

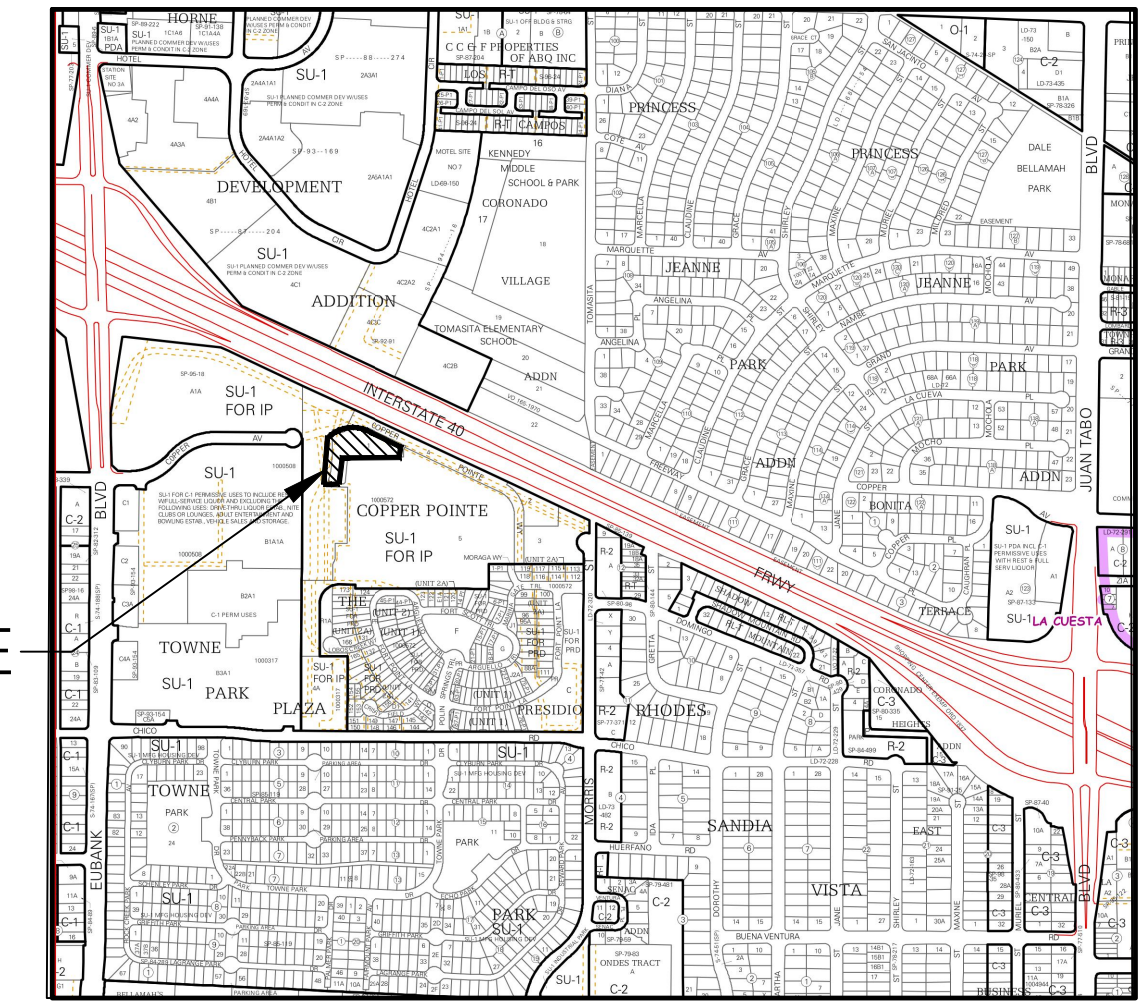
### EASEMENT NOTES

- (A) 10.0' PUBLIC UTILITY EASEMENT 04/30/2013 BK. 2013C, PG. 40
- (B) EXISTING PRIVATE ACCESS & UTILITY EASEMENT FOR THE BENEFIT OF TRACTS 1A, 1B, 2, 3, 4A, 5A, 6, 7, & 8, THE LENKURT PROPERTIES 05/01/2001 BK. 2001C, PG. 124
- (C) 10.0' UTILITY EASEMENT 03/17/1997 BK. 97S, PG. 25
- (D) 5.0' PNM & US WEST EASEMENT 09/04/2001 BK. A24, PG. 2177
- (E) 5.0' X 55.0' ANCHOR EASEMENT 04/13/1999 BK. 99C, PG. 84
- (F) 75.0' DRAINAGE & UTILITY EASEMENT 03/17/1997 BK. 97S, PG. 25
- (G) 20.0' PERMANENT PUBLIC WATERLINE EASEMENT 12/29/2000 BK. A13, PG. 7743
- (H) 10.0' PNM EASEMENT 4/13/1999 BK. 99C, PG. 84
- (I) 10.0' TELEPHONE EASEMENT 10/27/1970 BK. 192, PG. 957 & 02/08/1971 BK. 203, PG. 732
- (J) 20.0' SANITARY SEWER EASEMENT 12/29/2000 BK. A13, PG. 7743
- (K) 25.0' PUBLIC SANITARY SEWER EASEMENT 05/01/2001 BK. 92001C, PG. 124

### SITE VICINITY



MAP NO. K-21



SITE

### PROJECT DATA

**OWNER**  
DAVITA  
2000 16TH STREET, LEVEL 12  
DENVER, COLORADO 80202

**ARCHITECT**  
SEARER, ROBBINS & STEPHENS  
1730 EAST NORTHERN AVENUE, SUITE 124  
PHOENIX, ARIZONA 85020  
(602) 277-1187

**PLANNER/  
LANDSCAPE ARCHITECT**  
CONSENSUS PLANNING, INC.  
302 EIGHTH STREET NW  
ALBUQUERQUE, NEW MEXICO 87102  
(505) 764-9801

