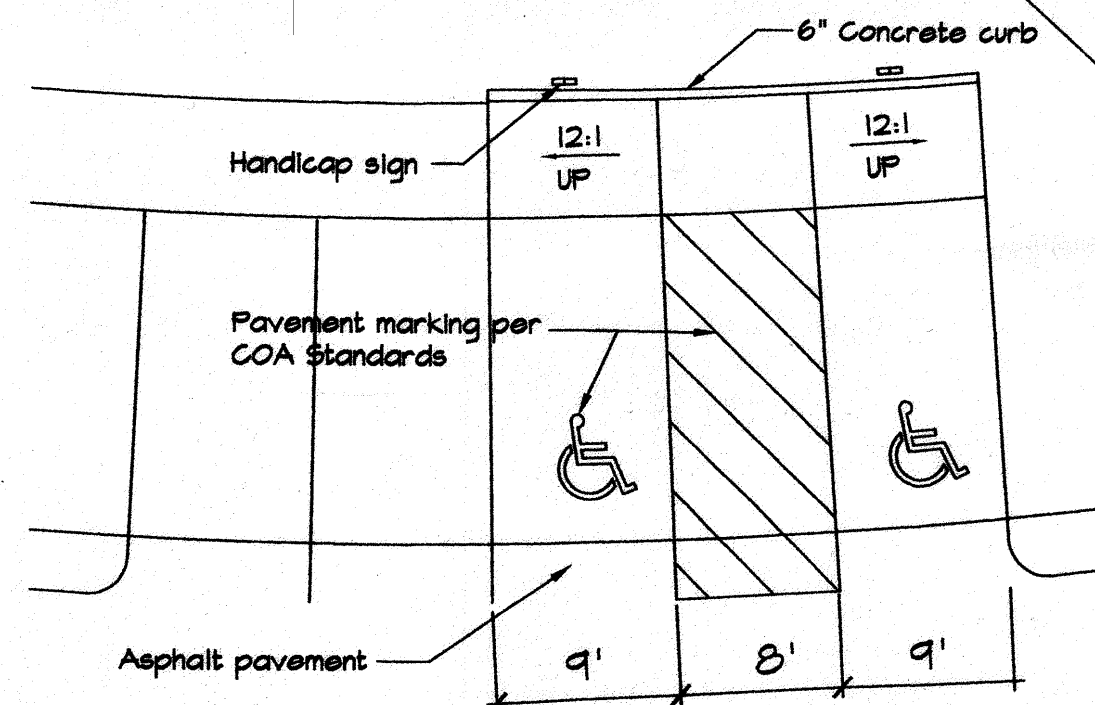
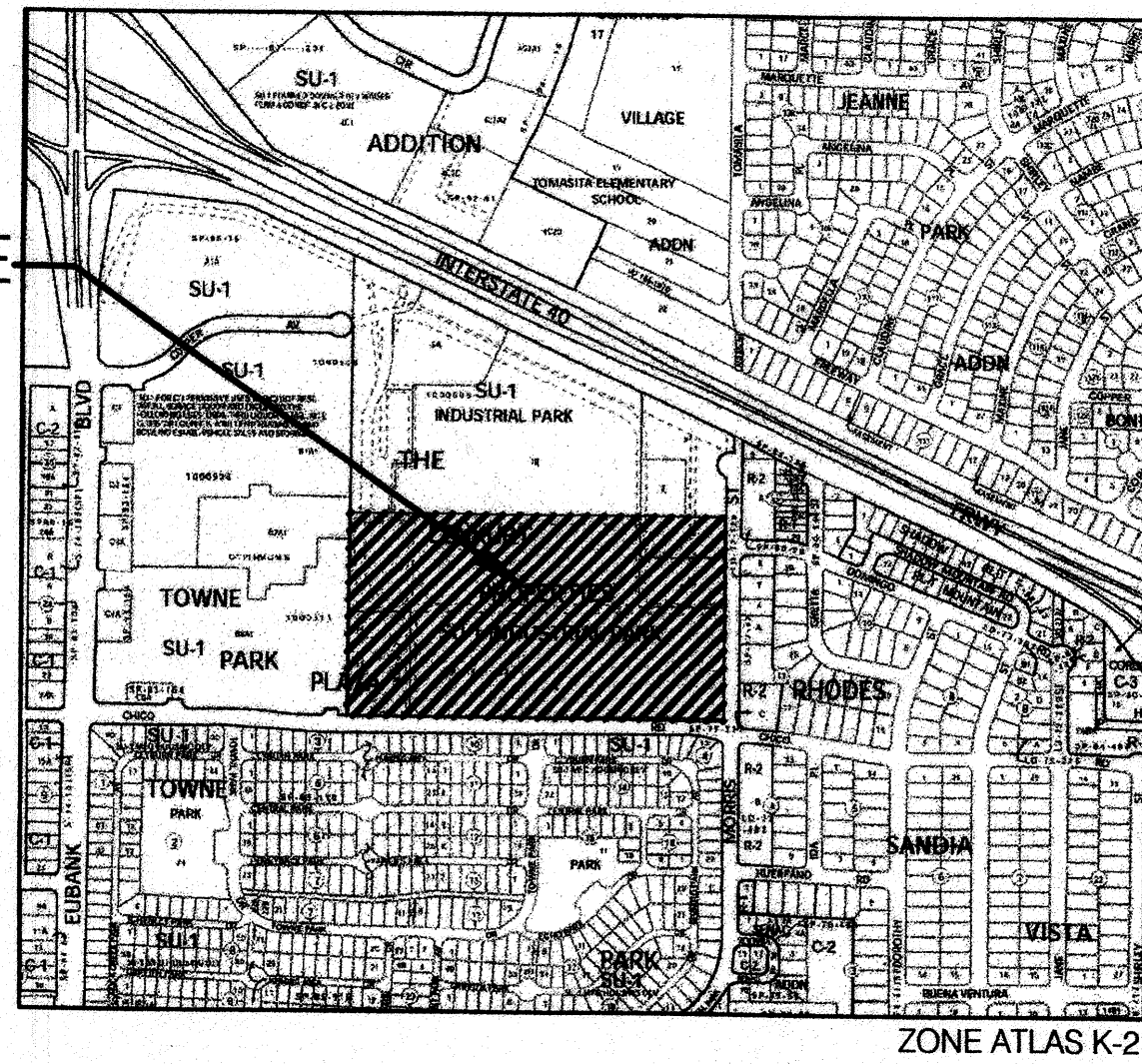
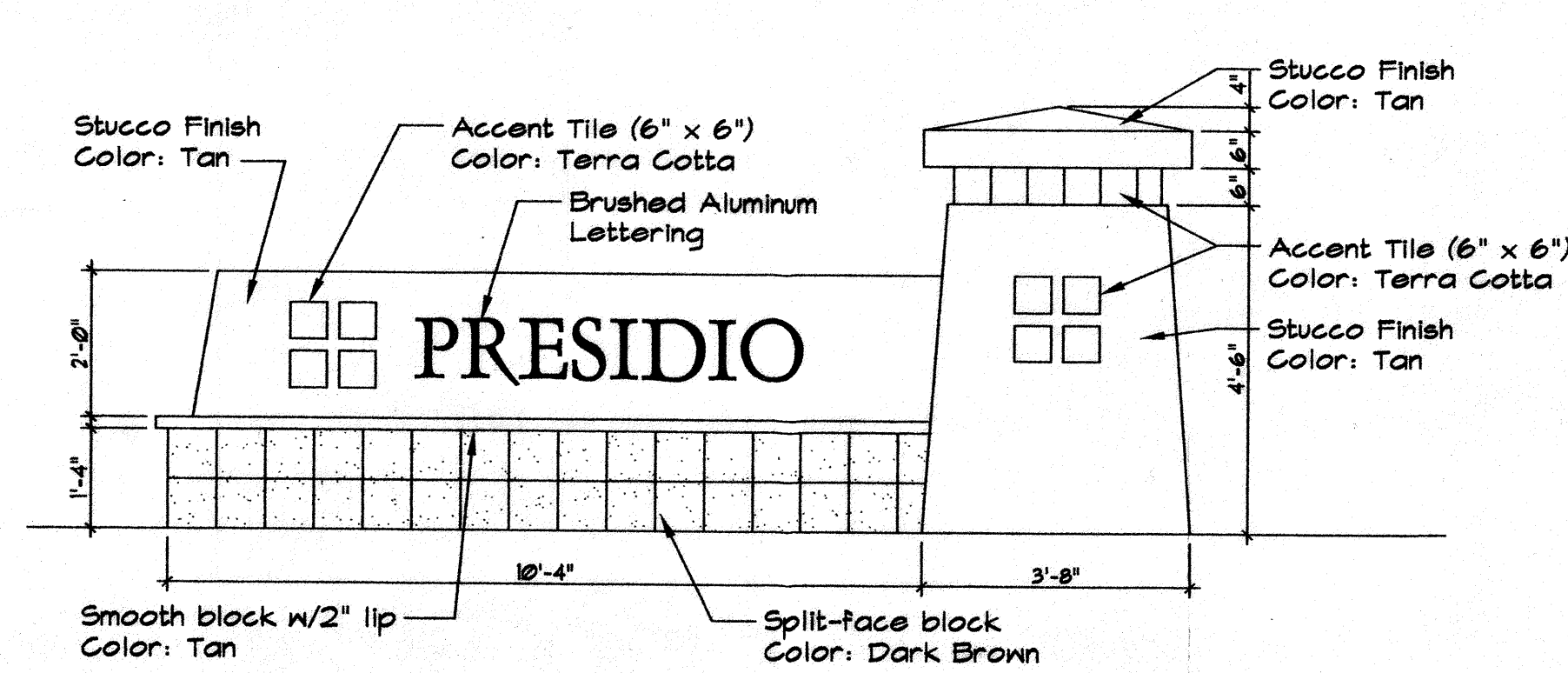


**SITE VICINITY**



**ARGUELLO TRAIL NE**  
Handicap Parking Area Enlargement  
Scale 1" = 10'



Entry Monument Elevation  
N.T.S.

FOR AMENDMENT:  
PROJECT NUMBER: 1000572  
Application Number: 06DR15-01983

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11/14/06 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
<i>Reggie J. Huan</i>	1/3/07
Water Utility Department	Date
<i>Christina Sandoval</i>	1/16/07
Parks and Recreation Department	Date
N/A	
Solid Waste Management	Date
<i>Bradley B. Bingham</i>	1/3/07
City Engineer	Date
<i>Andrew Guice</i>	1/4/07
DRB Chairperson, Planning Department	Date

CEL  
12-28-06

**Site Information:**  
The site consists of approximately 23.7 acres. The legal description for the site is a portion of lots 2, 3, 6, 7, and 8, Lenkurt Properties

**Proposed Use and Zoning:**  
Approximately 87 townhomes and 55 triplex units and 2 duplex units containing approximately 189 condominium units are proposed for the site for a total of 256 dwelling units. The townhomes will be comprised of duplex, and tri-plex units, containing 2-3 bedrooms and 2 1/2 baths. The site also contains Private Open Space and a Clubhouse/Recreational building. The proposed zoning is SU-1 PRD. Gross density is at 10.9 DU/Acre. The community will be gated and all internal streets will be private and maintained by the Homeowners Association.

**Pedestrian and Vehicular Ingress and Egress:**  
VEHICULAR ACCESS - Primary access into the development will be off of Chico Road NE. One additional access point is provided off Morris Street NE. Both accesses will be gated. All internal roadways will be private.

PEDESTRIAN ACCESS - Pedestrians will be provided direct access through the development from entryways off of Chico Drive NE and Morris Street NE. Two additional pedestrian access points will be provided along the northern property line: one at Moraga Way NE and one at the alley near the western boundary. All entryways will be gated and residents will use a code or key to enter the community. Pedestrian access shall be provided by sidewalks constructed within private roadway easements. Pedestrian circulation will be facilitated through a network of walking paths that lead from the parking areas to each triplex or townhome unit. The point where the trails access the streets will be ADA compliant.

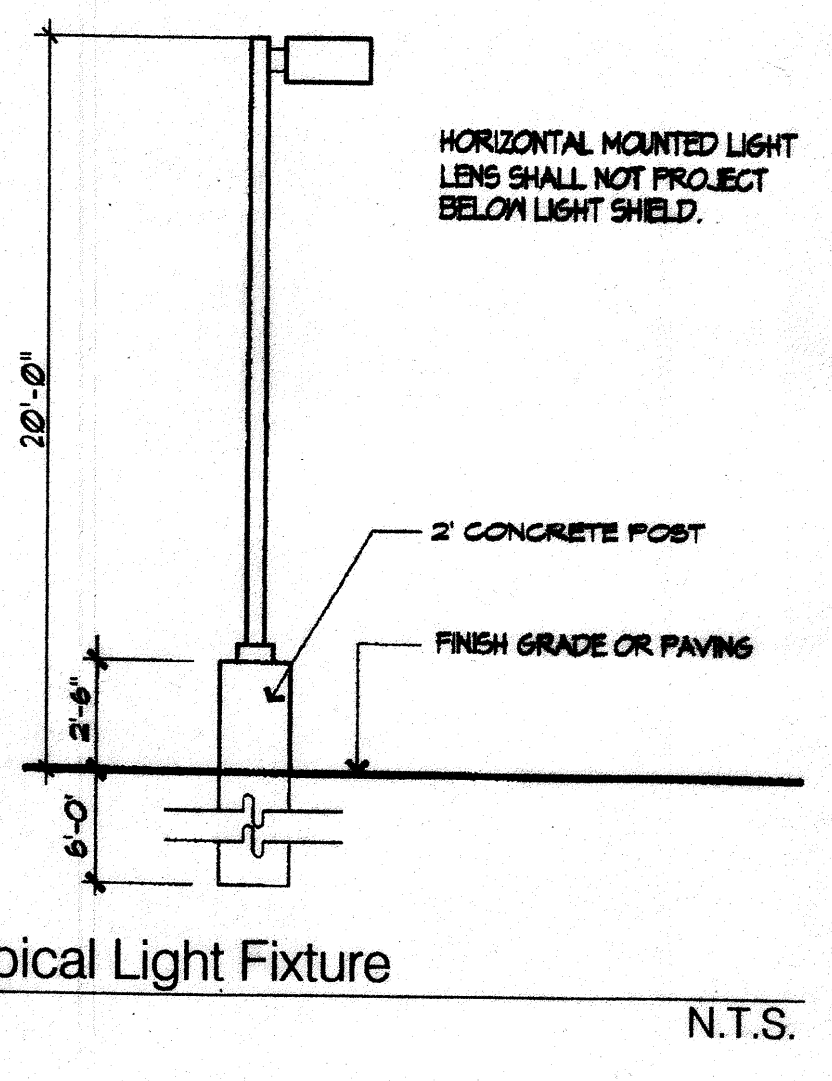
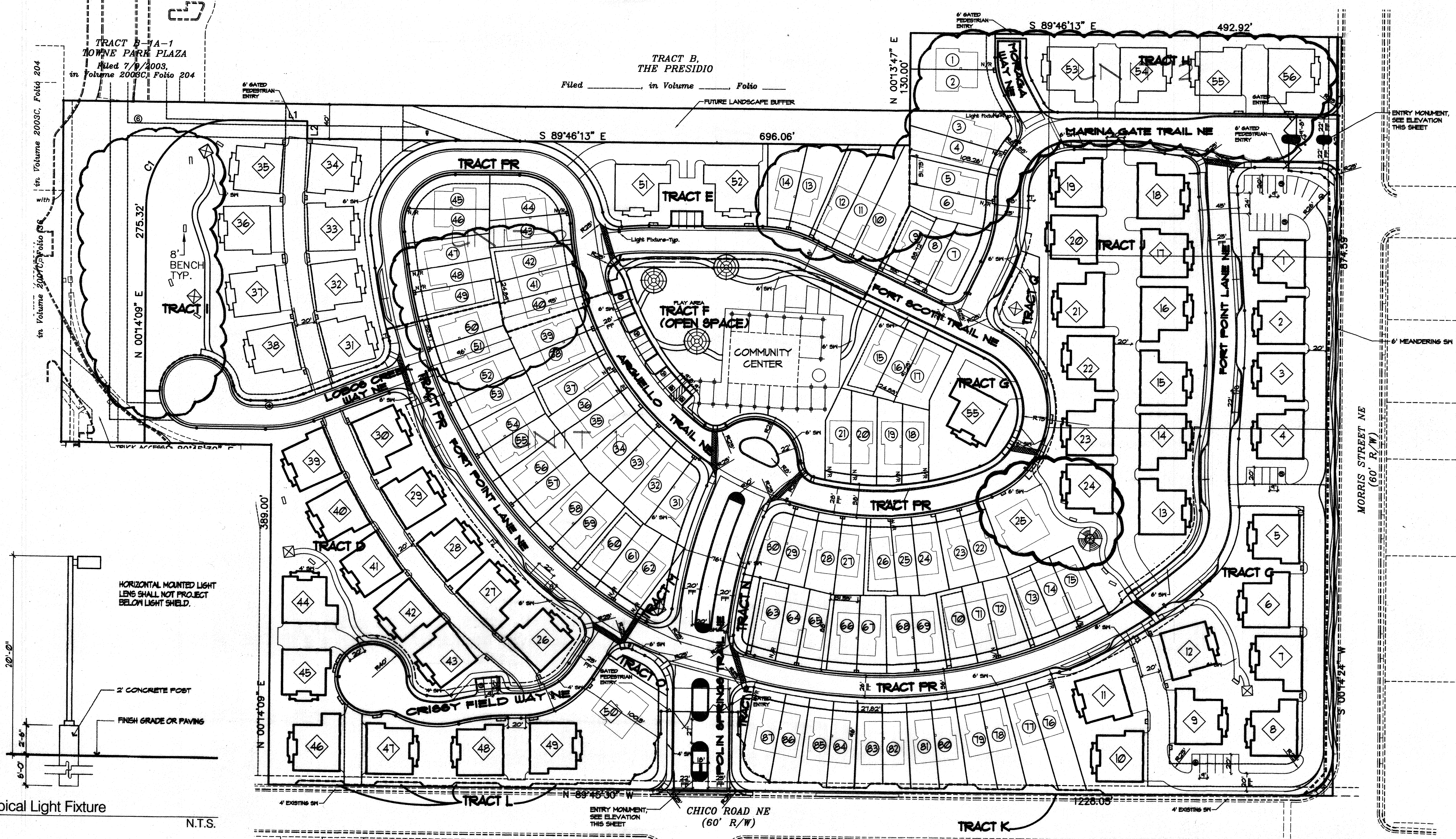
BICYCLE ACCESS - An existing bike trail is located north of the site, not shown.

