area, and providing openings.

- Unfinished block walls and barbed wire, chain link, concertina wire and plastic/vinyl fencing are prohibited.
- Privacy Fencing - Each townhome lot shall be provided with a 6' maximum height CMU privacy wall, located on the common property line between adjoining lots. The height of this fence shall conform to the Zoning Code. View fences located adjacent to park/open space areas will be constructed of 3 courses of CMU with wrought iron fencing to an equivalent height of 5-6'.
- Materials acceptable for retaining walls are masonry block (no unfinished), split face block, and stone.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse containers shall be in a corresponding walled and gated area at a height to fully conceal the container.

### Alleys

Alleys will be utilized throughout the property to provide access to the condominium garages. The purpose of the alleys will be to lessen the visual impact of garages on the streetscape, thus creating a more pleasing residential environment. Private alleys providing garage access to the Single Family Detached units may be within a private access easement pursuant to this site plan.

### Architectural Standards

The architectural style for the Presidio will be classified as Scottsdale. This style combines elements from the Mediterranean and Tuscan styles, which are characterized by stucco finish and tile roofs.

### Lot Size

- The minimum lot width of the townhomes shall be 25 feet. The maximum lot size for the townhomes shall be 5,573 square feet. The minimum lot size for the townhomes shall be 2,150 square feet. The average lot size is 2,988 square feet.

### Building Height

Structures shall not exceed 26 feet in height, as defined in the Zoning Code.

### Roof Materials and Colors

These roof materials are appropriate for the townhomes in the Presidio:

- Asphalt Shingles.
- Clay or Concrete tile, mission barrel or S shapes in solid or modeled colors.
- Roof materials will match the primary building colors, which will be limited to browns, earthtones, light beige, medium beige, and dark beige, reddish brown, and sand. All roofs will have the same color scheme.

### Building Materials

All buildings will contain a stucco finish.

### Solid Waste

Each Townhome, Single Family Detached and Condominium unit shall have a storage area for residential automated carts; not to be visible from the street.

### Building Colors

Primary building colors will be limited to browns, earthtones, light beige, medium beige, and dark beige, reddish brown, and sand. All buildings will have the same color scheme.

### Rooftop Equipment

The top of all rooftop equipment shall be located below the top of parapet and screened from view. Rooftop equipment shall be painted to match the roof color or overall predominant building color. All ground mounted equipment shall be screened by walls with the top of the equipment below the top of the wall.

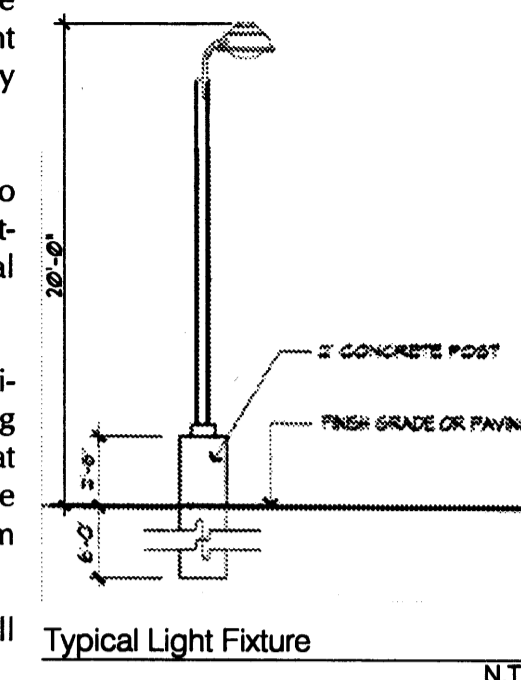
### Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lighting will comply with the City of Albuquerque Zoning Code (Section 14-16-3-9) and the State of New Mexico Night Sky Protection Act.

Area lighting, including parking, trails, and walkways will also be arranged so that the location of the lighting fixture, together with the cutoff angle shall be such that it does not directly shine on

any public right-of-way.

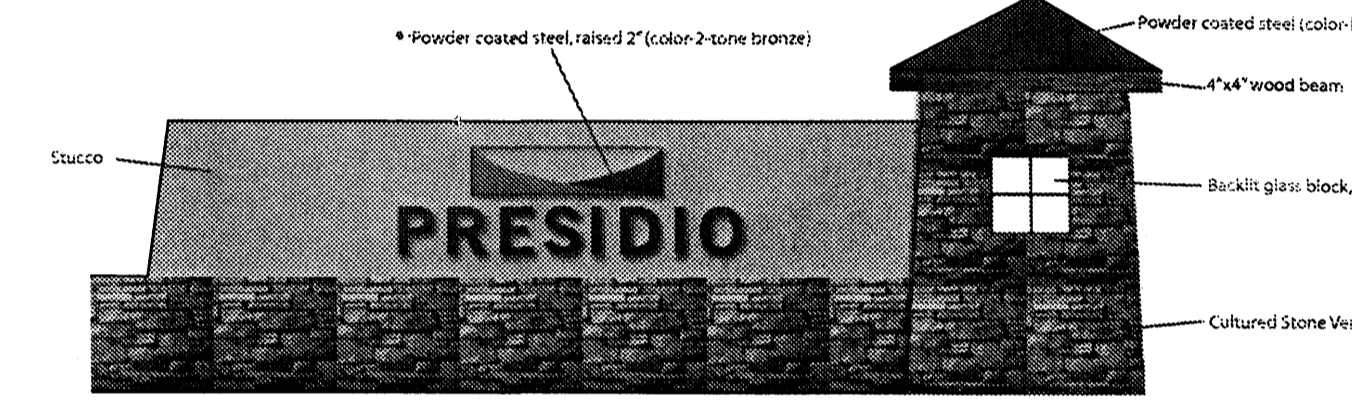
- Placement of fixtures and standards shall conform to state and City safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra lights are prohibited.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- The use of spread lighting fixtures are encouraged to accent landscape and walkways and the use of uplighting fixtures to highlight trees, walls and architectural features.
- All light fixtures shall be shown as fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter.
- The height of street lights and parking area lights shall be a maximum of 20 feet from top to grade.



### Signage

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within the Presidio. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

- Entry signs shall be monument type or wall mounted and shall complement the materials, color, and architectural character of the subdivision.
- Monument signs shall be the only signs permitted in The Presidio.
- A maximum of two monument signs shall be permitted on the property; one on Chico and one on Morris.
- The monument sign shall contain elements to match the perimeter walls and the buildings on the property.



Monument sign for The Presidio

### Utilities

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads/boxes, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above-ground structures.

### Parking and Pedestrian Access

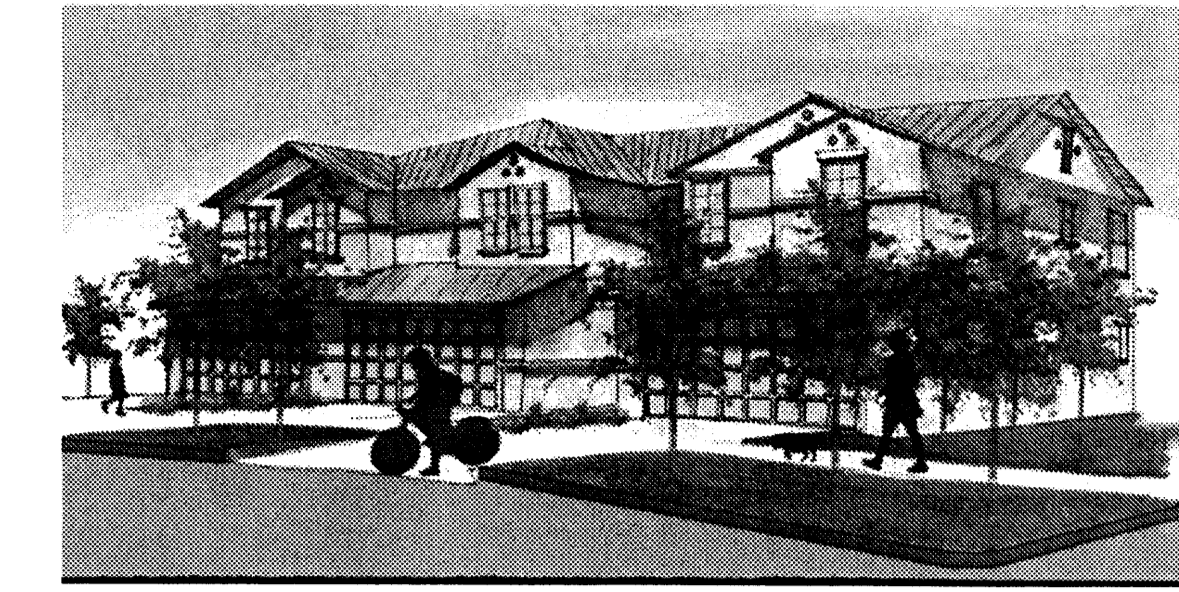
Parking shall be provided for the triplex units at a rate of one off-street parking space per unit bathroom. Each Townhome and Single Family Detached unit shall contain two off-street parking spaces per unit. Common parking areas are provided throughout the project pursuant to this site plan.

- ADA Compliant parking shall be provided and located adjacent to walking paths and close to buildings.
- All sidewalks in front of parking stalls shall be 8 feet wide. All pedestrian connections shall be 6 feet wide.
- Bicycle racks shall be located throughout the property and consist of 2" DIA. Painted steel pipes that extend 12" into the concrete set 24" from the edge of the concrete.
- Handicapped parking spaces shall be located adjacent to curb cuts and be as close to the common areas, walkways, and trails as possible. In addition, there will be two handicap parking spaces provided at the Club House.

### Elevations

Architectural styles for both the townhouse units and condominium units are shown. The elevations in this section are illustrative. The townhouse units, pictured below, shall be stucco finished with roof materials previously listed. The units will be accessed from the private roadway easement with the front door facing the street.

The Condominiums will be rear-accessed units. Garages for the condominium units will be accessed from the rear. Garages will be accessed through alleys and not be visible from the private roadway easement.



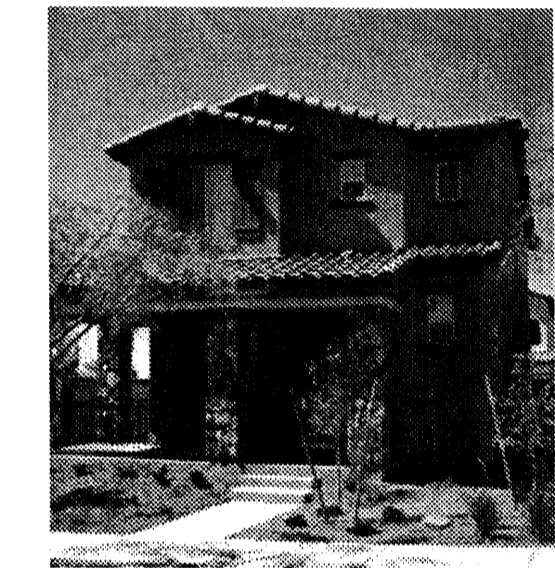
Townhouse Unit



Condominium Unit



Single Family Home



Single Family Home



# Design Standards THE PRESIDIO

Prepared For:  
Centex Homes  
5120 Masthead NE  
Albuquerque, NM 87109

Prepared By:  
Consensus Planning, Inc.  
302 8th Street SW  
Albuquerque, NM 87102

Isaacson & Arfman  
128 Monroe St. NE  
Albuquerque, NM 87108

Dekker Perich Sabatini  
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109

**CENTEX HOMES**

PLANNING

CONSENSUS

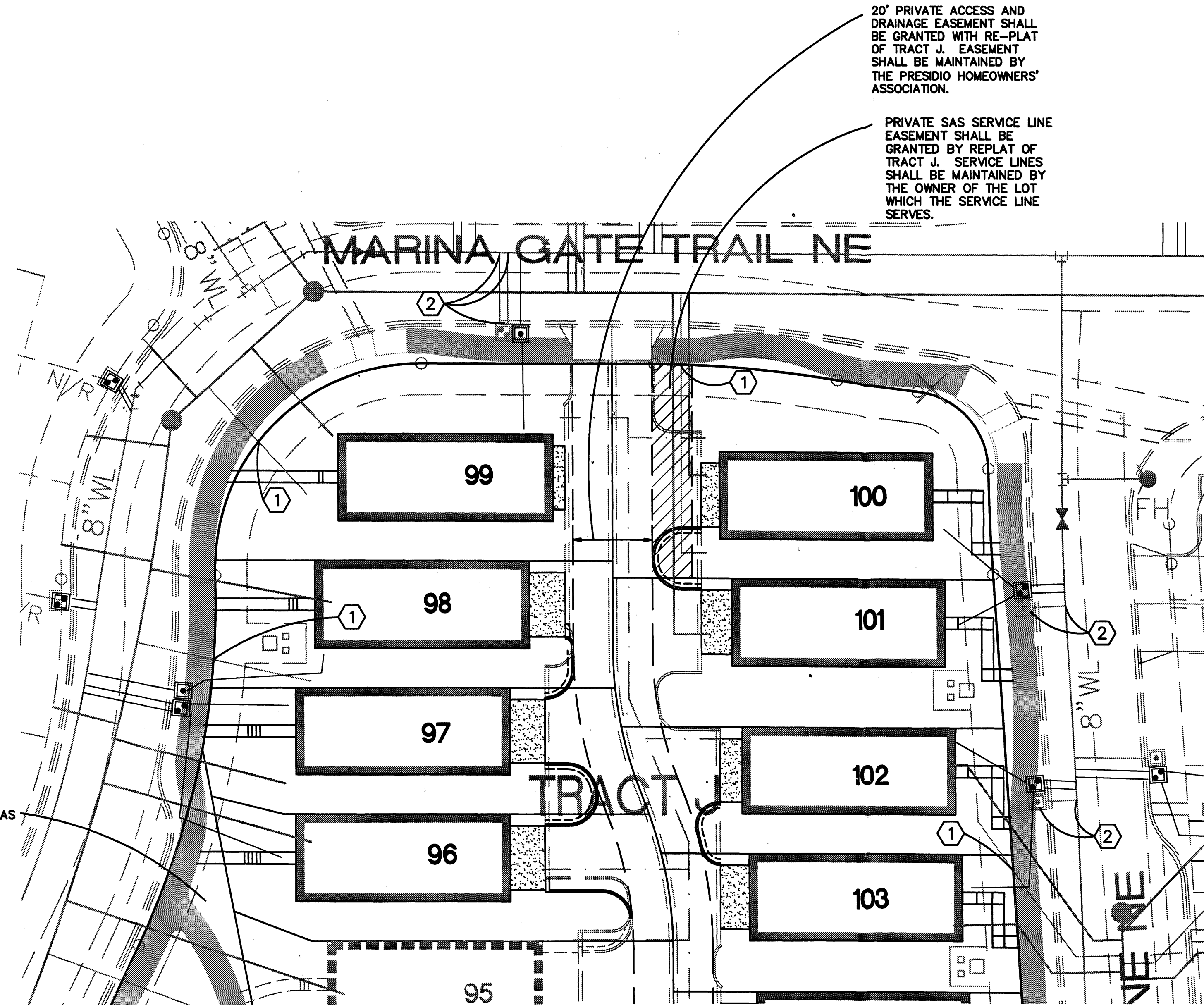
Dekker/Perich/Sabatini  
architecture  
interiors  
planning  
engineering

ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street, N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-266-8828 Fax 505-266-2632



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A BLANKET PRIVATE WATER AND SAS SERVICE LINE EASEMENT SHALL BE GRANTED OVER TRACT J-1. THE PRIVATE SERVICE LINES SHALL BE MAINTAINED BY THE OWNERS OF WHICH THE SERVICE LINES SERVE.