**CIVIL ENGINEER**  
MILLER ENGINEERING CONSULTANTS  
3500 COMANCHE NEW, BUILDING F  
ALBUQUERQUE, NEW MEXICO 87107  
(505) 888-7500

**STRUCTURAL ENGINEER**  
CARUSO, TURLEY, SCOTT  
1215 WEST RIO SALADO PARKWAY, STE 200  
TEMPE, ARIZONA 85281  
(480) 774-1700

**MECHANICAL,  
PLUMBING AND  
ELECTRICAL**  
HP ENGINEERING, INC.  
1836 SOUTH BALTIMORE AVENUE, SUITE B  
TULSA, OKLAHOMA 74119  
(918) 895-6510

### SITE DATA

**PROJECT ADDRESS:** 10500 COPPER POINT WAY NE, ALBUQUERQUE, NEW MEXICO

**LEGAL DESCRIPTION:** TRACT NUMBERED ONE-A (1-A) OF THE PLAT OF TRACT 1-A COPPER POINT SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 30, 2013, IN PLAT BOOK 2013C, PAGE 40.

**SITE AREA:** 1.3 AC.

**PROPOSED LAND USE:** SINGLE STORY DIALYSIS TREATMENT CENTER

**BUILDING AREA:** 8180 SQUARE FEET

**CONSTRUCTION TYPE:** VB, FIRE SPRINKLER SYSTEM

**MAXIMUM BUILDING HEIGHT:** 22 FEET.

**ZONING:** SU-2/SU-1 FOR IP

**PARKING REQUIREMENTS:**  
OFFICE: 1 SPACE PER 200 SQUARE FEET

	REQUIRED	PROVIDED
TOTAL PARKING	41 SPACES	41 SPACES
ADA PARKING *	3 SPACES	4 SPACES
MOTORCYCLE PARKING	2 SPACES	2 SPACES
BICYCLE	2 SPACES	4 SPACES

\* ALL VAN ACCESSIBLE

MAXIMUM F.A.R. ALLOWED PER THE COPPER POINT SITE PLAN FOR SUBDIVISION :  
.30 FOR TRACTS 1, 2, 4, AND 5 OVERALL COMBINED.

