

HOLIDAY INN EXPRESS

10501 COPPER AVENUE

ALBUQUERQUE, NEW MEXICO 87123

APPROVED - AEHD	
SIGNATURE _____	DATE _____

DESIGN REVIEW BOARD (DRB) SUBMITTAL

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

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PROJECT DATA

LEGAL DESCRIPTION:
 PRESIDIO SUBDIVISION
 COMMERCIAL PAD SITES,
 TRACT B-2 AND TRACT B-3,
 ALBUQUERQUE, NM

PROJECT NUMBER: 1000572
 APPLICATION NUMBER: 07EPC-40064

AREA SUMMARY

FIRST FLOOR	16,285 SF
SECOND FLOOR	15,520 SF
THIRD FLOOR	15,520 SF
FOURTH FLOOR	15,520 SF
TOTAL GROSS BUILDING AREA	62,845 SF

CODE DATA

APPLICABLE CODES:
 INTERNATIONAL BUILDING CODE (IBC) 2009
 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2006
 UNIFORM MECHANICAL CODE (UMC) 2009
 UNIFORM PLUMBING CODE (UPC) 2009
 NATIONAL ELECTRICAL CODE (NEC) 2011
 ADDITIONAL CODES MAY APPLY
 DESIGN STANDARDS: COPPER POINTE

OCCUPANCY GROUP: R-1
 TYPE OF CONSTRUCTION: TYPE VA- 1 HR FULLY AUTO-SPRINKLED
 SEISMIC ZONE: D
 ZONE ATLAS MAP: K-2

TRANSIT ACCESS

SUNTRN BUS ROUTE 2 PROVIDES SERVICE ALONG EUBANK BLVD.

PARKING REQUIREMENTS

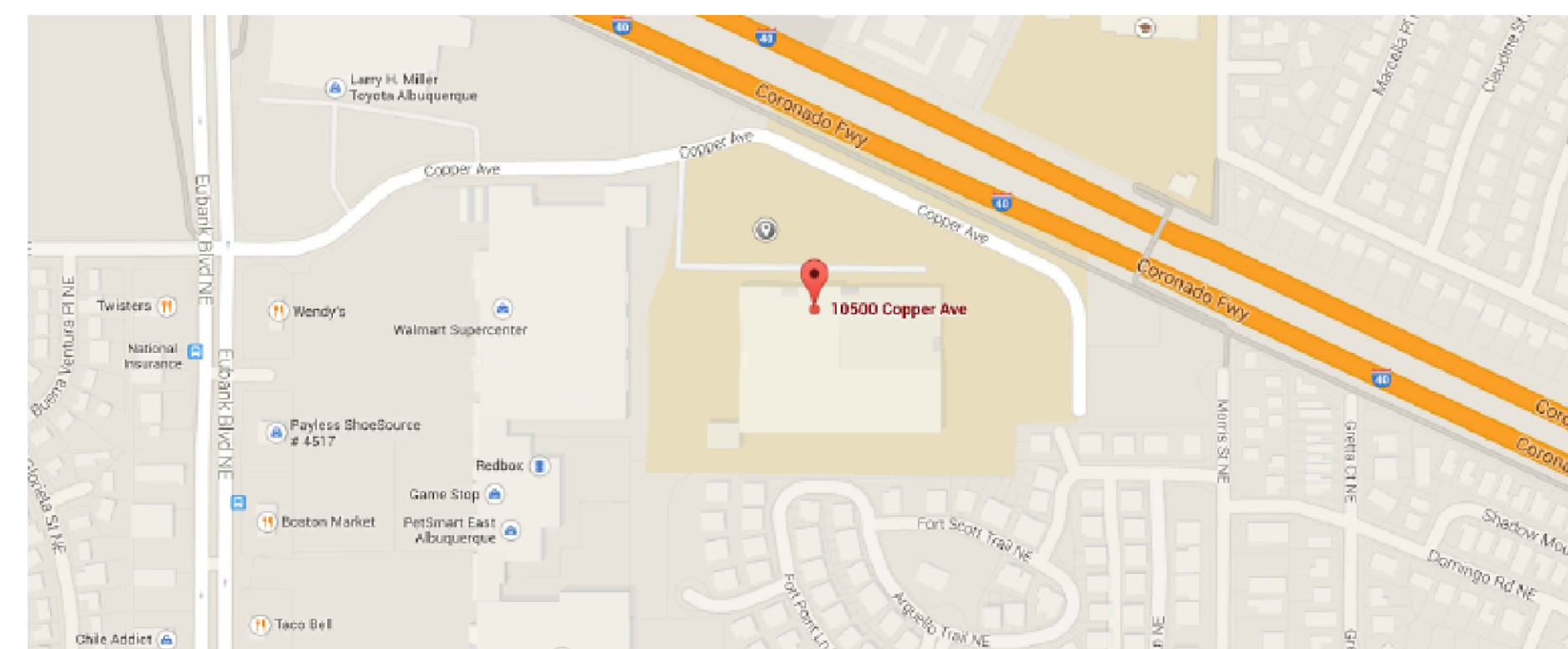
85 GUESTROOMS	
TOTAL PARKING SPACES REQUIRED:	85
TOTAL PARKING SPACES PROVIDED:	89
ACCESSIBLE PARKING SPACES REQUIRED:	4
ACCESSIBLE VAN SPACE REQUIRED:	1
TOTAL ACCESSIBLE PARKING SPACES PROVIDED:	5

PROJECT TEAM

ARCHITECT: TAFAZZUL HUSSAIN
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 FAX: (505) 898-7737
 CONTACT: CARRIE DENTON
 EMAIL: cmj@hilltoplandscaping.com



VICINITY MAP
 NO SCALE

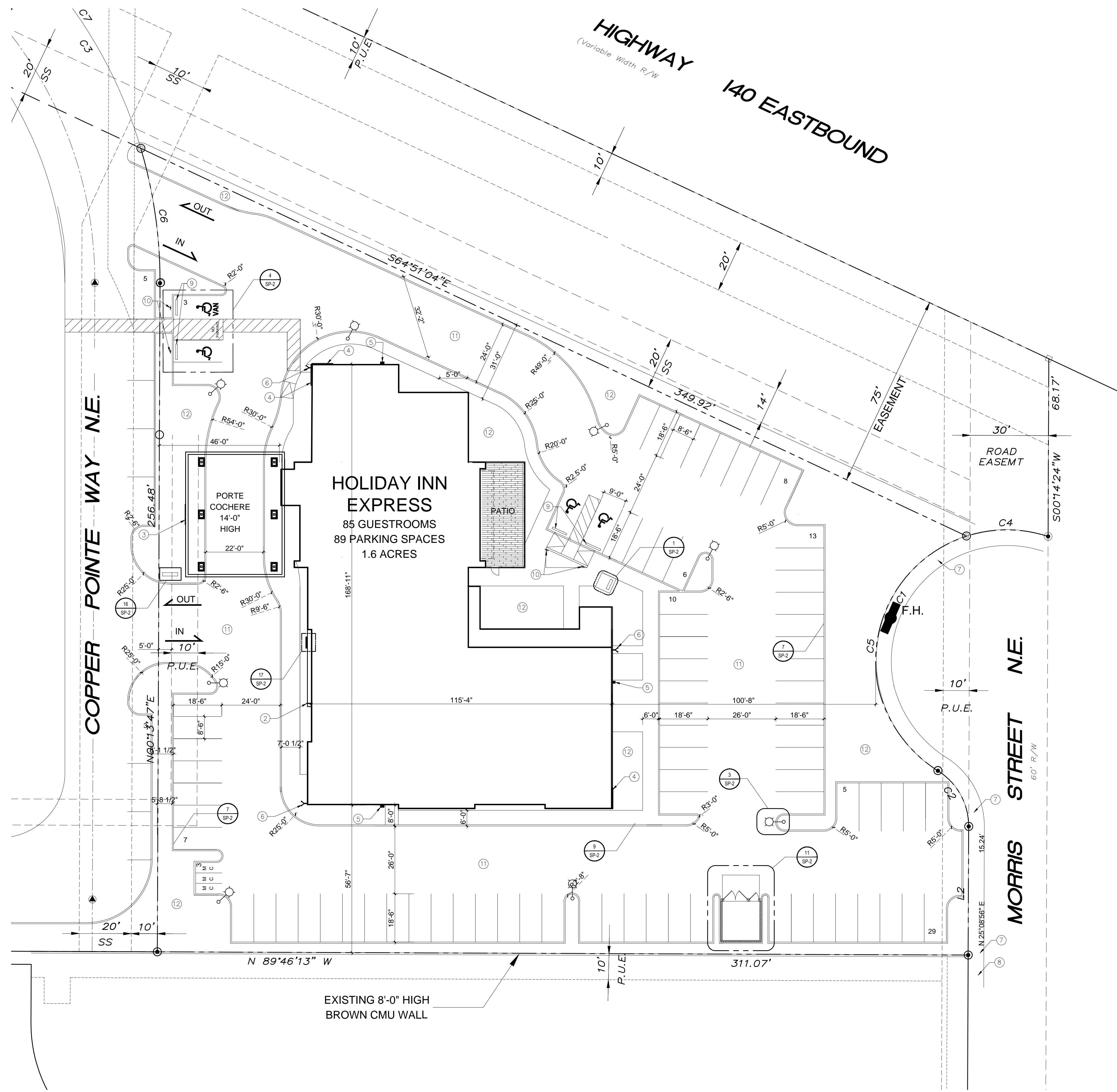


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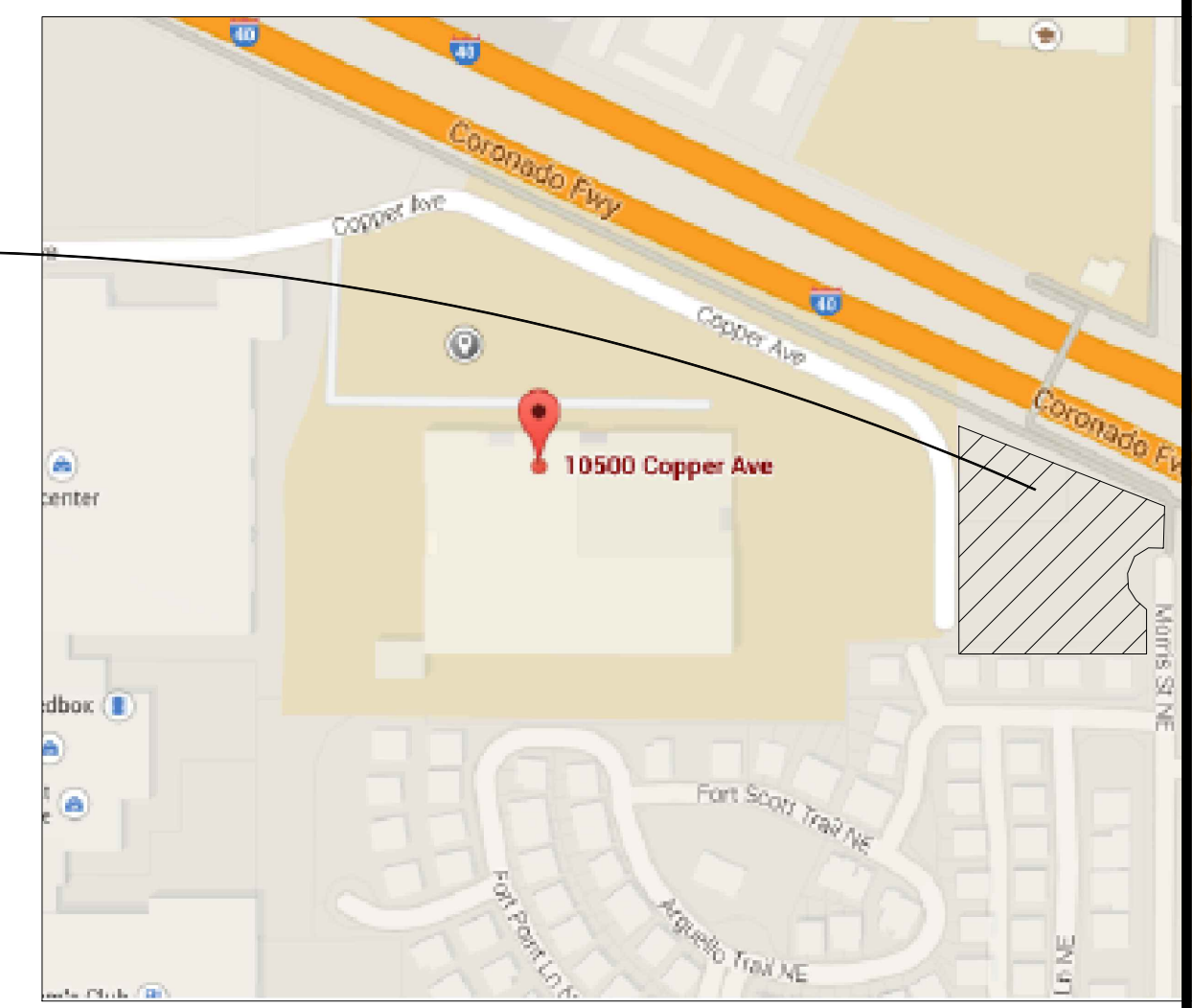
REV	DATE	DESCRIPTION	APVD

CS-1
4/15/2015



ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'

SITE LOCATION



LOCATION MAP
NORTH
ZONE ATLAS

LEGAL DESCRIPTION

PRESIDIO SUBDIVISION
COMMERCIAL PAD SITES,
TRACT 2 AND TRACT 3,
COPPER POINTE
SUBDIVISION SITUATED WITHIN
SECTION 21 TOWNSHIP 10
NORTH, RANGE 4
EAST NEW MEXICO
PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE
BERALILLO COUNTY
NEW MEXICO
MAY 2009
1.6 ACRES

FIRE AREA

FIRST FLOOR LARGEST
GROSS AREA = 14,516.0 SF
(-) 3- 2HR STAIRS = 832.3 SF
(-) 2HR LAUNDRY CHUTE = 32.0 SF
(-) 1- 2HR ELEV. SHAFT = 144.5 SF
(-) 1- 1HR CORRIDORS = 1,529.0 SF
TOTAL FIRE AREA = 11,978 SF

KEY NOTE

1. FIRE DEPARTMENT CONNECTION (FDC)
2. PIV
3. ADDRESS 10" HIGH NUMBERS
4. FRANCHISE SIGN
5. KNOX BOX -6'-0" A.F.F.
6. FIRE DEPARTMENT STANDPIPE
7. NEW SIDEWALK TO MATCH EXISTING
8. EXISTING SIDEWALK
9. PARKING BUMPER
10. ADA SIGN, SEE DETAIL 2/SP-2
11. ASPHALT PARKING
12. LANDSCAPING

GENERAL INFORMATION

ALL REQUIRED INFRASTRUCTURE WILL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.

DRIVEPADS COA STD. DWG.
SIDEWALK COA STD. DWG 2415 A&B
WHEEL CHAIR RAMPS COA STD. DWG. 2440 AND 2441
PAVEMENT COT STD. DWG. 2408

THE PROPOSED SCREEN SHALL BE SOLID COLORED TO MATCH BUILDING COLOR.

PARKING ANALYSIS

TOTAL GROSS BUILDING AREA = 56,306 SF
85 GUESTROOMS :
REQUIRED PARKING SPACES = 85 SPACES
PROVIDED PARKING SPACES = 89 SPACES
ACCESSIBLE PARKING SPACES REQUIRED = 4
VAN ACCESSIBLE PARKING SPACE = 1
TOTAL ACCESSIBLE PARKING SPACES = 4

MOTORCYCLE SPACES :(MC)
REQUIRED : 3
PROVIDED : 3

BIKE TABULATION

1 BIKE PER 20 PARKING SPACES
4 BIKE RACKS REQUIRED
4 BIKE RACKS PROVIDED

PATIO TABULATION

1 ST FLOOR 14,348 SF X 5.33% = 765 SF
PATIO (SF) PROVIDED = 760 SF

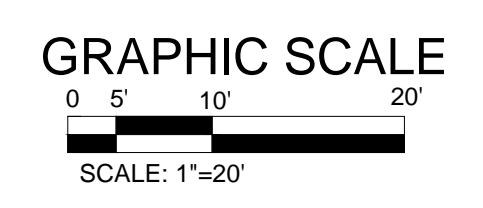
SITE PLAN

SCALE: 1" = 20'

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10501 COPPER AVENUE
ALBUQUERQUE, NEW MEXICO 87123

REV	DATE	DESCRIPTION	APVD



PROJECT NUMBER: 1000572
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE _____

WATER UTILITY DEPARTMENT DATE _____

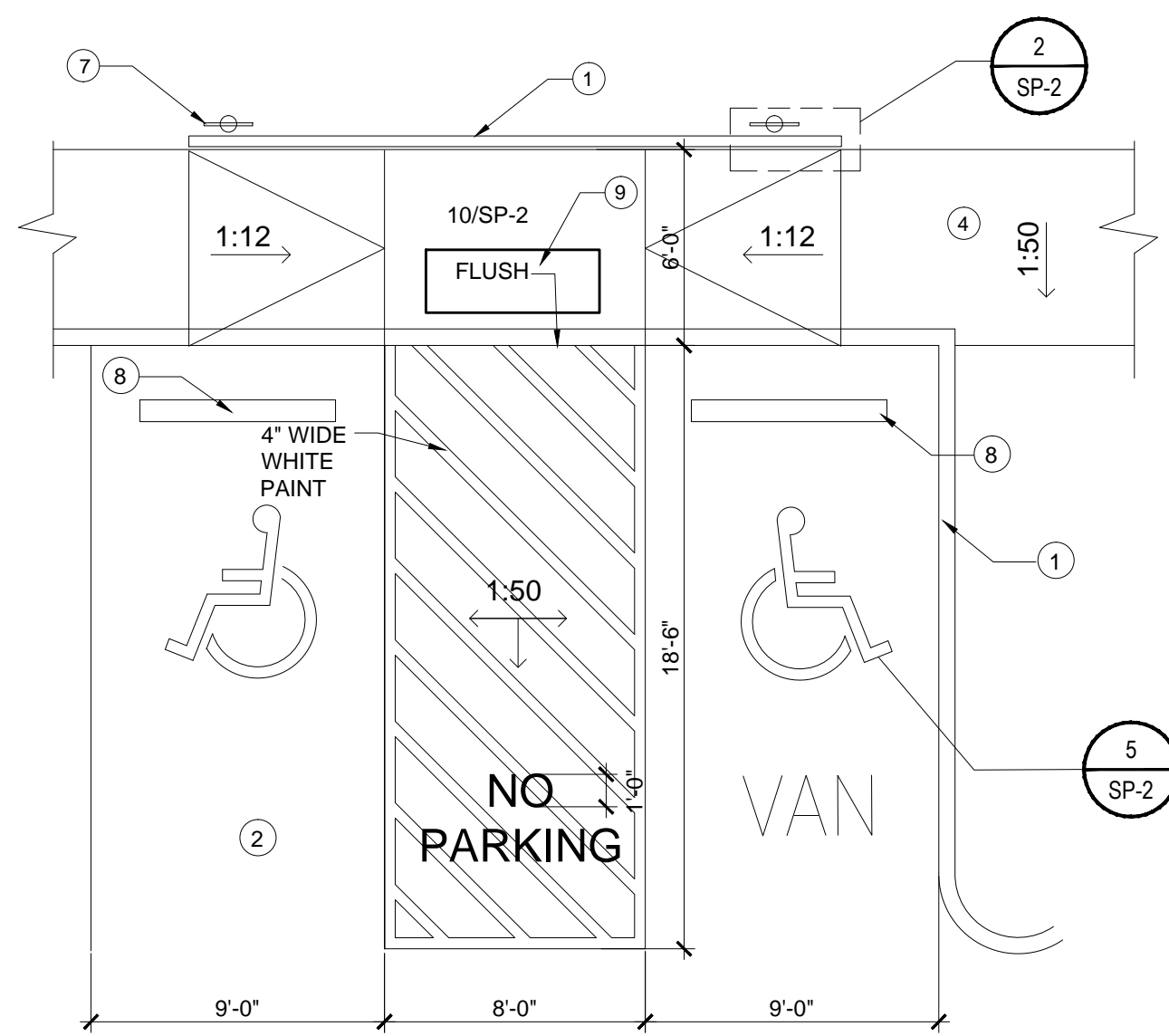
PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____