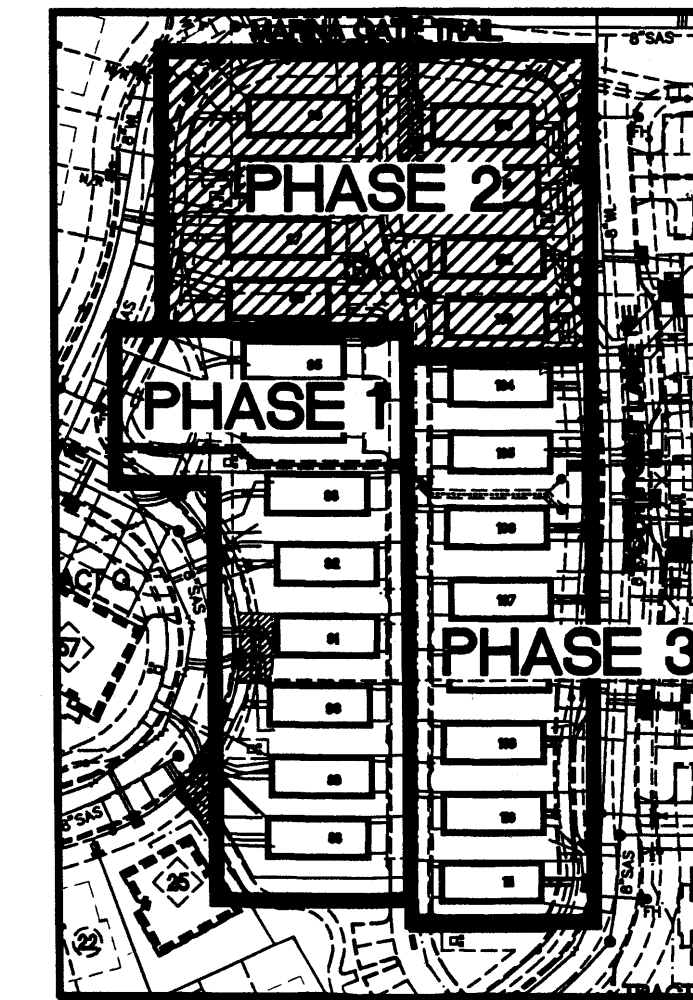
UTILITY PLAN FOR 8 SINGLE-DETACHED UNITS  
1"=20'

20' PRIVATE ACCESS AND DRAINAGE EASEMENT SHALL BE GRANTED WITH RE-PLAT OF TRACT J. EASEMENT SHALL BE MAINTAINED BY THE PRESIDIO HOMEOWNERS' ASSOCIATION.

PRIVATE SAS SERVICE LINE EASEMENT SHALL BE GRANTED BY REPLAT OF TRACT J. SERVICE LINES SHALL BE MAINTAINED BY THE OWNER OF THE LOT WHICH THE SERVICE LINE SERVES.

KEYED NOTES:

- EXISTING SANITARY SEWER SERVICE—CAP AT ROADWAY EASEMENT AND ABANDON IN PLACE.
  - EXISTING WATER SERVICE—REMOVE & REPLACE RESIDENTIAL PAVING (4.5 SY±) PER COA STD DWG #2465. CAP SERVICE AT CORP. STOP AND ABANDON COPPER LINE IN PLACE. REMOVE & SALVAGE EXISTING METER BOX, LID AND COPPER SETTER. REMOVE & DISPOSE CONCRETE PAD (1 SY±)
- CONTRACTOR SHALL OBTAIN A TAPPING PERMIT FOR WATER SERVICE WORK.



PHASE KEY  
1"=100'

VICINITY MAP K-21



EXISTING LEGAL DESCRIPTION:

TRACT J, THE PRESIDIO, UNIT 1 (4/13/07, 2007C-81)

PROJECT NOTES:

THE PAVING, CURB AND GUTTER (PRIVATE STREETS & ALLEYS), AND PUBLIC WATER AND SANITARY SEWER LINES AND SERVICES WERE INSTALLED WITH THE PRESIDIO, UNIT 1 PLANS—CPN 797481. 12 TRIPLEX CONDOMINIUM BUILDINGS (36 UNITS) SHALL BE REPLACED WITH 24 SINGLE DETACHED LOTS IN 3 PHASES.

THE EXISTING WATER AND SANITARY SEWER SERVICES SHALL BE USED FOR THE NEW SINGLE-DETACHED UNITS.

LEGEND

EXISTING

- SINGLE WATER METER & BOX
- DOUBLE WATER METER & BOX
- IRRIGATION METER
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- FIRE LINE
- PRIVATE INLET & 8" DRAIN PIPE
- 8" SAS W/ MANHOLE
- 4" SAS SERVICE
- PNM/QWEST/COMCAST TRANSFORMER & PEDESTALS
- STREET LIGHT

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-6828 Fax: 505-268-2632  
1720 CU-101.dwg Jun 19, 2009

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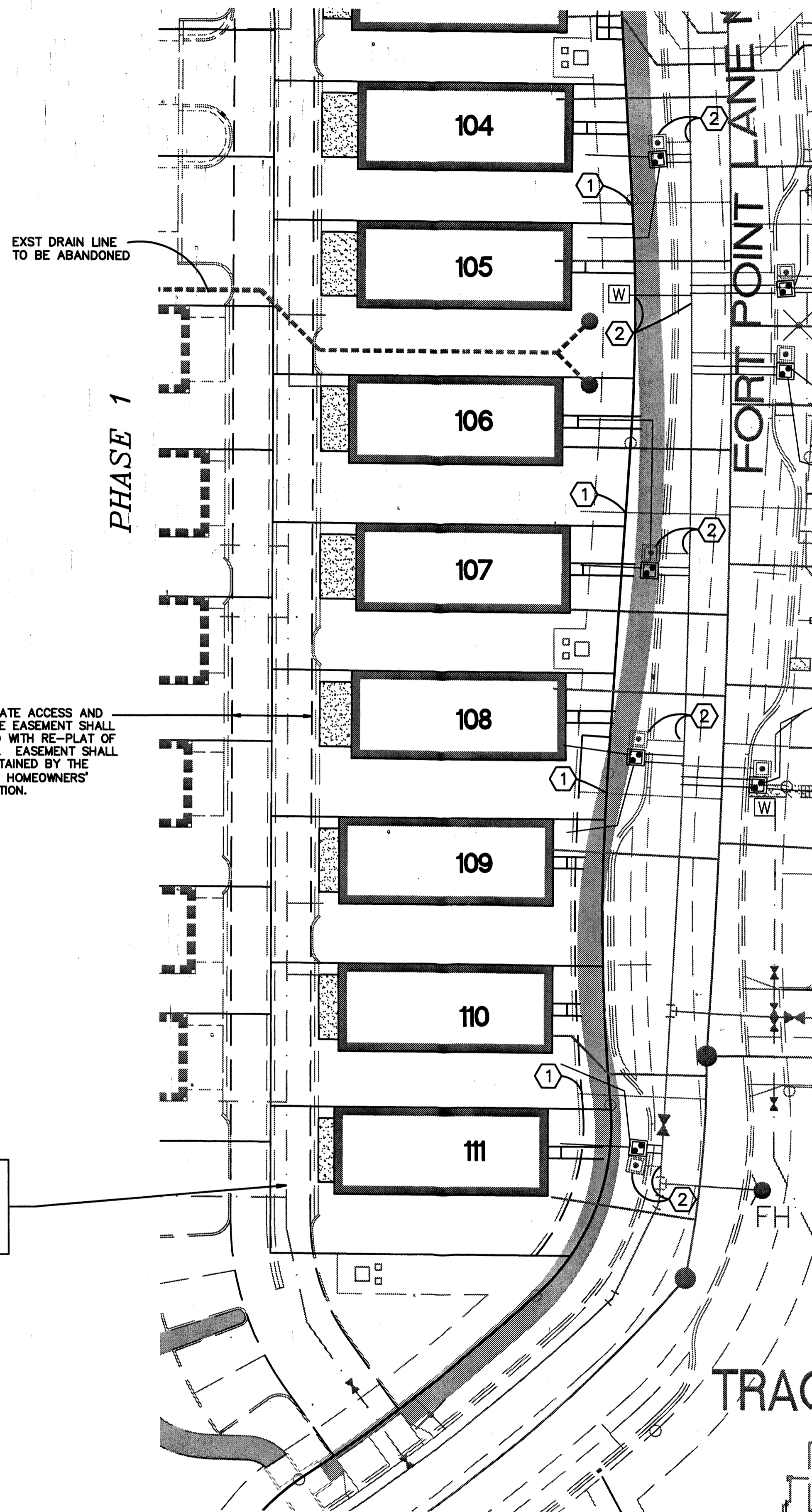
THE PRESIDIO UNIT 1,  
REPLAT OF TRACT J, PHASE 2  
CENTEX HOMES

UTILITY PLAN

|             |        |           |     |          |             |
|-------------|--------|-----------|-----|----------|-------------|
| Date:       | 6/5/09 | Drawn By: | ANW | Job No.: | 1720        |
| Checked By: |        |           |     |          | PAGE        |
|             |        |           |     |          | SH-23 OF 24 |



PHASE 2

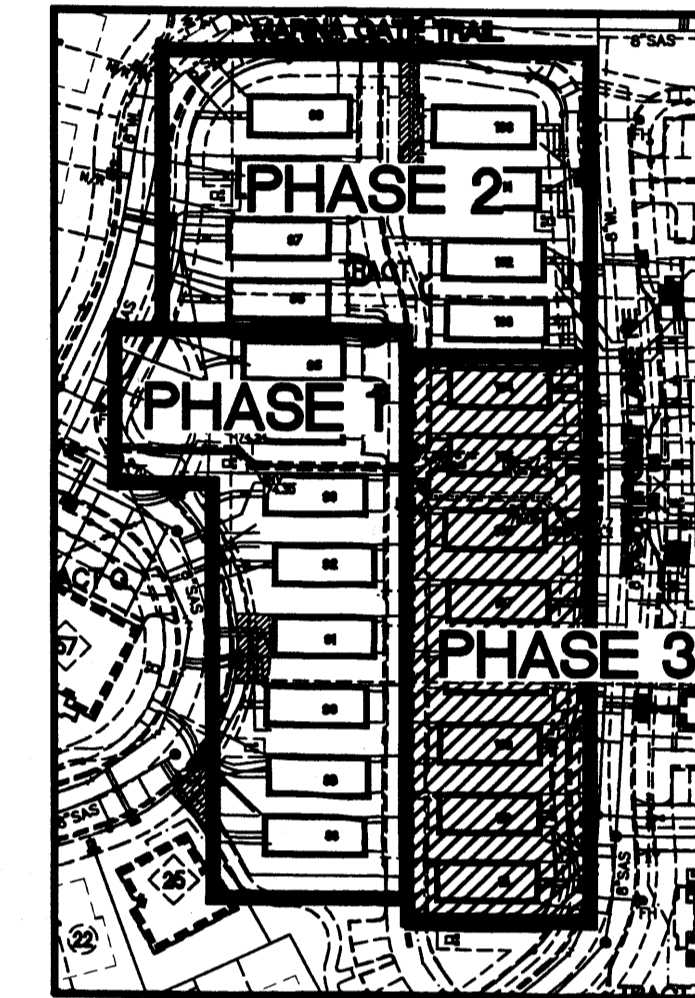


**PRIVATE FIRE LINE NOTE:**  
WHEN FUTURE HANDICAP ACCESSIBLE CONDO #25 IS CONSTRUCTED, THE 2" FIRE LINE SHALL BE CAPPED NORTH OF THE TEE.