TRANSIT ACCESS - The site is currently not on a direct transit route, however, it is located within walking distance of Albuquerque Ride's Eubank service (Route #2).

INTERNAL CIRCULATION - Internal roads will be designed and built in compliance with the Development Process Manual (DPM). Local roads (at varying lengths) internal to the development will provide access to each home and access to parking areas that serve as additional guest parking for the townhomes.

PARKING - Parking will be provided in compliance with 14-16-3-1 of the City of Albuquerque Comprehensive Zoning Code. Additional guest parking will be provided at common parking areas located throughout the Presidio Community. There are 91 additional guest parking spaces provided within the Presidio Community.

Landscape Plan - The Landscape Plan, (see sheet 3) provides street trees within the subdivision and also along Chico Road NE in accordance with the Street Tree Ordinance. Street trees will also be provided in the same manner along Morris Street NE.



Typical Light Fixture  
N.T.S.

PROJECT NUMBER: 1000572  
Application Number: 05-EPC-01116

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 19, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
<i>Reggie J. Huan</i>	8/23/06
Water Utility Department	Date
<i>Christina Sandoval</i>	8/23/06
Parks and Recreation Department	Date
Solid Waste Management	Date
<i>Bradley B. Bingham</i>	8/23/06
City Engineer	Date
<i>Andrew Guice</i>	8/28/06
DRB Chairperson, Planning Department	Date

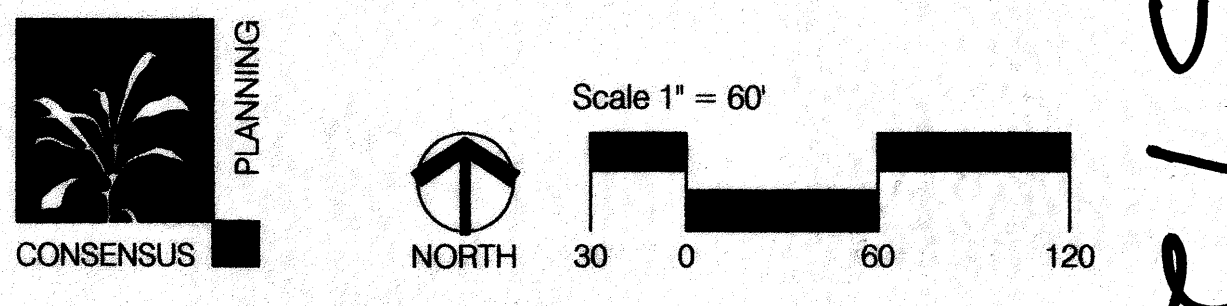
**AMENDED**  
**SITE DEVELOPMENT PLAN FOR PRD**  
**THE PRESIDIO**

Prepared for:  
Centex Homes  
5120 Masthead NE  
Albuquerque, NM 87109

Prepared by:  
Consensus Planning, Inc.  
302 8th Street SW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

Dekker Perich Sabatini  
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109



1000572



# DESIGN STANDARDS FOR THE PRESIDIO

## A. Introduction

The purpose of these Design Standards is to provide a framework for ensuring that a high quality development occur within the Presidio. The Presidio represents a unique development concept that combines both townhouses and condominiums within the same project. As a result of this dwelling unit mix, there is more flexibility in both layout and design.

## B. Design Standards

The purpose of these Design Standards is to provide an overview of the development concepts and vision for the property. The primary goal for this property is to achieve a vibrant, residential community that fosters pedestrian accessibility and maintains a network of open space and amenities for the benefit of residents living in the subdivision.

The Design Standards shall be used to facilitate a design that integrates the subdivision into the surrounding built environment. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, and signage and that will create the visual image desired for The Presidio. They are intended to establish a development framework that is complimentary to the existing neighborhoods to the south and east.

### Site Amenities

The project's site amenities include a network of walking paths that connect the development. Walking paths will be landscaped in order to offer a pleasing pedestrian environment throughout the development. Other amenities include pocket parks, play areas, and open space located throughout the property. A club house is included as an amenity and will serve a variety of community functions.

Private common areas will be located throughout the Presidio. Common area characteristics include:

- The common areas will be owned, developed, and maintained by the Homeowners Association for the Townhouses and a Condominium Association for the condominium common areas.
- Small pocket parks will provide park benches and shade structures in some of the larger open areas.
- Landscaped areas will be provided at entryways into the development.
- Shade structures (Ramada structures) will be provided in the common open space areas to provide areas for outdoor seating.
- There will be a 2,500 square foot club house for use by the residents of the Presidio with a patio, workout room, common living room, and catering kitchen.
- Covered outdoor space and balconies shall be considered on-lot usable open space.
- A network of trails will be developed throughout the property. The network will consist of 6' meandering concrete trails that will be placed within the site landscaping.

### Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Front yard setbacks for single family residential developed have been reduced from the City's standard in order to provide as intimate a streetscape experience as possible.

### Townhomes

- Front Yard Setbacks - There shall be a front-yard setback of not less than 10 feet
- Rear Yard Setbacks - Rear yard setbacks shall not be less than 15 feet;
- Side Yard Setbacks - There shall be no required side-yard setback except: There shall be ten feet on the street side of corner lots.

### Condominiums

The following setbacks apply to private roadway tract lines:

- Front Yard Setbacks - There shall be a front-yard setback of not less than 10 feet. Ratios are permitted to encroach into the front yard setback.
- Rear Yard Setbacks - Rear yard setbacks shall not be less than 15 feet;
- Side Yard Setbacks - There shall be a side-yard setback of not less than 5 feet except: There shall be ten feet on the street side of corner lots.

The following setbacks apply to private roadway tract lines or lot lines:

- Front Yard Setbacks - There shall be a front-yard setback of not less than 20 feet, measured from the midpoint of garage to private roadway tract line.
- Rear Yard Setbacks - Rear yard setbacks shall not be less than 15 feet;
- Side Yard Setbacks - 5 foot side yard setback from vertical face of unit to lot line  
10 foot side yard setback, adjacent to private roadway tract line  
10 foot setback from vertical face to vertical face of units

### Landscape

The development of an overall landscape concept will establish a framework that unifies the property and is complementary to the surrounding neighborhoods. The landscape design shall emphasize native and naturalized plant species. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code. The Landscape Plan adheres to Landscaping Regulations, Section 14-16-3-10 of the City of Albuquerque Zoning Code.

The following are minimum standards for the development of specific landscape plans:

- Street trees are required along Chico Road NE and accordance with the City of Albuquerque Street Tree Ordinance. Per the Street Tree Ordinance, tree placement shall be every 30 linear feet along Chico Road. In addition, the same standard shall be applied to Morris Street.
- For the interior residential streets, street trees shall be provided along roadways between driveways and parking bump outs.
- The Homeowners Association will be responsible for the installation and maintenance of all landscaping in the common areas. Landscaping shall be maintained by the townhome lot owner in a living, attractive manner.

- The Homeowners Association will also be responsible for maintaining the front yard landscape for each townhome.
- The Homeowners Association shall maintain all street trees along Chico Road and Morris Street NE in a living and healthy manner.
- Common areas open space within the condominium areas will be maintained by an established Condominium Association.
- All private common parking areas, public space, private roads, trails, and the street trees along Chico Road NE and Morris Road NE shall be maintained by the Townhome Homeowners Association.
- The landscaping plan identifies plant materials that will be used in the Presidio development
- A fully automated irrigation system shall be designed as part of the landscaping for each project. The system shall be designed to avoid overspraying walks, buildings, fences, etc.

### Screening Walls, Fencing, and Buffering

All walls shall comply with the adopted City of Albuquerque Wall Design Regulations. The effective use of screening devices for refuse collection and mechanical equipment is essential to limit their adverse visual impact on the property. Perimeter walls are allowed on the property; however, an effort shall be made by the site designer to lessen its visual impact through landscaping, meandering within a landscaped area, and providing openings.

- Unfinished block walls and barbed wire, chain link, concertina wire and plastic/vinyl fencing are prohibited.
- Privacy Fencing - Each townhome lot shall be provided with a 6' maximum height CMU privacy wall, located on the common property line between adjoining lots. The height of this fence shall conform to the Zoning Code. View fences located adjacent to park/open space areas will be constructed of 3 courses of CMU with wrought iron fencing to an equivalent height of 5-6'.
- Materials acceptable for retaining walls are masonry block (no unfinished), split face block, and stone.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse containers shall be in a corresponding walled and gated area at a height to fully conceal the container.

### Alleys

Alleys will be utilized throughout the property to provide access to the condominium garages. The purpose of the alleys will be to lessen the visual impact of garages on the streetscape, thus creating a more pleasing residential environment.

### Architectural Standards

The architectural style for the Presidio will be classified as Scottsdale. This style combines elements from the Mediterranean and Tuscan styles, which are characterized by stucco finish and tile roofs.

### Lot Size

- The minimum lot width of the townhomes shall be 25 feet. The maximum lot size for the townhomes shall be 5,573 square feet. The minimum lot size for the townhomes shall be 2,150 square feet. The average lot size is 2,988 square feet.

### Building Height

Structures shall not exceed 26 feet in height, as defined in the Zoning Code.

### Roof Materials and Colors

These roof materials are appropriate for the townhomes in the Presidio:

- Asphalt Shingles.
- Clay or Concrete tile, mission barrel or S shapes in solid or modeled colors.
- Roof materials will match the primary building colors, which will be limited to browns, earthtones, light beige, medium beige, and dark beige, reddish brown, and sand. All roofs will have the same color scheme.

### Building Materials

All buildings will contain a stucco finish.

### Solid Waste

Each townhome and condominium unit shall have a storage area for residential automated carts; not to be visible from the street.

### Building Colors

Primary building colors will be limited to browns, earthtones, light beige, medium beige, and dark beige, reddish brown, and sand. All buildings will have the same color scheme.

### Rooftop Equipment

The top of all rooftop equipment shall be located below the top of parapet and screened from view. Rooftop equipment shall be painted to match the roof color or overall predominant building color. All ground mounted equipment shall be screened by walls with the top of the equipment below the top of the wall.

### Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lighting will comply with the City of Albuquerque Zoning Code (Section 14-16-3-9) and the State of New Mexico Night Sky Protection Act.

Area lighting, including parking, trails, and walkways will also be arranged so that the location of the lighting fixture, together with the cutoff angle shall be such that it does not directly shine on any public right-of-way.

- Placement of fixtures and standards shall conform to state and City safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra lights are prohibited.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- The use of spread lighting fixtures are encouraged to accent landscape and walkways and the use of uplighting fixtures to highlight trees, walls and architectural features.
- All light fixtures shall be shown as fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter.
- The height of street lights and parking area lights shall be a maximum of 20 feet from top to grade.

### Signage

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within the Presidio. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

- Entry signs shall be monument type or wall mounted and shall complement the materials, color, and architectural character of the subdivision.
- Monument signs shall be the only signs permitted in The Presidio.
- A maximum of two monument signs shall be permitted on the property; one on Chico and one on Morris.
- The monument sign shall contain elements to match the perimeter walls and the buildings on the property.

### Utilities

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads/boxes, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above-ground structures.

### Parking and Pedestrian Access

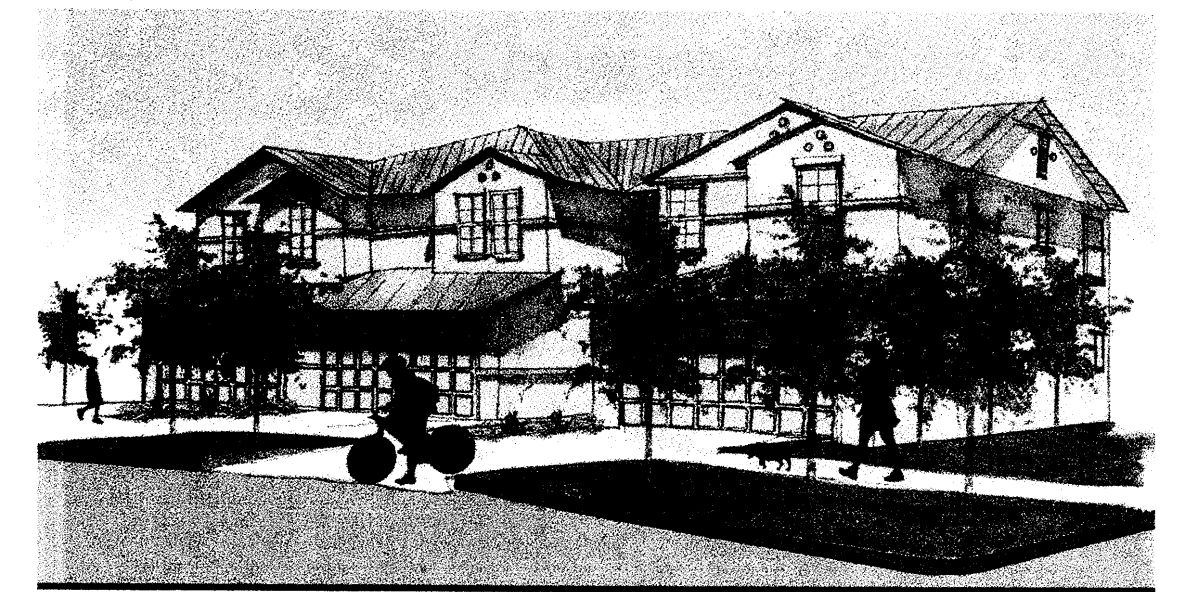
Parking shall be provided per City of Albuquerque Zoning regulations (Chapter 14-16-3-1). Common parking areas will be provided for the triplex units at a rate of one space per unit bathroom. Each townhome unit shall contain two parking spaces per unit.

- ADA Compliant parking shall be provided and located adjacent to walking paths and close to buildings.
- All sidewalks in front of parking stalls shall be 8 feet wide. All pedestrian connections shall be 6 feet wide.
- Bicycle racks shall be located throughout the property and consist of 2" DIA. Painted steel pipes that extend 12" into the concrete set 24" from the edge of the concrete.
- Handicapped parking spaces shall be located adjacent to curb cuts and be as close to the common areas, walkways, and trails as possible. In addition, there will be two handicap parking spaces provided at the Club House.

### Elevations

Architectural styles for both the townhouse units and condominium units are shown. The elevations in this section are illustrative. The townhouse units, pictured below, shall be stuccoed finished with roof materials previously listed. The units will be accessed from the private roadway easement with the front door facing the street.

The Condominiums will be rear-accessed units. Garages for the condominium units will be accessed from the rear. Garages will be accessed through alleys and not be visible from the private roadway easement.