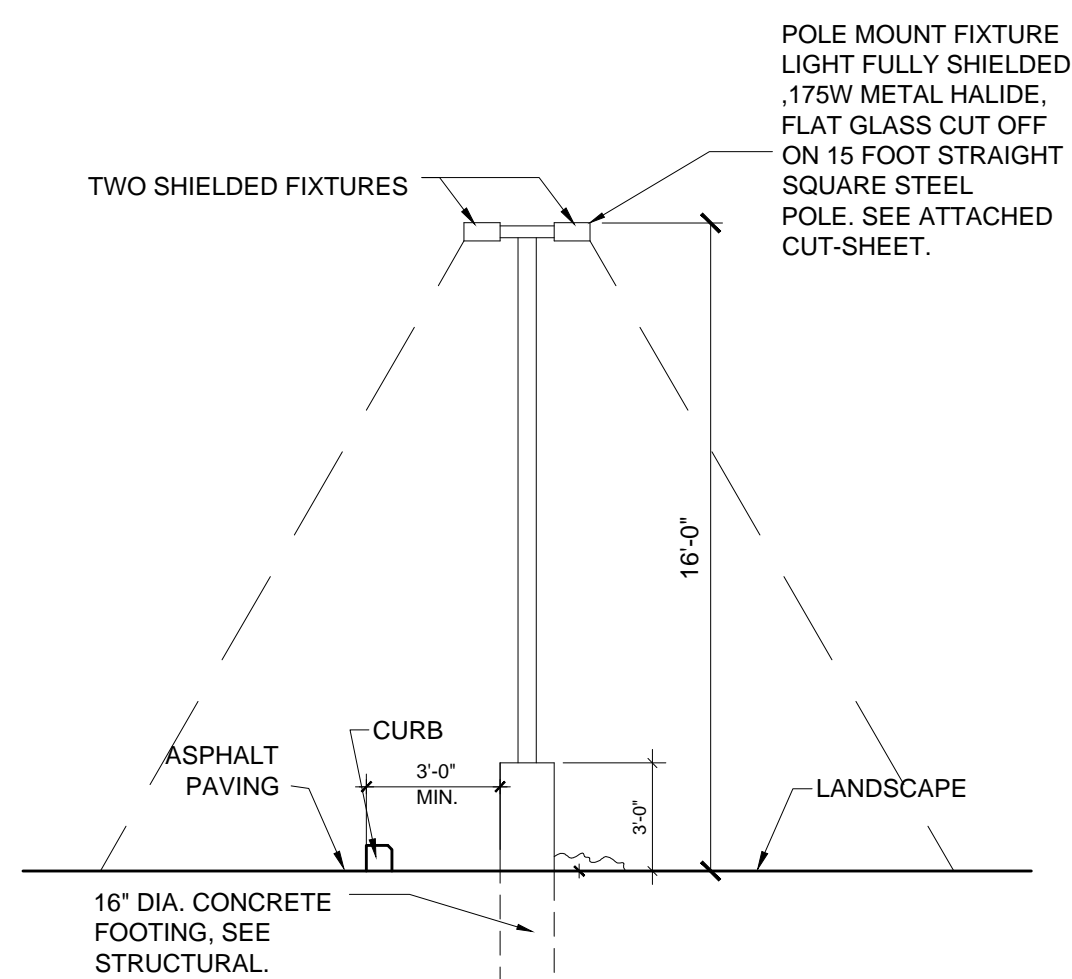
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE _____

SOLID WASTE MANAGEMENT DATE _____

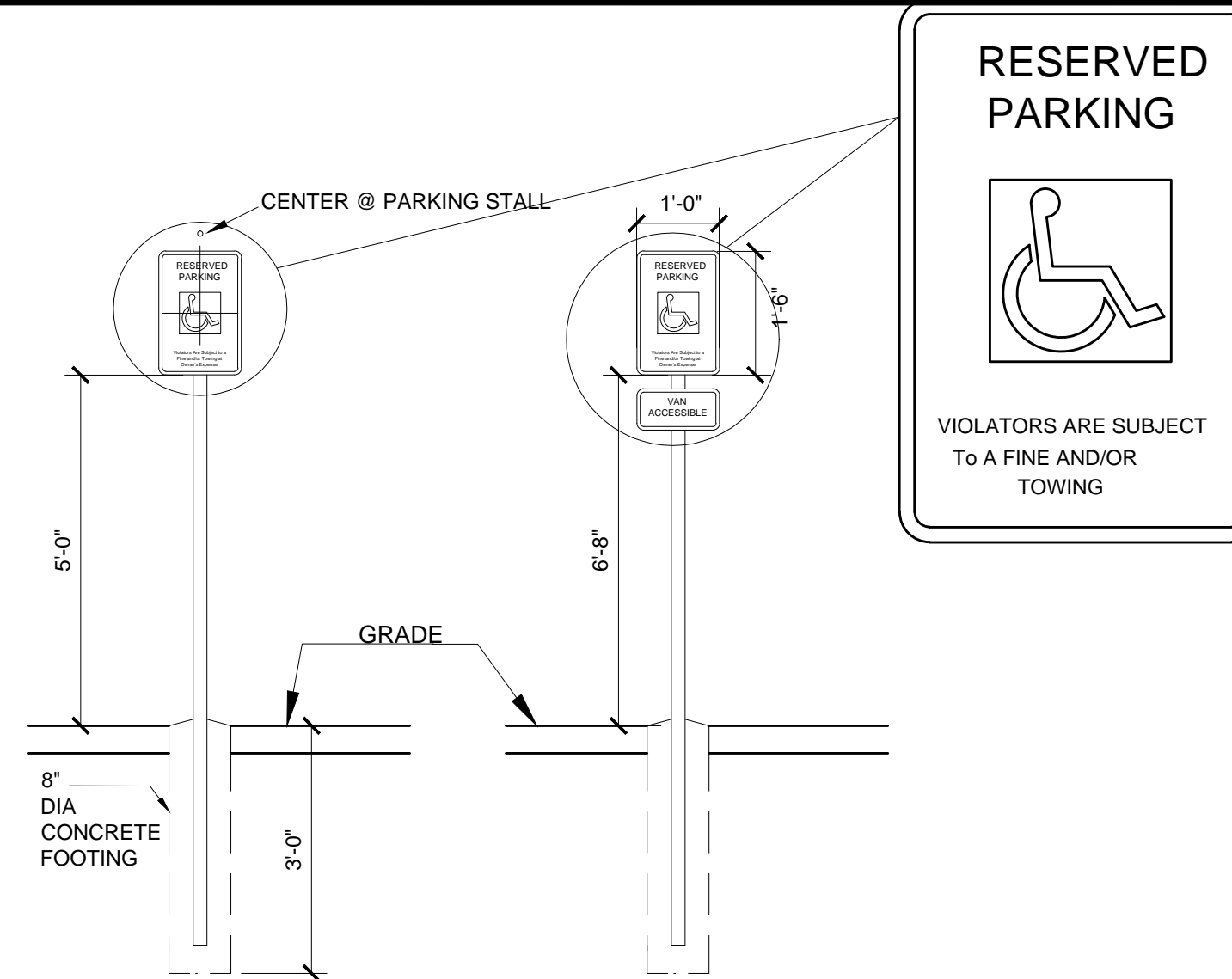
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____



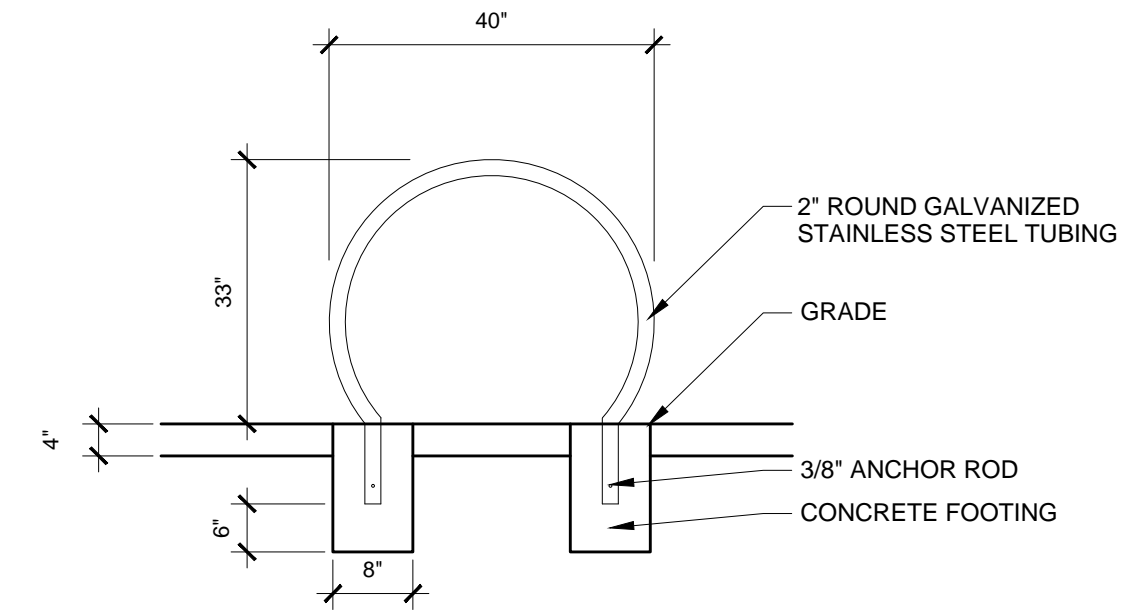
4 ACCESSIBLE STALLS
SP-2 SCALE: 3/16"=1'-0"



3 SHIELDED LIGHT POLE
SP-2 SCALE: 3/16"=1'-0"



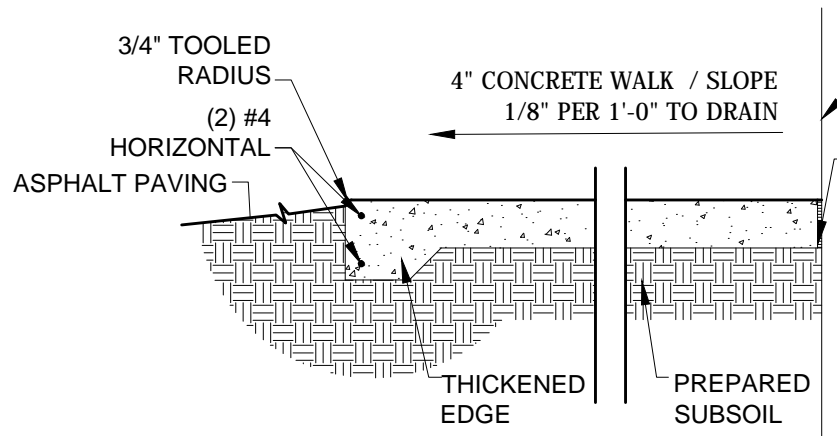
2 ACCESSIBLE PARKING SIGN
SP-2 SCALE: 1/2"=1'-0"



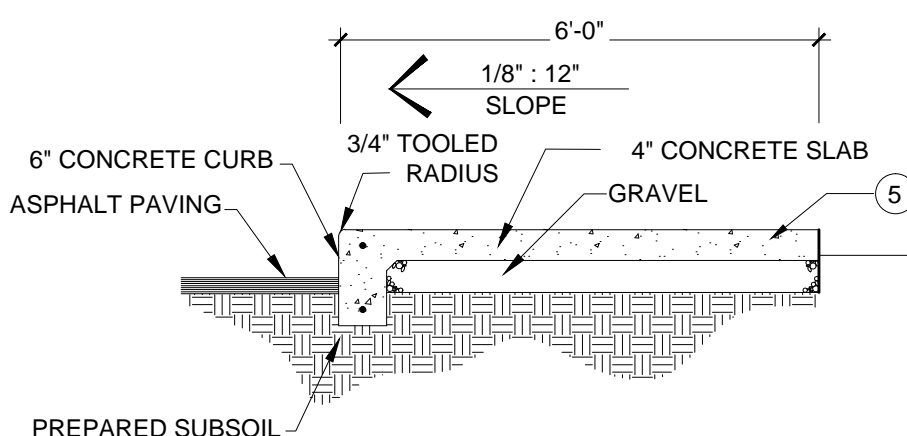
1 BIKE RACK
SP-2 SCALE: 1/2"=1'-0"

KEYED NOTES

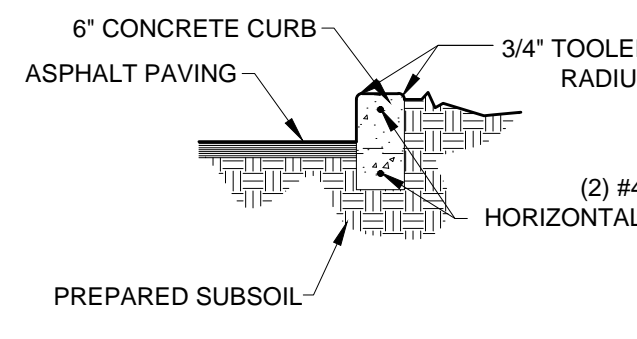
1. CONCRETE CURB, TYPICAL.
2. ASPHALT PAVING THIS AREA.
3. 4" SCHEDULE 80, CONCRETE FILLED PIPE, PRIME, PAINT.
4. CONCRETE SIDEWALK 6'-0" TYPICAL.
5. REFUSE ENCLOSURE.
6. CONCRETE APRON 6" THICK 20'-0" LONG.
7. ACCESSIBLE PARKING SIGN.
8. PARKING BUMPERS, 8"x8"x4'-0"
9. TRUNCATED DOME MATT, 18" x 48"



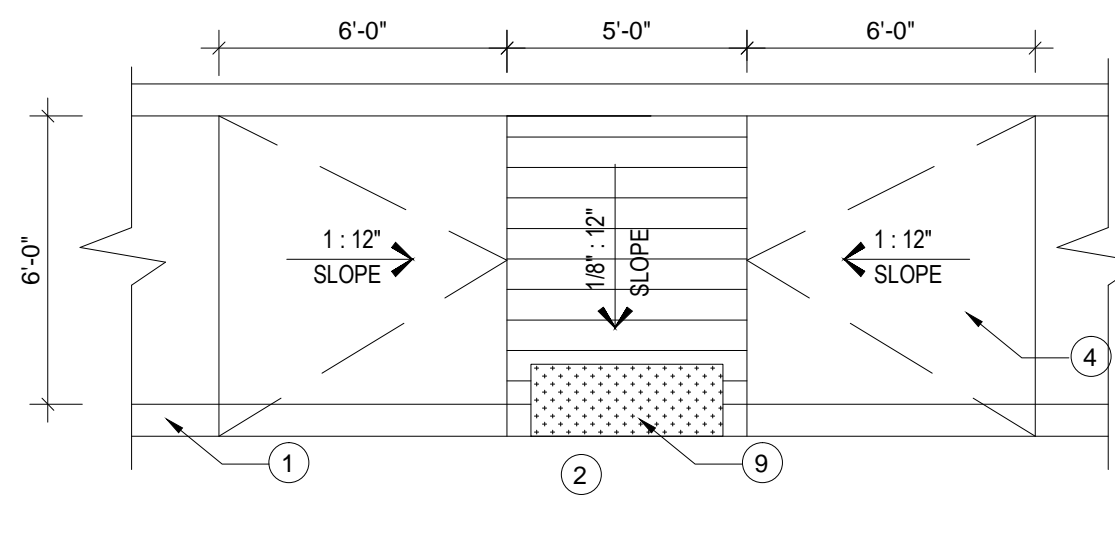
10 FLUSH SIDEWALK
SP-2 SCALE: 1/2"=1'-0"



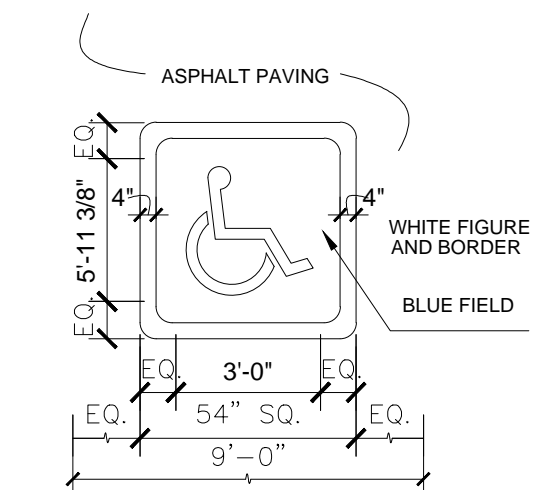
9 CONCRETE SIDE WALK CURB
SP-2 SCALE: 1/2"=1'-0"