UTILITY PLAN FOR 8 SINGLE-DETACHED UNITS  
1"=20'

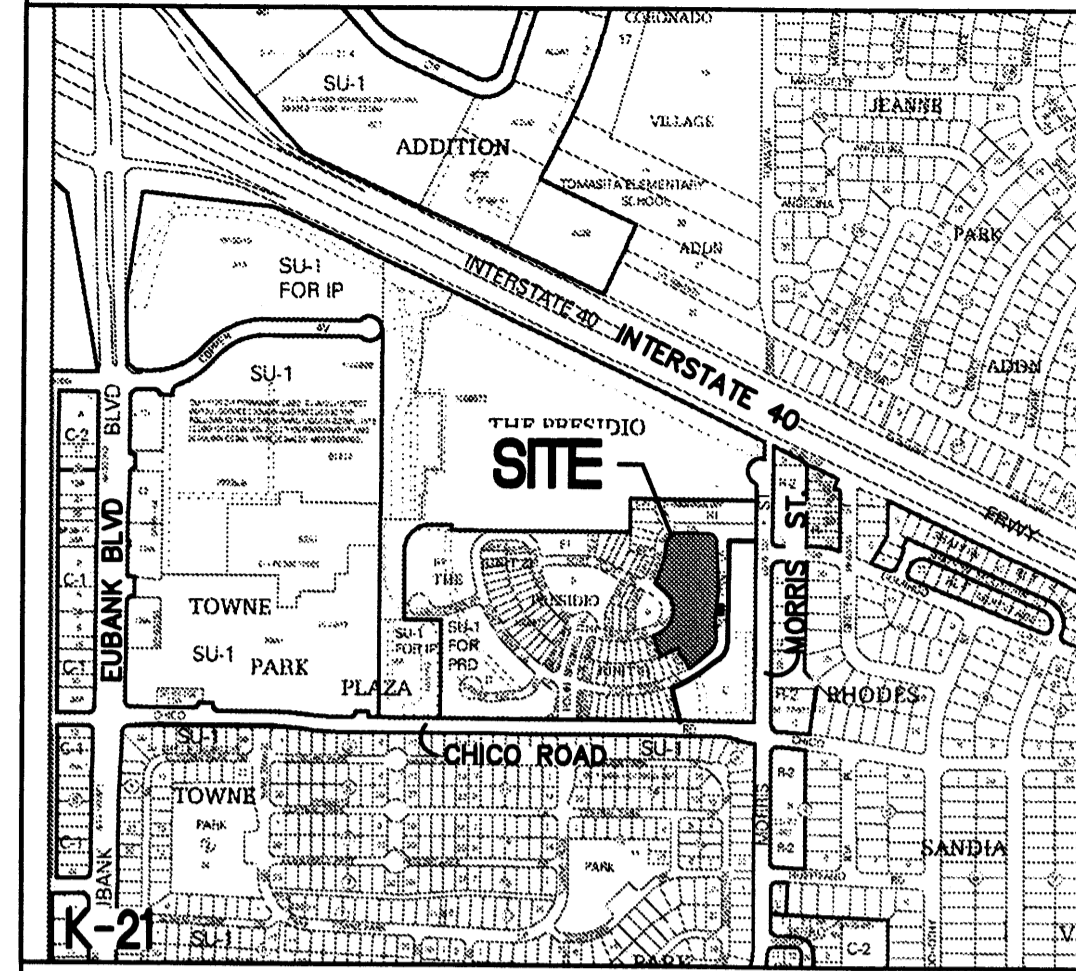
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- CONTRACTOR SHALL OBTAIN A TAPPING PERMIT FOR WATER SERVICE WORK.



PHASE KEY  
1"=100'

VICINITY MAP K-21



EXISTING LEGAL DESCRIPTION:

TRACT J, THE PRESIDIO, UNIT 1 (4/13/07, 2007C-81)

PROJECT NOTES:

THE PAVING, CURB AND GUTTER (PRIVATE STREETS & ALLEYS), AND PUBLIC WATER AND SANITARY SEWER LINES AND SERVICES WERE INSTALLED WITH THE PRESIDIO, UNIT 1 PLANS--CPN 797481. 12 TRIPLEX CONDOMINIUM BUILDINGS (36 UNITS) SHALL BE REPLACED WITH 24 SINGLE DETACHED LOTS IN 3 PHASES.

THE EXISTING WATER AND SANITARY SEWER SERVICES SHALL BE USED FOR THE NEW SINGLE-DETACHED UNITS.

LEGEND

- EXISTING
- SINGLE WATER METER & BOX
  - DOUBLE WATER METER & BOX
  - IRRIGATION METER
  - GATE VALVE W/ VALVE BOX
  - FIRE HYDRANT
  - PRIVATE FIRE LINE
  - PRIVATE INLET & 8" DRAIN PIPE
  - 8" SAS W/ MANHOLE
  - 4" SAS SERVICE
  - PNM/QWEST/COMCAST TRANSFORMER & PEDESTALS
  - STREET LIGHT

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

126 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
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1720 CU-101.dwg Jun 19, 2009

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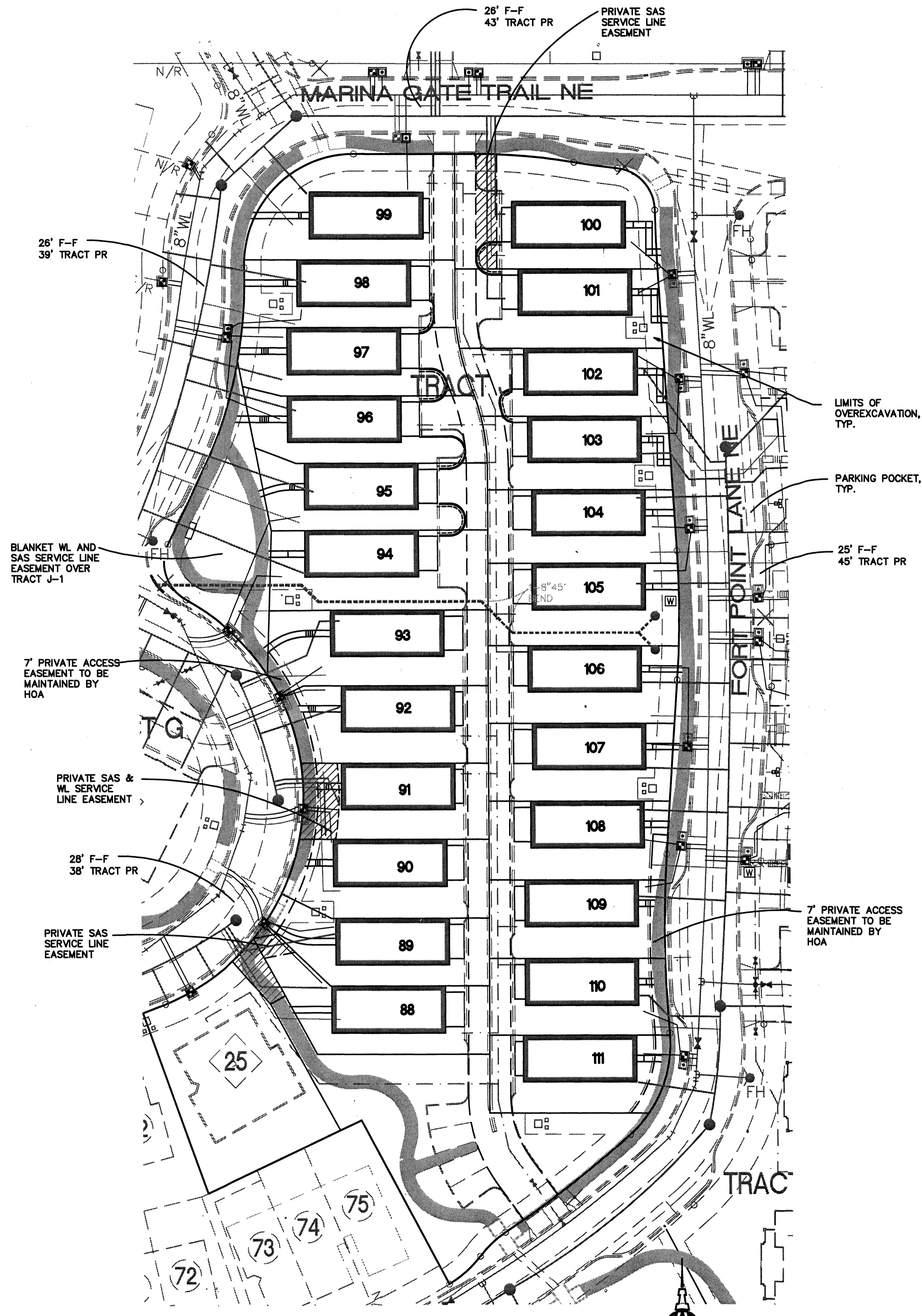
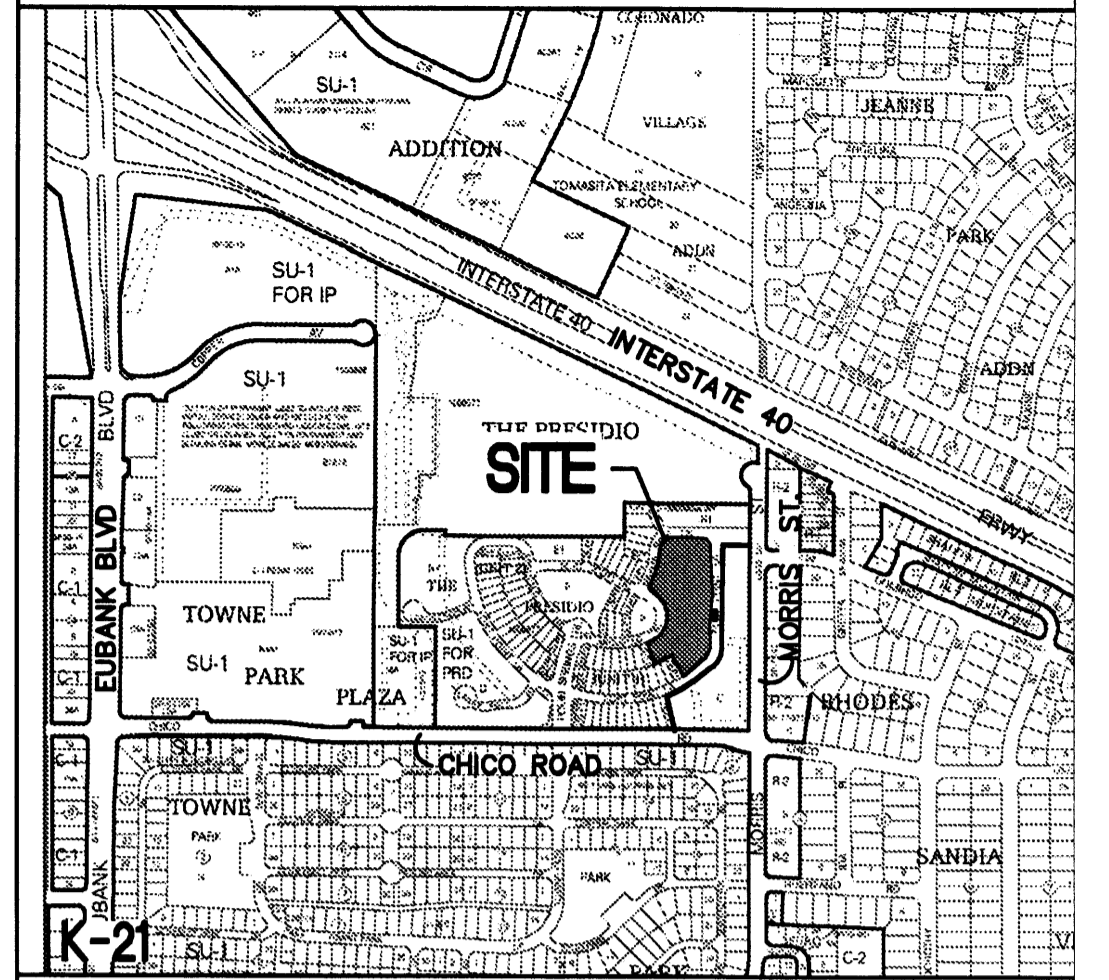
THE PRESIDIO UNIT 1,  
REPLAT OF TRACT J, PHASE 3  
CENTEX HOMES

UTILITY PLAN

|           |        |                 |   |       |  |          |              |
|-----------|--------|-----------------|---|-------|--|----------|--------------|
| Date:     | 6/5/09 | No. / Revision: | 1 | Date: |  | Job No.: | 1720         |
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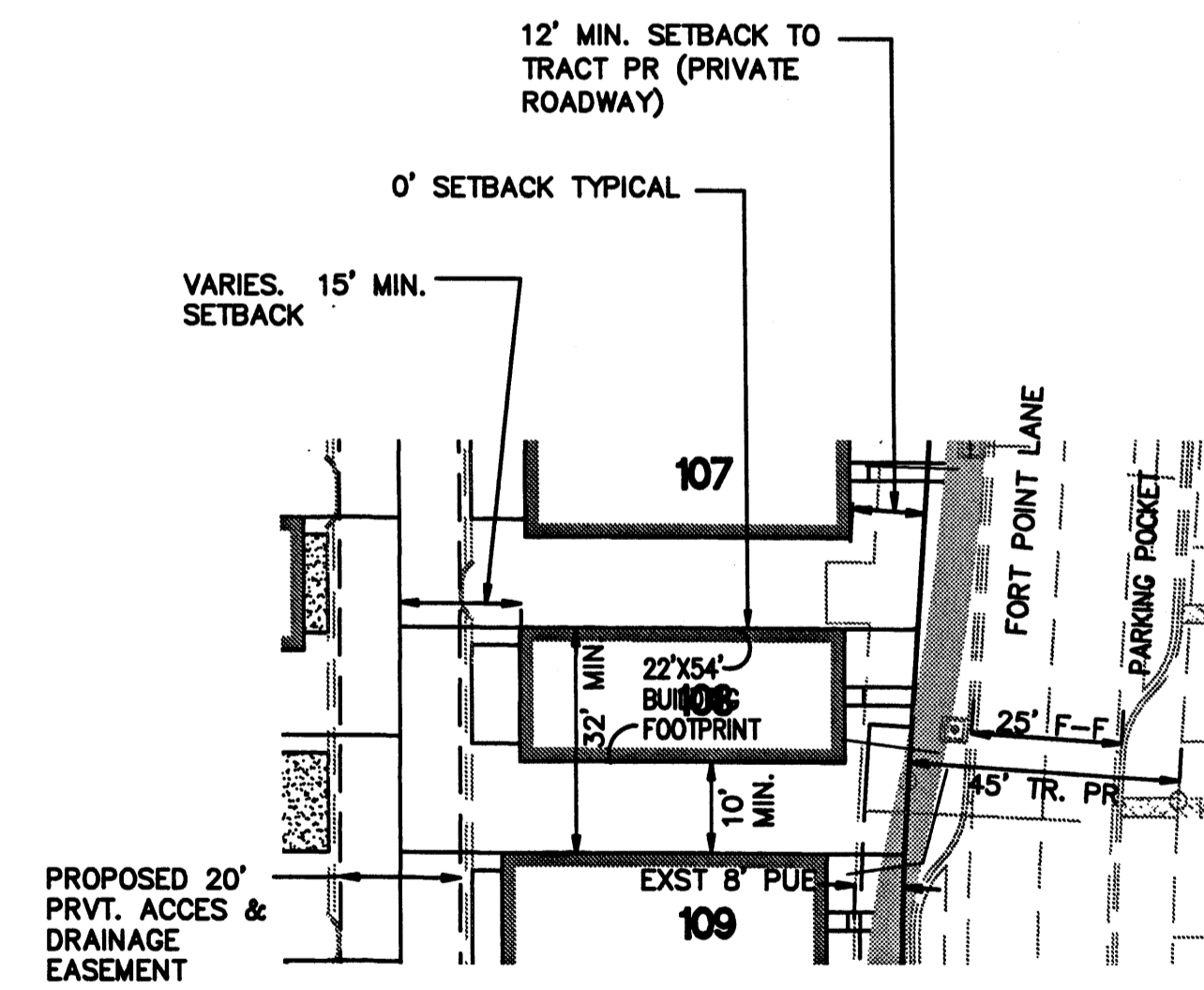
VICINITY MAP K-21



LIMITS OF OVEREXCAVATION, TYP.