### KEYNOTES

- 1 "DO NOT ENTER" POSTED SIGN
- 2 PAVEMENT DIRECTIONAL SIGNAGE
- 3 ADA ACCESS AISLE. AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACES SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIE WOULD BE PLACED. (66-1-2-.1 B NMSA 1978)
- 4 ADA ACCESSIBLE PARKING SIGN SHALL READ "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA 1978

### GENERAL NOTES

1. ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA LIGHTING REGULATIONS. PARKING LOT SITE LIGHTING SHALL BE A MAXIMUM 15 FEET AND COMPLY WITH THE COPPER POINT SITE PLAN FOR SUBDIVISION.
2. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
3. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
4. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
5. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
6. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
7. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).
8. ALL SIGNS SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-5 GENERAL SIGN REGULATIONS AND THE COPPER POINT SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN STANDARDS.
9. THE CROSSWALK CROSSING THE DRIVEWAY SHALL BE CLEARLY DEMARCATED WITH COLOR TEXTURED PAVING.
10. ASPHALT SURFACE SHALL BE USED FOR PARKING AREAS AND DRIVE AISLES.
11. ALL BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
12. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN THE CITY RIGHT-OF-WAY AND BUS SHELTER LOCATED WITHIN THE SITE SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2439), RAMPS (2440), CURB CUTS (2426), BUS SHELTER (2535.02), CURB AND GUTTER (2451A).
13. ALL APPLICABLE EAST GATEWAY SECTOR DEVELOPMENT PLAN STANDARDS APPLY AS FOLLOWS:
  - 5.6.1.C.4.A-C PEDESTRIAN AND SITE CIRCULATION AND DESIGN
  - 5.6.4.A.1 LANDSCAPING
  - 5.6.8.1 LIGHTING
  - 5.6.9.1 SIGNAGE
  - 5.6.10.1 UTILITIES
  - 5.6.12.1 BUILDING HEIGHT

**PROJECT NUMBER:** 1000572  
**Application Number:** 16DRB-70314

This Plan is consistent with the specific Site Development Plan approved by the Development Review Board (DRB), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

#### DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*Reginald M. W. Ed*  
Traffic Engineering, Transportation Division  
Date: 10/6/16