Townhouse Unit



Condominium Unit

# Design Standards THE PRESIDIO

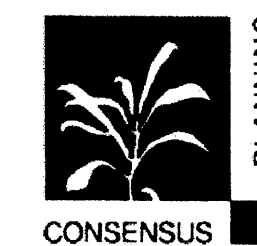
Prepared For:  
Centex Homes  
5120 Masthead NE  
Albuquerque, NM 87109

Prepared By:  
Consensus Planning, Inc.  
302 8th Street SW  
Albuquerque, NM 87102

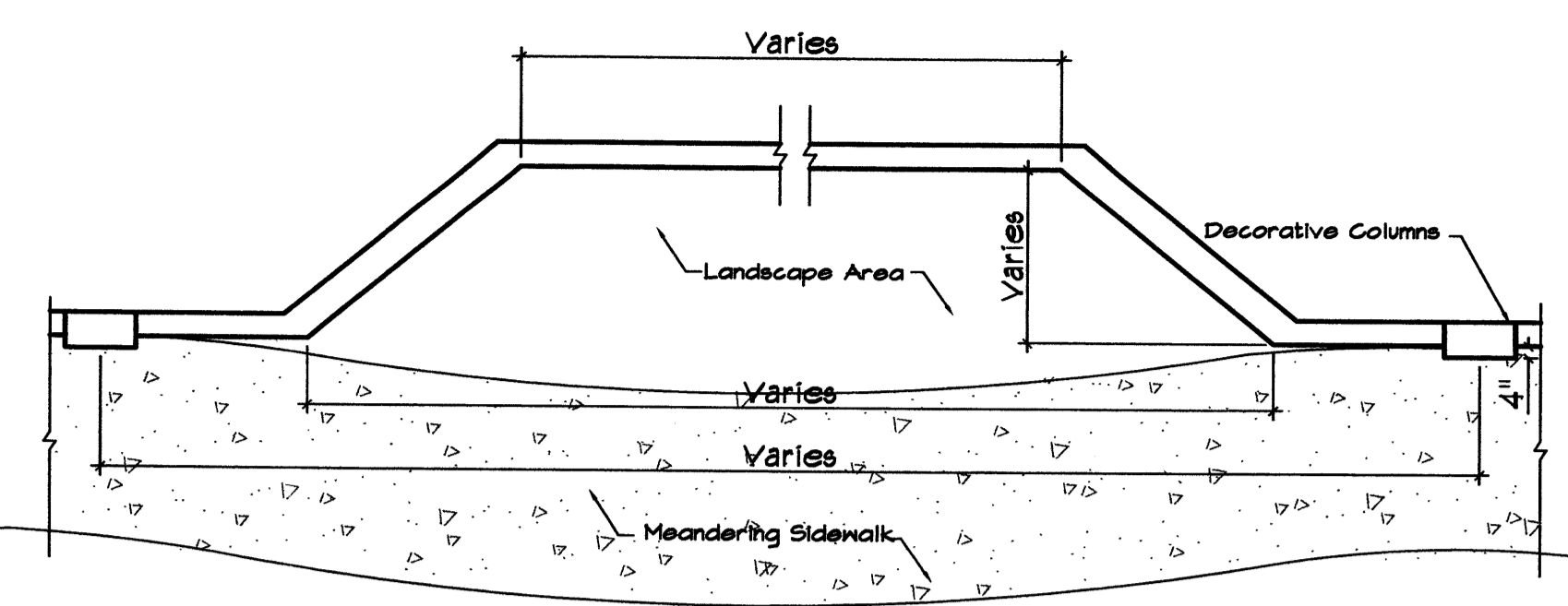
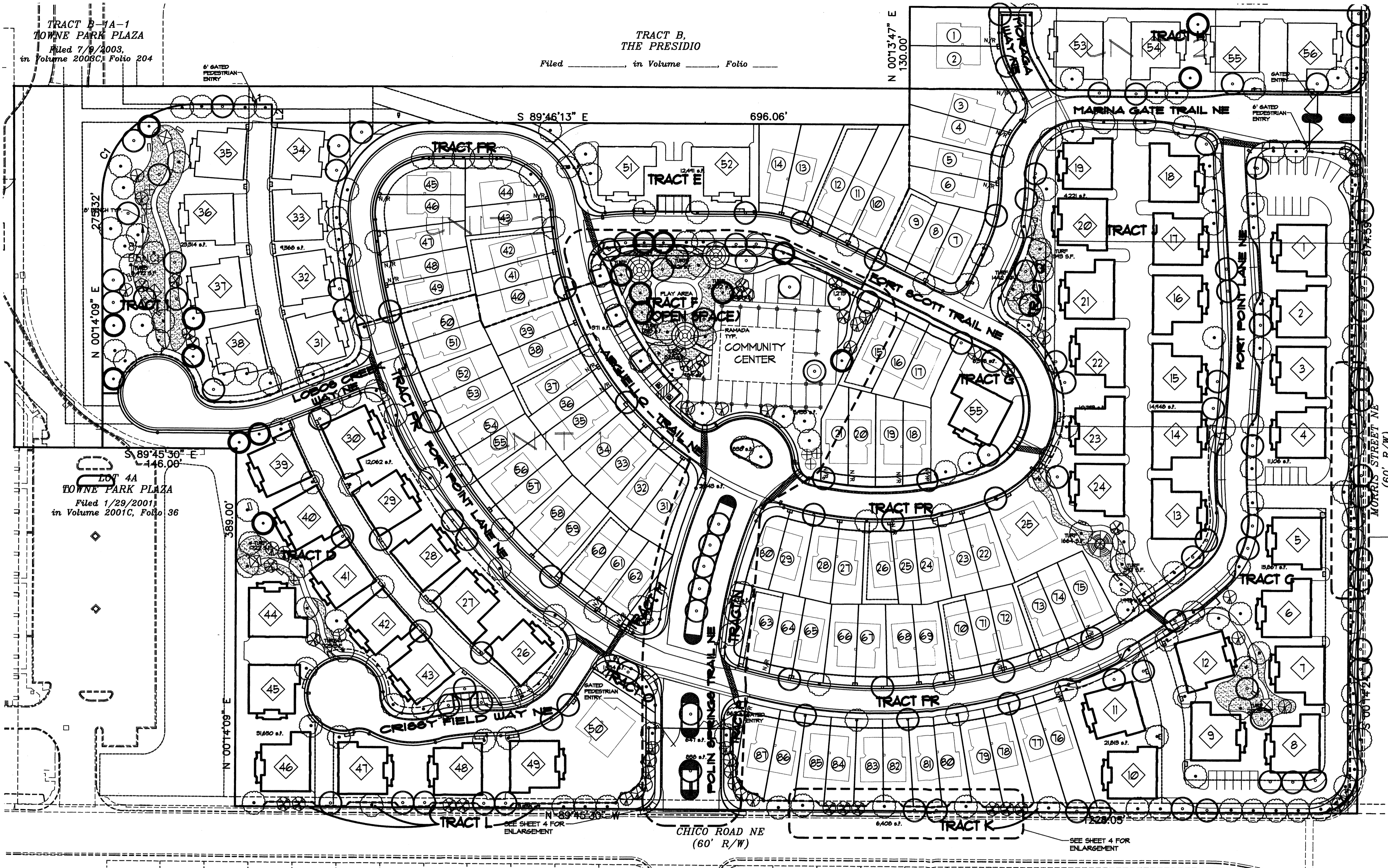
Isaacson & Arfman  
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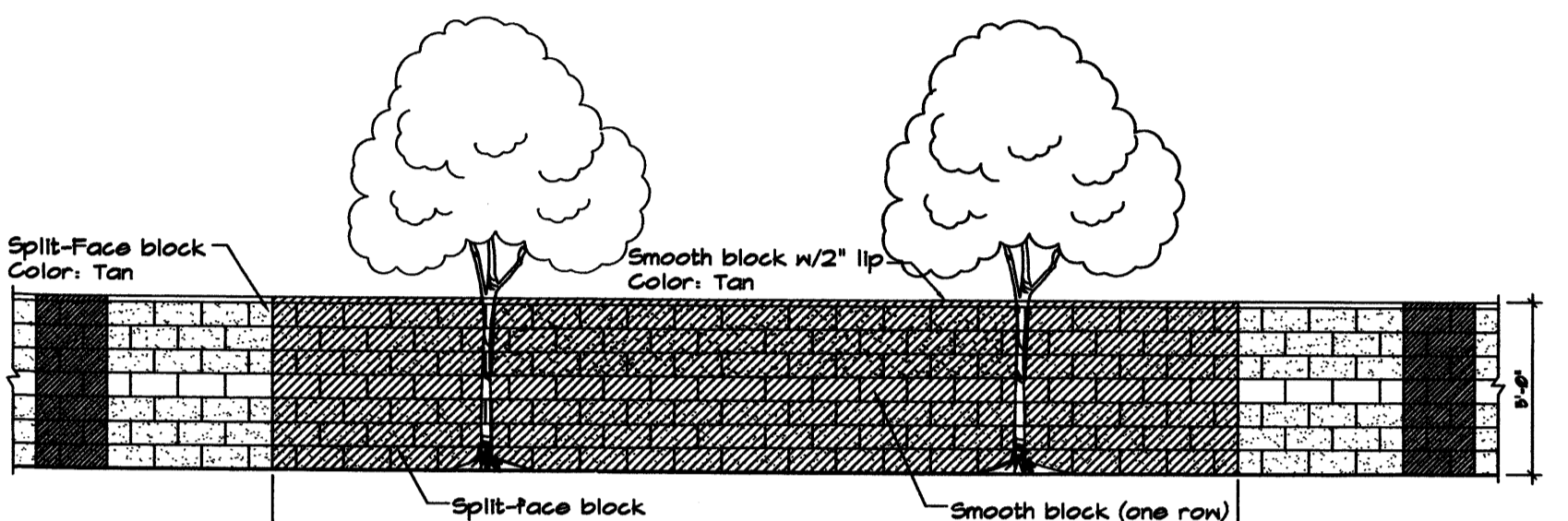
## CENTEX HOMES



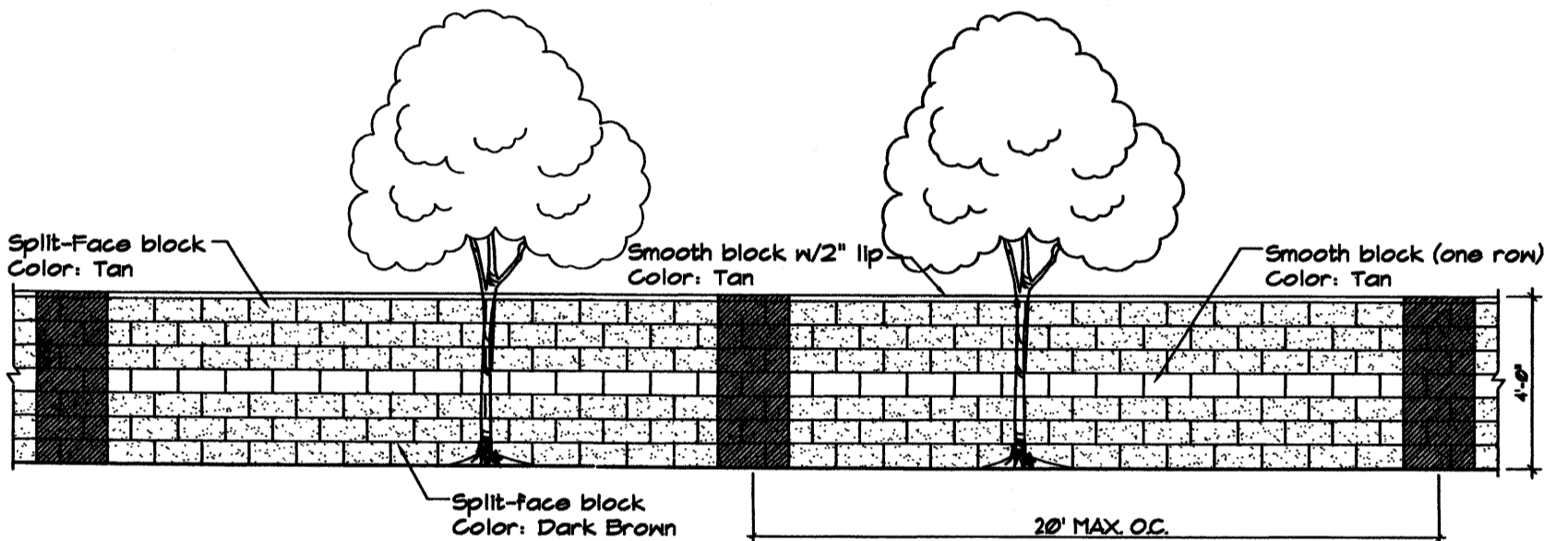




Plan View - Perimeter Wall  
Scale 1" = 60'



Perimeter Wall Elevation - Chico Rd. NE  
Scale 1" = 60'



Perimeter Wall Elevation - Morris St. NE  
Scale 1" = 60'

**PLANT LEGEND**

Qty	Symbol	Scientific Name Common Name	Size	Installation/Mature Remarks	Water Use	Symbol	Scientific Name Common Name	Symbol	Scientific Name Common Name
<b>TREES</b>									
26		<i>Chilopsis linearis</i> 'Luc. Ham.' Desert Willow	15 Gallon	8' ht. x 6' spr. 15' ht. x 20' spr.	Low +		<i>Artemisia 'Pouls Castle'</i> Pouls Castle Sage		<i>Heperaloe parviflora</i> Red Yucca
6		<i>Forestiera neomexicana</i> New Mexico Olive	2" B4B	8' ht. x 4' spr. 15' ht. x 15' spr.	Low +		<i>Caryopteris clandonensis</i> Blue Mist		<i>Juniperus sabina 'Buffalo'</i> Buffalo Juniper
36		<i>Cercis canadensis</i> Redbud	2" B4B	8' ht. x 4' spr. 15' ht. x 15' spr.	Med +		<i>Chrysothamnus nauseosus</i> Chamisa		<i>Nassella tenuissima</i> Threadgrass
209		<i>Gleditsia triacanthos 'Imperial'</i> Imperial Honey Locust	2" B4B	8' ht. x 2' spr. 30' ht. x 30' spr.	Medium		<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster		<i>Perovskia atriplicifolia</i> Russian Sage
127		<i>Fraxinus oxycarpa</i> Raywood Ash	2" B4B	14' ht. x 5' spr. 20' ht. x 20' spr.	Medium +		<i>Ericameria laricifolia</i> Dwarf Turpentine Bush		<i>Potentilla fruticosa</i> Yellow Shrubby Cinquefoil
2		<i>Koeleria paniculata</i> Golden Rain Tree	2-1/2" B4B	16' ht. x 6' spr. 60' ht. x 50' spr.	Medium		<i>Fallugia paradoxa</i> Apache Plume		<i>Salvia greggii</i> Cherry Sage
18		<i>Pinus leucodermis</i> Boenian Pine	Minimum 8' Hgt.	8' ht. x 6' spr. 25' ht. x 20' spr.	Low				
Turf - Park Blend Grass Mix * Shrubs shall be 1 gallon and 5 gallon containers									

LANDSCAPE AREA:  
255,000 s.f. = 5.86 acres

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
Due to the scale of these plans, specific shrub species are not shown. The actual provided quantity will be sufficient to meet the design intent and the landscape coverage requirements of the City Zoning Code. All planting areas shall be top dressed with rock mulch, cobble mulch, bark mulch, or similar material. Headers separating turf areas from planting areas shall be of steel construction, concrete, or similar.

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate turf areas and trees, shrub and groundcover planting areas. Multiple water meter locations are anticipated and will be coordinated with the master water utility plan.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Property Owner.