PARKING POCKET, TYP.

25' F-F 45' TRACT PR



TYPICAL LOT PLAN  
1"=30'

ENLARGED SITE PLAN FOR SINGLE-DETACHED UNITS  
1"=30'

**EXISTING LEGAL DESCRIPTION:**  
TRACT J, THE PRESIDIO, UNIT 1 (4/13/07, 2007C-81)

**NOTES**

12 TRIPLEX CONDOMINIUM BUILDINGS (36 UNITS) SHALL BE REPLACED WITH 24 SINGLE DETACHED LOTS IN A SERIES OF REPLATS.

**GRADING & DRAINAGE:**  
DRAINAGE PATTERNS SHALL FOLLOW THE APPROVED PLAN FOR THE CONDOMINIUM UNITS, AND THE EXISTING CONDOMINIUM PADS SHALL BE RESHAPED TO ACCOMMODATE THE SINGLE-DETACHED LOTS. A PRIVATE DRAINAGE EASEMENT SHALL BE PROVIDED FOR AN 8" DRAIN LINE THAT IS INSTALLED.

**PAVING:**  
ALL PRIVATE ALLEYS AND ROADS ARE PAVED. OFF-STREET PARKING SHALL BE PROVIDED AS SHOWN ON THE APPROVED SITE PLAN WITH DESIGNATED PARKING AREAS AND PARALLEL PARKING POCKETS ALONG THE PRIVATE STREETS.

**UTILITIES:**  
WATER & SAS MAINS AND SERVICES ARE EXISTING AND SHALL BE USED FOR THE NEW LOTS. ANY SERVICES NOT USED SHALL BE ABANDONED. PRIVATE FIRE LINE INTENDED FOR CONDOMINIUMS SHALL BE ABANDONED.

**LEGEND (EXISTING)**

- SINGLE WATER METER & BOX
- DOUBLE WATER METER & BOX
- IRRIGATION METER
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- FIRE LINE
- 8" SAS W/ MANHOLE
- 4" SAS SERVICE
- PRIVATE INLET & 8" DRAIN PIPE (TO BE ABANDONED)
- PNM/QUEST/COMCAST TRANSFORMER & PEDESTALS

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
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Albuquerque, New Mexico 87108  
PH: 505-268-9828 Fax: 505-268-2632  
1720 C-701-LAYOUT.dwg Jun 19, 2009

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**THE PRESIDIO UNIT 1,  
REPLAT OF TRACT J  
CENTEX HOMES**

**SITE LAYOUT**

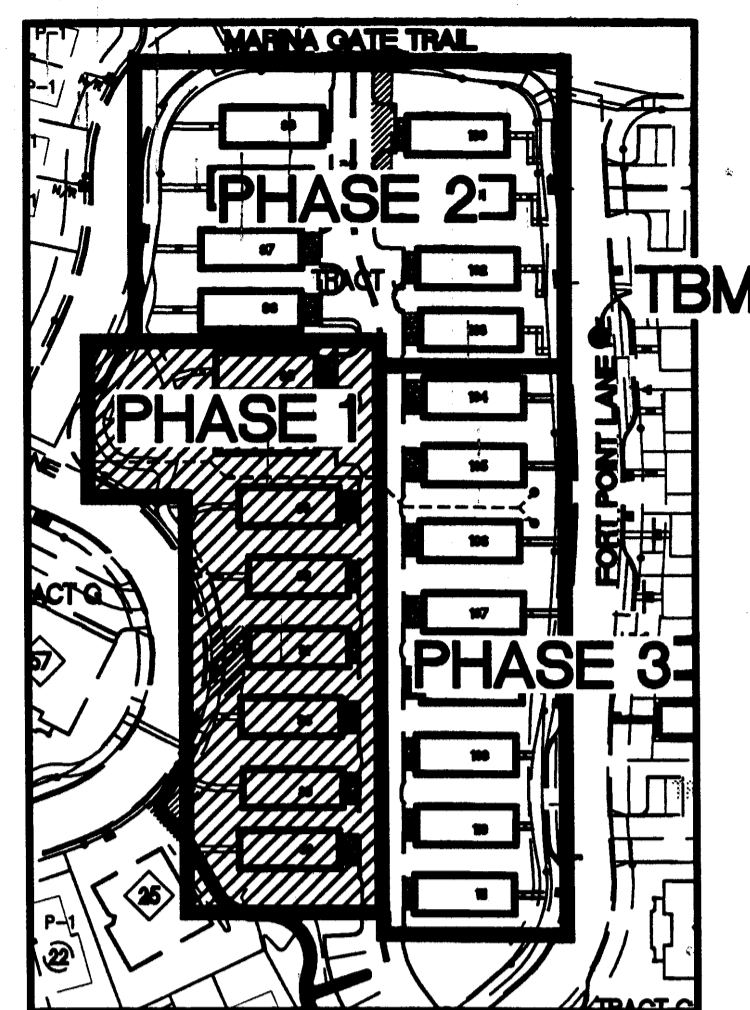
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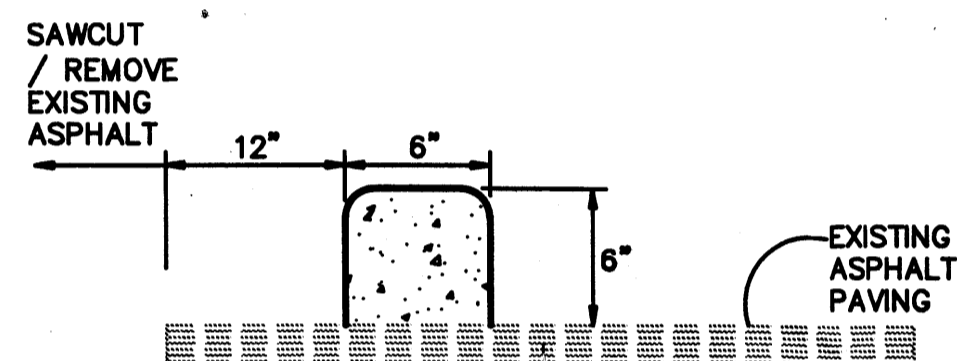


**GRADING NOTES:**

1. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
2. ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
3. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
4. PAD AND ROUGH GRADING ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS.
5. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE, AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
6. MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
7. FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
8. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
9. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
10. OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
12. ALL NEW PAVEMENT GRADES SHOWN AS 'MATCH' OR '±' REPRESENT TRANSITIONS TO EXISTING. TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.

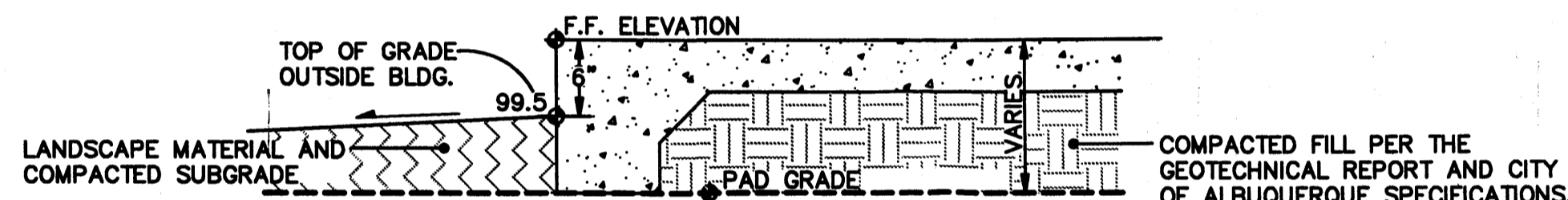


PHASE AND TBM KEY  
1"=100'



PROVIDE CONTRACTION JOINTS @ 10' O.C. MAX. PROVIDE EXPANSION JOINTS AT CURB RETURNS

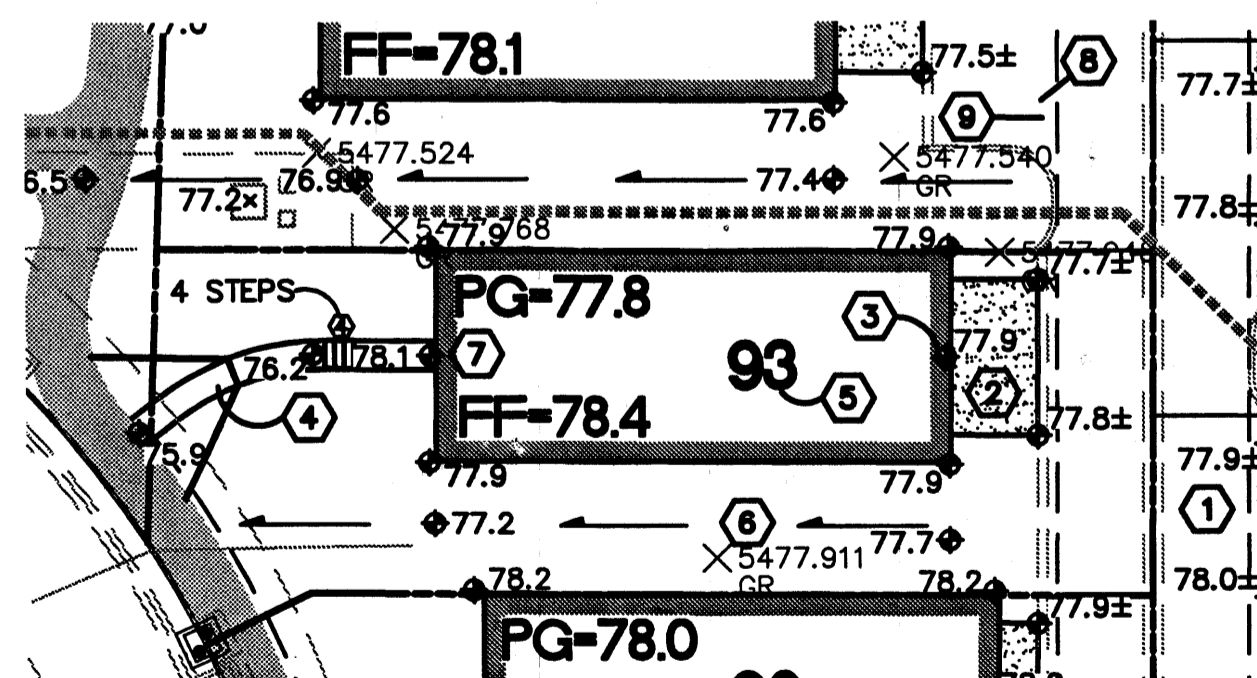
EXTRUDED CONCRETE CURB  
N.T.S.



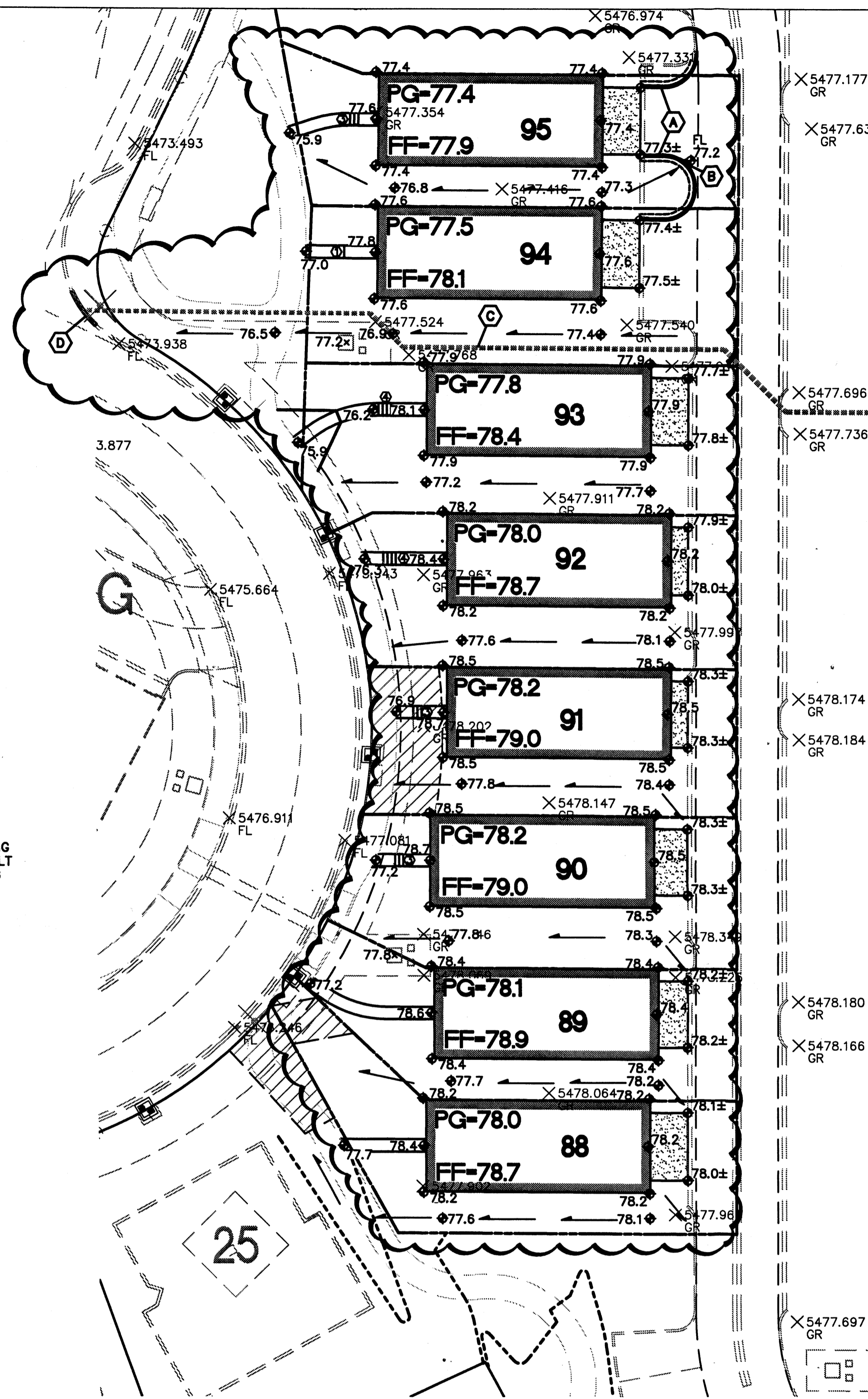
TYPICAL SECTION AT BUILDING  
1"=20'