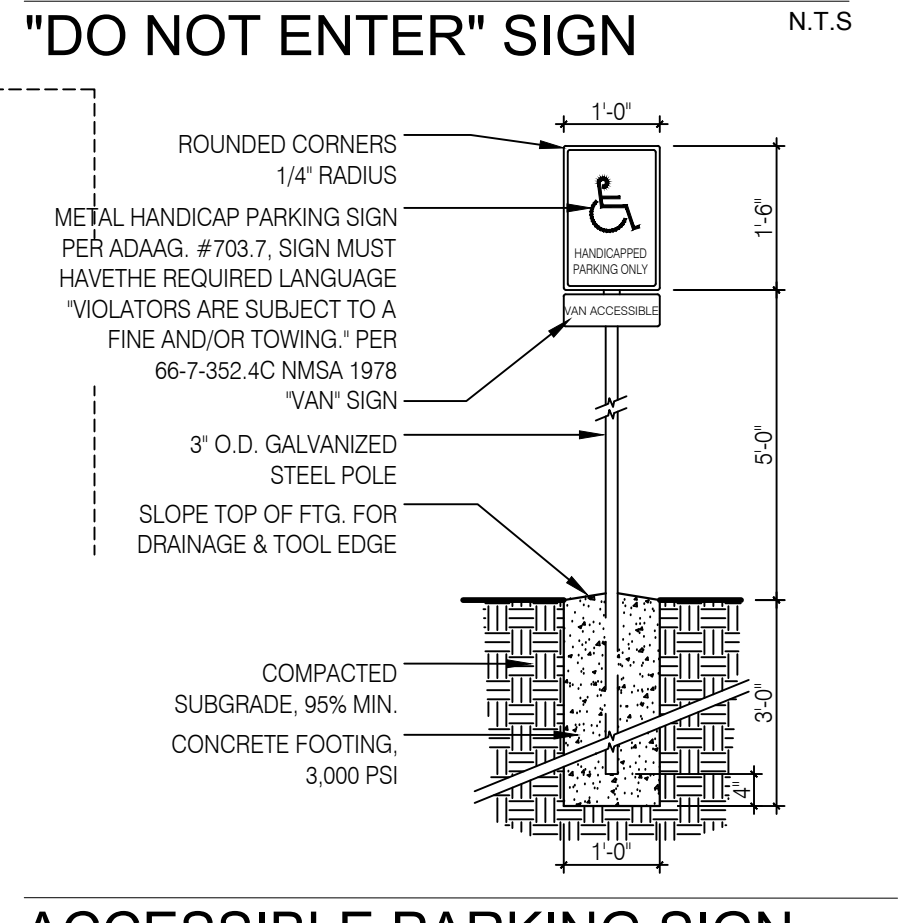
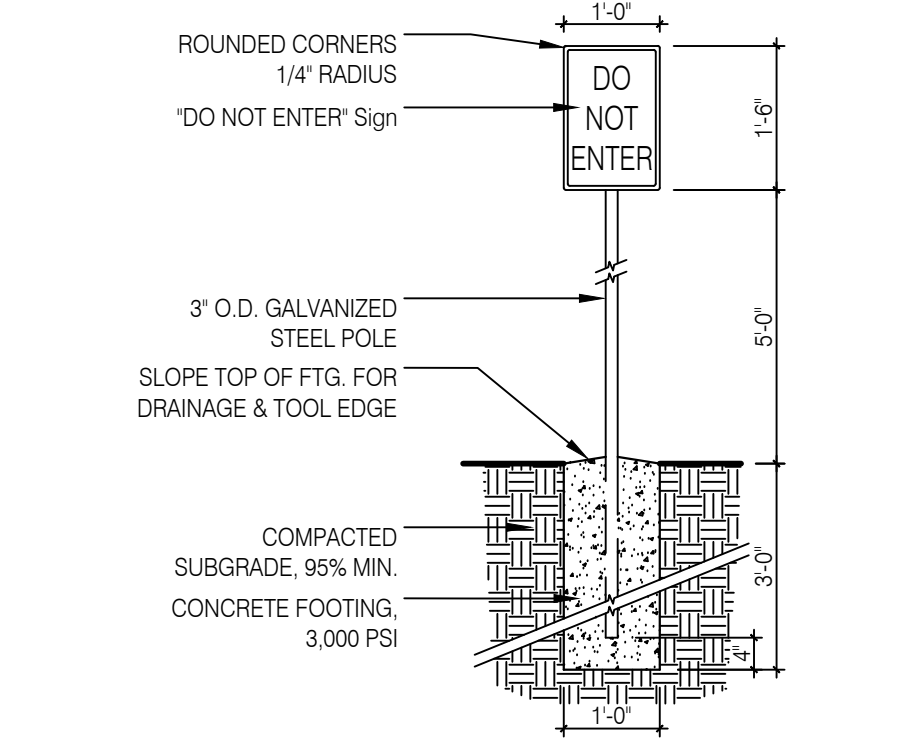
*Kevin Cade*  
ABCWUA  
Date: 07/21/16

*Carol S. Dumont*  
Parks and Recreation Department  
Date: 9-21-16

*[Signature]*  
City Engineer  
Date: 7-21-16

*[Signature]*  
Solid Waste Management  
Date: 9/9/16

*[Signature]*  
DRB Chairperson, Planning Department  
Date: 10-10-16



ACCESSIBLE PARKING SIGN N.T.S.