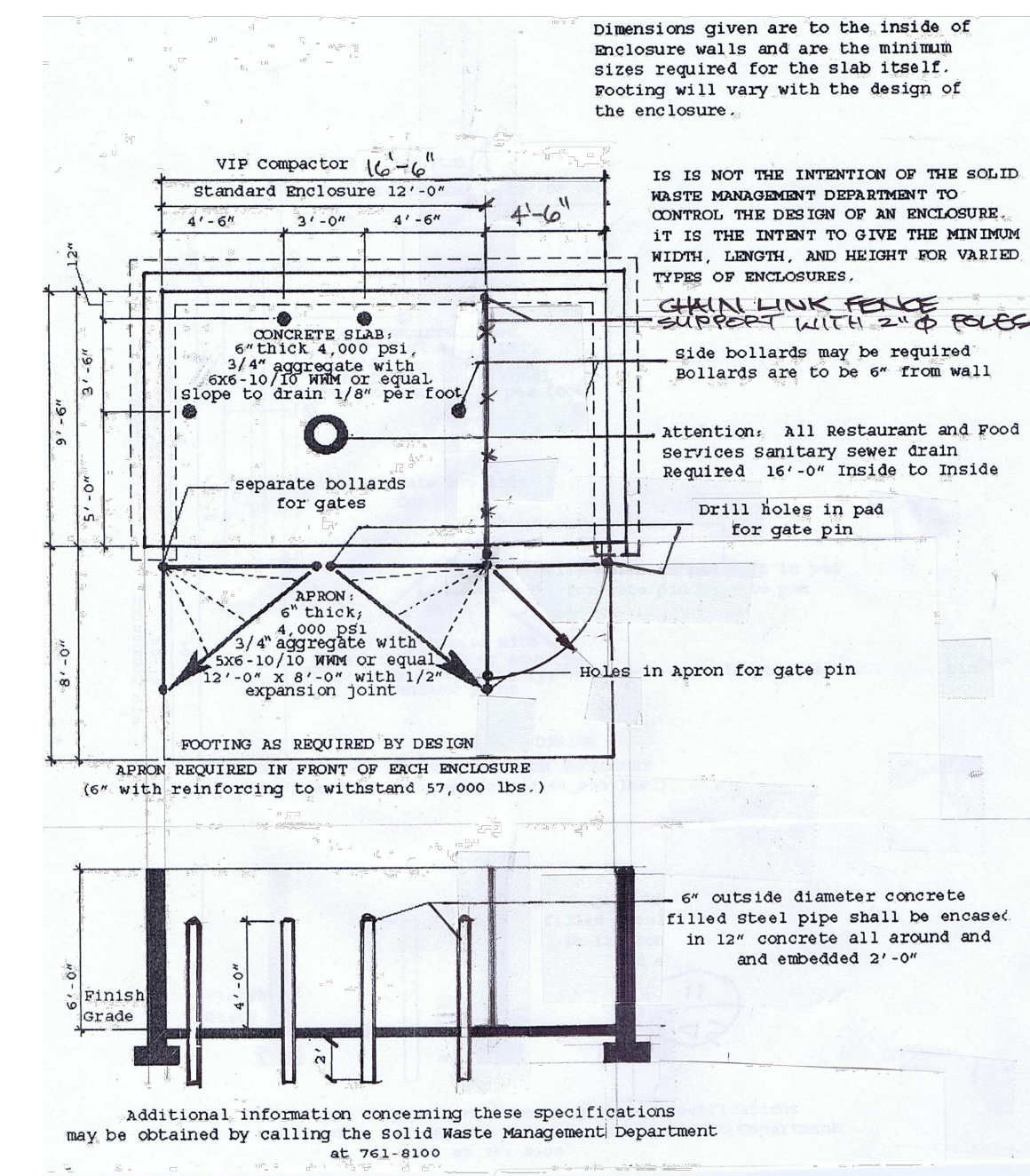
7 LANDSCAPE CURB DETAIL
SP-2 SCALE: 1/2"=1'-0"



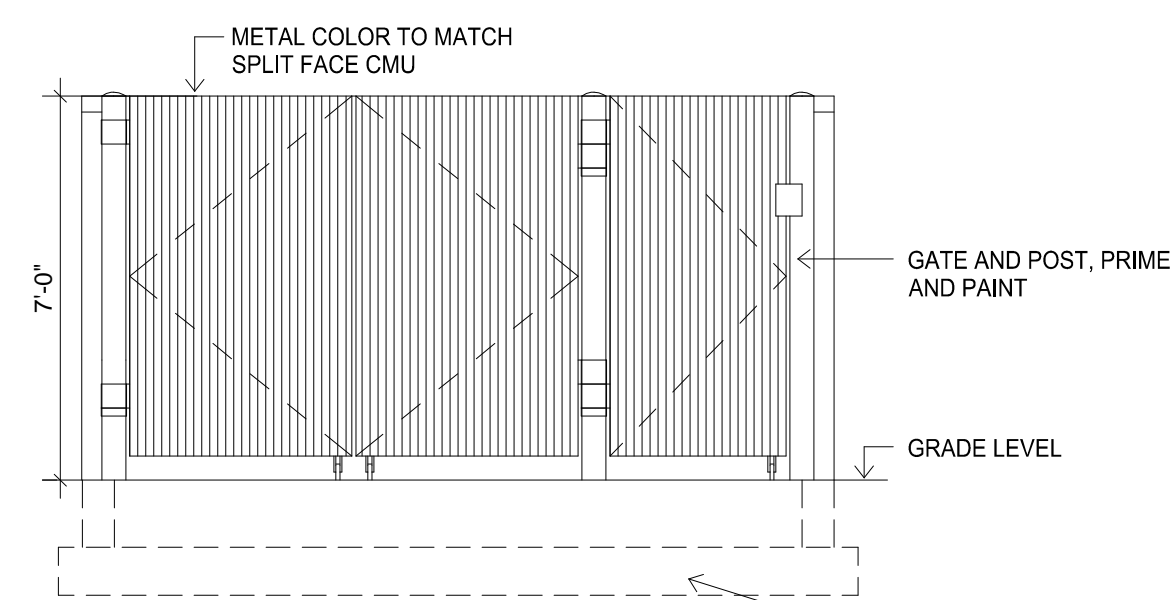
6 ACCESSIBLE SIDEWALK RAMP
SP-2 SCALE: 1/4"=1'-0"



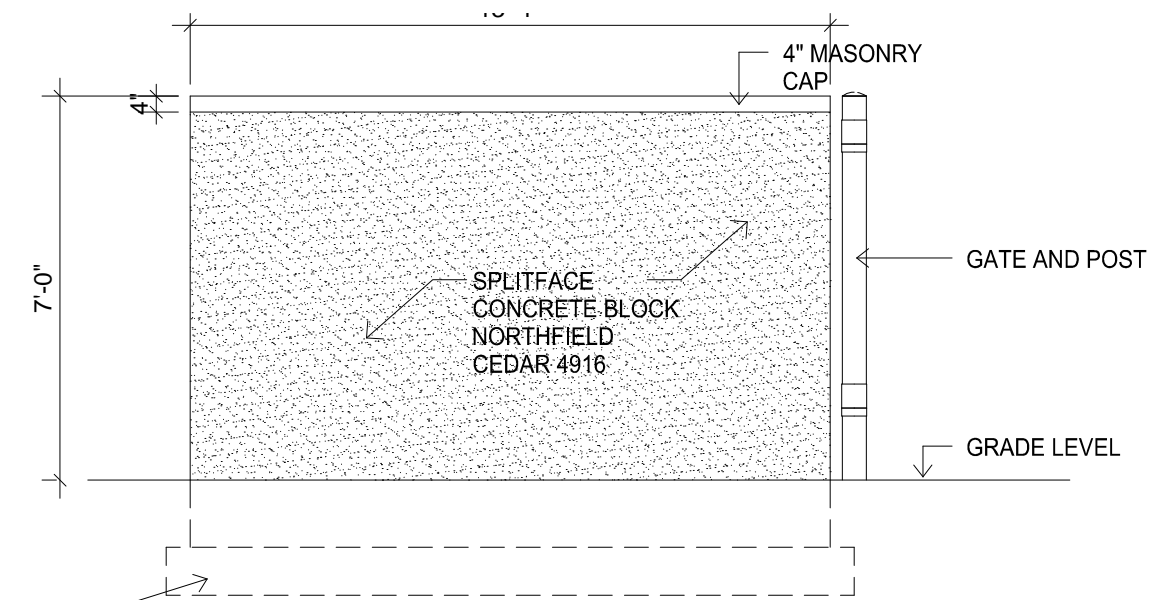
5 ACCESSIBLE PAVING SIGN
SP-2 SCALE: 1/4"=1'-0"



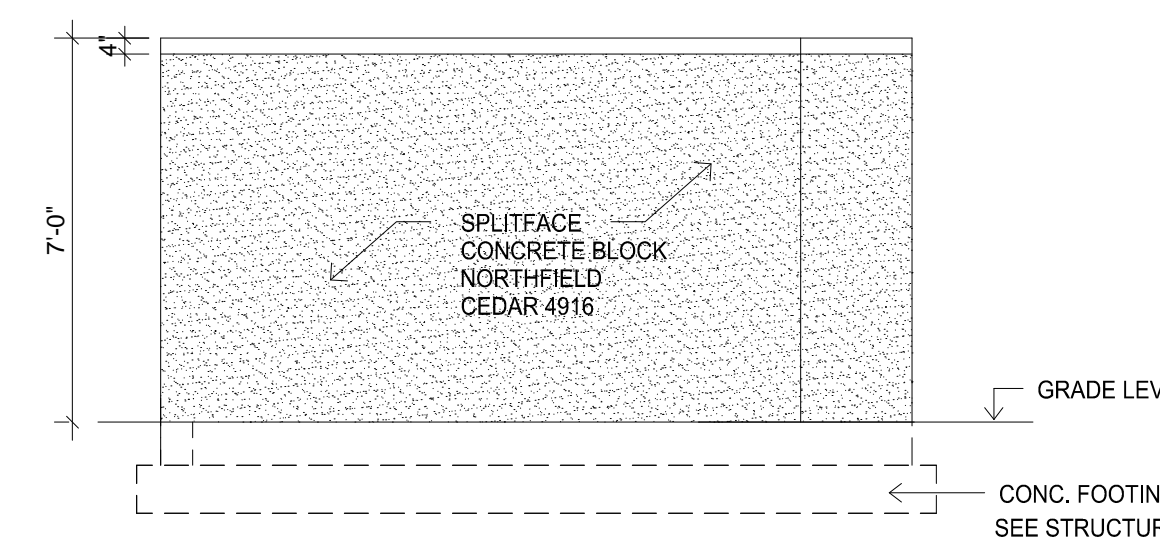
11 TRASH ENCLOSURE AND RECYCLE AREA
SP-2 SCALE: 3/16"=1'-0"



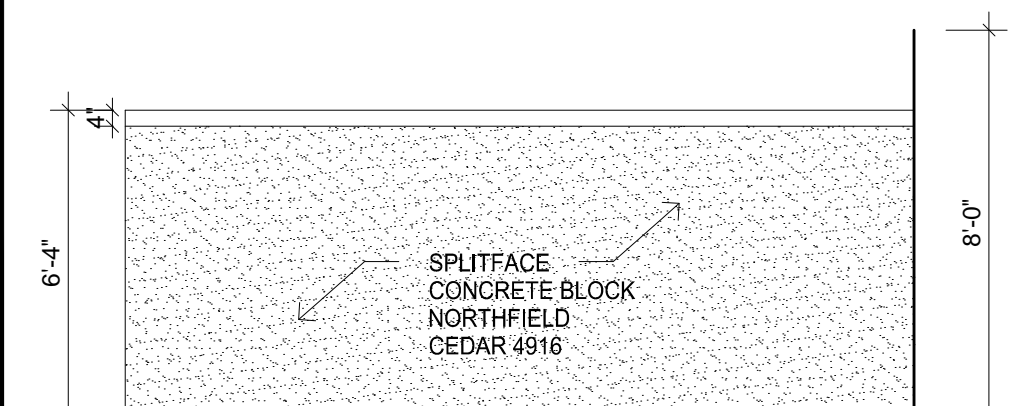
14 TRASH ENCLOSURE FRONT ELEVATION
SP-2 SCALE: 1/4"=1'-0"



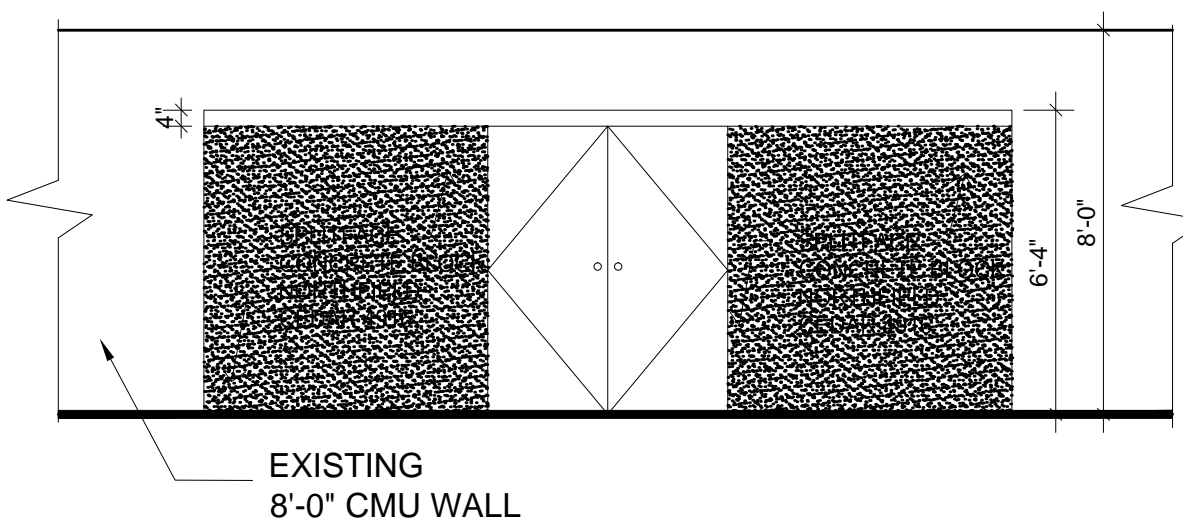
13 TRASH ENCLOSURE SIDE ELEVATION
SP-2 SCALE: 1/4"=1'-0"



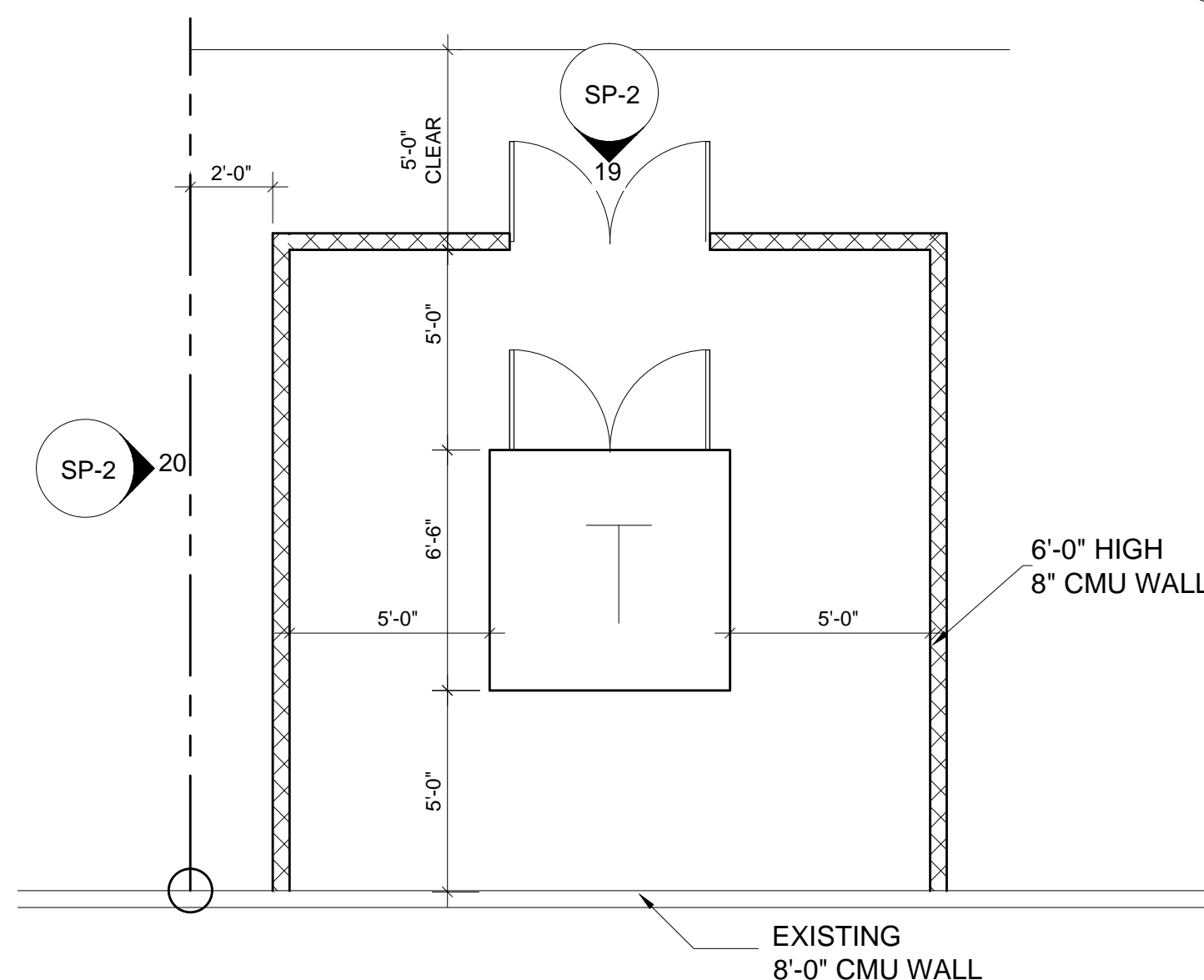
12 TRASH ENCLOSURE REAR ELEVATION
SP-2 SCALE: 1/4"=1'-0"



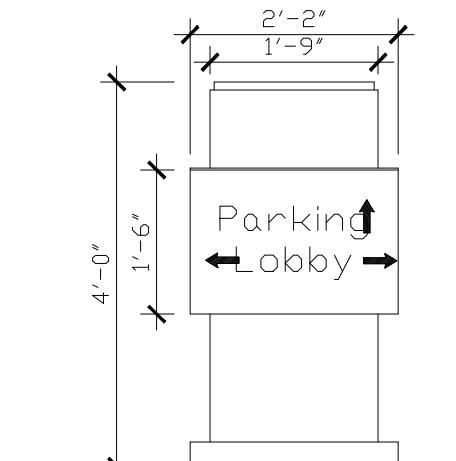
20 ELECTRICAL TRANSFORMER SIDE ELEVATION
SP-2 SCALE: 1/4"=1'-0"