**TYPICAL LOT KEYED NOTES:**

1. EXISTING PAVED ACCESS ALLEY.
2. CONSTRUCT NEW CONCRETE DRIVEPAD (LENGTH VARIES) BETWEEN BACK OF EXISTING CONCRETE RIBBON CURB AND BLDG. AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT. MAINTAIN POSITIVE DRAINAGE.
3. ELEVATION AT GARAGE DOOR SET 6" BELOW FINISH FLOOR ELEVATION (FF) TO ACCOMMODATE 2" SLOPE IN GARAGE FLOOR AND 4" STEP AT WHEEL STOP. SEE ARCHITECTURAL FOR INTERIOR GRADE TRANSITIONS.
4. CONSTRUCT CONCRETE WALK TO ACCESS FRONT ENTRY. MAX. SLOPE = 5%. PROVIDE STEPS AS REQUIRED. NUMBER OF STEPS SHOWN (C). SEE ARCHITECTURAL FOR DETAILS.
5. NEW LOT NUMBER
6. TYPICAL 1% SLOPE DRAINAGE SWALE SHALL BE ESTABLISHED AFTER CONSTRUCTION OF HOME AND BE MAINTAINED BY HOME OWNER.
7. 4" STEP AT ENTRY DOOR (TYPICAL). MAXIMUM SLOPE 2% OVER FIRST 5' AT ENTRY LANDING.
8. NEW EXTRUDED CONCRETE CURB INSTALLED TO DEFINE NEW DRIVE.
9. SAWCUT AND REMOVE EXISTING ASPHALT MIN. 12" BEHIND BACK OF NEW CURB.



TYPICAL LOT GRADING PLAN  
1"=20'

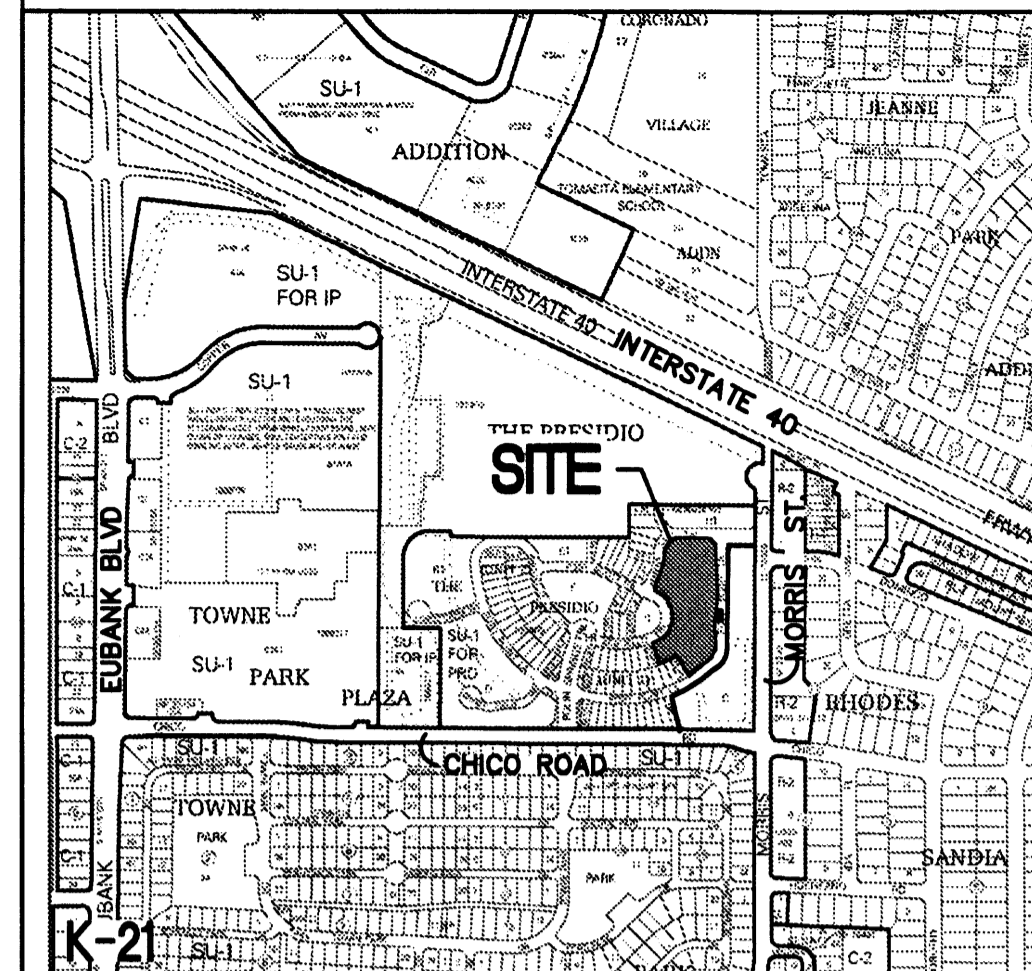


GRADING PLAN FOR 8 SINGLE-DETACHED UNITS  
1"=20'

**KEYED NOTES:**

- SEE TYPICAL LOT GRADING PLAN KEYED NOTES AT LEFT FOR NOTES COMMON TO ALL LOTS
- CONSTRUCT NEW EXTRUDED CONCRETE CURB TO DEFINE NEW DRIVE. SAWCUT AND REMOVE EXISTING ASPHALT MIN. 12" BEHIND BACK OF NEW CURB. SEE DETAIL THIS SHEET.
- PROVIDE 12" OPENING IN NEW CONCRETE CURB TO ALLOW MINOR FLOW TO PASS TO PAVEMENT. LOCATE OPENING AT EXISTING PAVEMENT LOW POINT.
- ABANDON EXISTING STORM DRAIN IN PLACE.
- SAWCUT REMOVE & DISPOSE EXISTING CURB AND CONCRETE ARCH FOR STORM DRAIN OUTFALL AND INSTALL NEW MEDIAN CURB & GUTTER PER COA STD DWG #2415A.
- NOT USED.
- REMOVE EXISTING CONCRETE RUNDOWN AND MIN. 5' LF OF EXISTING STORM DRAIN. REPLACE WITH CURB AND GUTTER. MATCH EXISTING FOR SMOOTH TRANSITION.
- NOT USED.

**VICINITY MAP K-21**



LEGAL (EXISTING):  
TRACT J, THE PRESIDIO, UNIT 1  
(04-13-07, 2007C-81)

TEMPORARY BENCHMARK: EXISTING SANITARY SEWER MANHOLE LOCATED APPROXIMATELY 152' SOUTH OF THE INTERSECTION OF FORT POINT LANE AND MARINA GATE TRAIL. SEE PHASE KEY THIS SHEET. RIM=5478.40

**PROJECT NOTES:**

THE PAVING, CURB AND GUTTER (PRIVATE STREETS AND ALLEYS), WATER AND SANITARY SEWER WERE INSTALLED WITH THE PRESIDIO, UNIT 1 PLANS--CPN 797481. 12 TRIPLEX CONDOMINIUM BUILDINGS (36 UNITS) SHALL BE REPLACED WITH 24 SINGLE DETACHED LOTS IN A SERIES OF MINOR REPLATS (10 PARCELS MAX. WITH EACH PLAT).

THIS GRADING PLAN SHOWS REVISED GRADES FOR THE AREA WHERE THE FIRST OF THREE GROUPINGS OF 8 SINGLE-DETACHED UNITS WILL REPLACE THE PREVIOUSLY PROPOSED TRIPLEX CONDOS (12 TOTAL UNITS).

DRAINAGE PATTERNS SHALL FOLLOW THE APPROVED PLAN FOR THE CONDOMINIUM UNITS, AND THE EXISTING CONDOMINIUM PADS SHALL BE RESHAPED TO ACCOMMODATE THE SINGLE-DETACHED LOTS.

**LEGEND**

- ◆ 81.0 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF-80.8 FINISH FLOOR ELEVATION
- PG-79.8 PAD GRADE ELEVATION
- TC EXST TOP OF CURB ELEVATION
- INV PIPE INVERT ELEVATION
- × 5481.712 AS-BUILT ELEVATION

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1720 CG-101-GRD.dwg Jun 19, 2009

**THE PRESIDIO UNIT 1,  
REPLAT OF TRACT J PHASE 1  
CENTEX HOMES**

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**THE PRESIDIO UNIT 1,  
REPLAT OF TRACT J PHASE 1  
CENTEX HOMES**

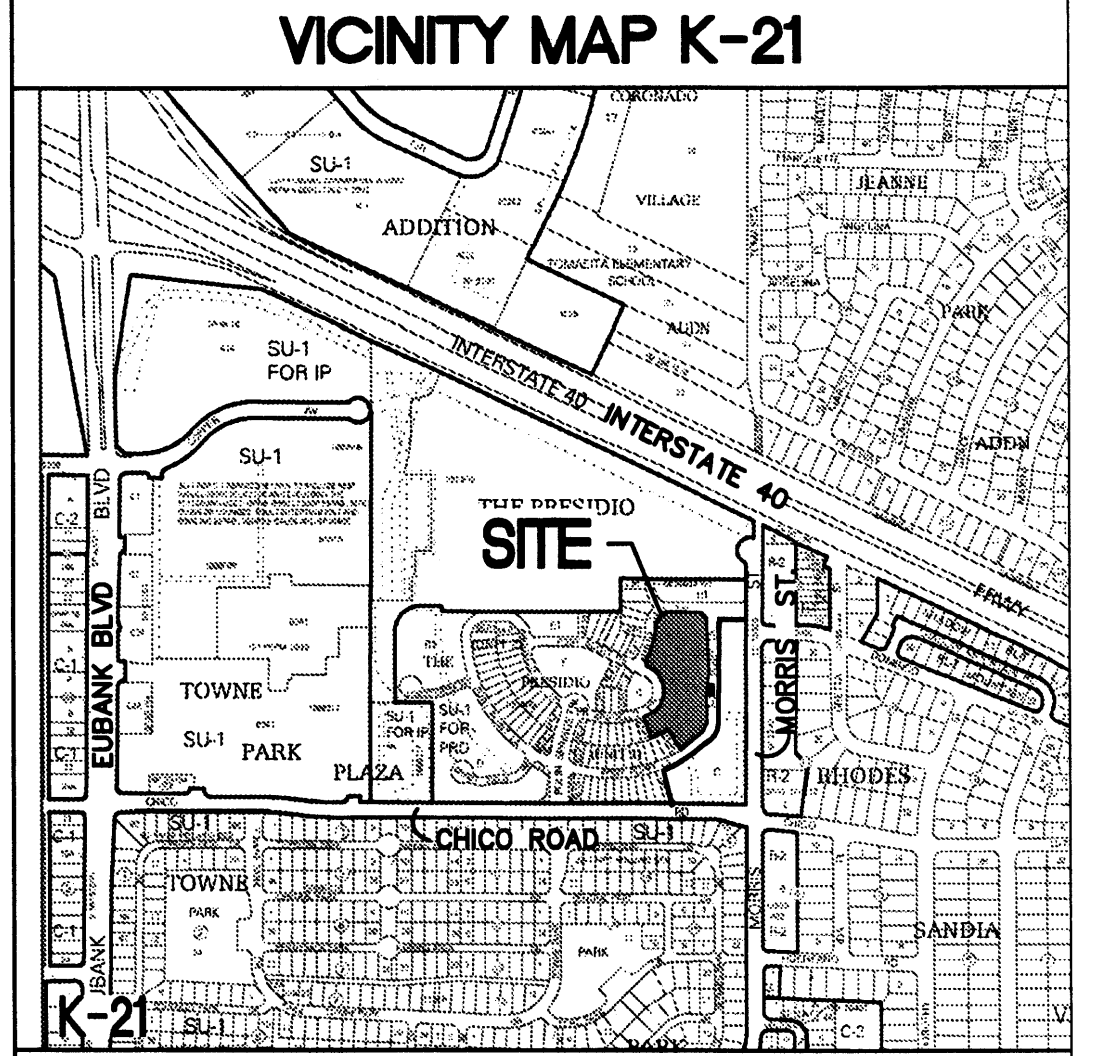
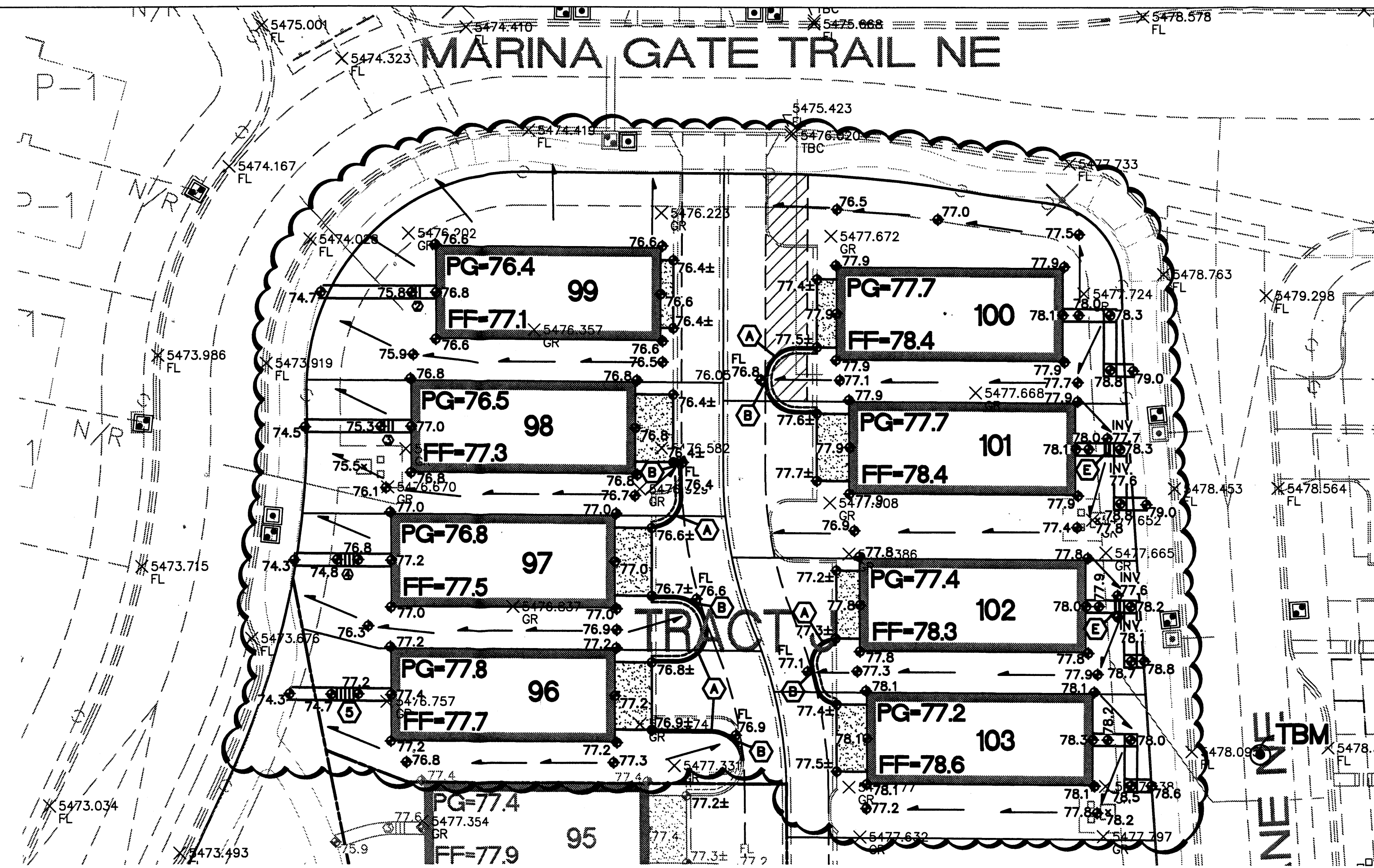
**DRAINAGE AND GRADING PLAN**