**MILLER ENGINEERING CONSULTANTS**  
Engineers • Planners

3500 COMANCHE, NE  
ALBUQUERQUE, NM 87107  
(505) 988-7500 (FAX)  
(505) 988-3800 (FAX)  
WWW.MECNM.COM

Designed: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: 8/26/2016

**DAVITA ALBUQUERQUE II**  
CITY OF ALBUQUERQUE, NEW MEXICO

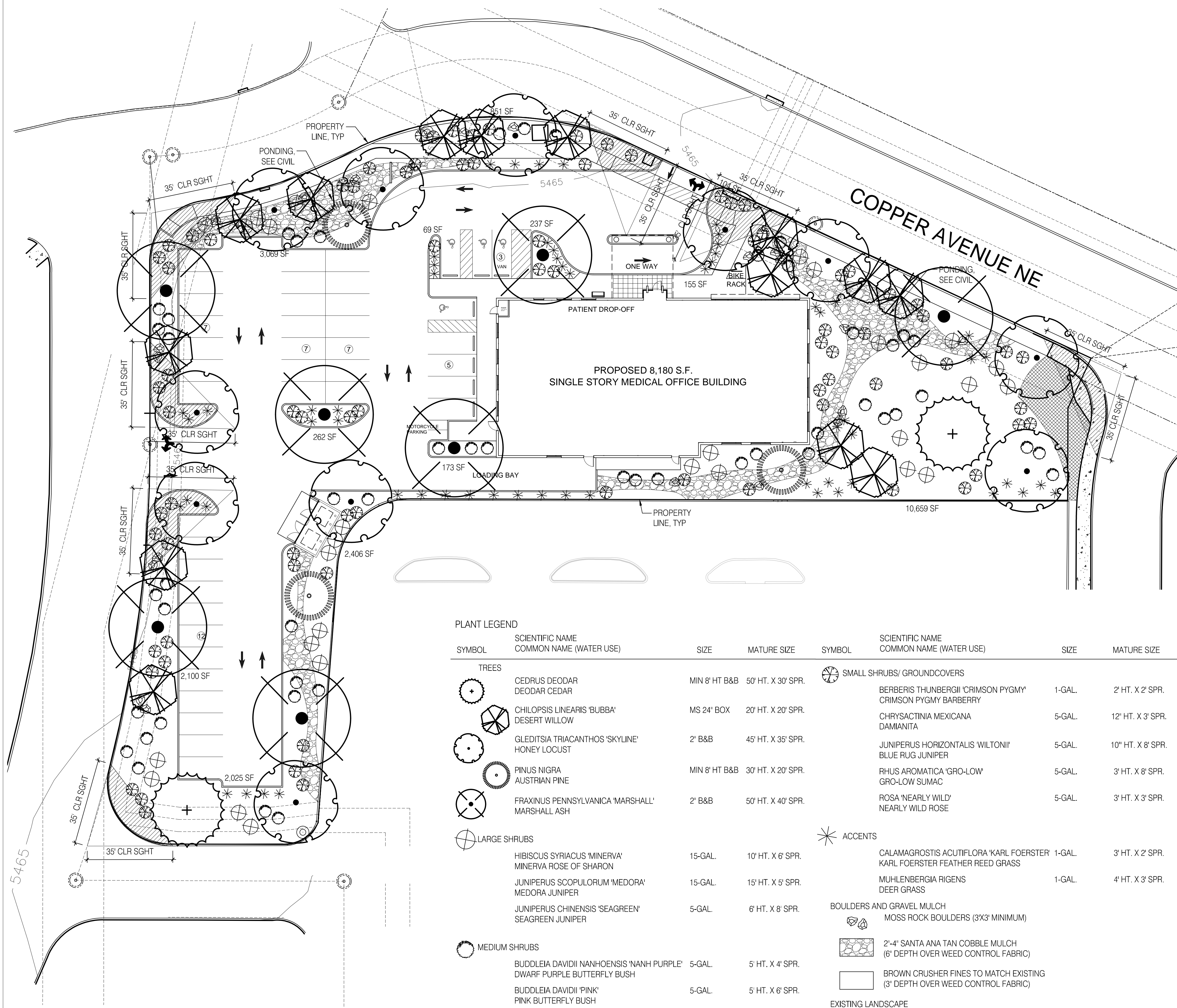
Date	Revision	Description

**Davita**  
Albuquerque II  
at  
10500 Copper Avenue NE  
Albuquerque, New Mexico

SHEET NO.  
**1 of 5**

SCALE: 1" = 20'

**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495



**GENERAL LANDSCAPE NOTES**  
 LANDSCAPE DESIGN  
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH BROWN CRUSHER FINES TO MATCH EXISTING AND 2'-4" SANTA ANA COBBLE MULCH.