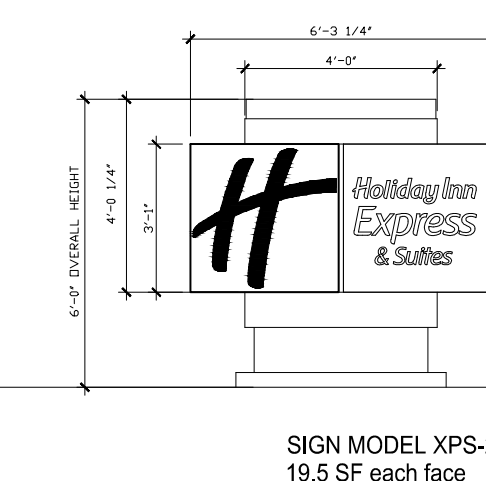
19 ELECTRICAL TRANSFORMER FRONT ELEVATION
SP-2 SCALE: 1/4"=1'-0"



18 ELECTRICAL TRANSFORMER PAD CLEARANCE / SCREEN
SP-2 SCALE: 1/4"=1'-0"



17 SIGN MODEL XDGIS-2
SP-2 SCALE: 1/2"=1'-0"



16 SIGN MODEL XPS-20
SP-2 SCALE: 1/4"=1'-0"



15 BUILDING MOUNTED SIGNAGE
SP-2 SCALE: 1/4"=1'-0"

TCL ARCHITECTURAL SITE PLAN DETAILS

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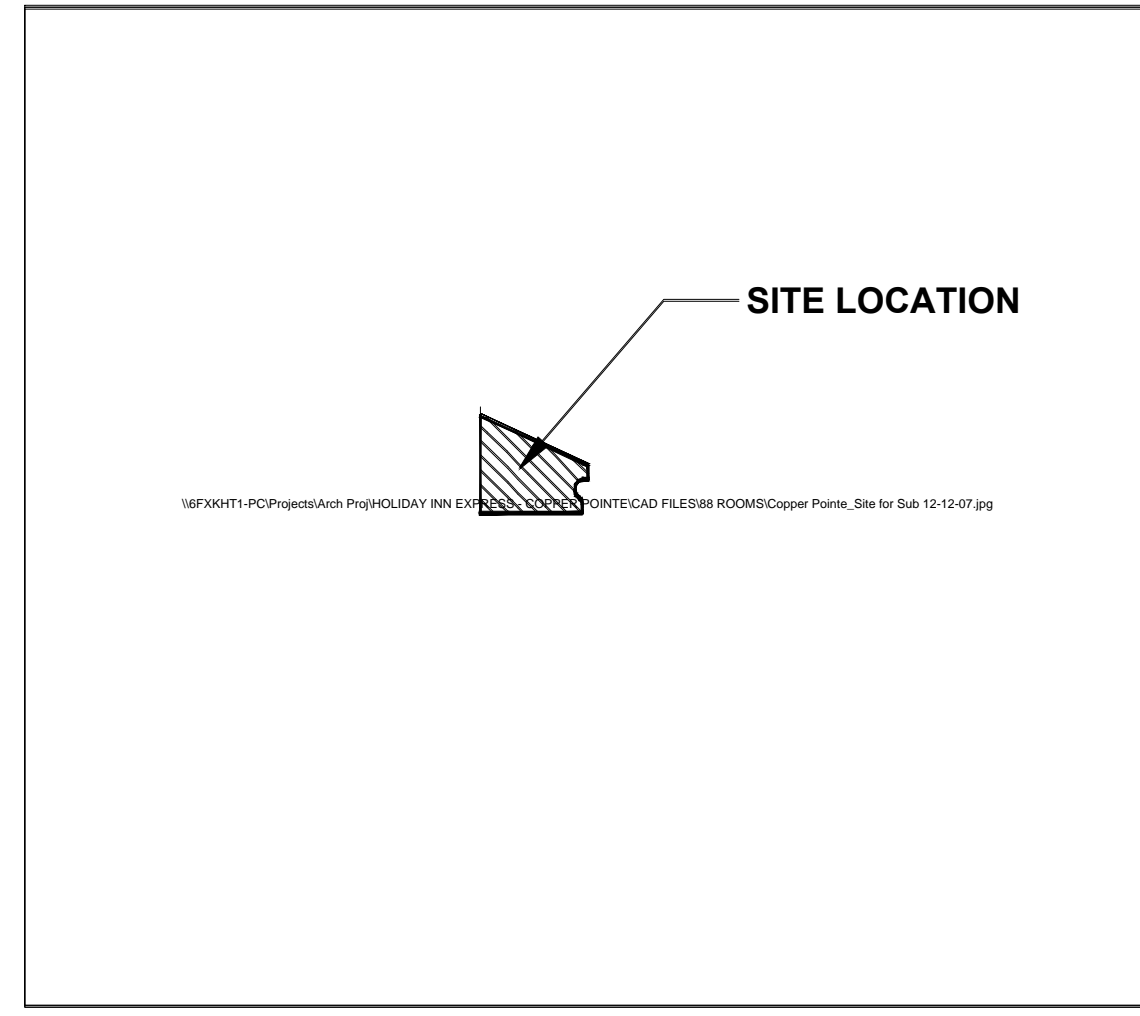
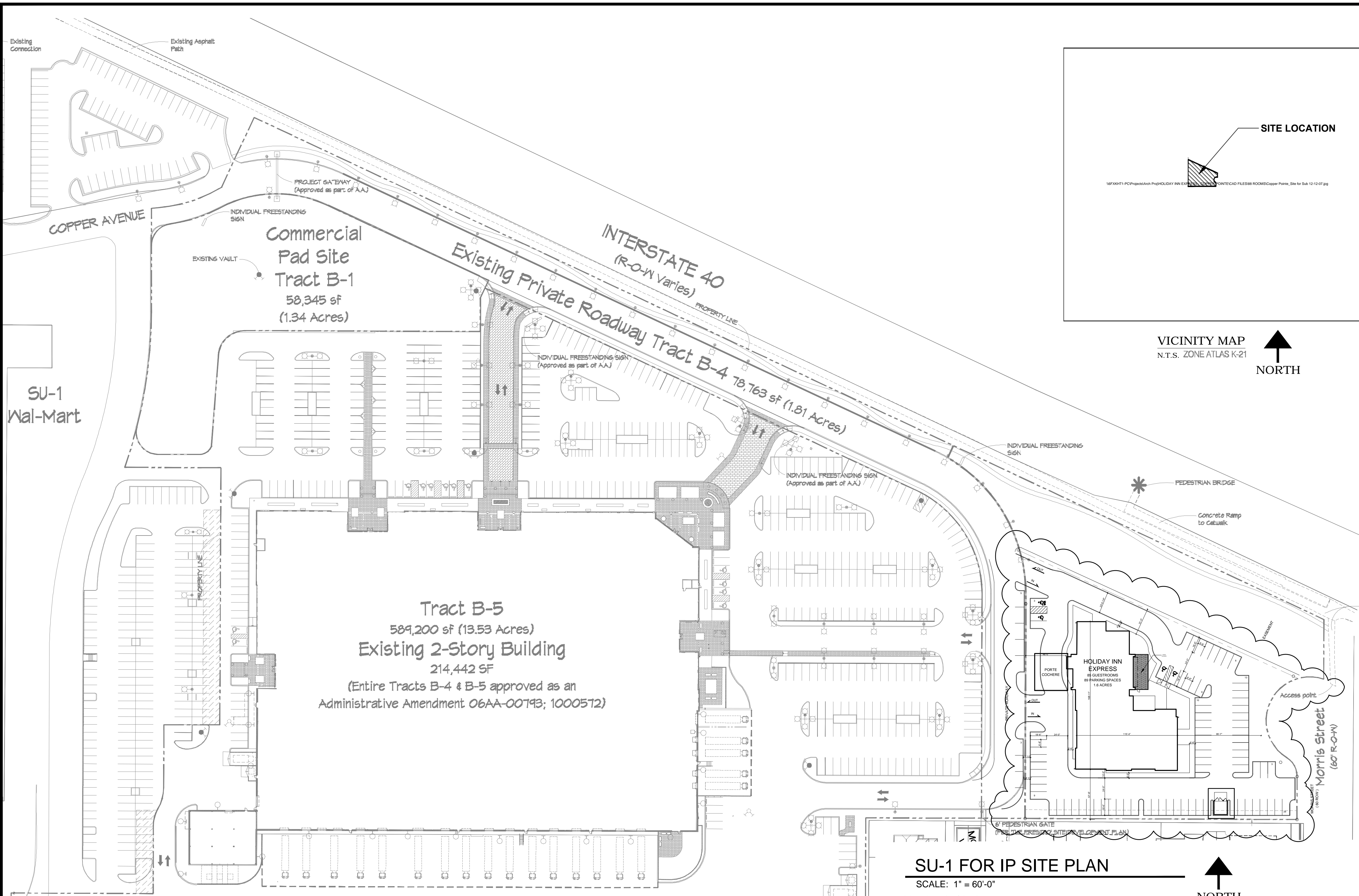
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REV	DATE	DESCRIPTION	APVD

SP-2

06/05/2018



VICINITY MAP
N.T.S. ZONE ATLAS K-21

NORTH

SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION
The Site: Lot B of the Presidio Subdivision located south of I-40 and west of Morris Street. The site consists of approximately 19 acres, zoned SU-1 for IP.

Land Use:
 The site contains an existing 214,442 S.F. Warehouse/Office building that is currently undergoing redevelopment. The northwest and northeast areas are currently vacant and are anticipated to be developed as commercial uses.

Pedestrian and Vehicular Ingress and Egress:
Vehicular Access
 Vehicular access to the site will be from the west side of the property from Copper Avenue and a private roadway to the north. There are two access points from this roadway. Another roadway along the west boundary provides two access points.

Transit Access:
 Suntran Bus Route 2 provides service along Eubank Boulevard.

Internal Circulation:
 Locations, widths, and configurations for the access points on the north and west site boundaries have been established by previously approved site plans. Internal sidewalks are provided throughout the site and between all buildings and parking areas as shown on the site plan.

Building Heights and Setbacks:
 Maximum building height for Tract B-1 is 1-story, 22 feet in height. Tracts B-2 and B-3 building height shall be per the IP zone.

Setbacks:
 Setbacks shall be per the IP zone.

Maximum FAR:
 The maximum FAR shall be .60 for Tract B-3 and .30 for Tracts B-1, B-2, B-4, and B-5 overall combined.

Landscape Plan:
 Design Standards (See sheet 2) provide the parameters for landscape within the three commercial tracts.

- GENERAL NOTES:**
- 1) No drive through restaurants or facilities are allowed on any lot.
 - 2) No driveways allowed onto Morris Street.
 - 3) Site Development Plans for Building Permit for Tracts B-1, B-2, and B-3 shall be delegated to the DRB and shall comply with the attached Design Standards.

LEGAL DESCRIPTION

BOUNDARY SURVEY OF
 TRACTS 2 AND 3
 COPPER POINTE SUBDIVISION
 SITUATE WITHIN
 SECTION 21, TOWNSHIP 10 NORTH RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

SITE PLAN FOR SUBDIVISION
COPPER POINTE

Prepared for:
 MW Development, LLC.
 P.O. Box 27560
 Albuquerque, NM 87125
 December 12, 2007

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102

SU-1 FOR IP SITE PLAN
 SCALE: 1" = 60'-0"
 PROJECT NUMBER: 1000572
 Application Number: 07EPC-40064

NORTH

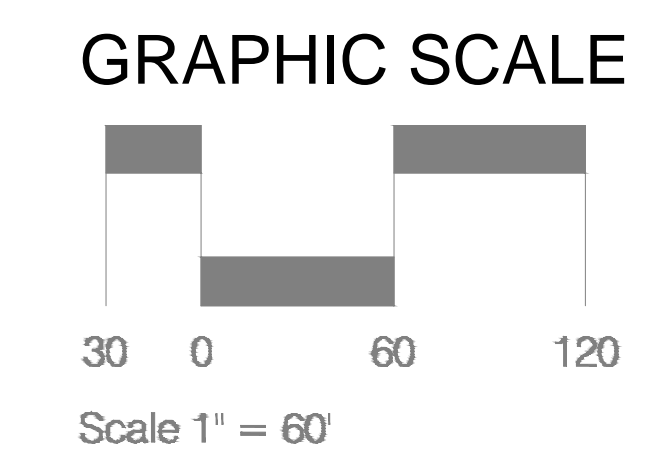
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 15, 2007 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

AMENDMENT TO SITE PLAN FOR SUBDIVISION



CITY OF ALBUQUERQUE ZONING CODE PART 3: GENERAL REGULATIONS

14-16-3-1 OFF STREET (PARKING REGULATIONS)

(A)(20) HOTEL SPACES REQUIRED	= 85
HOTEL SPACES PROVIDED	= 89
(B)(6) NO BUS ROUTE	
(C)(1) MOTORCYCLE PARKING REQUIRED	= 3
MOTORCYCLE PARKING PROVIDED	= 3
(E)(6)(a) ACCESSIBLE PARKING REQUIRED	= 4
ACCESSIBLE PARKING PROVIDED	= 4
VAN ACCESSIBLE PROVIDED	= 1
TOTAL ACCESSIBLE PARKING PROVIDED	= 4
(F)(3) BICYCLE PARKING SPACES	
BICYCLE SPACE PER 20 PARKING SPACES	= 5
81 PARKING SPACES/20 = 4.05, USE	= 5

14-16-3-10 LANDSCAPING REGULATIONS ADDITIONAL (E)(1) LANDSCAPE AREA REQUIREMENTS

15% OF NET LOT AREA	= 14,349 SF
- HOTEL AREA (SF)	= 13,016 SF
- PARKING & ASPHALT AREA	= 3,853 SF
- SIDE WALK AREA	= 760 SF
- PATIO	
TOTAL HARD SURFACE	31,978 SF
1.6 ACRES = 43,560 SF + 6 (43,560)	
43,560 SF + 26,136 SF = 69,696 SF	
69,696 SF - 31,978 SF = 37,718 SF NET AREA	
NET AREA 37,718 SF x .15 = 5,658 SF REQUIRED	
5,658 SF < 37,718 SF	

(3) STANDARD LANDSCAPE BUFFERS. LANDSCAPE PLAN COMPLIES, AS FOLLOWS:

- (a) BUILDING FRONT - AVERAGE 13'-4" WIDE
- (b) BUILDING SOUTH SIDE - EXISTING 8'-0" HIGH SOLID CMU WALL
- (c) BUILDING REAR - AVERAGE 10'-3" WIDE
- (4) SPECIAL BUFFER LANDSCAPING / SCREENING REQUIREMENTS:
- (a) SEE DIVISION (3) ABOVE.

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1 OF 2
 10/21/2015

COPPER POINTE DESIGN STANDARDS

The following design standards address development on Tracts B-1, B-2, and B-3. A Site Development Plan for the existing building and site area on Tracts B-4 and B-5 were previously approved administratively. As such, the design standards do not apply to that project.

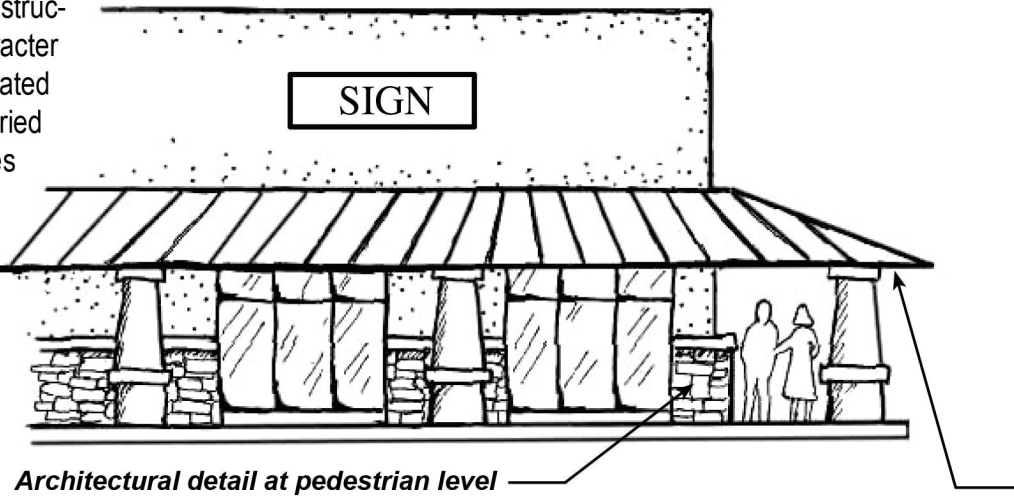
I. Architecture

The architectural standards are intended to describe the general characteristics of the commercial pads to be constructed within the project. While all of the buildings will reflect these standards, it is not the intent of these design standards to prohibit a certain amount of individual expression and creativity. The use of various architectural details and materials shall be consistent when used on various elevations.

A. Building Orientation

- Building elements such as windows, displays, and entries shall be oriented both externally to the streetscape and internally towards public areas.
- Buildings in the commercial areas of Copper Pointe shall be oriented to face the extension of Copper Avenue (roadway to the north adjacent to I-40).

B. Building Articulation

- Edge treatments shall "step down" to relate to the scale of pedestrians: reduce the scale of the building edge by stepping down to the street. It is encouraged that building masses be arranged in order to cast shadows on each other to emphasize the contrast of light and shaded surfaces at corners and edges.
- Commercial and office uses shall be horizontally connected by a variety of ways, such as the use of arcades or portals, controlled plaza elements, contrasting pavement, and siting areas.
- All sloped roof lines must overhang and provide appropriate detailing.
- Buildings shall employ variety in structural forms to create visual character and interest. Avoid long, unarticulated facades. Facades should have varied front setbacks, with wall planes not running in one continuous direction without a change in architectural treatment (i.e. 3 foot min. offset, fenestration, material, change, etc.).
 

Architectural detail at pedestrian level *Portal*
- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, and soffits shall be dimensioned and detailed to provide a human scale and visual interest.
- Extended architectural detailing on the ground floor in an elevational band from 0 to 2 feet, such as a change in color or texture, the architectural expression expansion joints as reveals, door and window articulation and architectural accents, is required in order to enhance the pedestrian level experience.
- At entryways, an awning, canopy / marquee, or inset shall be provided to provide shade and shelter and a sense of arrival. Entryways shall be distinguished by lighting in order to enhance the perception of surface variety.
- Entries shall be clearly defined and connect to pedestrian linkages.

C. Roof Materials and Colors

- The following roof materials are permissive for buildings in Copper Pointe:
 - Copper or copper colored metal roofing.
 - Clay or concrete tile.
 - Single membrane for flat roof areas.