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| Date:       | 5/19/09 | Drawn By: | BJB | Job No.: | 1720        |
| Checked By: | ANW     | Scale:    |     | Sheet:   | CG-101      |
|             |         |           |     |          | SH 19 OF 24 |



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**LEGAL (EXISTING):**  
TRACT J, THE PRESIDIO, UNIT 1  
(04-13-07, 2007C-81)

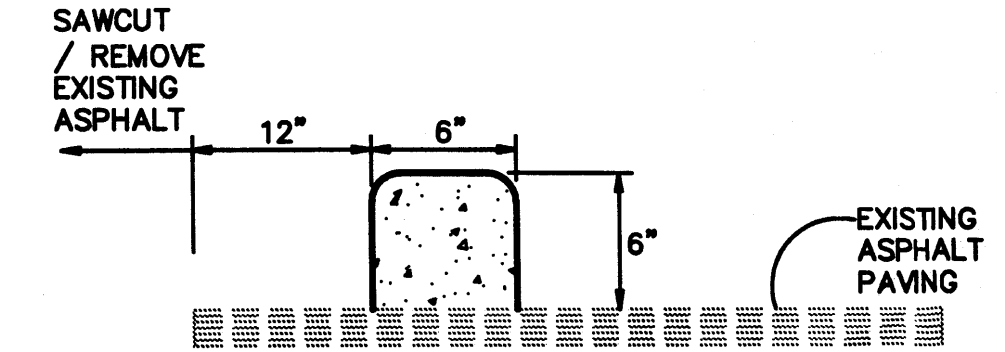
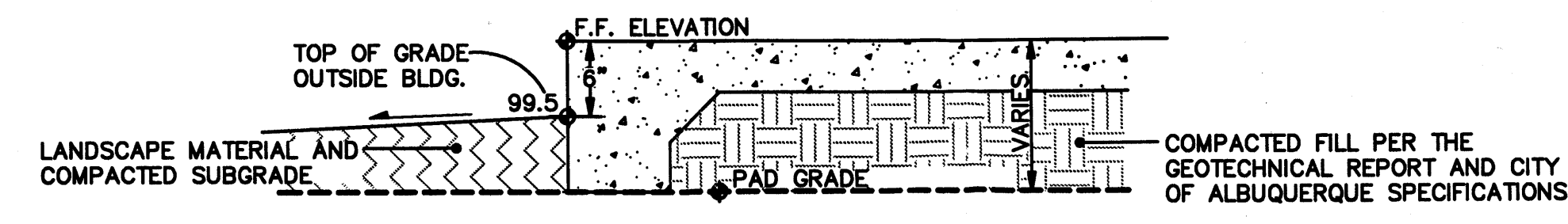
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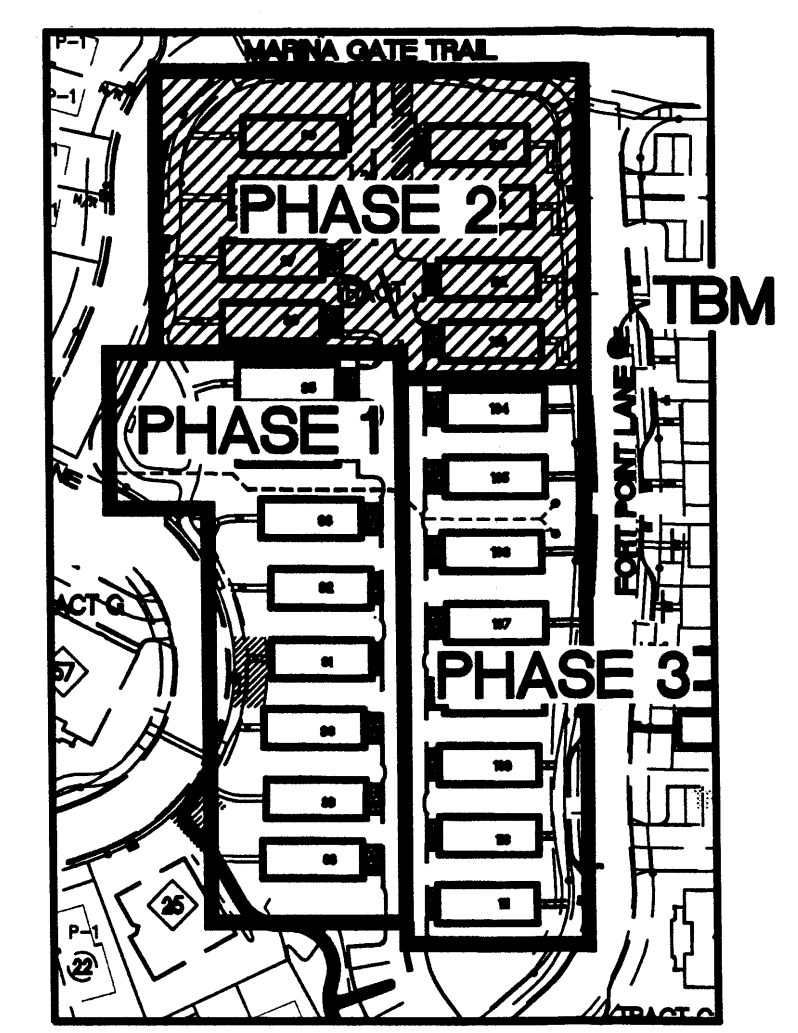
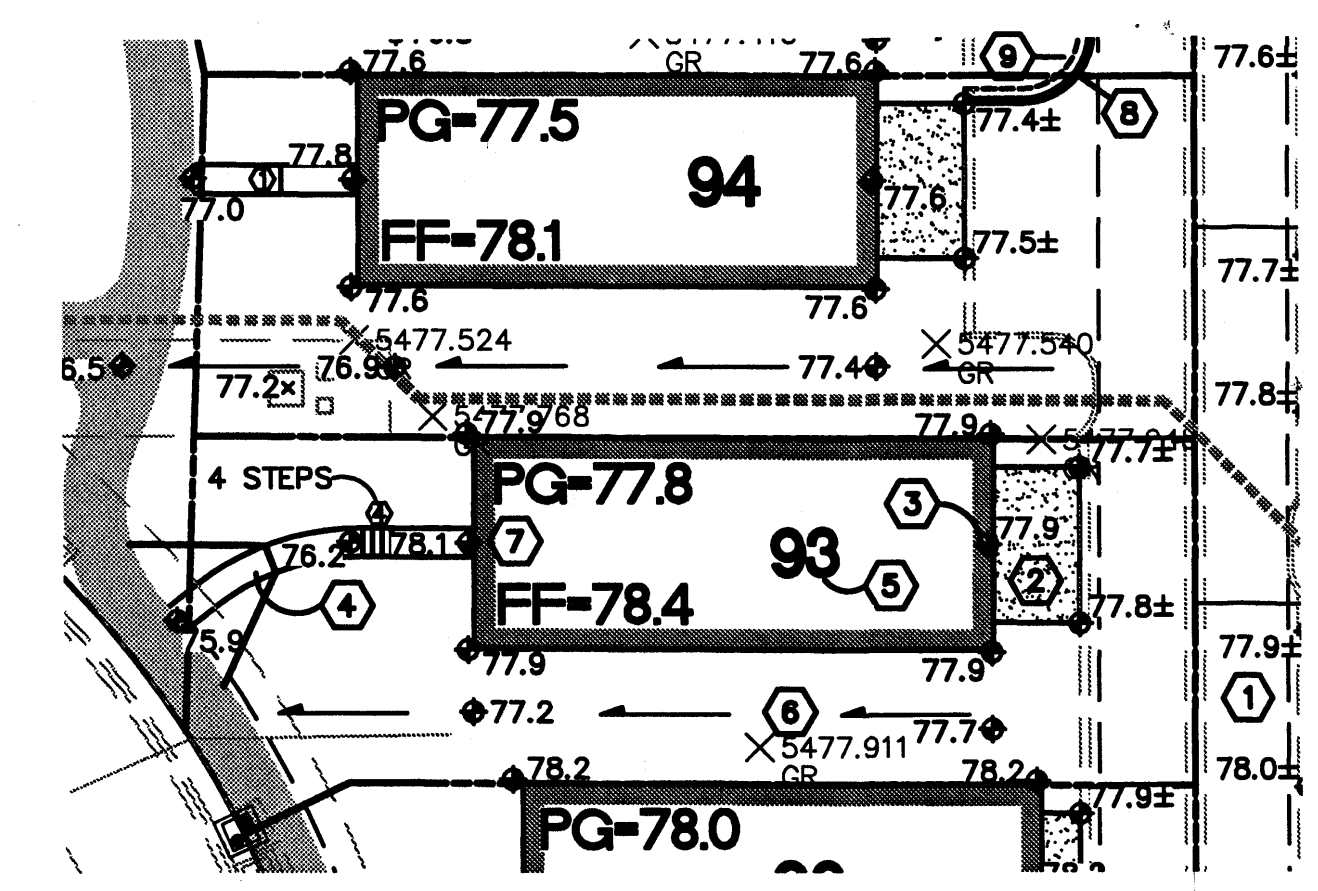
**GRADING PLAN FOR 8 SINGLE-DETACHED UNITS**  
1"=20'

**KEYED NOTES:**

- SEE TYPICAL LOT GRADING PLAN KEYED NOTES AT LEFT FOR NOTES COMMON TO ALL LOTS
- CONSTRUCT NEW EXTRUDED CONCRETE CURBS TO DEFINE NEW DRIVE. SAWCUT AND REMOVE EXISTING ASPHALT MIN. 12" BEHIND BACK OF NEW CURB. SEE DETAIL THIS SHEET.
- PROVIDE 12" OPENING IN NEW CONCRETE CURB TO ALLOW MINOR FLOW TO PASS TO PAVEMENT. LOCATE OPENING AT EXISTING PAVEMENT LOW POINT.
- NOT USED.
- NOT USED.
- INSTALL TWO 4" DIA. PIPES THROUGH WALK AT ELEVATIONS SHOWN TO PASS SITE DISCHARGE.
- NOT USED.
- NOT USED.

**TYPICAL LOT KEYED NOTES:**

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- NEW LOT NUMBER
- TYPICAL 1% SLOPE DRAINAGE SWALE SHALL BE ESTABLISHED AFTER CONSTRUCTION OF HOME AND BE MAINTAINED BY HOME OWNER.
- 4" STEP AT ENTRY DOOR (TYPICAL). MAXIMUM SLOPE 2% OVER FIRST 5' AT ENTRY LANDING.
- NEW EXTRUDED CONCRETE CURB INSTALLED TO DEFINE NEW DRIVE.
- SAWCUT AND REMOVE EXISTING ASPHALT TO 12" BEHIND BACK OF NEW CURB.