**UTILITIES**  
Due to the scale of this Landscape Plan, proposed utilities and easements have not been identified.

**STATEMENT OF WATER WASTE**  
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

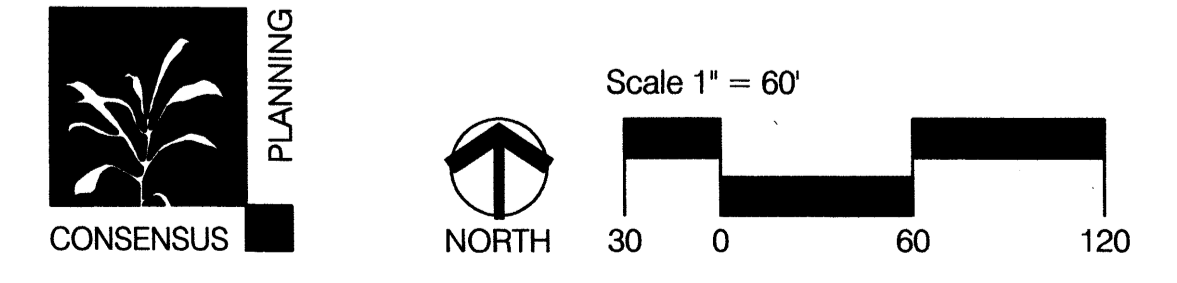
**LANDSCAPE PLAN  
THE PRESIDIO**

Prepared for:  
Centex Homes  
5120 Masthead NE  
Albuquerque, NM 87109

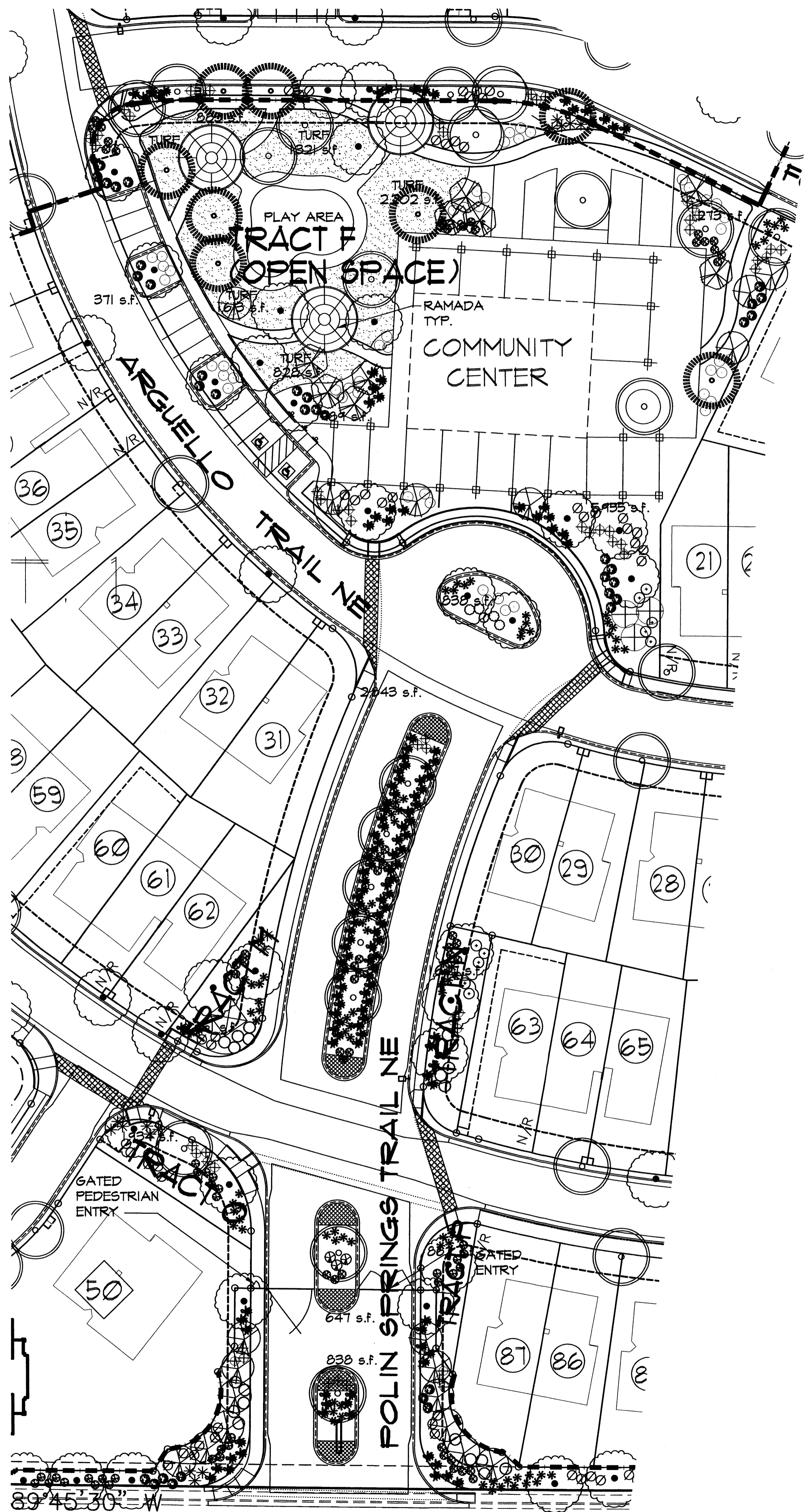
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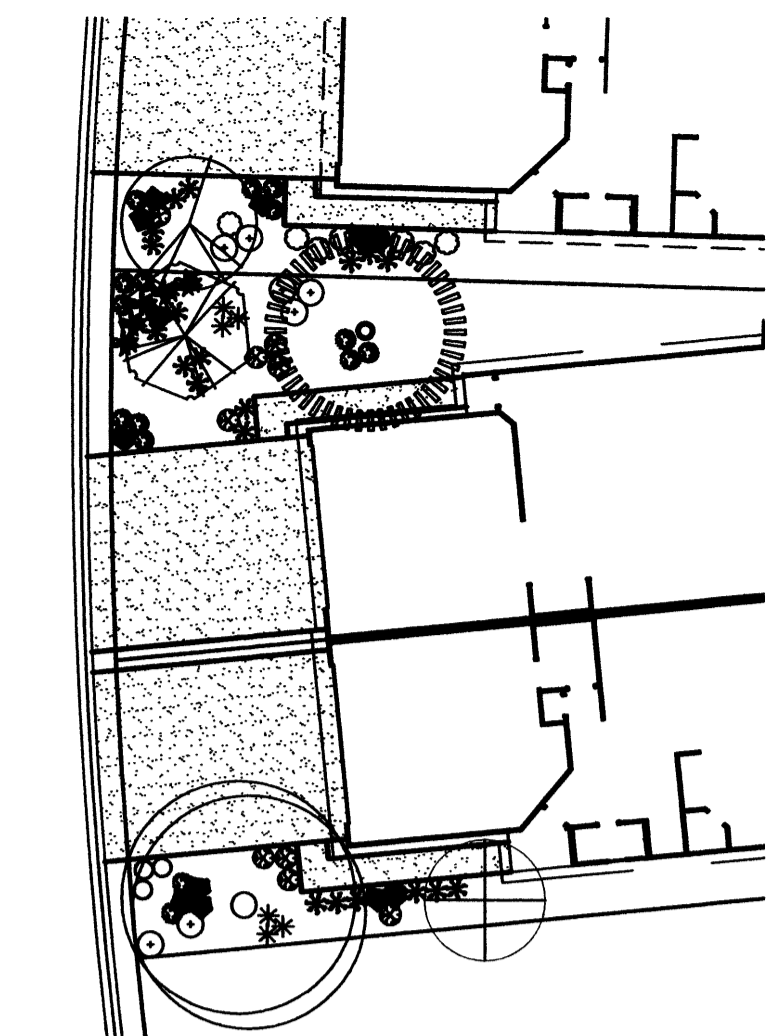






CHICO ROAD NE

ENTRY DRIVE/COMMUNITY CENTER ENLARGEMENT  
Scale 1" = 30'



TYPICAL FRONT YARD LANDSCAPE  
Scale 1" = 10'

**MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR THE PRESIDIO TOWNHOMES**

The following requirements for front yard landscaping are in addition to the street tree requirements in the Design Standards. Home owners have the following 2 options listed below. Specific plant palettes will be developed for each option.

- 1 Street Trees
- 1 Accent Tree
- 5 Shrubs (min. 5 gallon)
- 9 Shrubs (1 gallon)
- 5 Ornamental Grasses
- 3 Landscape Boulders (3' x 3' min.)
- Turf Grass (sodded, min. 20% of the front yard landscape area)

OR

- 1 Street Trees
- 1 Accent Trees
- 7 Shrubs (min. 5 gallon)
- 11 Shrubs (1 gallon)
- 5 Ornamental Grasses
- 3 Landscape Boulders (3' x 3' min.)
- No Turf Grass within front yard landscape area

In addition, all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

Steel Header - as required between turf and other landscaped areas.

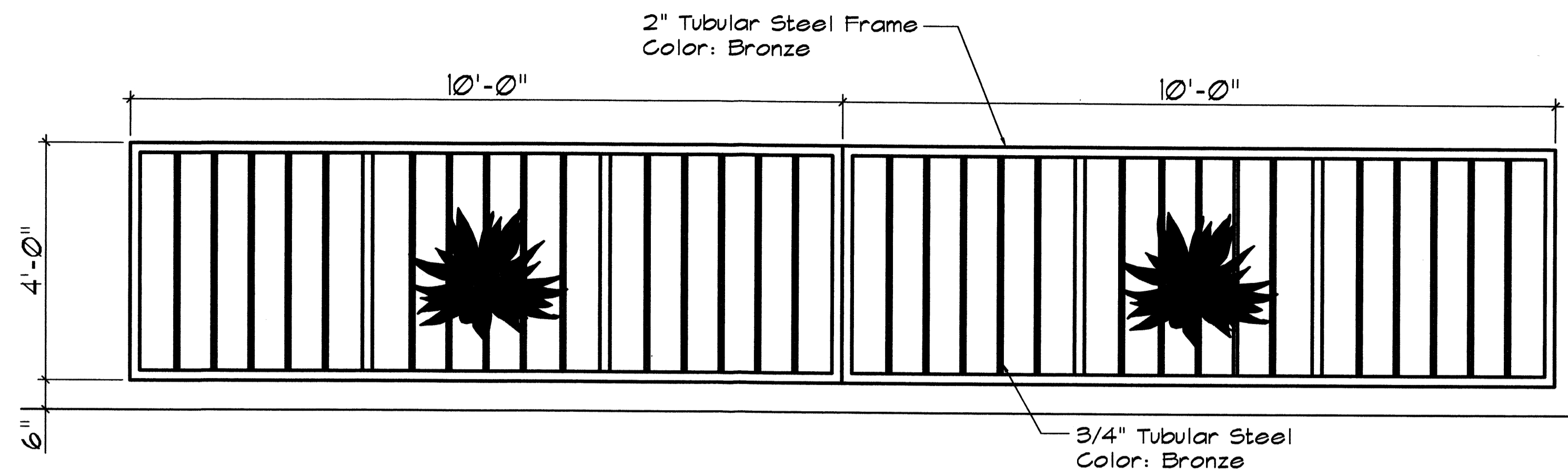
Irrigation System w/Automatic Timer will also include plantings within R-O-W.

The following approved accents can be used for front yard landscaping:

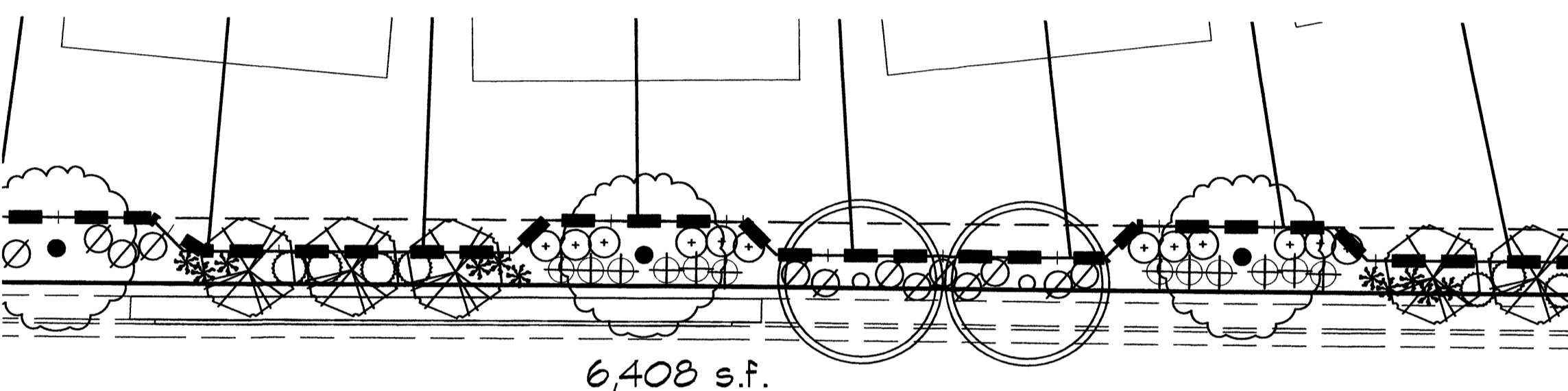
- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)

**PLANT LEGEND**

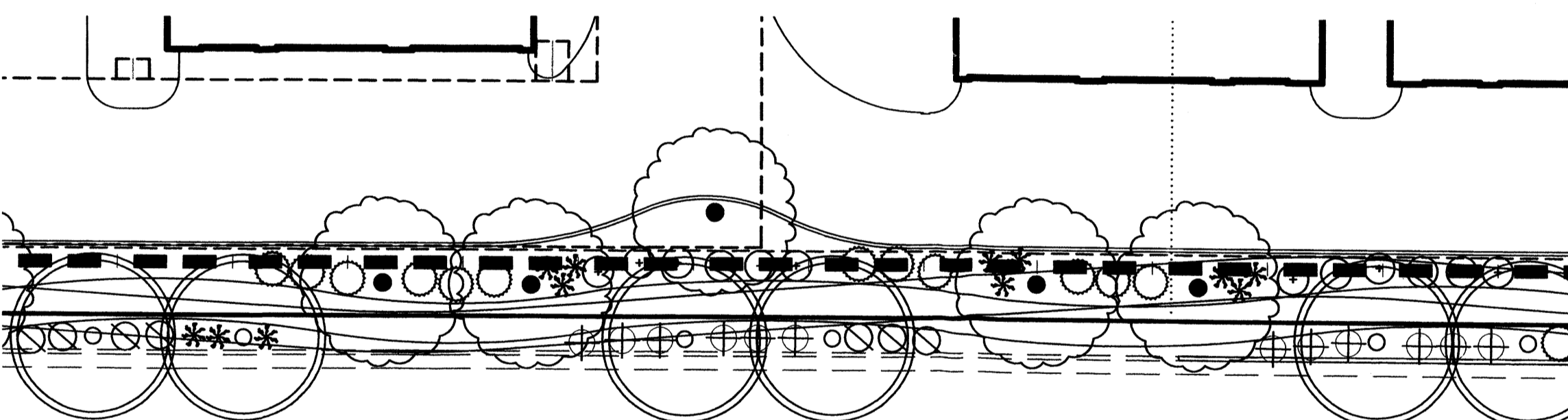
Symbol	Scientific Name Common Name	Size	Installation/Mature Remarks	Water Use
<b>TREES</b>				
	<i>Chilopsis linearis</i> 'Luc. Ham.' Desert Willow	15 Gallon	8' ht. x 6' spr. 15' ht. x 20' spr.	Low +
	<i>Forestiera neomexicana</i> New Mexico Olive	2" B4B	8' ht. x 4' spr. 15' ht. x 15' spr.	Low +
	<i>Cercis canadensis</i> Redbud	2" B4B	8' ht. x 4' spr. 15' ht. x 15' spr.	Med +
	<i>Gleditsia triacanthos</i> 'Imperial' Imperial Honey Locust	2" B4B	8' ht. x 2' spr. 30' ht. x 30' spr.	Medium
	<i>Fraxinus oxycarpa</i> Raywood Ash	2" B4B	14' ht. x 5' spr. 20' ht. x 20' spr.	Medium +
	<i>Koeleria paniculata</i> Golden Rain Tree	2-1/2" B4B	16' ht. x 6' spr. 60' ht. x 50' spr.	Medium
	<i>Pinus leucodermis</i> Bosnian Pine	Minimum 8' Hgt.	8' ht. x 6' spr. 25' ht. x 20' spr.	Low



PROPOSED ENTRY GATE ELEVATION  
Scale 1/4" = 1'-0"



TYPICAL WALL/PLANTING PLAN ALONG CHICO RD. NE  
Scale 1" = 20'



TYPICAL WALL/PLANTING PLAN ALONG MORRIS ST. NE  
Scale 1" = 20'

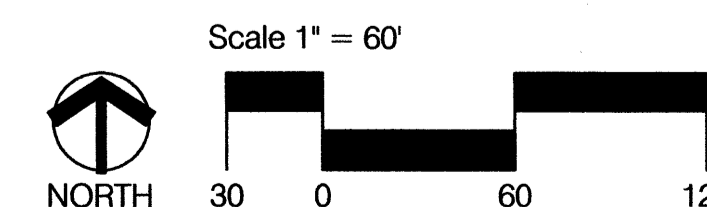
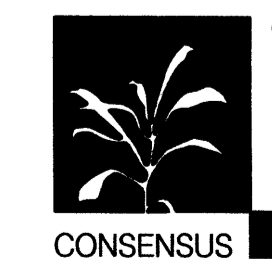
# LANDSCAPE PLAN THE PRESIDIO

Prepared for:  
Centex Homes  
5120 Masthead NE  
Albuquerque, NM 87109

Prepared by:  
Consensus Planning, Inc.  
302 8th Street SW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