D. Building Height

- The building within Tract B-1 shall be 1-story, with a maximum height of 22 feet. Maximum building height for Tracts B-2 and B-3 shall be in accordance with the provisions of the I-P Zone contained in the Comprehensive City Zoning Code.

E. Building Materials

All of the exterior materials and colors employed in the future construction of buildings and improvements on Copper Pointe commercial pads shall be complementary to those used in the redevelopment of the existing building.

- Brick - shall be the primary building material and shall account for a minimum of 40% of the exterior construction. Stone may be used as an accent feature and shall not comprise more than 20% of the exterior construction. Stucco may be used as an accent feature and shall not comprise more than 40% of the exterior construction.
- Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls
 - highly reflective surfaces
 - chain link fence or barbed wire
 - metal paneling
 - materials with high maintenance requirements, such as wood, canvas, etc.

F. Pre-Approved Building Colors

- Primary - exterior brick colors shall be earth tones, shades of yellow, ochres, browns, dull reds, and grey greens, and compatible with exterior of existing building.
- Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of earth tones, white, green, red, blue, and brown ranges.

G. Columns

- The following are appropriate column forms:
 - Square stucco
 - Round stucco
 - Painted / exposed steel
 - Masonry
 - Round classical with smooth shafts in Doric or simple contemporary order
- The following shall not be allowed:
 - Corinthian
 - Ionic
 - Tuscan
 - Egyptian

H. Guidelines

- The use of contrasting colors between roofs and walls is encouraged to further differentiate the planes of building masses.

- Accent colors can bring out details on a building or give life to a building. These include: the use of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with streetscape and perimeter walls.

- Office and commercial sloped roof lines may overhang and provide appropriate detailing with a minimum of 4 feet.

- Subject to the Copper Pointe restrictive covenants, buildings on the commercial parcels may be mixed-use structures accommodating retail stores below and offices above.

II. Landscape

The landscape environment is intended to enhance the aesthetics of the development and aid in reinforcing the street edge and pedestrian environment.

- Street trees shall be provided along the existing private roadway at an average interval of 30 feet to provide shade. Street trees are defined as being within 12 feet of the back of curb.
- A fully automated irrigation system shall be designed as part of the landscaping for each commercial pad site. The system shall be designed to avoid overspraying walks, buildings, fences, etc. Maintenance of the irrigation system and the landscape shall be the responsibility of the property owner.
- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the plan and shall be compatible with the architectural and landscape treatments on each pad site.
- Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance, and Comprehensive City Zoning Code with regard to plant species, sizes and quantities, landscape area, and irrigation systems.
- All landscape areas 36 square feet or greater shall be covered with live vegetative material over at least 75% of the required landscape area. Coverage is calculated from the mature spread of the plants; tree canopies are excluded.
- Gravel, colored rock, and similar materials are acceptable as a top dressing for landscape areas, however, they shall not be considered a focal landscape element.
- Steel, brick, or equivalent landscape headers shall be used to separate any turf and shrub / groundcover areas.
- Timing of Installation. All commercial pad site landscaping must be completed no later than two months after completion of construction of the site improvements.
- The following plant palette has been developed as a general guide for Copper Pointe. Substitutions are allowed in cases where plant species are not available.

Trees

Desert Willow / *Chilopsis linearis*
 Washington Hawthorn / *Crataegus phaenopyrum*
 Chitalpa / *Chitalpa*
 New Mexico Olive / *Forestiera neomexicana*
 Honeylocust / *Gleditsia triacanthos*
 Austrian Pine / *Pinus nigra*
 Chinese Pistache / *Pistacia chinensis*

Shrubs / Groundcovers

Butterfly Bush / *Buddleia davidii*
 Turpentine Bush / *Ericameria laricifolia*
 Apache Plume / *Fallugia paradoxa*
 Red Yucca / *Hesperaloe parviflora*
 Creeping Rosemary / *Rosmarinus off. pro.*
 Rosewood / *Vauquelinia*
 Shrubby Cinquefoil / *Potentilla*
 Western Sand Cherry / *Prunus besseyi*
 India Hawthorn / *Rhaphiolepis indica*
 Three Leaf Sumac / *Rhus trilobata*
 Heavenly Bamboo / *Nandina*
 Yaupon Holly / *Ilex*
 Grape Myrtle / *Lagerstroemia*

Ornamental Grasses

Karl Foerster Grass / *Calamagrostis acutiflora*
 Maiden Grass / *Miscanthus sinensis 'Gracillimus'*
 Regal Mist / *Muhlenbergia capillaris 'Regal Mist'*
 Bear Grass / *Nolina microcarpa*

Turf Grasses

Blue Grama / *Bouteloua gracilis*
 Buffalo Grass / *Buchloe dactyloides*

- Minimum plant sizes at time of installation shall be as follows:

Trees	2 inch caliper, or 10 to 12 feet in height
Shrubs & Groundcovers	1 gallon

 Turf grasses shall provide complete ground coverage within 1 growing season after installation.

III. Site Planning

A. Setbacks

The following setbacks are per the I-P zone:

- Front yard setback - 20 foot min.
- Side yard setback - 10 foot min.
- Rear yard setback - 10 foot min.

B. Sidewalks / Walkways

- All pedestrian walkways shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design).
- Concrete or asphalt are acceptable materials for pedestrian walkways.

- Handicapped crossings, 6 feet in width, shall be clearly demarcated with colored textured paving where they cross vehicular entrances and drive aisles.

- Secure bicycle storage racks shall be located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.

C. Parking

- In order to lessen the visual impact of parking areas, parking facilities shall be broken up into a series of smaller areas.
- Handicapped parking spaces shall be provided adjacent to building entries.
- The total maximum amount of parking provided shall meet parking requirements in the City Zoning Code with a maximum overage of 10 percent.
- Parking for all Copper Pointe tenants will be shared. A cross access agreement shall be part of the platting process.
- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks, and pathways.
- Parking areas shall be segmented by pedestrian walkways into subareas not greater than 150 parking spaces.

D. Common Areas

- Open courtyard designs shall be employed in order to form transitions between parking areas and building facades on the commercial parcels. Building access and entries must be easily accessible from the surrounding buildings and shall be visible from the street through open passages.
- Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.

IV. Lighting

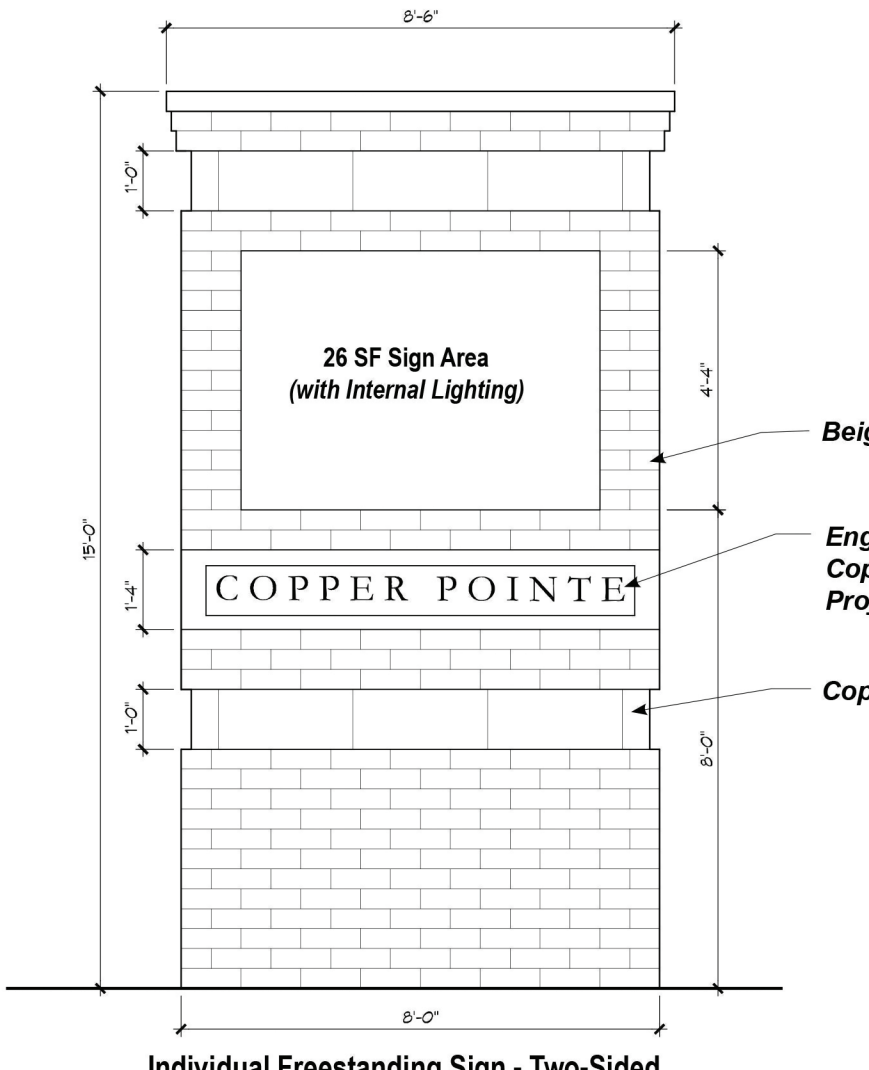
- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source with glare cut off angles of a maximum of 75 degrees to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra and sodium lights are prohibited.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permits. The maximum mounting height of luminaires for pedestrian scale lights shall be 16 feet in height. The maximum mounting height of luminaires for parking lot lights shall be a maximum of 25 feet in height, except where they are within 100 feet of residential, they shall be 16 feet in height.
- Site lighting shall be restricted to a maximum off-site luminance of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.

V. Walls

- All walls shall comply with the Wall Regulations contained in the Comprehensive City Zoning Code.
- Any site walls shall be constructed of materials which match the predominant material of the building to which they are adjacent.
- Except for screen walls that hide equipment and operations in shipping and receiving areas, no site walls shall exceed 6 feet in height. Site walls shall be constructed of cast stone, brick, masonry finished with stucco, or combination thereof, with the exposed materials being the same as those used on the building.

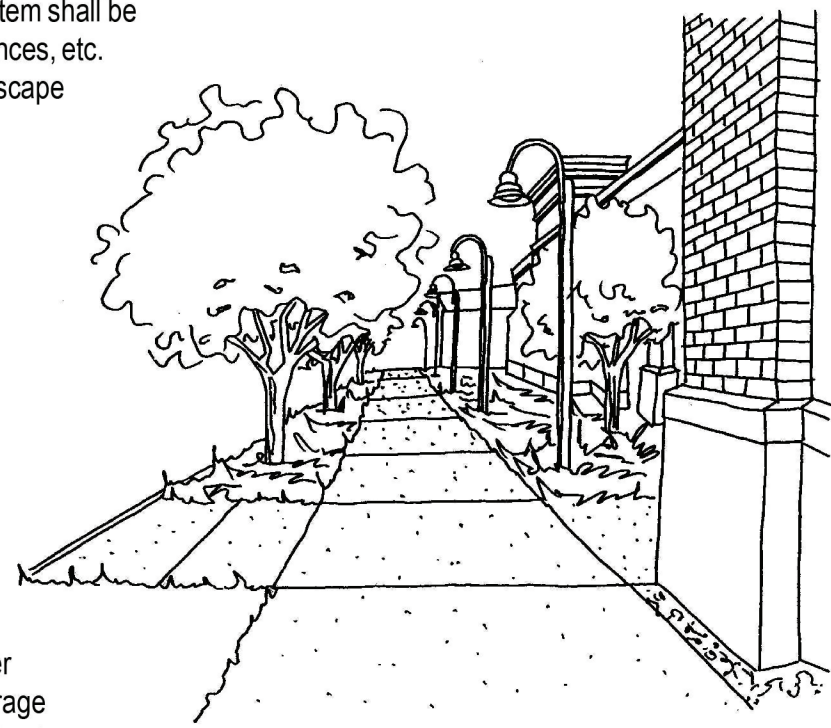
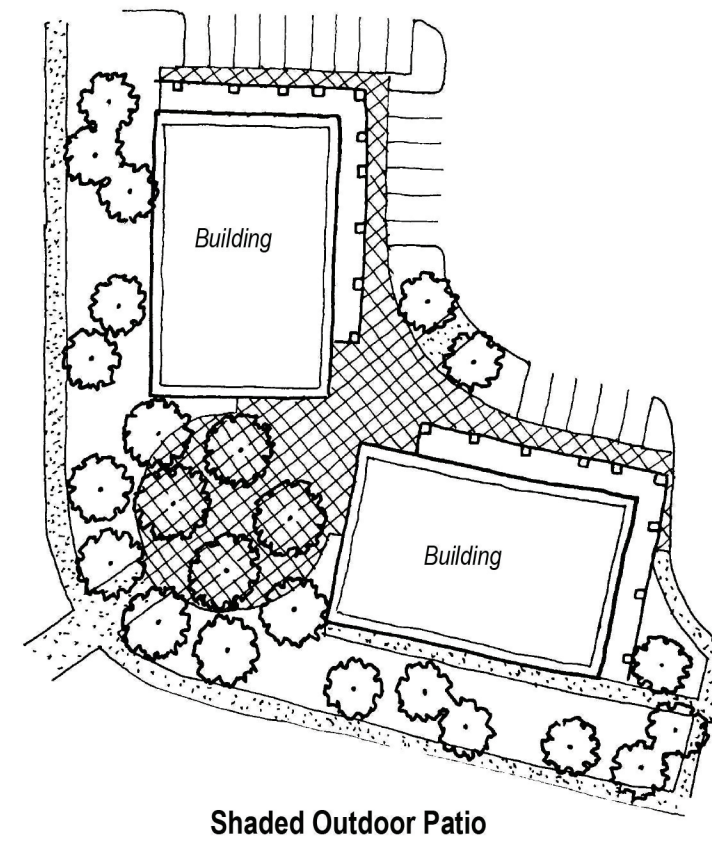
VI. Signage and Graphics

The following signage criteria creates a sense of arrival to the development and establishes a quality visual impact. Where there is a conflict between these standards and City regulations, the more restrictive shall apply. The gateway sign at the private roadway easement and the monument signs at the two main project entries were previously approved and are not subject to the following standards:

- Signage for Copper Pointe will be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code.
- All signage for individual commercial sites shall be coordinated in order to have the same appearance (height, size, color, material, text height and style, etc.).
 

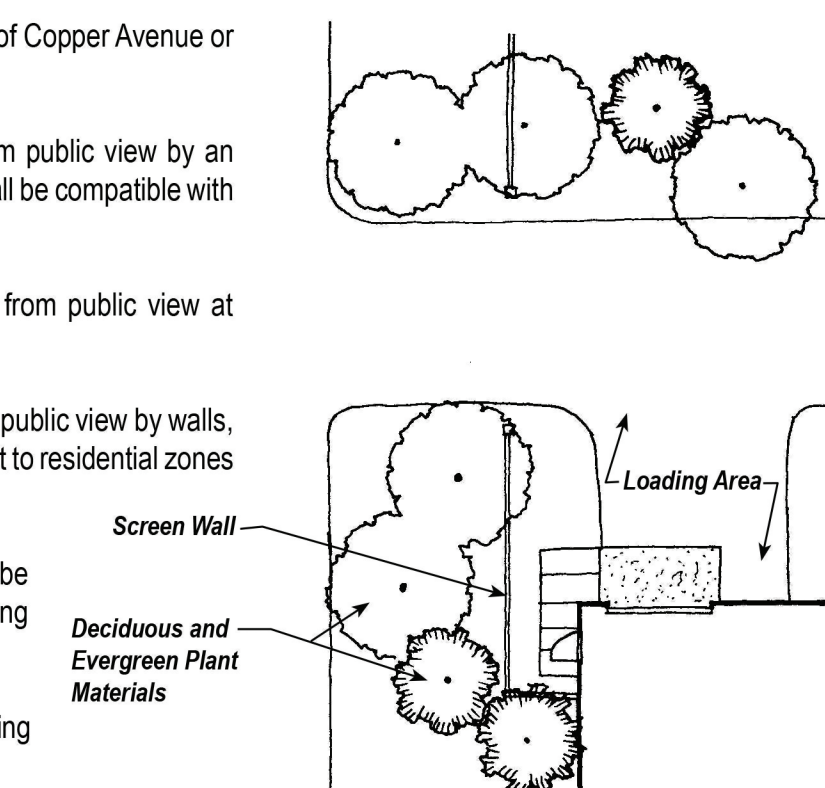
Individual Freestanding Sign - Two-Sided

 - 26 SF Sign Area (with Internal Lighting)
 - Beige Brick
 - Engraved Sandstone, Copper Pointe Project Identification
 - Copper Panel
- One freestanding sign each is allowed for Tracts B-1 and B-2 to identify the business on such sites. The sign area for monument signs shall not exceed 26 square feet, exclusive of Copper Pointe project identification, and shall be internally lit. Maximum height shall not exceed 15 feet and shall have materials as shown in the individual freestanding two-sided signage detail.
- No signage will be permitted to face residential areas to the south.
- No sign may overhang a right-of-way or property line.
- No sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.
- Building-mounted signs shall not project more than 1 foot from the display wall or exceed 60 square feet. Canopy and marquee signs shall be included in the total area count allowed for all signs. Building-mounted signs shall be placed at building entrances.



- Signs perpendicular to an elevation shall only occur under an awning or canopy / portal and shall not be more than eight square feet. These signs may not project past the overhang.

VII. Screening

- No refuse enclosures shall face the extension of Copper Avenue or I-40.
 - Refuse containers shall be fully screened from public view by an enclosure. Materials used for the enclosure shall be compatible with the building materials and architecture.
 - Mechanical units shall be entirely concealed from public view at ground level by the use of parapets.
 - Service / loading areas shall be screened from public view by walls, trellises, or landscaping. Service areas adjacent to residential zones shall be screened.
 - Parking areas located along roadways shall be screened per the City Comprehensive Zoning Code.
 - The use of chain link, barbed wire, or wood fencing is prohibited.
- 
- Screened Loading Area**

VIII. Utilities

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- All new electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way, but in such a way that is acceptable to the affected service provider to ensure safety and access for maintenance, repair, and replacement of equipment.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Cellular antennas, if any, shall be integrated with the building architecture.

IX. Transportation Demand Management (TDM)

Future employers that locate within Copper Pointe who have more than 80 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employee with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Copper Pointe.