**LEGEND**

|            |                            |
|------------|----------------------------|
| ⊕ 81.0     | PROPOSED SPOT ELEVATION    |
| →          | FLOW ARROW                 |
| FF-80.8    | FINISH FLOOR ELEVATION     |
| PG-79.8    | PAD GRADE ELEVATION        |
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| INV        | PIPE INVERT ELEVATION      |
| × 5481.712 | AS-BUILT ELEVATION         |

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**THE PRESIDIO UNIT 1, REPLAT OF TRACT J PHASE 2**  
CENTEX HOMES

**DRAINAGE AND GRADING PLAN**

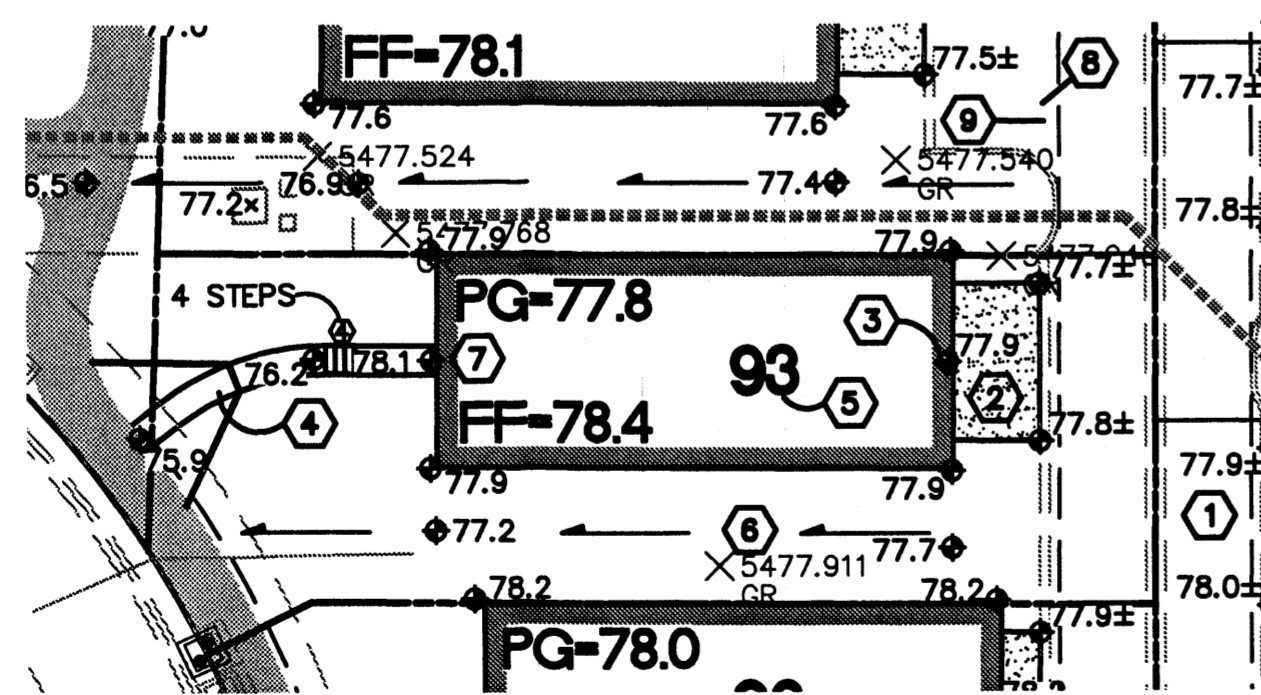
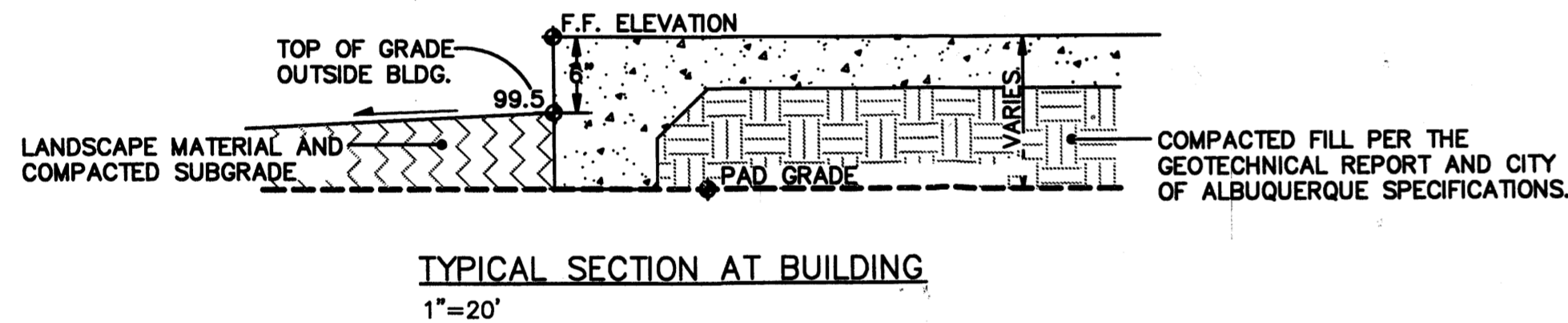
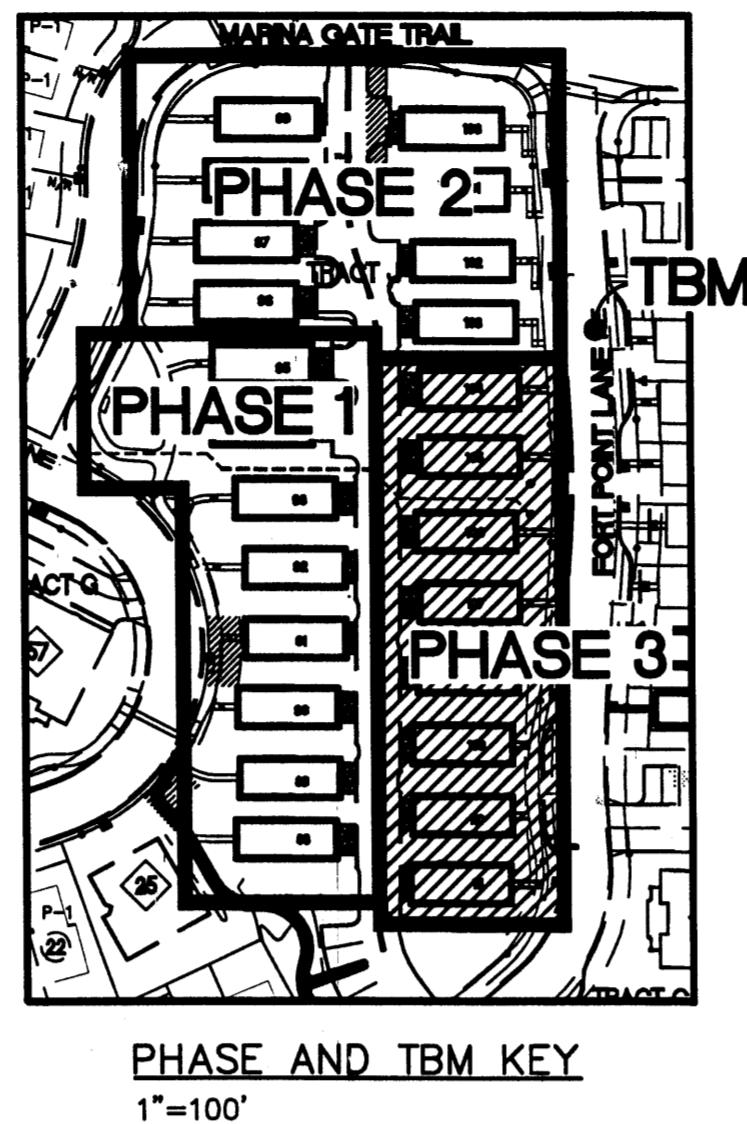
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| Date:     | 5/19/09 | No. Revisions: |  | Date: |  | Job No.: | 1720        |
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| Ckd By:   | ANW     |                |  |       |  |          | SH 20 OF 24 |

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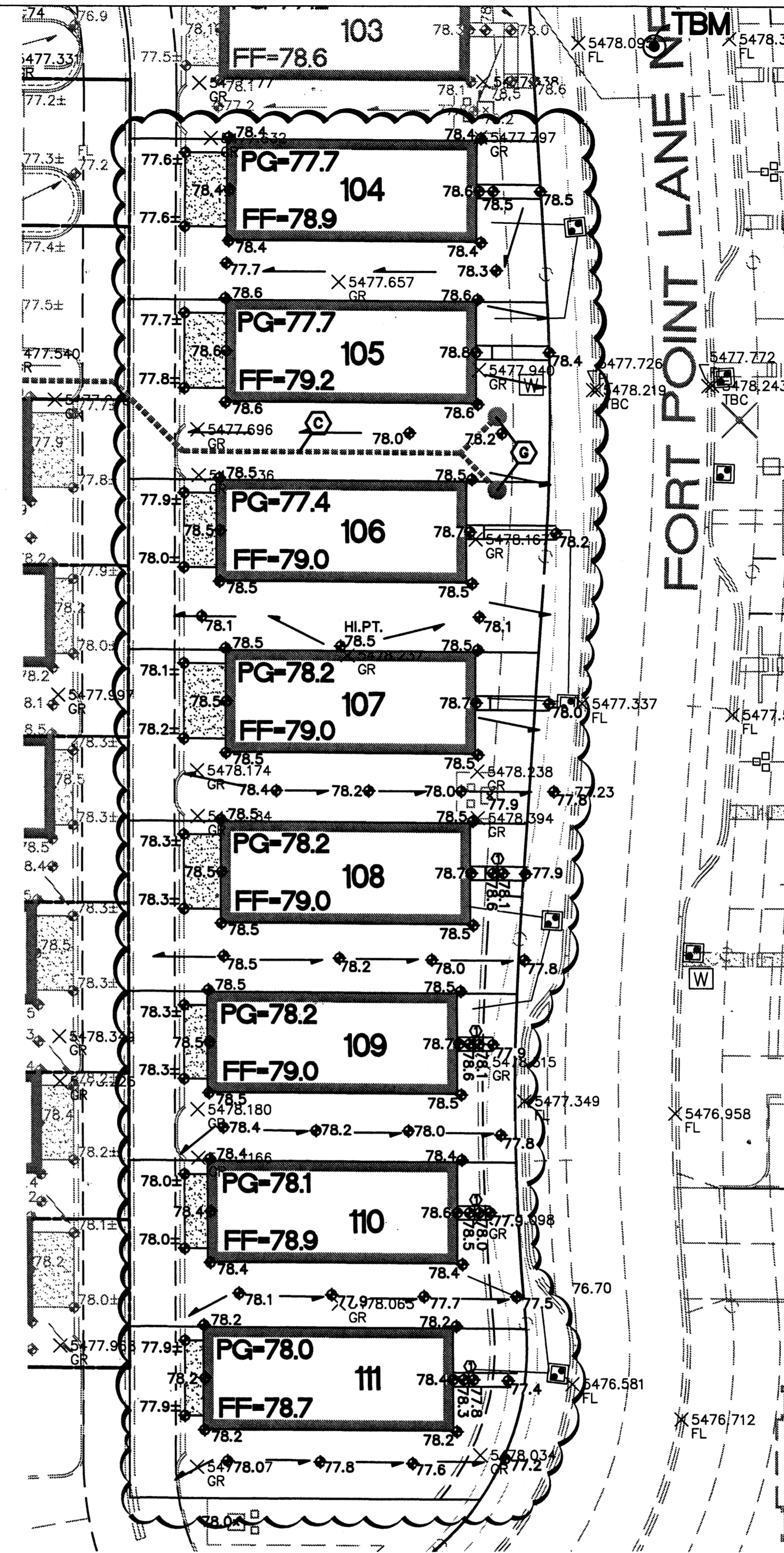
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- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- ALL NEW PAVEMENT GRADES SHOWN AS 'MATCH' OR '±' REPRESENT TRANSITIONS TO EXISTING. TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.



**TYPICAL LOT KEYED NOTES:**

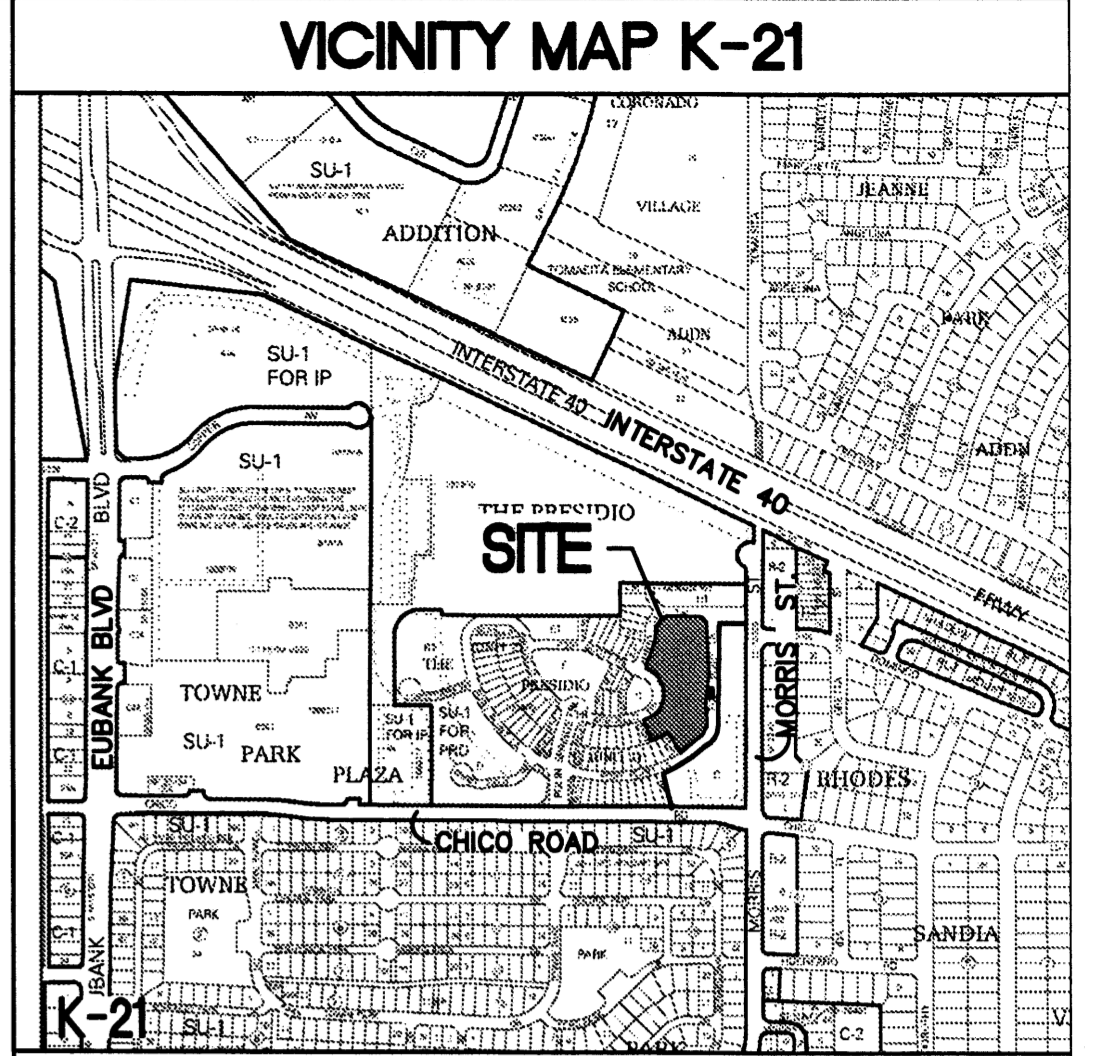
- EXISTING PAVED ACCESS ALLEY.
- CONSTRUCT NEW CONCRETE DRIVEPAD (LENGTH VARIES) BETWEEN BACK OF EXISTING CONCRETE RIBBON CURB AND BLDG. AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT. MAINTAIN POSITIVE DRAINAGE.
- ELEVATION AT GARAGE DOOR SET 6" BELOW FINISH FLOOR ELEVATION (FF) TO ACCOMMODATE 2" SLOPE IN GARAGE FLOOR AND 4" STEP AT WHEEL STOP. SEE ARCHITECTURAL FOR INTERIOR GRADE TRANSITIONS.
- CONSTRUCT CONCRETE WALK TO ACCESS FRONT ENTRY. MAX. SLOPE = 5%. PROVIDE STEPS AS REQUIRED. NUMBER OF STEPS SHOWN (S). SEE ARCHITECTURAL FOR DETAILS.
- NEW LOT NUMBER
- TYPICAL 1% SLOPE DRAINAGE SWALE SHALL BE ESTABLISHED AFTER CONSTRUCTION OF HOME AND BE MAINTAINED BY HOME OWNER.
- 4" STEP AT ENTRY DOOR (TYPICAL). MAXIMUM SLOPE 2% OVER FIRST 5' AT ENTRY LANDING.
- NEW EXTRUDED CONCRETE CURB INSTALLED TO DEFINE NEW DRIVE.
- SAWCUT AND REMOVE EXISTING ASPHALT MIN. 12" BEHIND BACK OF NEW CURB.