**IRRIGATION**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE 1/2 OF WATER PER CYCLE (PEAK SEASON).

**RESPONSIBILITY OF MAINTENANCE**  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING**  
 WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**  
 TOTAL SITE AREA: 58,358 SF (1.33 AC)  
 BUILDING AREA (BUILDING ENVELOPE): 8,180 SF  
 NET AREA: 50,178 SF

**REQUIRED LANDSCAPE AREA (15% OF NET AREA):** 7,526 SF  
**PROVIDED LANDSCAPE AREA:** 22,110 SF (44%)

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL AND A MINIMUM OF 30% COVERAGE OF TOTAL LANDSCAPED AREA TO BE ACHIEVED BY GROUND-LEVEL PLANTS (SHRUBS, GROUND COVER, GRASSES, ETC). THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE IN THE LANDSCAPE AREAS WITH 30% COVERAGE BY GROUND-LEVEL PLANTS.

**LANDSCAPE TURF**  
 ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER USE TURF. NO TURF IS USED.

**PARKING LOT TREES**  
 THE PROJECT IS PROVIDING 41 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

**PARKING LOT TREES REQUIRED:** 4  
**PARKING LOT TREES PROVIDED:** 8

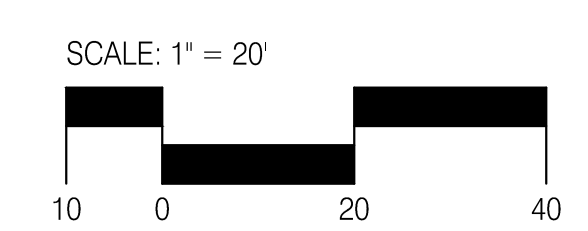
**STREET TREES**  
 PER THE COPPER AVENUE SITE PLAN FOR SUBDIVISION COPPER POINT WAY IS AN EXISTING PRIVATE ROADWAY AND THEREFORE REQUIRES STREET TREES AT AN AVERAGE INTERVAL OF 30 FEET. THE SITE FRONTAGE ALONG COPPER POINT WAY IS 408'

**REQUIRED STREET TREES:** 13  
**PROVIDED STREET TREES:** 13

**PLANT LEGEND**

SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
<b>TREES</b>				<b>SMALL SHRUBS/ GROUNDCOVERS</b>			
	CEDRUS DEODAR DEODAR CEDAR	MIN 8' HT B&B	50' HT. X 30' SPR.		BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	1-GAL.	2' HT. X 2' SPR.
	CHILOPSIS LINEARIS 'BUBBA' DESERT WILLOW	MS 24' BOX	20' HT. X 20' SPR.		CHRYSACTINIA MEXICANA DAMIANITA	5-GAL.	12' HT. X 3' SPR.
	GLEDITSIA TRIACANTHOS 'SKYLINE' HONEY LOCUST	2' B&B	45' HT. X 35' SPR.		JUNIPERUS HORIZONTALIS 'WILTONII' BLUE RUG JUNIPER	5-GAL.	10" HT. X 8' SPR.
	PINUS NIGRA AUSTRIAN PINE	MIN 8' HT B&B	30' HT. X 20' SPR.		RHUS AROMATICA 'GRO-LOW' GRO-LOW SUMAC	5-GAL.	3' HT. X 8' SPR.
	FRAXINUS PENNSYLVANICA 'MARSHALL' MARSHALL ASH	2' B&B	50' HT. X 40' SPR.		ROSA 'NEARLY WILD' NEARLY WILD ROSE	5-GAL.	3' HT. X 3' SPR.
<b>LARGE SHRUBS</b>				<b>ACCENTS</b>			
	HIBISCUS SYRIACUS 'MINERVA' MINERVA ROSE OF SHARON	15-GAL.	10' HT. X 6' SPR.		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	1-GAL.	3' HT. X 2' SPR.
	JUNIPERUS SCOPULORUM 'MEDORA' MEDORA JUNIPER	15-GAL.	15' HT. X 9' SPR.		MUHLENBERGIA RIGENS DEER GRASS	1-GAL.	4' HT. X 3' SPR.
	JUNIPERUS CHINENSIS 'SEAGREEN' SEAGREEN JUNIPER	5-GAL.	6' HT. X 8' SPR.	<b>BOULDERS AND GRAVEL MULCH</b>			
<b>MEDIUM SHRUBS</b>							
	BUDDLEIA DAVIDII 'NANHOENSIS' 'NANH PURPLE' DWARF PURPLE BUTTERFLY BUSH	5-GAL.	5' HT. X 4' SPR.	MOSS ROCK BOULDERS (8'X3' MINIMUM)			
	BUDDLEIA DAVIDII 'PINK' PINK BUTTERFLY BUSH	5-GAL.	5' HT. X 6' SPR.				
	CYTISUS SCOPARIUS 'LENA'S BROOM' LENA'S BROOM	5-GAL.	4' HT. X 4' SPR.	2'-4" SANTA ANA TAN COBBLE MULCH (6" DEPTH OVER WEED CONTROL FABRIC)			
	EPHEDRA VIRIDIS MORMON TEA	5-GAL.	5' HT. X 5' SPR.				
	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	5-GAL.	5' HT. X 5' SPR.	BROWN CRUSHER FINES TO MATCH EXISTING (3" DEPTH OVER WEED CONTROL FABRIC)			
	RHAPHIOLEPIS INDICA 'PINK LADY' PINK LADY INDIAN HAWTHORNE	5-GAL.	6' HT. X 6' SPR.	<b>EXISTING LANDSCAPE</b>			
				EXISTING MULCH AND PLANT MATERIALS TO REMAIN			