- On parcels with businesses that have more than 80 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Copper Pointe.
- Businesses with more that 80 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.
- Businesses with more than 80 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.
- The CMC Coordinator for each employer with more than 80 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.
- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association shall be organized for all the businesses within the commercial center.
- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

East Gateway Sector Development Plan Design Standards, 10/2010

- 5.3.1A #4, does not apply
- 5.5 Hotel considered a commercial building, Complies with Lot Standards, pg. 5-36.
- 5.6 Project complies.
- 5.6.4 Landscaping- complies with City's Zoning Code, Section 14-16-3-10; All Areas to receive rain runoff from hard surfaces. Lighting- All light poles are 16'-0" high Maximum and shielded.
- 5.6.8 Signage- complies.
- 5.6.9 Utilities- All transformers shall be screened with vegetation or wall to match adjacent building surface.
- 6.10

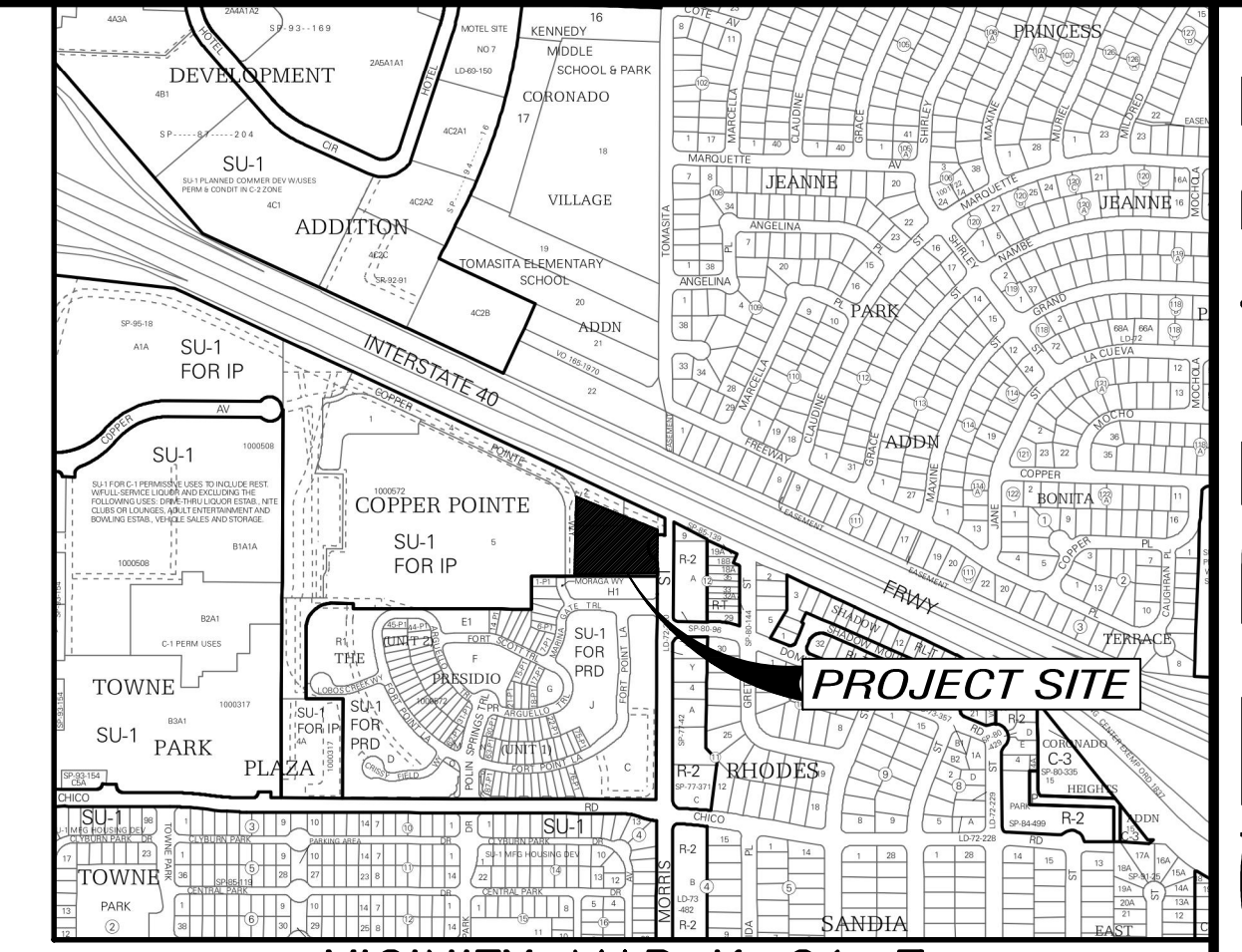
DESIGN STANDARDS

COPPER POINTE

Prepared for:
 MW Development, LLC.
 PO Box 27560
 Albuquerque, NM 87125



Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



VICINITY MAP K-21-Z
LEGAL DESCRIPTION
 TRACT 3-A, COPPER POINT SUBDIVISION
 WITHIN IN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO
 COUNTY, NEW MEXICO

DRAINAGE INFORMATION
LOCATION & DESCRIPTION

THE SITE IS 1.60 ACRES LOCATED ON THE SOUTH SIDE OF I-40 AT MORRIS AVE. WITHIN THE COPPER POINT COMMERCIAL DEVELOPMENT AS SEEN ON THE VICINITY MAP. THE SITE IS CURRENTLY UNDEVELOPED. THE ADJACENT PROPERTY TO THE WEST IS A DEVELOPED COMMERCIAL SITE. THE ADJACENT PROPERTY TO THE SOUTH AND EAST ARE DEVELOPED AS RESIDENTIAL. THE SITE IS TO BE DEVELOPED AS A HOTEL SITE.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED APRIL 2, 2002 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE.

PRECIPITATION

THE 100-YR 24-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

DRAINAGE & REPORTS

THE SITE IS WITHIN THE COPPER POINT GRADING AND DRAINAGE PLAN AREA. THE PREVIOUSLY APPROVED DRAINAGE PLAN, SUPPLEMENTAL CALCULATIONS FOR COPPER POINT DATED MAY 2007, WAS APPROVED FOR ALL DISCHARGE TO BE DIRECTED TO THE PRIVATE ROADWAY TO THE WEST AT 7.37 CFS (SEE TABLE). THERE ARE NO OFFSITE FLOWS THAT IMPACT THE SITE.

DEVELOPED CONDITION

THE RUNOFF FROM SITE WILL BE ROUTED THROUGH THE FLUSH PONDS ALONG SOUTH AND WEST PROPERTY LINES THEN DISCHARGED INTO THE PRIVATE DRIVE. THE PRIVATE DRIVE WILL CONVEY FLOW ALONG THE CURB TO INLETS LOCATED WEST OF THE SITE AND DISCHARGING TO THE I-40 CHANNEL. THIS DEVELOPMENT WILL HAVE NO ADDITIONAL IMPACT ON DOWNSTREAM FACILITIES.

FIRST FLUSH

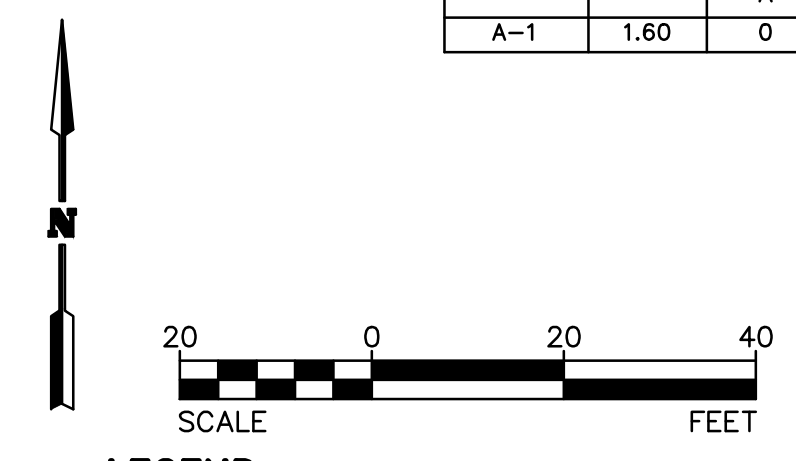
THERE ARE FLUSH PONDS ALONG THE PERIMETER OF THE SITE TO ACCOMMODATE THE FOLLOWING FIRST FLUSH REQUIREMENTS:
 IMPERVIOUS AREA = 56,432 FT²
 REQUIRED FLUSH VOLUME = 56,432 FT² * 0.34/12 FT. = 1,588 CU.FT.

HYDROLOGIC DATA - APPROVED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ₁₀₀ (cfs)	V ₁₀₀₋₂₄ (acft)
		A	B	C	D			
A	1.70	0	7	8	85	4.66	7.37	0.342

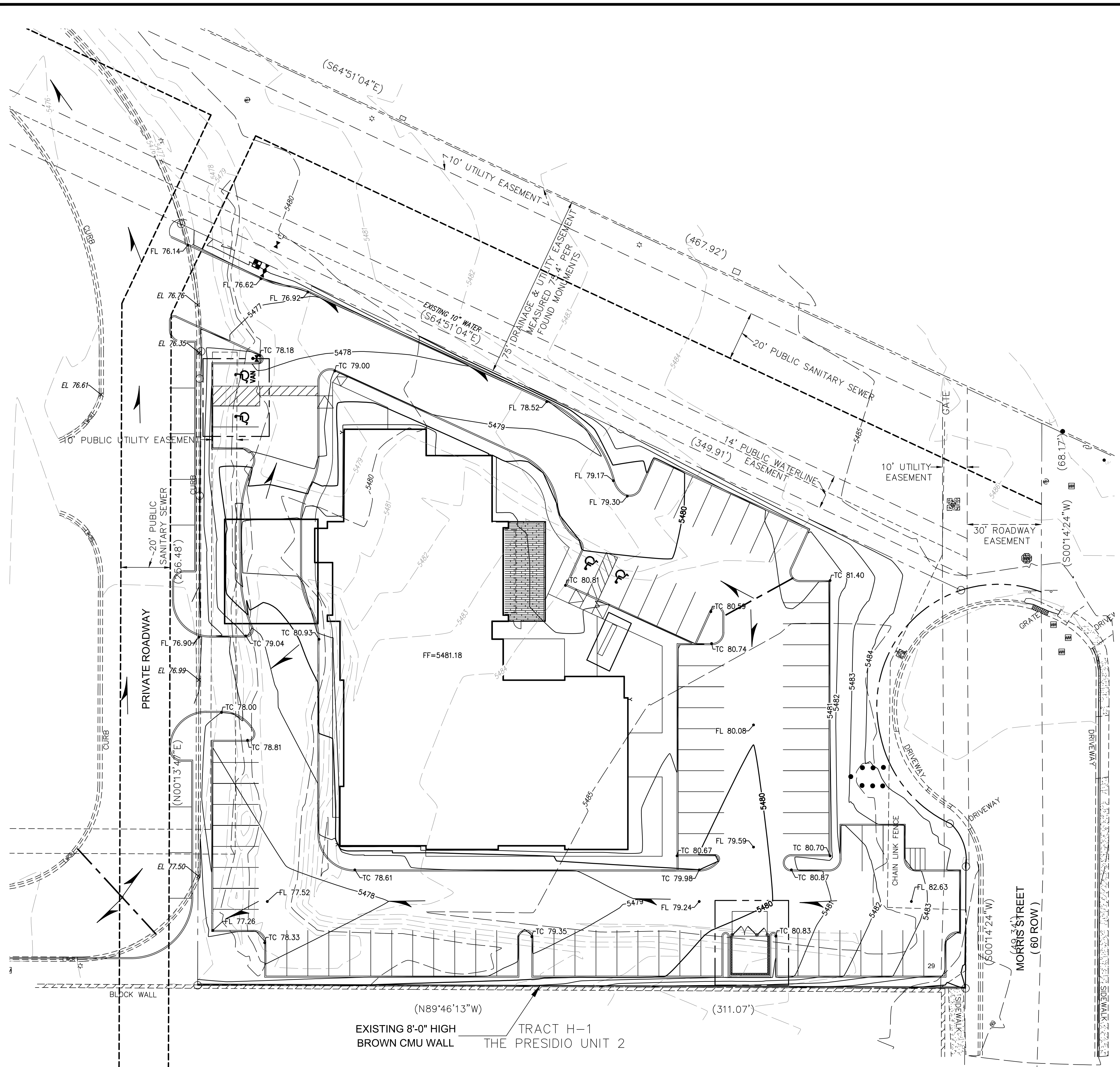
HYDROLOGIC DATA - PROPOSED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ₁₀₀ (cfs)	V ₁₀₀₋₂₄ (acft)
		A	B	C	D			
A-1	1.60	0	13	6	81	4.55	7.20	0.331



LEGEND

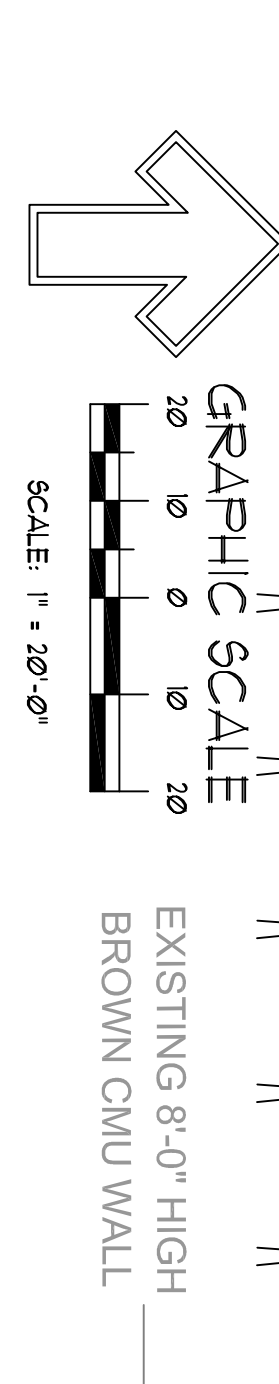
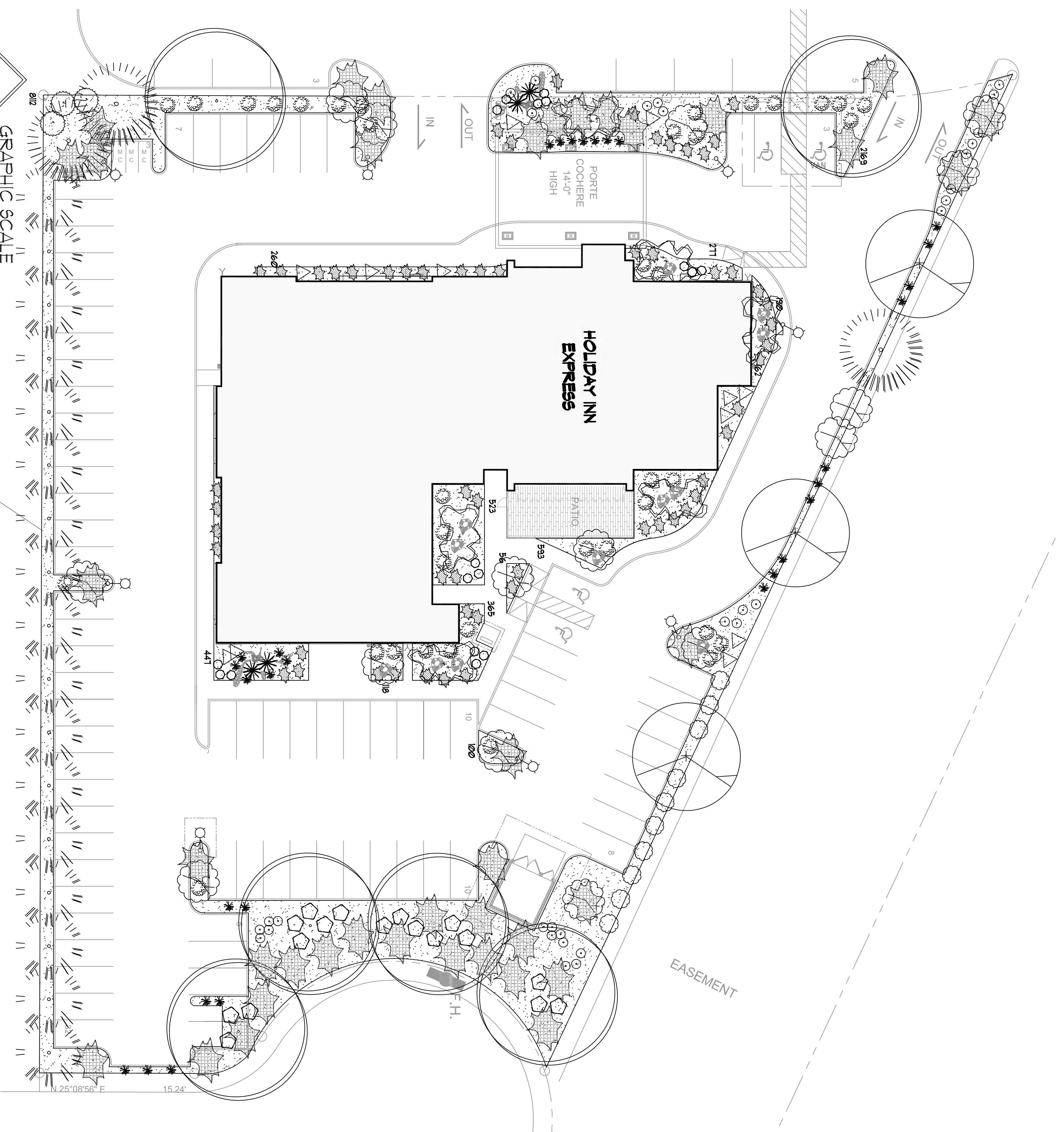
- FLOW ARROW
- ↘ SLOPE ARROW
- EL=11.28
x 66.33
- ~ GRADE BREAK
- 4966 — EXISTING CONTOUR
- - - 4966 - - - EXISTING CONTOUR
- - - PROPOSED EASEMENT
- 4.00% PROPOSED GRADE
- - - EXISTING WALL
- PROPOSED WALL



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 Fax 505.242.1737

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 10500 COPPER AVENUE
 ALBUQUERQUE, NEW MEXICO 87123

REV	DATE	DESCRIPTION	APVD



IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive 1 Netdrip spiral (50' length) with 3 loops at a final radius of 4.5' from trees trunk, pivoted in place. Netdrip shall have emitters 12" o.c. with a flow of 6 gph. Struts to receive (7) 1/2" GPH Drip Emitters. Drip and Bubblel systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.
 Run time per area thru drip valve will be approximately 15 minutes per day. Tree drip valves shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of correction for irrigation system is upstream at current, line and will be coordinated in the field. Irrigation will be operated by automatic controller.
 Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE NOTES:
 Landscapes maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living healthy and attractive condition.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Plan and the City of Albuquerque Water Conservation Ordinance. Approval of this Plan does not constitute or imply exemption from water conservation provisions of the Water Conservation Landscaping and Water Conservation Ordinance.
 Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code Street Tree Ordinance, Pollen Ordinance and Water Conservation Landscaping and Water Conservation Ordinance. In general, water conservative, environmentally sound landscaping principles will be followed in design and installation.
 Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seeds.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seeds.