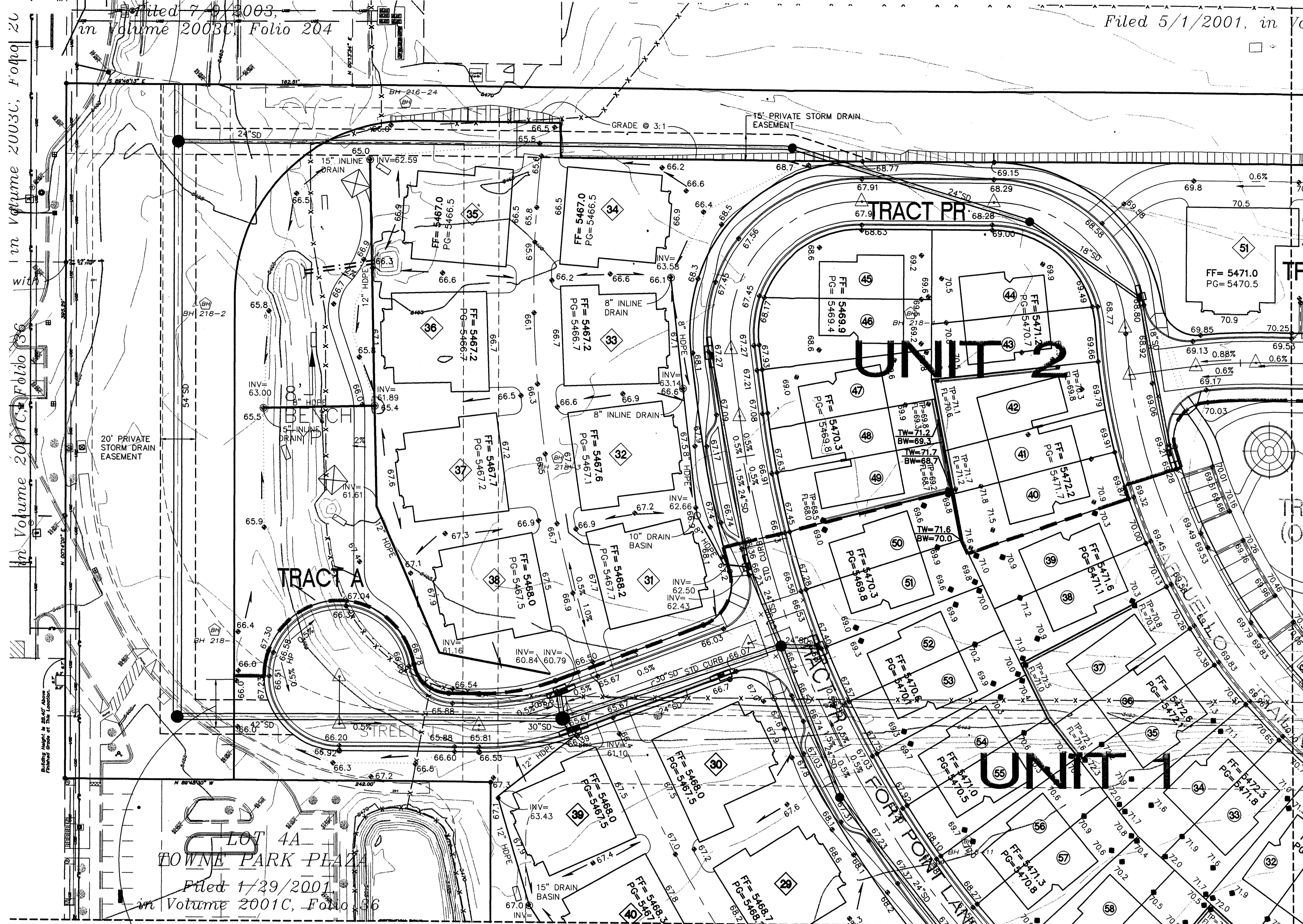
Dekker Perich Sabatini  
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109



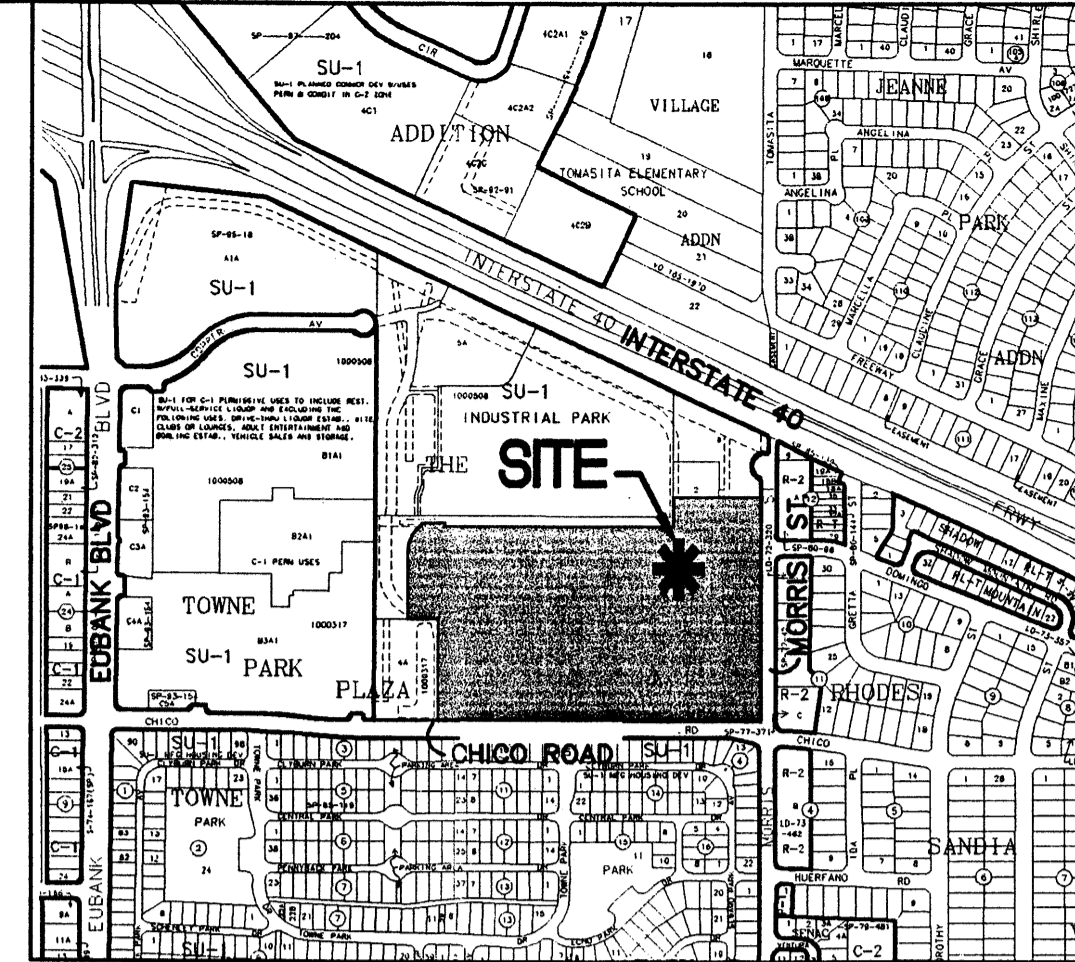


in Volume 2003C, Folio 204  
 Filed 7/1/2003

Filed 5/1/2001, in Volume 2001C, Folio 206



in Volume 2003C, Folio 204  
 with  
 in Volume 2001C, Folio 206  
 20' PRIVATE STORM DRAIN EASEMENT  
 15' PRIVATE STORM DRAIN EASEMENT  
 15" INLINE DRAIN  
 8" INLINE DRAIN  
 10" DRAIN BASIN  
 30" STD CURB  
 12" HDPE  
 15" DRAIN BASIN  
 12" HDPE



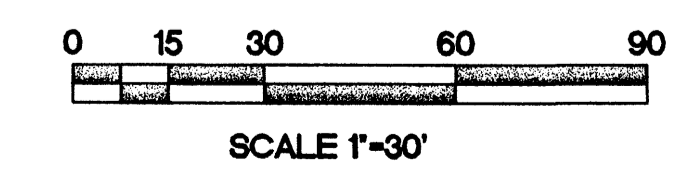
K-21 Vicinity Map

LOT 4A  
 TOWNE PARK PLAZA  
 Filed 1/29/2001  
 in Volume 2001C, Folio 206

- NOTES:**
- STREET GRADES ARE AT FLOWLINE.
  - SEE WALL DETAILS ON SHEET 5 FOR LOCATIONS OF TOP OF WALL/BOTTOM OF WALL ELEVATIONS LISTED ON PLAN.

**LEGEND**

— 5640 —	EXISTING CONTOUR	2.00%	STREET GRADE BREAK W/ SLOPE
— 52 —	PROPOSED CONTOUR	—	WATER BAR
◆ 78.3	PROPOSED ELEVATION	—	STANDARD CURB & GUTTER
PG=5654.4	PAD GRADE ELEVATION	—	MEDIAN CURB & GUTTER
FF=5654.9	FINISH FLOOR ELEVATION	—	STORM DRAIN W/ MANHOLE
—	PROPOSED RETAINING WALL (DESIGN BY OTHERS)	—	STORM DRAIN INLET
—	PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)	—	ADS AREA DRAIN W/ HDPE DRAIN LINE
TW=46.3 BW=44.3	TOP OF RETAINING WALL BOTTOM OF RETAINING WALL AT FINISH GROUND ELEV	—	UNIT LINE
TGW=46.3 BGW=45.8	TOP OF GARDEN RETAINING WALL BOTTOM OF GARDEN RETAINING WALL AT FINISH GROUND ELEV		



MATCHLINE SEE SHEET 2

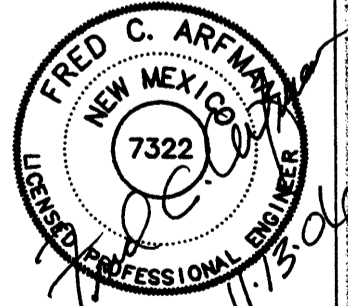
MATCHLINE SEE SHEET 3

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**CIVIL ENGINEER:**  
 ISAACSON & ARFMAN, PA  
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 128 MONROE NE  
 ALBUQUERQUE, NM 87108

**SURVEYOR:**  
 SURV-TEK, INC.  
 CONTACT: RUSTY HUGG  
 5643 PARADISE BLVD. NW  
 ALBUQUERQUE, NM 87114



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 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph: 505-268-8828 Fax: 505-268-2632  
 1446GRD.DWGnw 11/10/06

**CENTEX HOMES  
 PRESIDIO**

**MORRIS STREET AND CHICO STREET**

**GRADING & DRAINAGE PLAN**

Checked By: FCA	Drawn By: ANW	No.:	Revision:
Date: 10/11/06	Job Number: 1446		

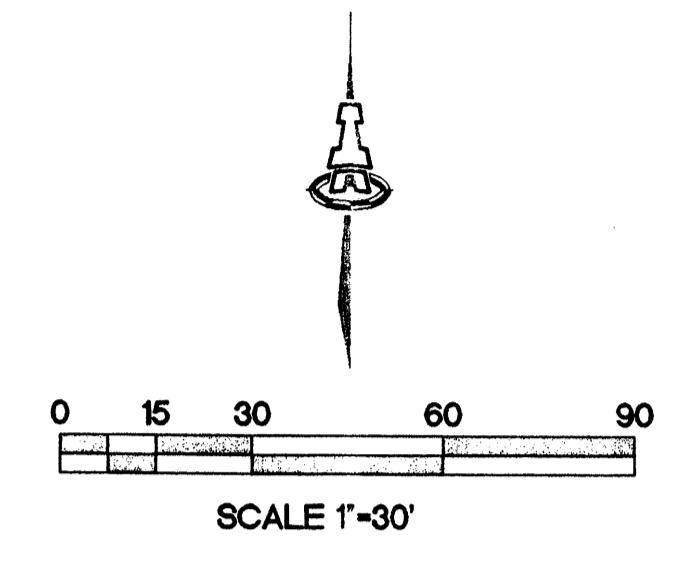
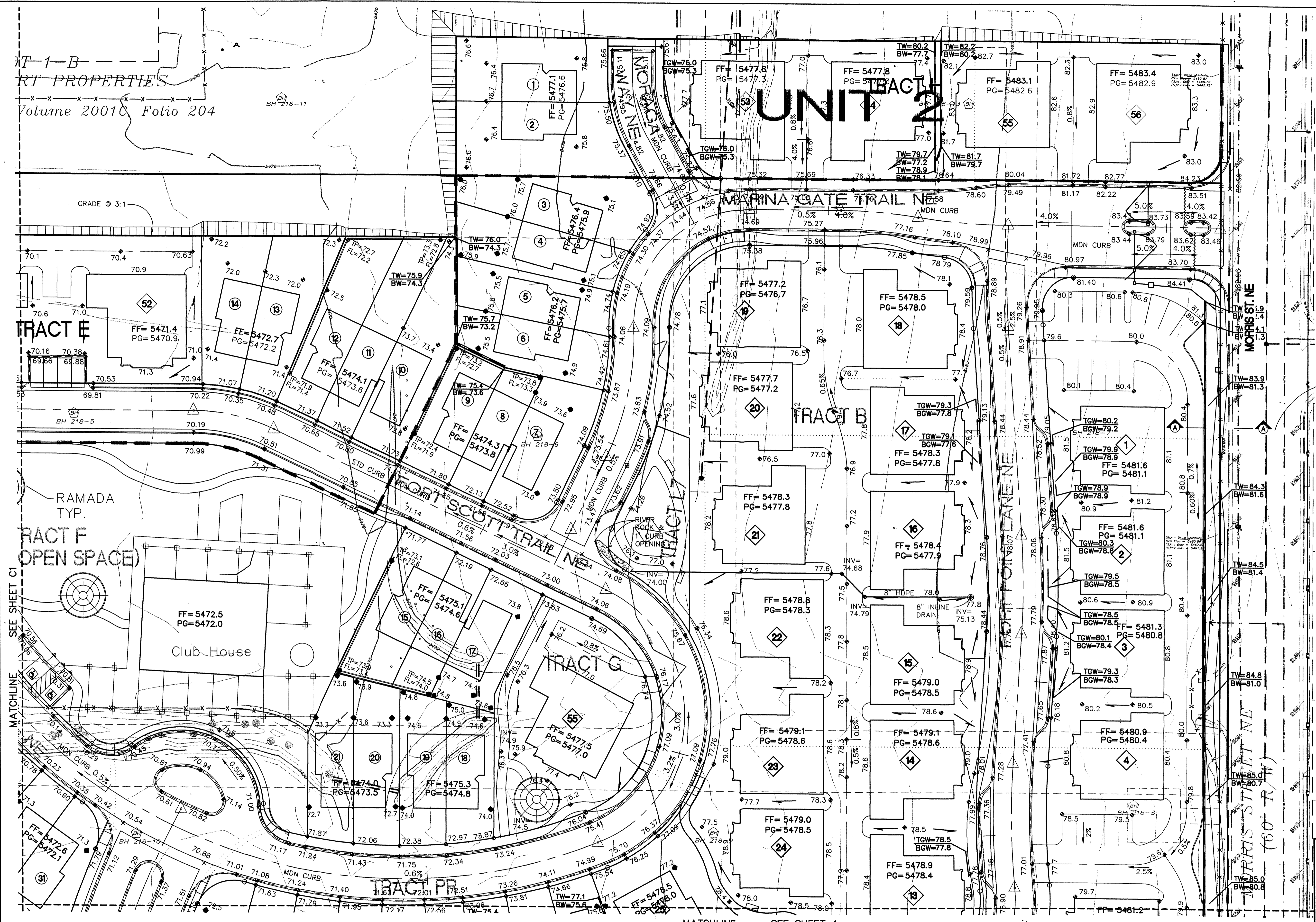
81 of 5

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T-1-B  
 RT PROPERTIES  
 Volume 20010 Folio 204

# UNIT 2



SEE SECTION A-A  
 ON SHEET 5

- NOTES:**
- STREET GRADES ARE AT FLOWLINE.
  - SEE WALL DETAILS AND SECTION A-A ON SHEET 5 FOR LOCATIONS OF TOP OF WALL/BOTTOM OF WALL ELEVATIONS LISTED ON PLAN.