GRADING PLAN FOR 8 SINGLE-DETACHED UNITS  
1"=20'

**KEYED NOTES:**

- SEE TYPICAL LOT GRADING PLAN KEYED NOTES AT LEFT FOR NOTES COMMON TO ALL LOTS
- A. NOT USED.
- B. NOT USED.
- C. ABANDON EXISTING STORM DRAIN.
- D. NOT USED.
- E. NOT USED.
- F. NOT USED.
- G. REMOVE TWO EXISTING STORM DRAIN INLETS.



**LEGAL (EXISTING):**  
TRACT J, THE PRESIDIO, UNIT 1  
(04-13-07, 2007C-81)

**TEMPORARY BENCHMARK:** EXISTING SANITARY SEWER MANHOLE LOCATED APPROXIMATELY 152' SOUTH OF THE INTERSECTION OF FORT POINT LANE AND MARINA GATE TRAIL. SEE PHASE KEY THIS SHEET. RIM=5478.40

**PROJECT NOTES:**

THE PAVING, CURB AND GUTTER (PRIVATE STREETS AND ALLEYS), WATER AND SANITARY SEWER WERE INSTALLED WITH THE PRESIDIO, UNIT 1 PLANS--CPN 797481. 12 TRIPLEX CONDOMINIUM BUILDINGS (36 UNITS) SHALL BE REPLACED WITH 24 SINGLE DETACHED LOTS IN A SERIES OF MINOR REPLATS (10 PARCELS MAX. WITH EACH PLAT).

THIS GRADING PLAN SHOWS REVISED GRADES FOR THE AREA WHERE THE FIRST OF THREE GROUPINGS OF 8 SINGLE-DETACHED UNITS WILL REPLACE THE PREVIOUSLY PROPOSED TRIPLEX CONDOS (12 TOTAL UNITS).

DRAINAGE PATTERNS SHALL FOLLOW THE APPROVED PLAN FOR THE CONDOMINIUM UNITS, AND THE EXISTING CONDOMINIUM PADS SHALL BE RESHAPED TO ACCOMMODATE THE SINGLE-DETACHED LOTS.

**LEGEND**

- 81.0 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF-80.8 FINISH FLOOR ELEVATION
- PG-79.8 PAD GRADE ELEVATION
- TC EXIST TOP OF CURB ELEVATION
- INV PIPE INVERT ELEVATION
- 5481.712 AS-BUILT ELEVATION

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1720 CG-101-GRD.dwg Jun 19, 2009

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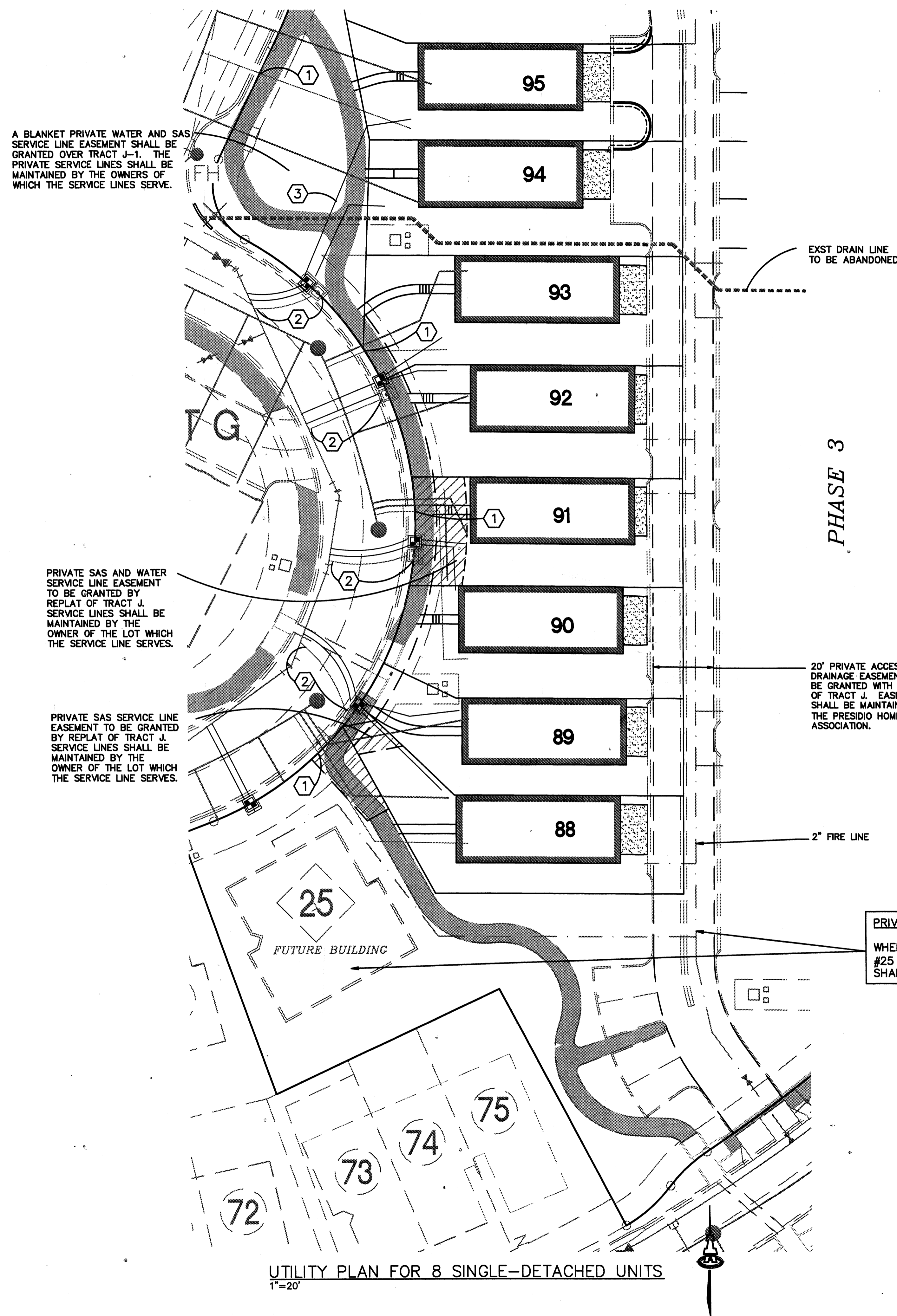
**THE PRESIDIO UNIT 1,  
REPLAT OF TRACT J PHASE 3  
CENTEX HOMES**

**DRAINAGE AND GRADING PLAN**

|           |         |          |              |
|-----------|---------|----------|--------------|
| Date:     | 5/19/09 | Job No.: | 1720         |
| Drawn By: | BUB     |          | CG-103       |
| Old By:   | ANW     |          | SH. 21 OF 24 |



PHASE 2



A BLANKET PRIVATE WATER AND SAS SERVICE LINE EASEMENT SHALL BE GRANTED OVER TRACT J-1. THE PRIVATE SERVICE LINES SHALL BE MAINTAINED BY THE OWNERS OF WHICH THE SERVICE LINES SERVE.

PRIVATE SAS AND WATER SERVICE LINE EASEMENT TO BE GRANTED BY REPLAT OF TRACT J. SERVICE LINES SHALL BE MAINTAINED BY THE OWNER OF THE LOT WHICH THE SERVICE LINE SERVES.

PRIVATE SAS SERVICE LINE EASEMENT TO BE GRANTED BY REPLAT OF TRACT J. SERVICE LINES SHALL BE MAINTAINED BY THE OWNER OF THE LOT WHICH THE SERVICE LINE SERVES.

EXST DRAIN LINE TO BE ABANDONED

PHASE 3

20' PRIVATE ACCESS AND DRAINAGE EASEMENT SHALL BE GRANTED WITH RE-PLAT OF TRACT J. EASEMENT SHALL BE MAINTAINED BY THE PRESIDIO HOMEOWNERS' ASSOCIATION.

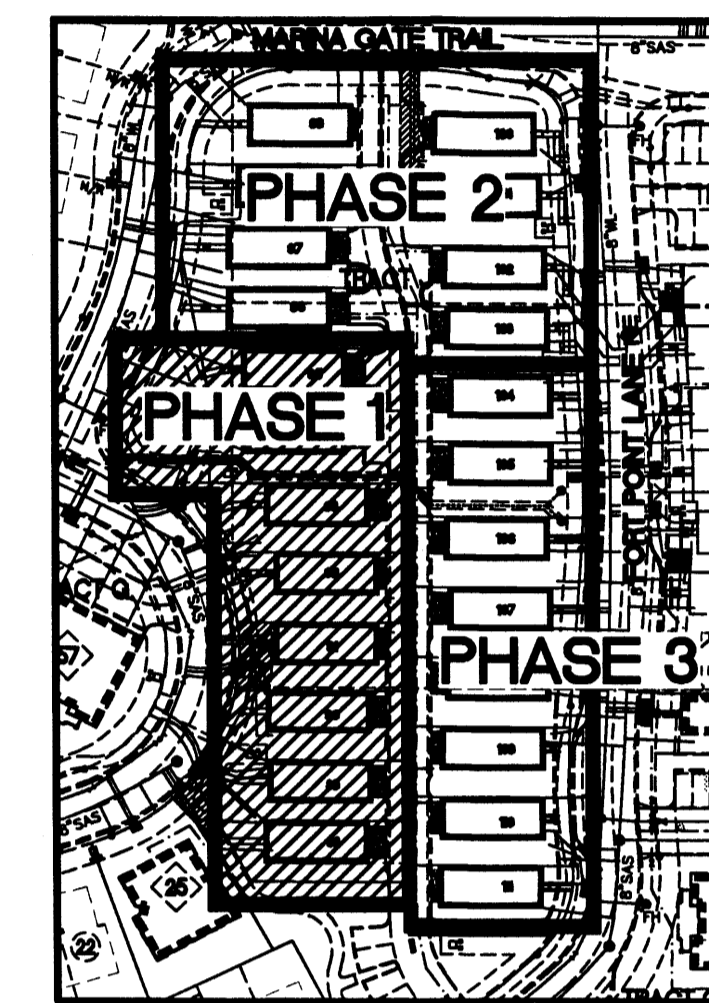
2" FIRE LINE

**PRIVATE FIRE LINE NOTE:**  
WHEN FUTURE HANDICAP ACCESSIBLE CONDO #25 IS CONSTRUCTED, THE 2" FIRE LINE SHALL BE CAPPED NORTH OF THE TEE.

UTILITY PLAN FOR 8 SINGLE-DETACHED UNITS  
1"=20'

KEYED NOTES:

- EXISTING SANITARY SEWER SERVICE--CAP AT ROADWAY EASEMENT AND ABANDON IN PLACE.
- EXISTING WATER SERVICE--REMOVE & REPLACE RESIDENTIAL PAVING (4.5 SY±) PER COA STD DWG #2465. CAP SERVICE AT CORP. STOP AND ABANDON COPPER LINE IN PLACE. REMOVE & SALVAGE EXISTING METER BOX, LID AND COPPER SETTER. REMOVE & DISPOSE CONCRETE PAD (1 SY±).  
CONTRACTOR SHALL OBTAIN A TAPPING PERMIT FOR WATER SERVICE CAPPING AND REMOVAL WORK.
- WATER SERVICE LINE TO LOT 95 SHALL BE 1-INCH--INSTALL 3/4"x1" REDUCER AT METER.



PHASE KEY  
1"=100'

VICINITY MAP K-21



EXISTING LEGAL DESCRIPTION:

TRACT J, THE PRESIDIO, UNIT 1 (4/13/07, 2007C-81)

PROJECT NOTES:

THE PAVING, CURB AND GUTTER (PRIVATE STREETS & ALLEYS), AND PUBLIC WATER AND SANITARY SEWER LINES AND SERVICES WERE INSTALLED WITH THE PRESIDIO, UNIT 1 PLANS--CPN 797481. 12 TRIPLEX CONDOMINIUM BUILDINGS (36 UNITS) SHALL BE REPLACED WITH 24 SINGLE DETACHED LOTS IN 3 PHASES.

THE EXISTING WATER AND SANITARY SEWER SERVICES SHALL BE USED FOR THE NEW SINGLE-DETACHED UNITS.

LEGEND

- EXISTING
- SINGLE WATER METER & BOX
  - DOUBLE WATER METER & BOX
  - IRRIGATION METER
  - GATE VALVE W/ VALVE BOX
  - FIRE HYDRANT
  - PRIVATE FIRE LINE
  - PRIVATE INLET & 8" DRAIN PIPE
  - 8" SAS W/ MANHOLE
  - 4" SAS SERVICE
  - PNM/QWEST/COMCAST TRANSFORMER & PEDESTALS
  - STREET LIGHT

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THE PRESIDIO UNIT 1,  
REPLAT OF TRACT J, PHASE 1  
CENTEX HOMES

UTILITY PLAN

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| Date:     | 6/5/09 | Job No.: | 1720        |
| Drawn By: | ANW    | PAGE     |             |
| Chd By:   |        |          |             |
|           |        |          | SH-22 OF 24 |