LANDSCAPE LEGEND

QTY SIZE COMMON BOTANICAL HQ USE

Trees

3 2'-cal Chinese Parasol 400-35 1275 3675 M.
 Pistacia chinensis

6 2'-cal Honey Locust 500-45 2075 2150 M
 Gleditsia triacanthos

3 6'-8' Austrian Pine 35x25 675 1875 M
 Pinus nigra

11 15' Gal Llandoll Cypress 400-20 400 6800 M
 Cupressocyparis leylandii

6 15' Gal Cape Myrtle 300-20 400 2400 M.
 Lagerstroemia indica

4 4'-6' Palm Yucca 15x6 36 144 M
 Yucca taxifolia

15 15' Gal Oklahoma Seedpod 15x2 144 2160 M
 Cercis reniformis

Shrubs & Groundcovers
 38 5' Gal Total Shade Cover 250-4
 Ilex Halliornis 3x5 25 950 M.
 Ropiniopsis indica
 30 1' Gal Feather Reed grass 15x2 4 120 M.
 Colomatogrostis arundinacea

11 5' Gal Greilleaf Cotoneaster 15x5 25 475 M.
 Cotoneaster glauca

2 5' Gal Butterfly Bush 5x5 25 300 M.
 Buddleia davidii

50 5' Gal Green Rose 7x4 16 576 M.
 Jasminum nudiflorum

39 5' Gal Buffalo Juniper 1x2 144 5616 M.
 Juniperus sibirica 'Buffalo'

11 1' Gal Queen Sage 2x3 9 153 M.
 Salvia greggii

31 1' Gal Blue Mist 3x3 9 279 M.
 Corydalis x clendornensis

34 1' Gal Fern Bush 5x6 36 224 L.
 Chamaebotria millefolium

4 1' Gal Apache Flame 6x1 49 147 L.
 Foliage porotoxox

12 2-3' Gal Chama Chrysothamnus nauseosus 5x1 25 100 L.
 Live Ground Cover 10'x2
 Boulders
 To be placed at contractor discretion

LANDSCAPE CALCULATIONS

Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose

TOTAL LOT AREA (s.f) 68831

TOTAL BUILDING AREA (s.f) 14302

TOTAL LOT AREA (s.f) 54529

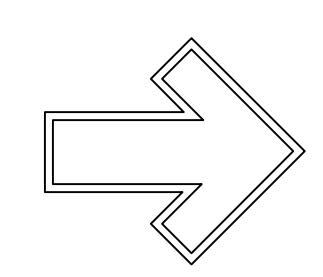
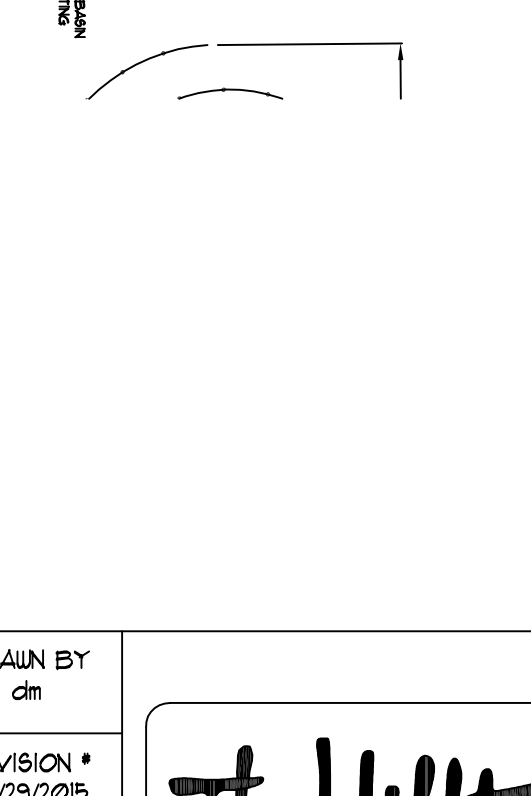
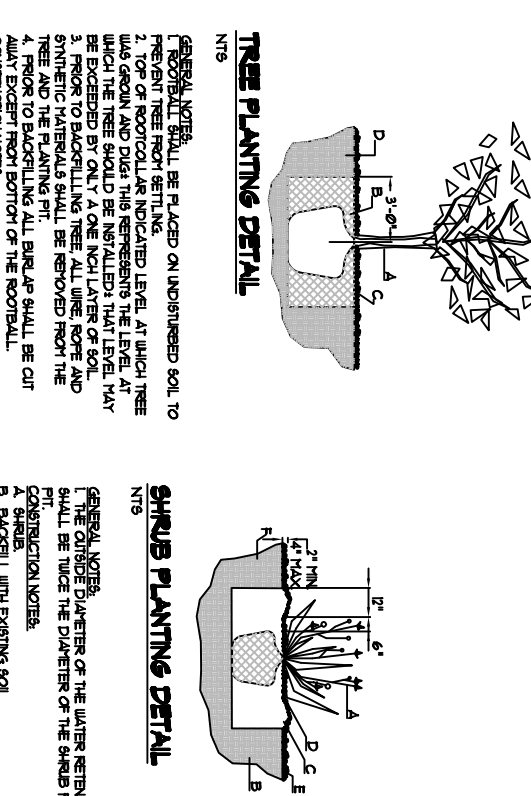
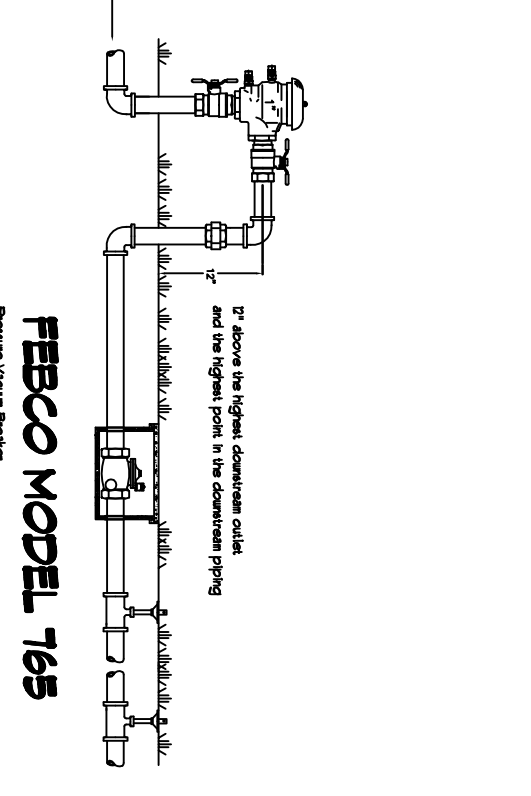
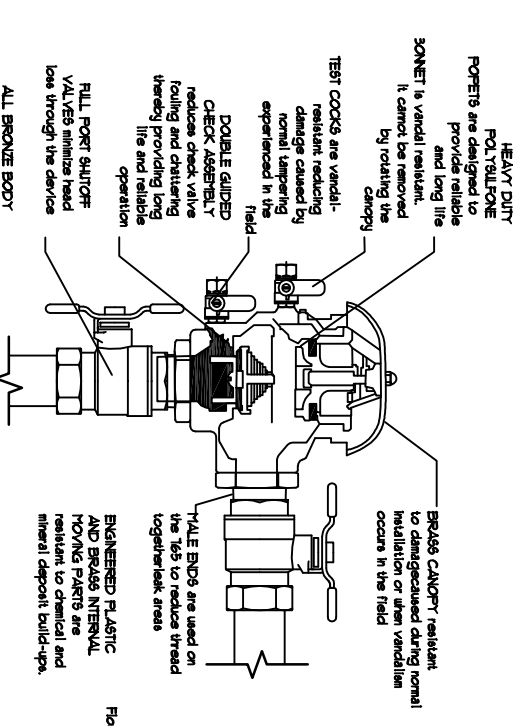
LANDSCAPE REQUIREMENT X 15

TOTAL LANDSCAPE REQUIRED (5%) 8195

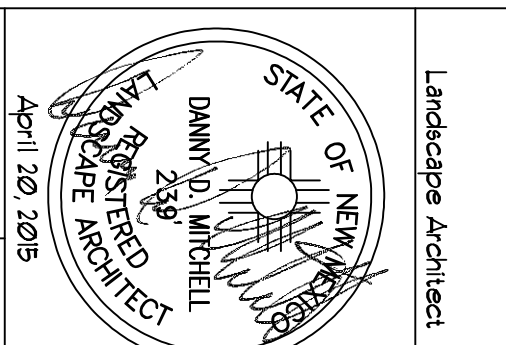
TOTAL ON-SITE LANDSCAPE PROVIDED 1389

TOTAL LIVE PLANT COVER PROVIDED (15%) 1416

TOTAL LIVE PLANT COVER PROVIDED 10742



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 7909 Edith NE.
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 Fax (505) 838-7131
 danny@hilltoplandscaping.com



Holiday Inn Express
 10500 Copper Av. NE
 Albuquerque, NM

LANDSCAPE PLAN

The design contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and may not be released or copied unless applicable fees have been paid or a job order placed.



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 REVISION • 03/23/2015
 1/16/2015
 DATE 04/20/2015

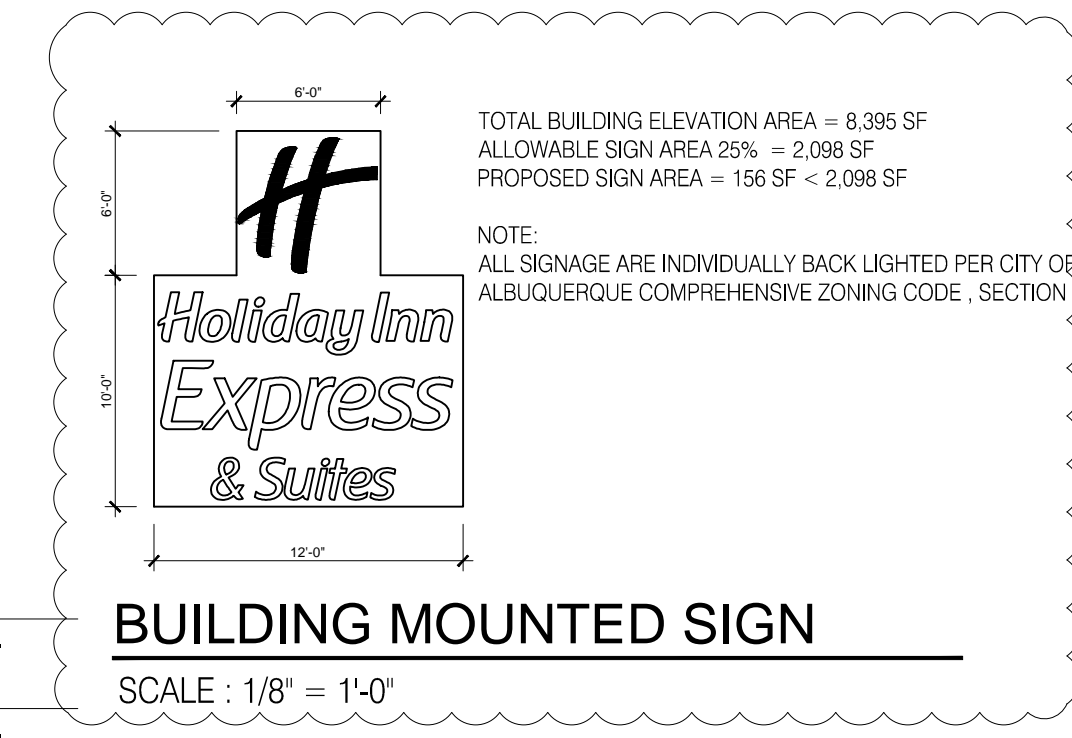
LS-101 SHEET •

KEYED NOTES

1. STAIR TO ROOF.
2. METAL SUN SHADE, CLEAR ANODIZED ALUMINUM.
3. 1/4" STUCCO REGLET.
4. FIRE DEPART MEANT CONNECTION.
5. STANDING SEAM METAL ROOF, METALLIC ZINC COLOR.
6. METAL COPING.
7. ADDRESS 10" HIGH NUMBERS.



1 WEST ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



BUILDING MOUNTED SIGN
SCALE: 1/8" = 1'-0"

NOTE: SIGNAGE REQUIRES A SEPARATE PERMIT

TOTAL BUILDING ELEVATION AREA = 8,395 SF
ALLOWABLE SIGN AREA 25% = 2,098 SF
PROPOSED SIGN AREA = 156 SF < 2,098 SF

NOTE: ALL SIGNAGE ARE INDIVIDUALLY BACK-LIGHTED PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE, SECTION 12.02.01.01

- EIFS - WH (WHITE)
- EIFS - GR (GREY)
- EIFS - DB (DARK BRONZE)
- EIFS - RR (RUSTIC RED)
- EIFS - LS (LIME STONE SANDSTONE)
- STONE 1

BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"

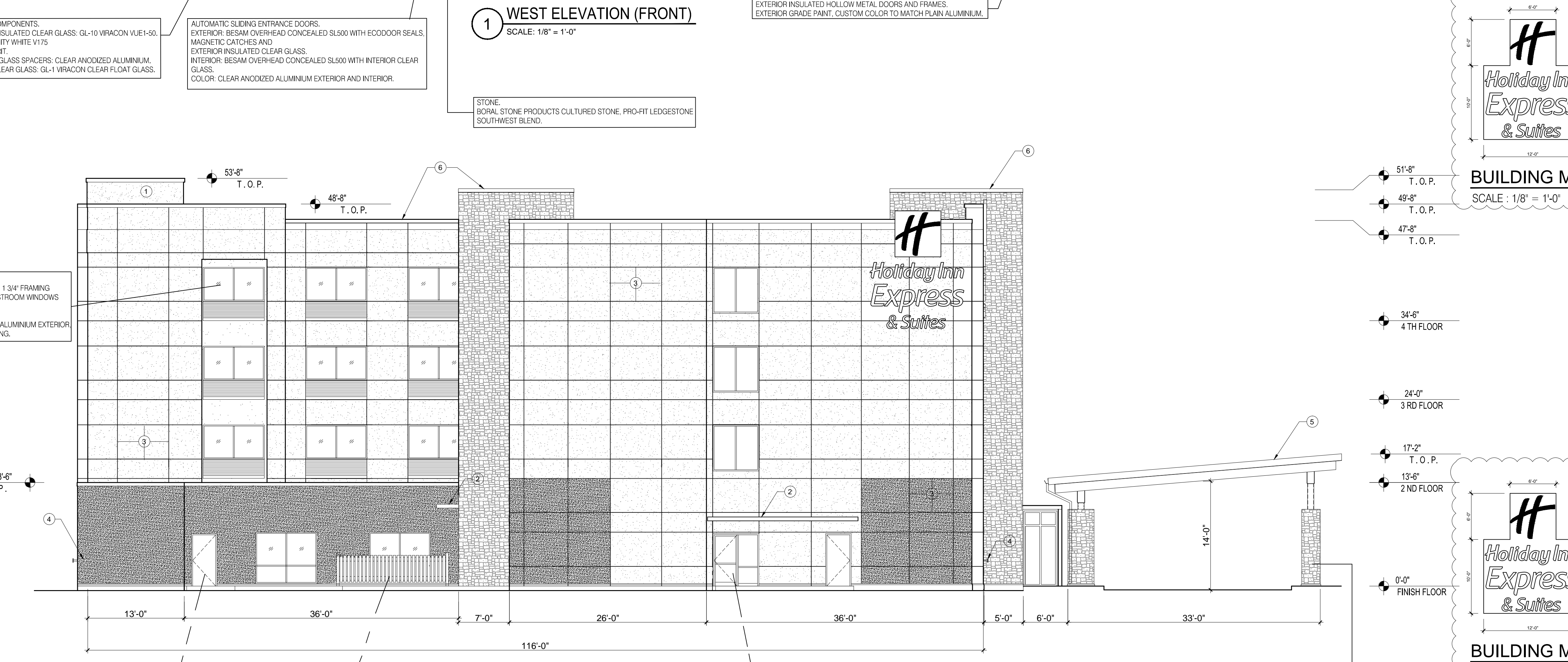
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ALBUQUERQUE, NM

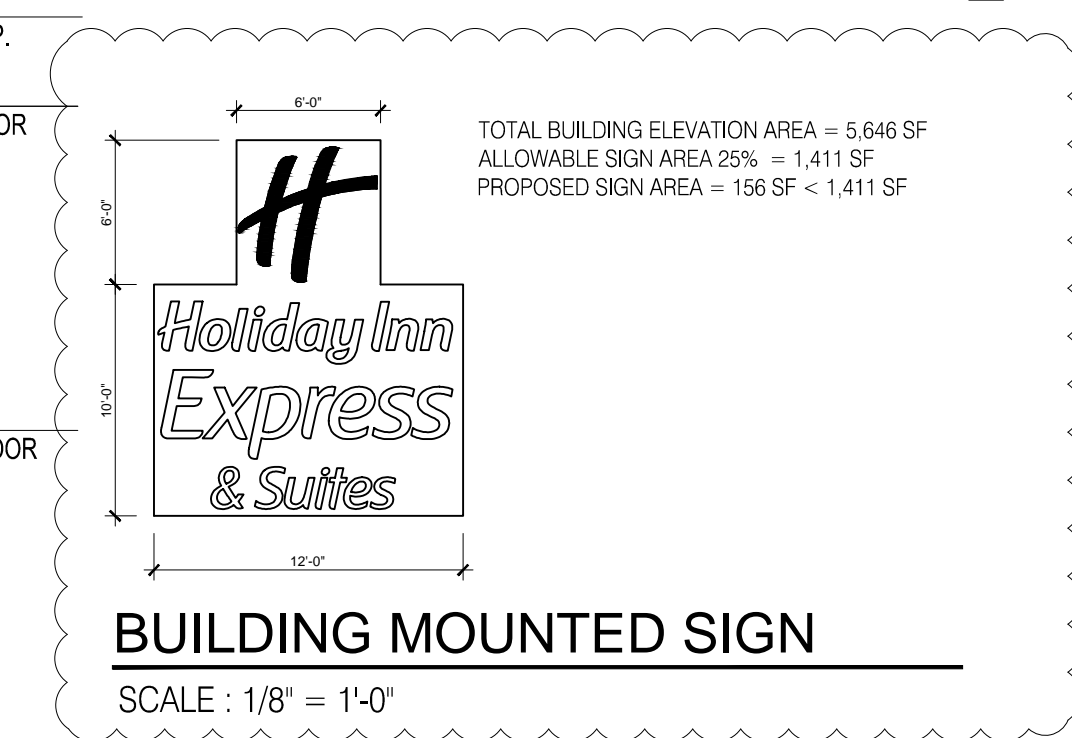
REV	DATE	DESCRIPTION	APVD
1	12/17/2015	SEPARATE SIGN PERMIT	

A200

12/17/2015



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

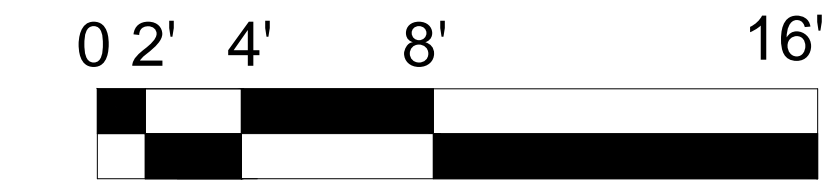


BUILDING MOUNTED SIGN
SCALE: 1/8" = 1'-0"

TOTAL BUILDING ELEVATION AREA = 5,646 SF
ALLOWABLE SIGN AREA 25% = 1,411 SF
PROPOSED SIGN AREA = 156 SF < 1,411 SF

NOTE: ALL SIGNAGE ARE INDIVIDUALLY BACK-LIGHTED PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE, SECTION 12.02.01.01

GRAPHIC SCALE



SCALE: 1/8" = 1'-0"

EXTERIOR WINDOWS. KAWNEER ENCORE 4 1/2" X 1 3/4" FRAMING SYSTEM. ALTERNATE GUESTROOM WINDOWS QUAKER E300 SERIES FW WINDOWS. COLOR: CLEAR ANODIZED ALUMINUM EXTERIOR AND SILL FLASHING.