- LEGEND**
- 5640 --- EXISTING CONTOUR
  - 52 --- PROPOSED CONTOUR
  - ◆ 78.3 PROPOSED ELEVATION
  - PG=5654.4 PAD GRADE ELEVATION
  - FF=5654.9 FINISH FLOOR ELEVATION
  - PROPOSED RETAINING WALL (DESIGN BY OTHERS)
  - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
  - TW=46.3 TOP OF RETAINING WALL
  - BW=44.3 BOTTOM OF RETAINING WALL AT FINISH GROUND ELEV
  - TGW=46.3 TOP OF GARDEN RETAINING WALL
  - BGW=45.8 BOTTOM OF GARDEN RETAINING WALL AT FINISH GROUND ELEV
  - 2.00% STREET GRADE BREAK W/ SLOPE
  - WATER BAR
  - STANDARD CURB & GUTTER
  - MEDIAN CURB & GUTTER
  - STORM DRAIN W/ MANHOLE
  - STORM DRAIN INLET
  - ADS AREA DRAIN W/ HDPE DRAIN LINE
  - UNIT LINE

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 128 Monroe Street N.E.  
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 1446GRD.DWGonw 11/10/06

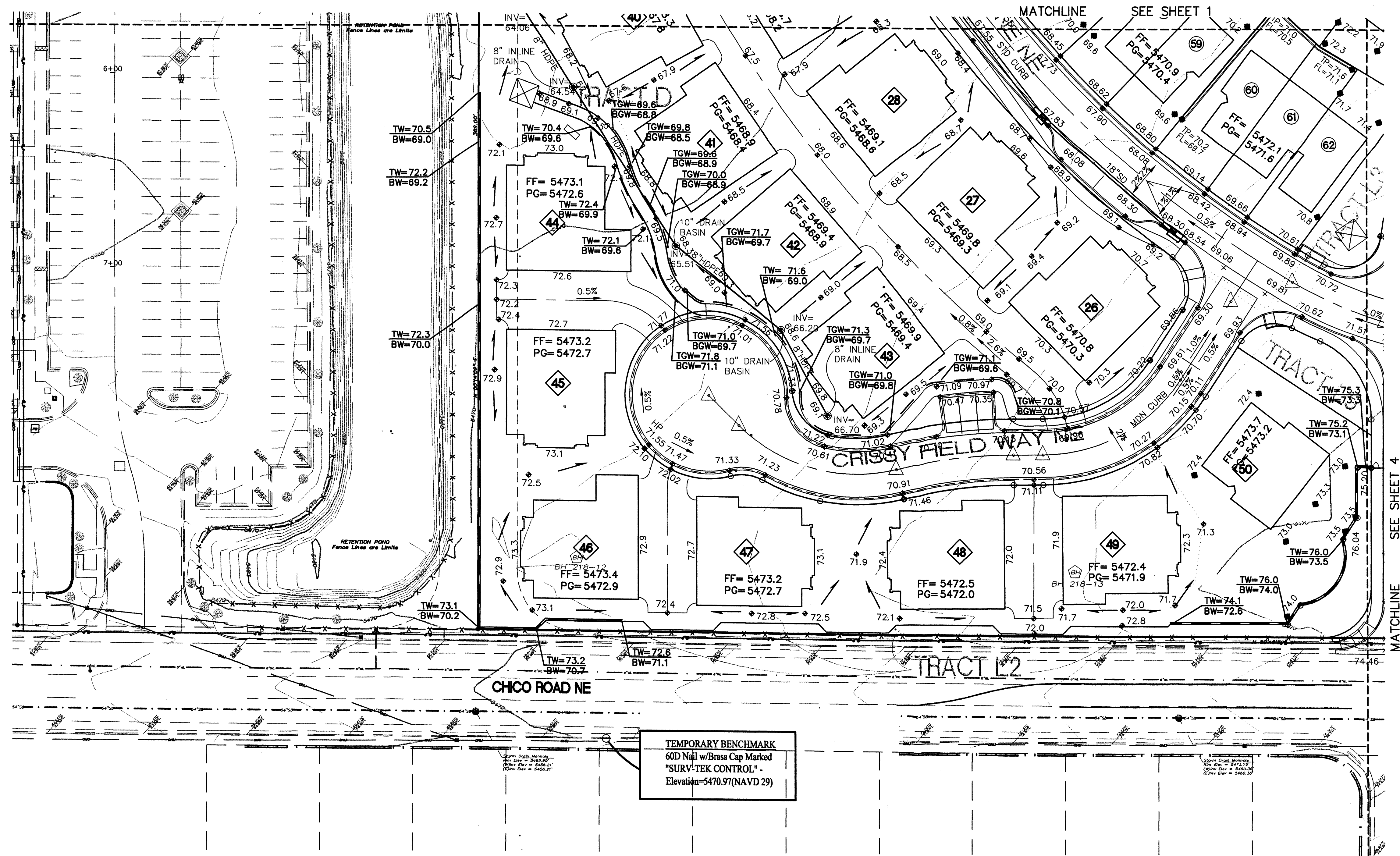
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**CENTEX HOMES  
 PRESIDIO  
 MORRIS STREET AND CHICO STREET  
 GRADING & DRAINAGE PLAN**

Checked By:	Drawn By:	No.	Revision
FCA	ANW		
Date:	Job Number:		
10/11/06	1446		

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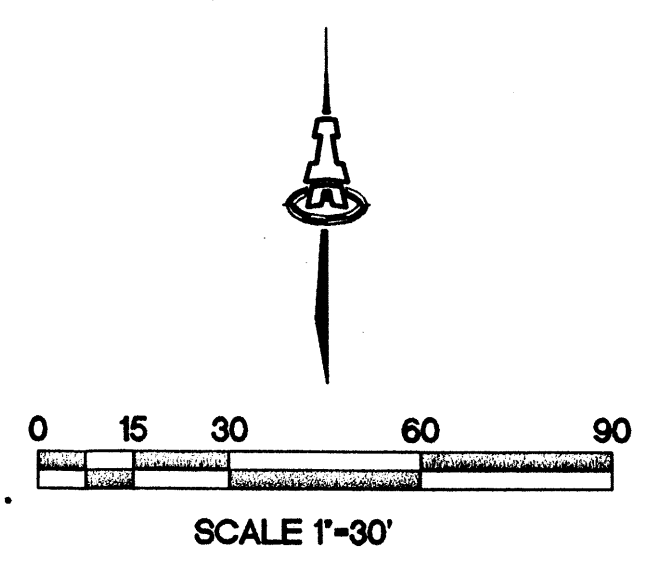
**TEMPORARY BENCHMARK**  
 60D Nail w/Brass Cap Marked  
 "SURV-TEK CONTROL" -  
 Elevation=5470.97(NAVD 29)

**NOTES:**

- STREET GRADES ARE AT FLOWLINE.
- SEE WALL DETAILS ON SHEET 5 FOR LOCATIONS OF TOP OF WALL/BOTTOM OF WALL ELEVATIONS LISTED ON PLAN.

**LEGEND**

---	EXISTING CONTOUR	2.00%	STREET GRADE BREAK W/ SLOPE
---	PROPOSED CONTOUR	=====	WATER BAR
◆ 78.3	PROPOSED ELEVATION	=====	STANDARD (STD) CURB & GUTTER
PG=5654.4	PAD GRADE ELEVATION	=====	MEDIAN (MDN) CURB & GUTTER
FF=5654.9	FINISH FLOOR ELEVATION	=====	STORM DRAIN W/ MANHOLE
=====	PROPOSED RETAINING WALL (DESIGN BY OTHERS)	=====	STORM DRAIN INLET
-----	PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)	=====	ADS AREA DRAIN W/ HDPE DRAIN LINE
TW=46.3	TOP OF RETAINING WALL	-----	UNIT LINE
BW=44.3	BOTTOM OF RETAINING WALL AT FINISH GROUND ELEV		
TGW=46.3	TOP OF GARDEN RETAINING WALL		
BGW=45.8	BOTTOM OF GARDEN RETAINING WALL AT FINISH GROUND ELEV		



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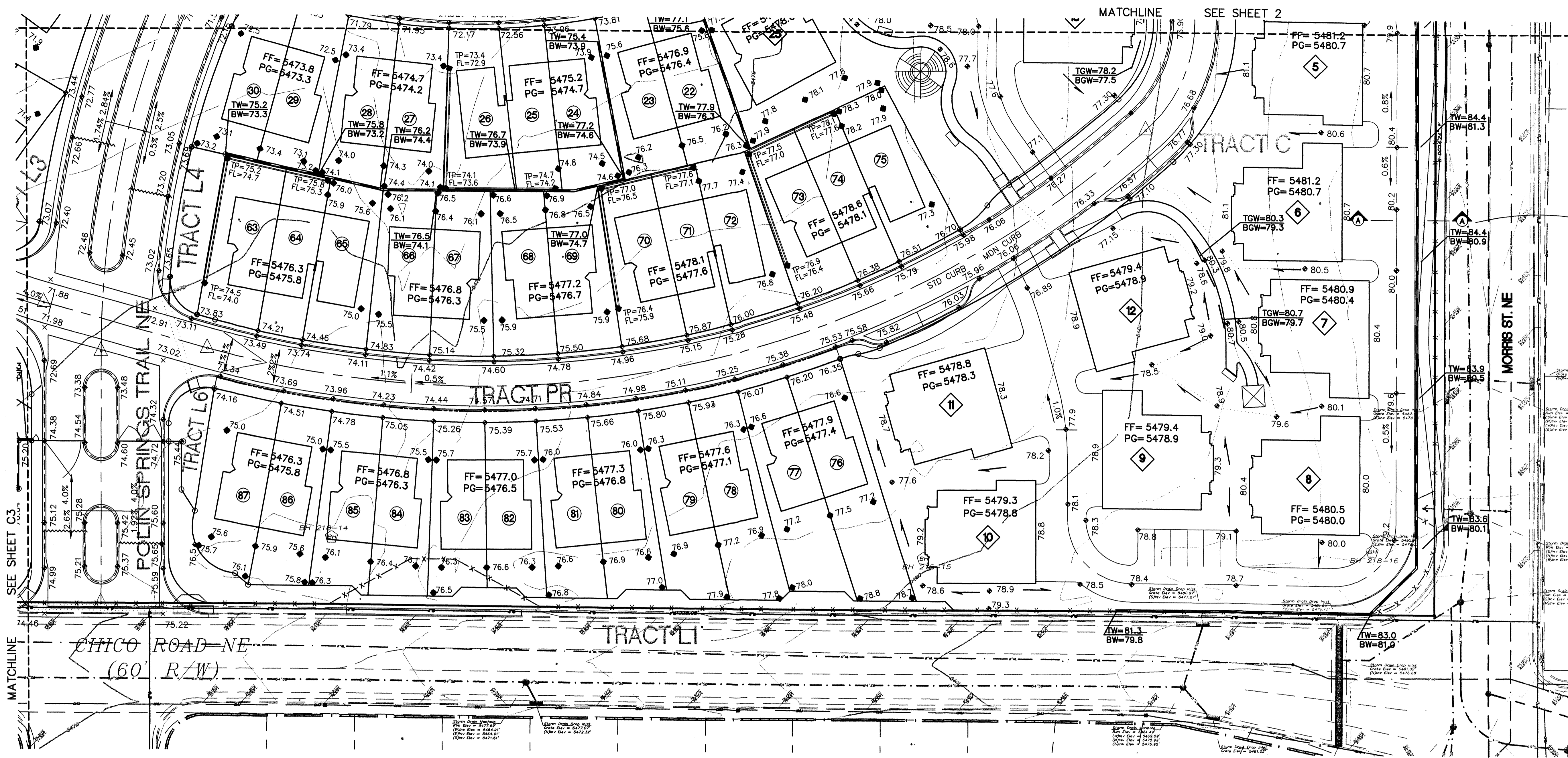
**CENTEX HOMES**  
**PRESIDIO**  
 MORRIS STREET AND CHICO STREET

**GRADING & DRAINAGE PLAN**

Checked By:	Drawn By:	No.	Revision:
FCA	ANW		
Date:	Job Number:		
10/11/06	1446		

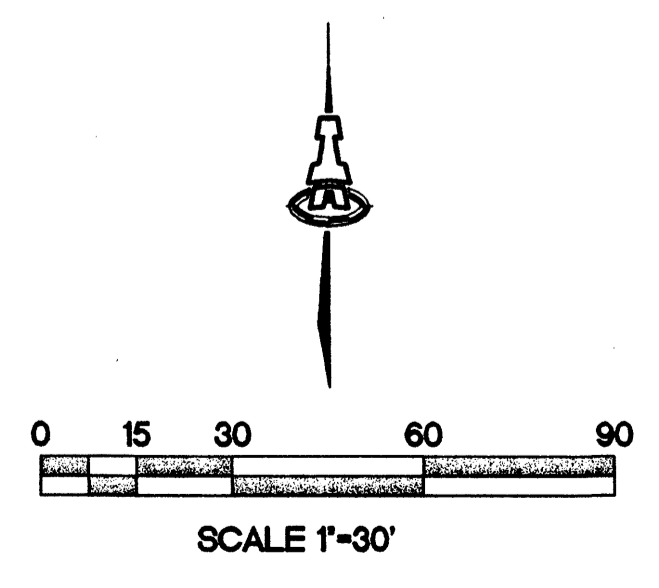
**913 OF 6**





**NOTES:**  
 1. STREET GRADES ARE AT FLOWLINE.  
 2. SEE WALL DETAILS AND SECTION A-A ON SHEET 5 FOR LOCATIONS OF TOP OF WALL/BOTTOM OF WALL ELEVATIONS LISTED ON PLAN.

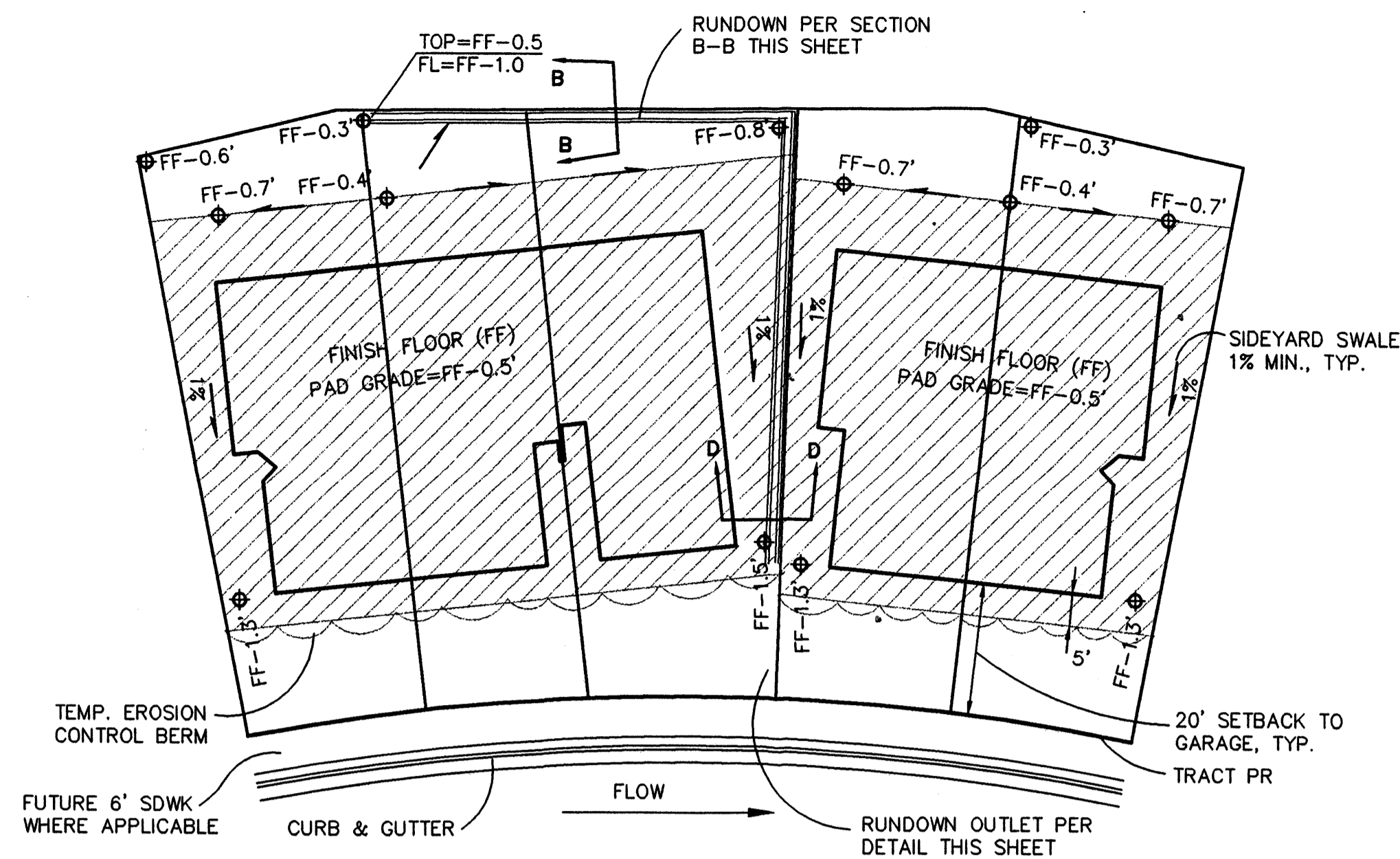
LEGEND			
--- 5640 ---	EXISTING CONTOUR	2.00%	STREET GRADE BREAK W/ SLOPE
--- 52 ---	PROPOSED CONTOUR	=====	WATER BAR
◆ 78.3	PROPOSED ELEVATION	=====	STANDARD CURB & GUTTER
PG=5654.4	PAD GRADE ELEVATION	=====	MEDIAN CURB & GUTTER
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=====	PROPOSED RETAINING WALL (DESIGN BY OTHERS)	-----	STORM DRAIN INLET
-----	PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)	-----	ADS AREA DRAIN W/ HOPE DRAIN LINE
TW=46.3	TOP OF RETAINING WALL	-----	UNIT LINE
BW=44.3	BOTTOM OF RETAINING WALL AT FINISH GROUND ELEV		
TGW=46.3	TOP OF GARDEN RETAINING WALL		
BGW=45.8	BOTTOM OF GARDEN RETAINING WALL AT FINISH GROUND ELEV		