NOTE: PER THE COPPER POINT SPS SECTION II. 9, PLANT SPECIES WERE SELECTED FOLLOWING THE COPPER POINT SPS PLANT PALETTE AS A GENERAL GUIDE FOR COPPER POINT. SUBSTITUTIONS WERE MADE DUE TO CURRENT AVAILABILITIES.



**CONSensus PLANNING, INC.**  
 Planning / Landscape Architecture  
 302 Eighth Street NW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495

**MILLER ENGINEERING CONSULTANTS**  
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3500 COMANCHE, NE  
 ALBUQUERQUE, NM 87107  
 (505) 988-7500  
 (505) 988-3800 (FAX)  
 WWW.MECNM.COM

Job #	File	Date
Designed	Drawn	Checked
		8/26/2016

Engineers Stamp

NEW MEXICO  
 BERNALILLO COUNTY

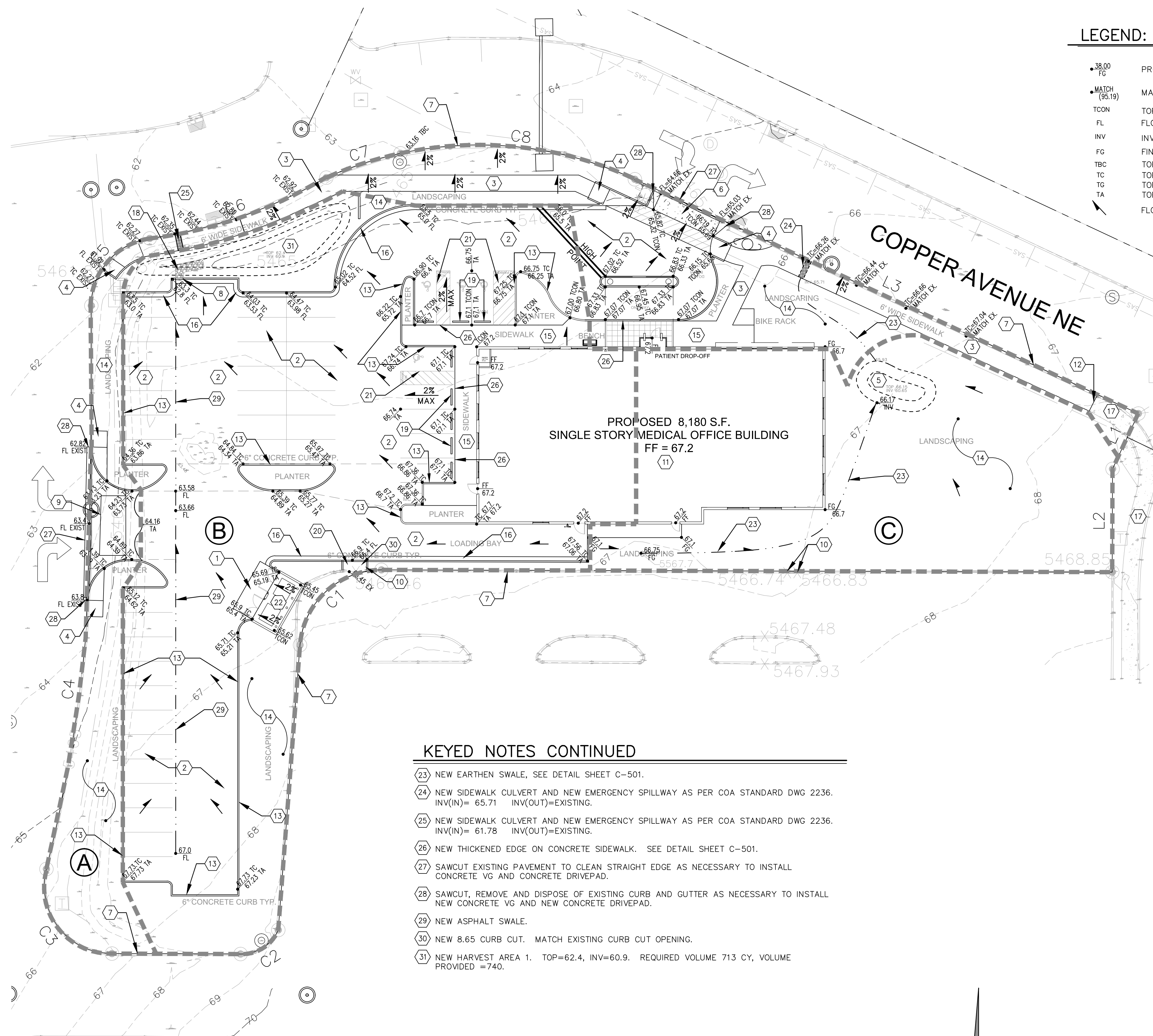
**DAVITA ALBUQUERQUE II**  
 CITY OF ALBUQUERQUE, NEW MEXICO

**LANDSCAPE PLAN**

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**Davita**  
 Albuquerque II  
 at  
 10500 Copper Avenue NE  
 Albuquerque, New Mexico

SHEET NO.  
**2 of 5**



**LEGEND:**

- 38.00 FG PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (95.19) MATCH EXISTING ELEVATIONS