GUESTROOM EXTERIOR GRILLS. RUSKIN ELF15J THIN LINE STATIONARY LOUVER AND BLANK OFF BACKING PANELS. COLOR: CLEAR ANODIZED ALUMINUM.

SHT MTL-WH. SHEET METAL TYPE COPPING. PAC-CLAD CUSTOM FABRICATED ROOF EDGE FLASHING AND FASCIA. COLOR: BONE WHITE.

GLAZING COMPONENTS. EXTERIOR INSULATED CLEAR GLASS: GL-10 VIRAON VUE1-S0. HIGH-OPACITY WHITE V175 CERAMIC FINIT. INSULATED GLASS SPACERS: CLEAR ANODIZED ALUMINUM. INTERIOR CLEAR GLASS: GL-1 VIRAON CLEAR FLOAT GLASS.

AUTOMATIC SLIDING ENTRANCE DOORS. EXTERIOR: BESAM OVERHEAD CONCEALED SL500 WITH ECODOOR SEALS, MAGNETIC CATCHES AND EXTERIOR INSULATED CLEAR GLASS. INTERIOR: BESAM OVERHEAD CONCEALED SL500 WITH INTERIOR CLEAR GLASS. COLOR: CLEAR ANODIZED ALUMINUM EXTERIOR AND INTERIOR.

STONE. BORAL STONE PRODUCTS CULTURED STONE, PRO-FIT LEDGESTONE SOUTHWEST BLEND.

EXTERIOR INSULATED HOLLOW METAL DOORS AND FRAMES. EXTERIOR GRADE PAINT, CUSTOM COLOR TO MATCH PLAIN ALUMINUM.

EXTERIOR WINDOWS. KAWNEER ENCORE 4 1/2" X 1 3/4" FRAMING SYSTEM. ALTERNATE GUESTROOM WINDOWS QUAKER E300 SERIES FW WINDOWS. COLOR: CLEAR ANODIZED ALUMINUM EXTERIOR AND SILL FLASHING.

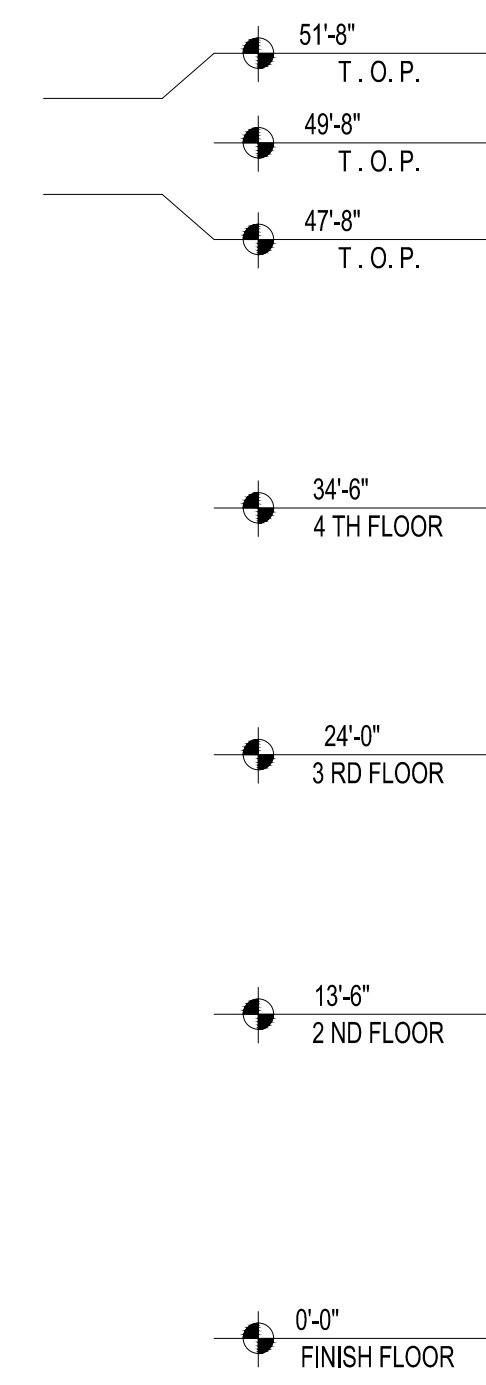
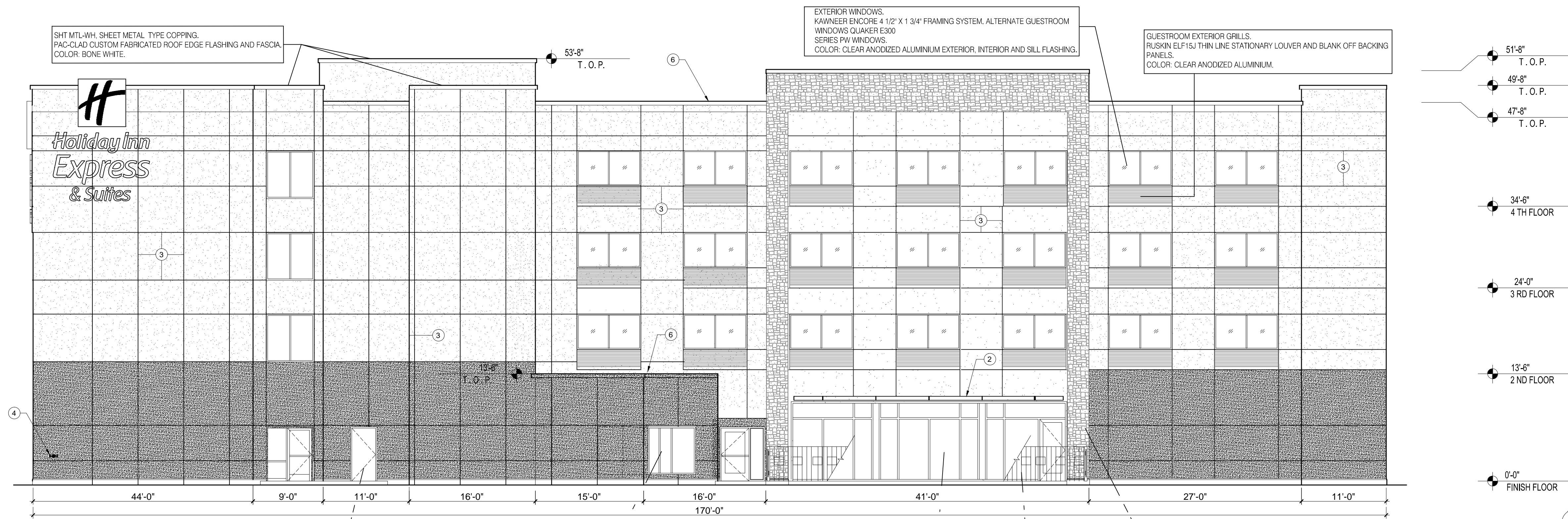
EXTERIOR/INTERIOR STOREFRONT FRAMING AND ENTRANCE SWING DOORS. KAWNEER ENCORE 6" X 1 3/4" FRAMING SYSTEM, INCLUDING 1" THICK INSULATED ALUMINUM METAL. COLOR: CLEAR ANODIZED ALUMINUM EXTERIOR AND INTERIOR.

STONE. BORAL STONE PRODUCTS CULTURED STONE, PRO-FIT LEDGESTONE SOUTHWEST BLEND.

EXTERIOR PATIO FENCE: 4'-0" HIGH FENCE AND 3'-0" GATE. NATURES COMPOSITES TERRAFENCE WITH POSTS AT CORNERS, END AND EVENLY SPACED AT 5'-0" O.C. VERTICAL PICKETS SPACED 1" APART ON 3 HORIZONTAL RAILS. CONTEMPORARY SCHEME COLOR RAVENWOOD OR NATURAL SCHEME COLOR ASPEN GREY.

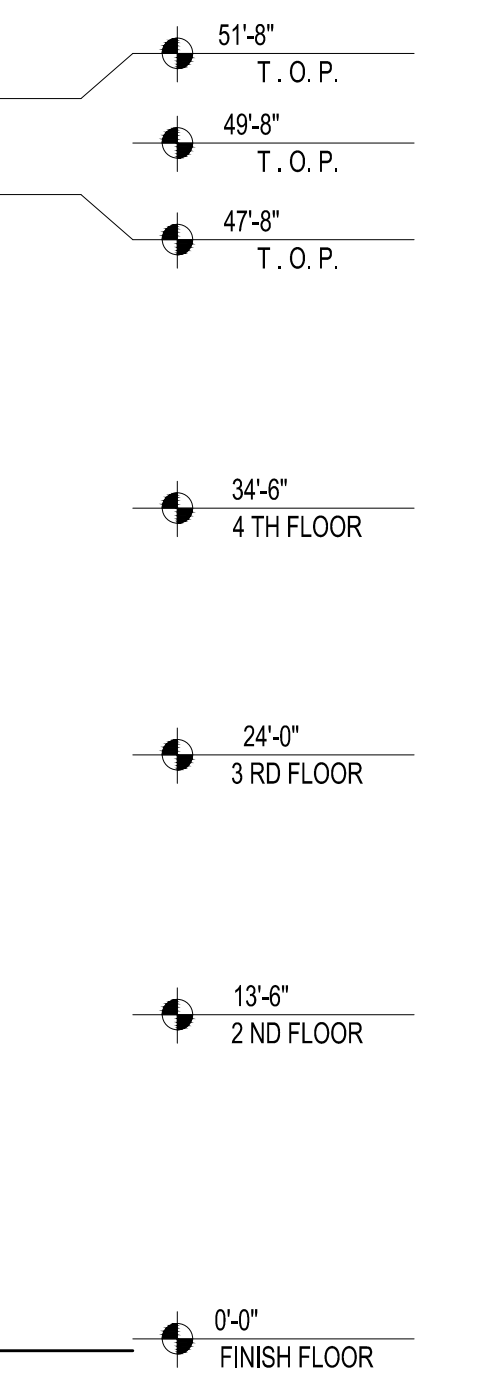
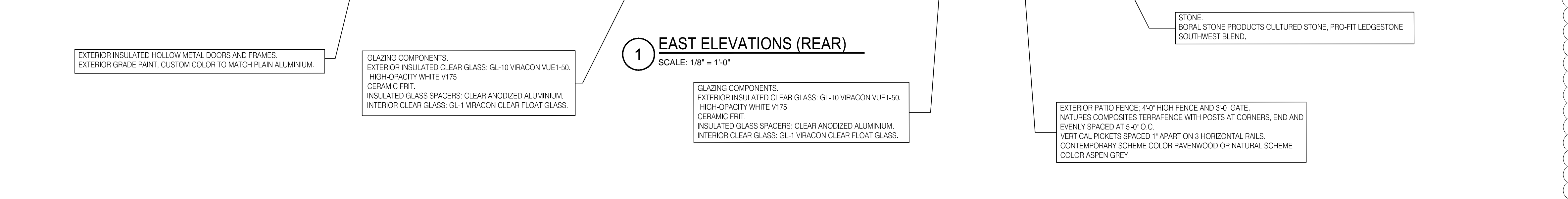
KEYED NOTES

1. STAIR TO ROOF .
2. METAL SUN SHADE , CLEAR ANODIZED ALUMINUM .
3. 1/4" STUCCO REGLET .
4. FIRE DEPART MEANT CONNECTION .
5. STANDING SEAM METAL ROOF , METALLIC ZINC COLOR .
6. METAL COPING .



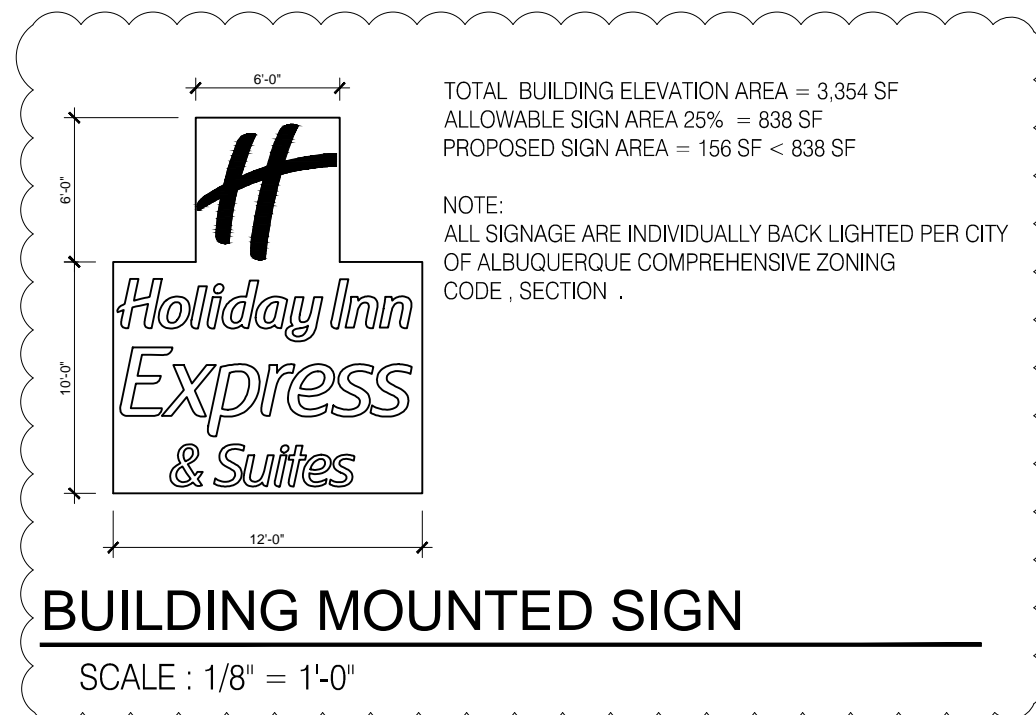
1 EAST ELEVATIONS (REAR)

SCALE: 1/8" = 1'-0"

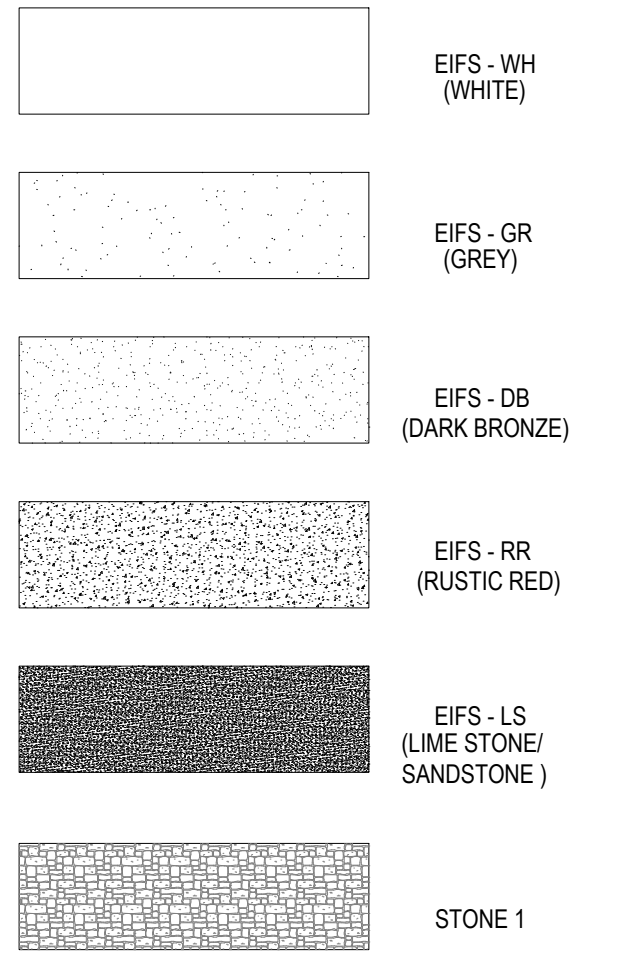


2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NOTE: SIGNAGE REQUIRES A SEPARATE PERMIT



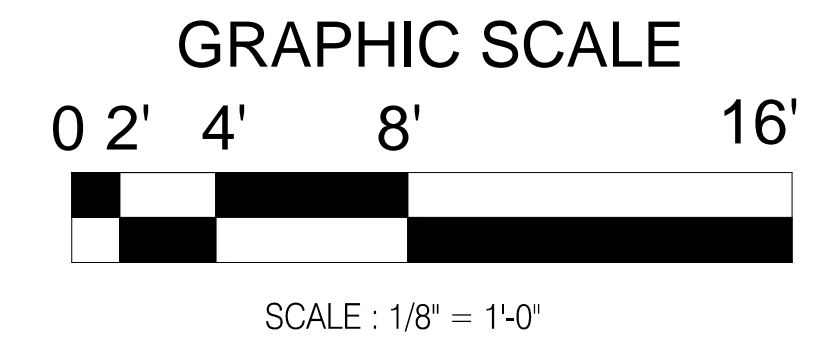
BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"

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HOLIDAY INN EXPRESS
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION	APVD
1	12/17/2015	SEPARATE SIGN PERMIT	



A201
12/17/2015