	<b>ISAACSON &amp; ARFMAN, P.A.</b> Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph: 505-268-8828 Fax: 505-268-2632 1446GRD.DWGnw 11/10/06	
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<b>CENTEX HOMES</b> <b>PRESIDIO</b> <b>MORRIS STREET AND CHICO STREET</b> <b>GRADING &amp; DRAINAGE PLAN</b>		
Checked By: FCA	Drawn By: ANW	No. 1446 Revision
Date: 10/11/06		Job Number: 1446
		<b>914 OF 5</b>

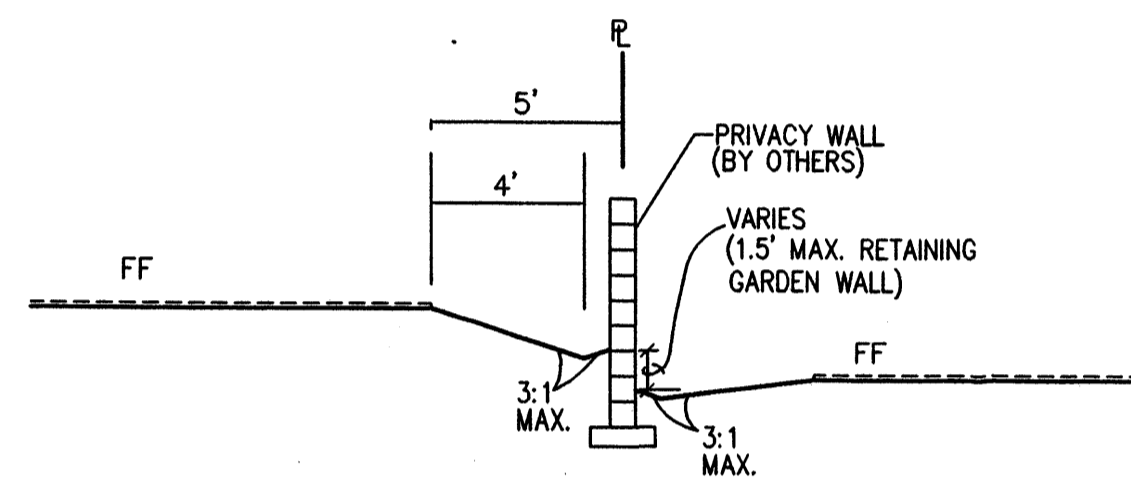
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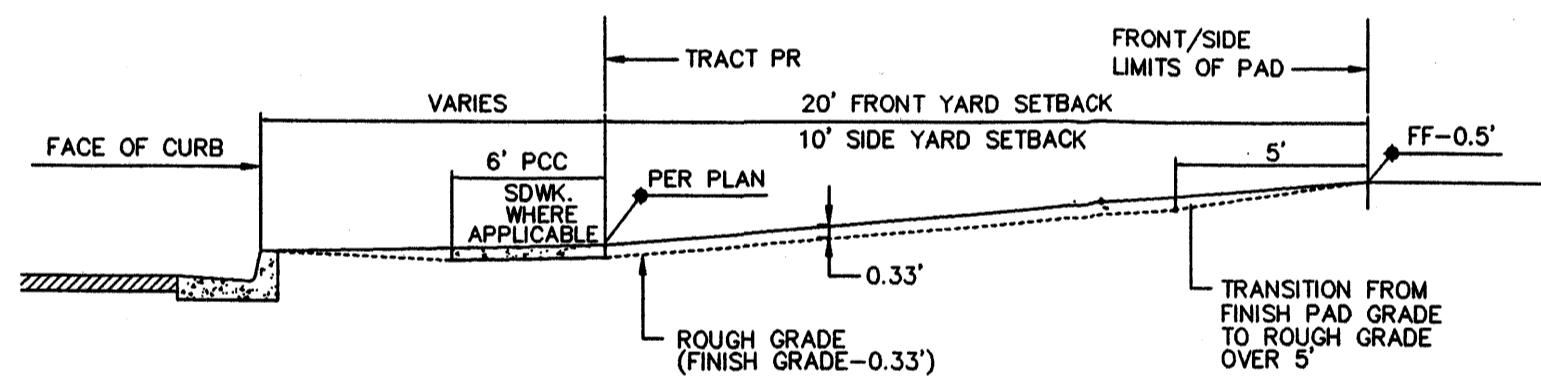


**TYPICAL LOT GRADING**  
SCALE: 1"=20'

COMPACTION ZONE--CONTRACTOR SHALL COMPACT SOILS IN THIS AREA TO A MINIMUM OF 95% COMPACTION PER ASTM D698, FOR A DEPTH OF 12 INCHES.



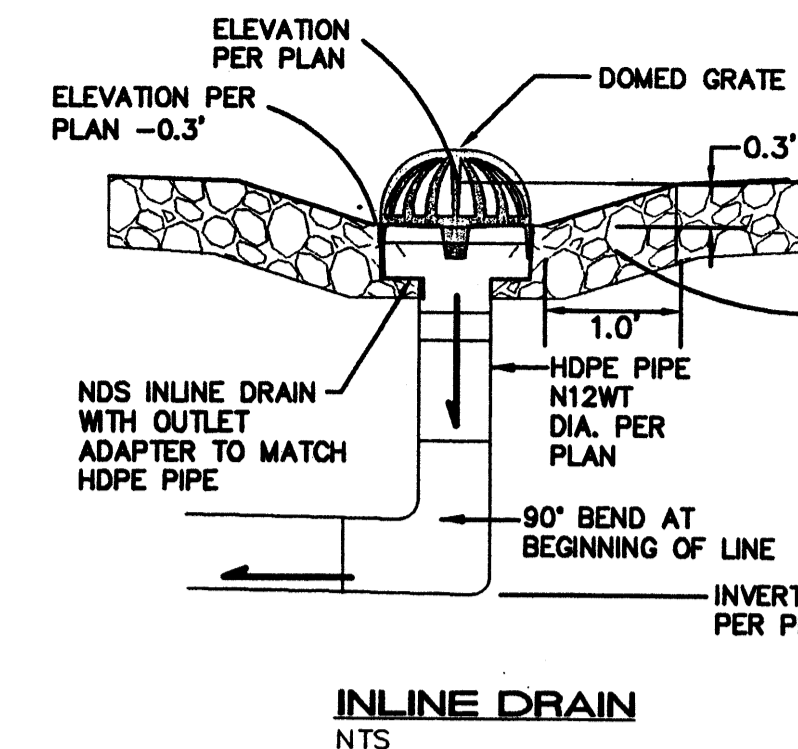
**SECTION D-D  
TYPICAL SIDEYARD GRADING**  
SCALE: 1"=5'



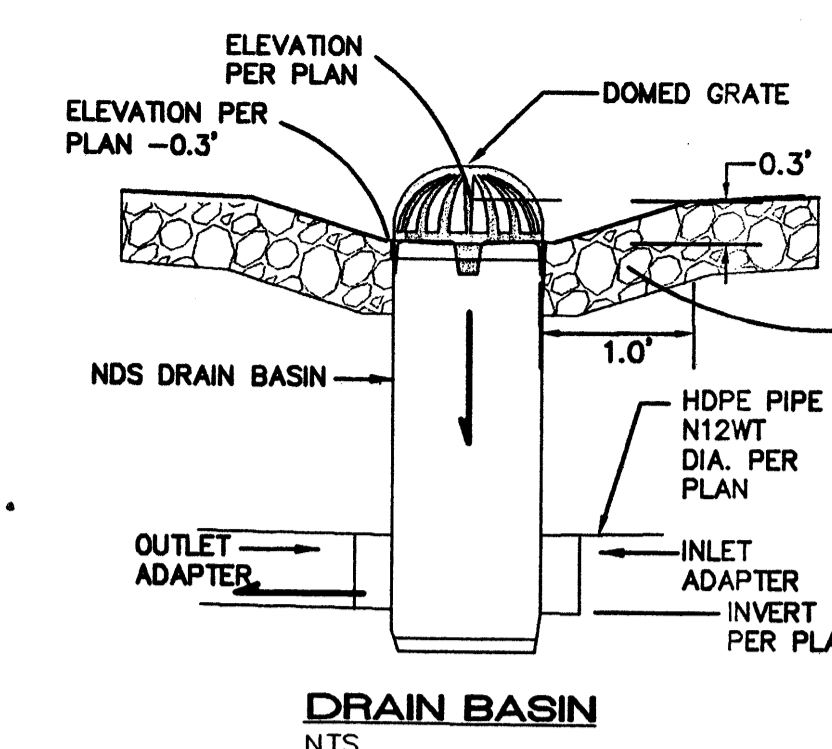
**FRONT/SIDE YARD GRADING**  
SCALE: 1"=5'-0"

**GRADING NOTES:**

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.

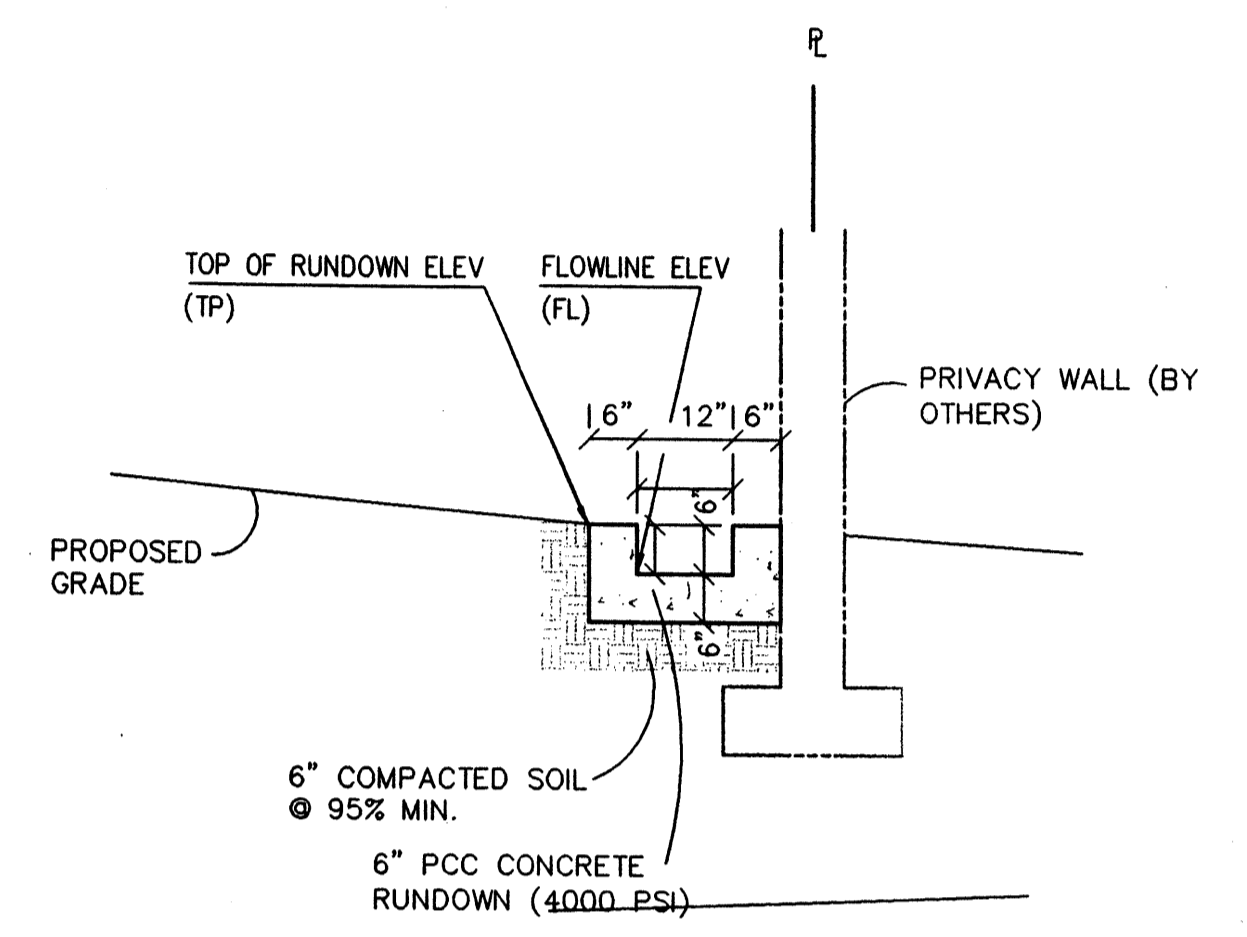


**INLINE DRAIN**  
NTS

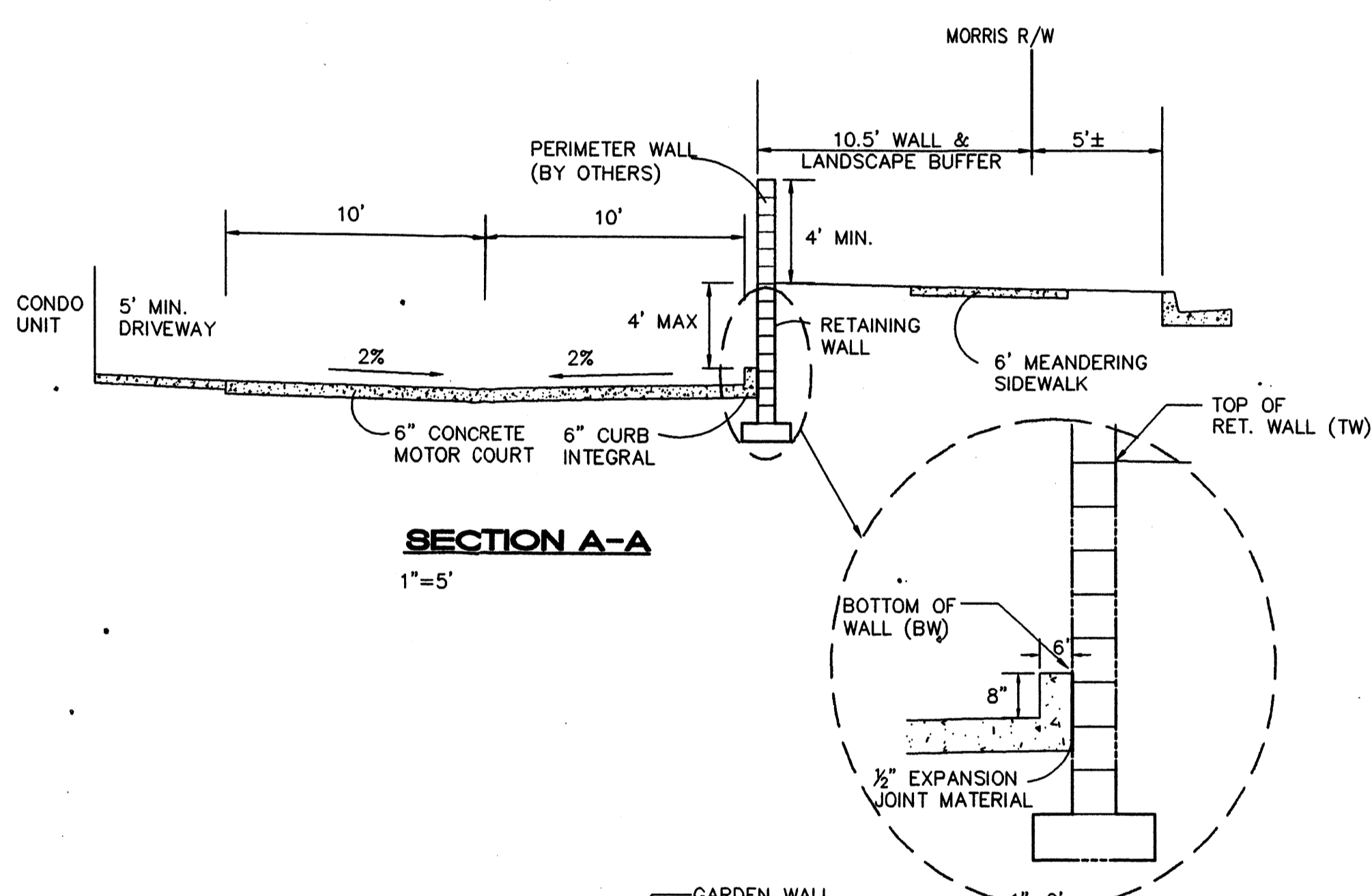


**DRAIN BASIN**  
NTS

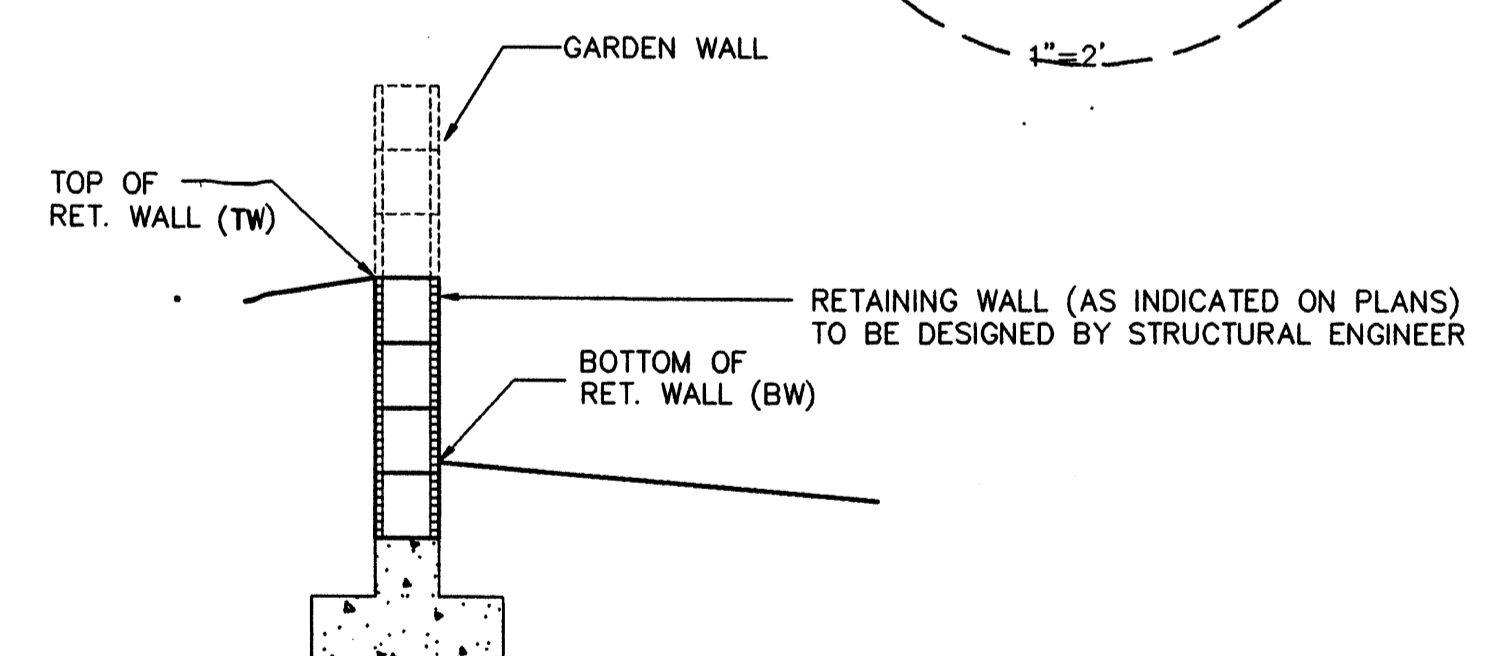
**ADS AREA DRAIN DETAILS**



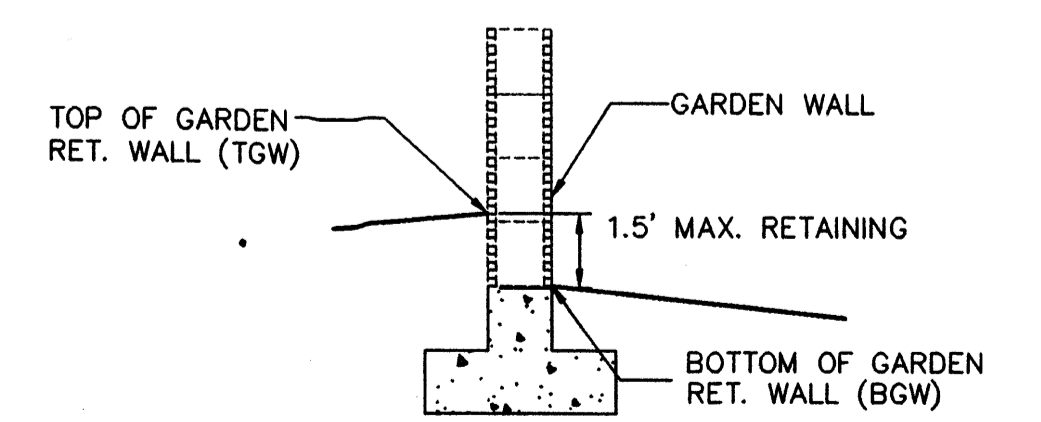
**PCC RUNDOWN SECTION B-B**  
1"=2'



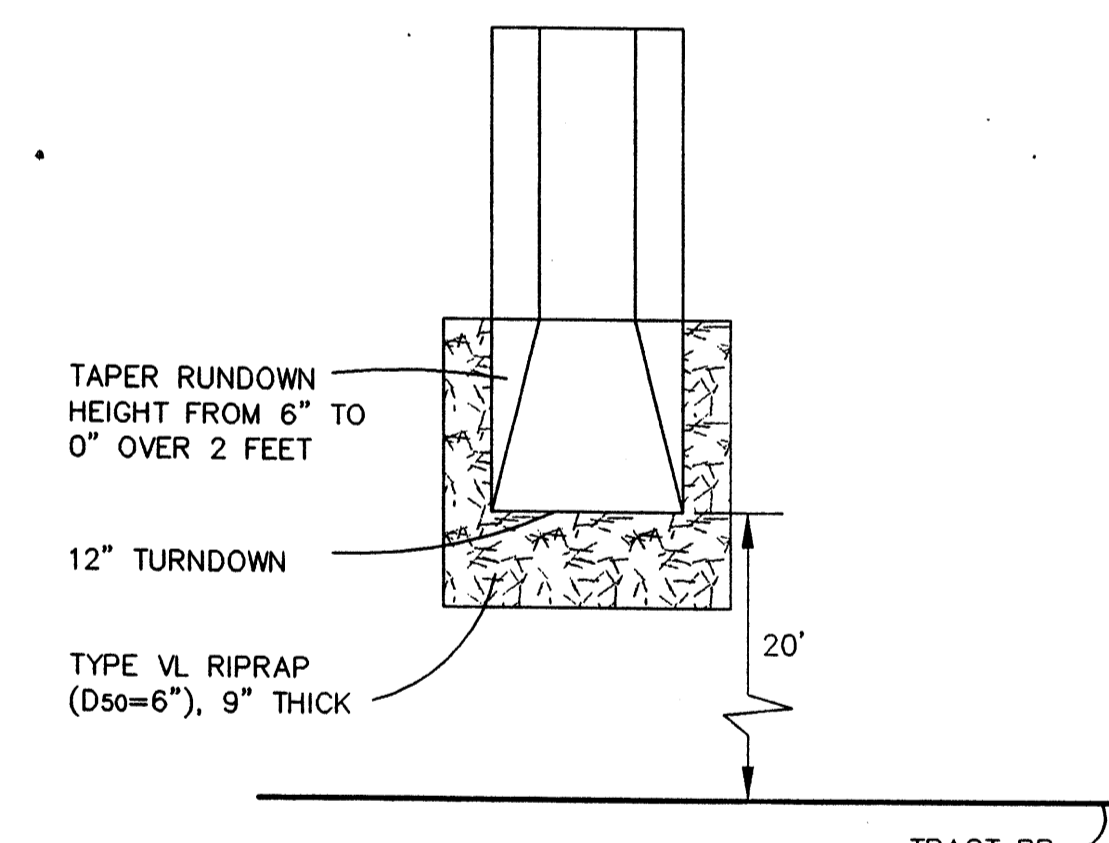
**SECTION A-A**  
1"=5'



**RETAINING WALL**  
SCALE: 1"=5'-0"



**GARDEN WALL RETAINING WALL**  
SCALE: 1"=5'-0"



**PCC RUNDOWN OUTLET DETAIL**  
1"=2'

**FRED C. ARFMAN**  
NEW MEXICO  
7322  
REGISTERED PROFESSIONAL ENGINEER  
11/13/06

**ISAACSON & ARFMAN, P.A.**  
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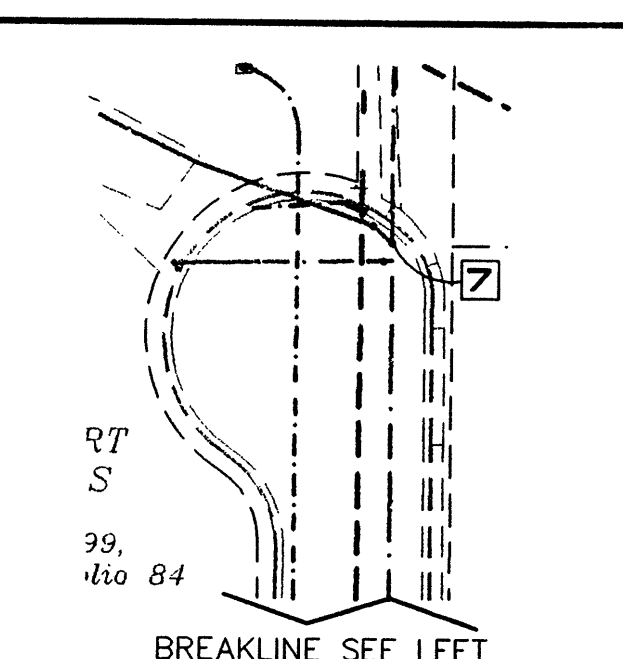
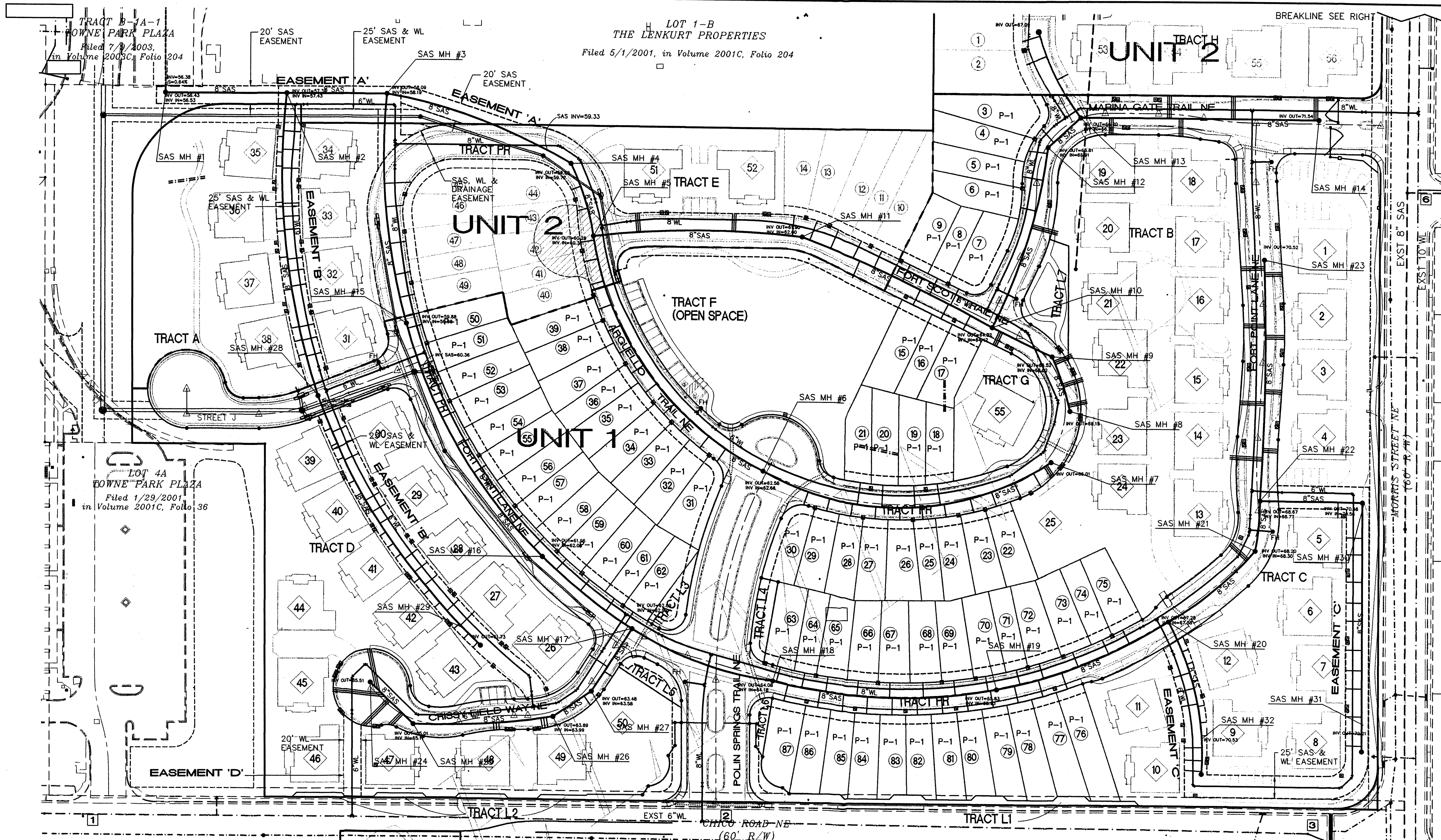
**CENTEX HOMES PRESIDIO**  
MORRIS STREET AND CHICO STREET  
GRADING DETAILS--TOWNHOMES

Checked By: FCA	Drawn By: ANW	No.	Revision
Date: 10/11/06	Job Number: 1446		

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**RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR TEES, (FT.) ALL JOINTS AT THE TEE MUST BE RESTRAINED.**

SIZE	RUN	BRANCH
12x12x12	15	17
12x12x10	10	18
12x12x8	6	19
12x12x6	3	19
12x12x4	1	19
10x10x10	12	18
10x10x8	8	15
10x10x6	4	16
10x10x4	2	4
8x8x8	9	20
8x8x6	6	17
8x8x4	2	15
6x6x6	6	20
6x6x4	2	20

THIS TABLE IS BASED UPON THE FOLLOWING CRITERIA:

DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.25  
 MATERIAL: PVC PIPE  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
 TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., DUCTILE IRON PIPE, GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.

**RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS**

**RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)**

SIZE	HORZ. BENDS				VALVES & DEAD ENDS
	90°	45°	22 1/2°	11 1/4°	
12	30	12	6	3	85
10	25	11	6	3	72
8	22	9	4	2	60
6	17	7	3	2	46
4	12	5	2	1	32

**RESTRAINED JOINT LENGTHS, L<sub>r</sub>, FOR REDUCERS, (FT.) MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.**

SIZE	LARGE SIDE		SIZE	SMALL SIDE	
	SIZE	LENGTH		SIZE	LENGTH
12x10	25	30	10x6	44	73
12x8	45	68	10x4	58	141
12x6	82	121	8x6	25	33
12x4	74	213	8x4	43	8
10x8	24	30	6x4	24	35

- NOTES:**
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
  - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

**WATER SHUT-OFF PLAN**

SHUT-OFF VALVES [1] & [2] TO PROVIDE NON-PRESSURE CONNECTION. THE CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) 7 WORKING DAYS PRIOR TO SHUT-OFF OR TURN-ON AT VALVES. ONLY CITY PERSONNEL ARE ALLOWED TO OPERATE VALVES.

**NOTE:**  
 TRACTS A-H CONSIST OF CONDOMINIUM UNITS AND AN OPEN SPACE AREA (TRACT F)

**LEGEND**

- SINGLE WATER METER & BOX
- DOUBLE WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- 8" SAS W/ MANHOLE
- PRIVATE STORM DRAIN W/ MANHOLE AND INLET
- EXISTING WATERLINE
- EXISTING SAS
- EXISTING STORM DRAIN

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CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING GROUP

**THE PRESIDIO  
 MASTER UTILITY PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. **K21** Sheet **22** Of **31**

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
CONTRACTOR	DATE	ALBUQUERQUE CONTROL SURVEY BENCHMARK 7-K21	DATE	RUSS P. HUGG	06/05			<b>PRELIMINARY            FOR REVIEW ONLY            NOT FOR CONSTRUCTION            USE.</b>	
INSPECTOR'S NAME	DATE	ELEV=5483.401 (NSVD 29)	DATE						
FIELD NO.	DATE							REMARKS	BY
DATE	DATE							DESIGN	
DATE	DATE							DATE 10/06	DATE 10/06
DATE	DATE							DATE 10/06	DATE 10/06

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