- TC ON TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- FLOW ARROW FLOW ARROW
- GRADE BREAK-HIGH POINT
- SWALE
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

**GRADING AND DRAINAGE NARRATIVE**

THE EXISTING PROPERTY FOR DAVITA ALBUQUERQUE II IS LOCATED AT 10500 COPPER POINT WAY N.E. THE SITE IS ACCESSED FROM THE NORTH AND WEST SIDE FROM COPPER POINT WAY N.E. THE SITE CONSISTS OF A VACANT LOT WITH NO DEVELOPMENT. THERE IS AN EXISTING ROADWAY (COPPER POINT WAY) ON THE NORTH AND WEST SIDE. THERE IS AN EXISTING COMMERCIAL DEVELOPMENT TO THE EAST AND SOUTH SIDE. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE SOUTHEAST TO THE NORTHWEST. THERE ARE EXISTING FLOWS COMING FROM THE DEVELOPMENT TO THE SOUTH. THESE FLOWS ARE ENTERING THE SITE THROUGH TWO EXISTING CURB CUTS ON THE SOUTH END OF THE SITE. THE PROPOSED BUILDING WILL BE CONSTRUCTED NEAR THE CENTER OF THE SITE WITH AN ASPHALT PARKING LOT TO THE NORTH AND WEST OF THE PROPOSED BUILDING.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AND RUNDOWNS ALLOWING STORMWATER INTO PROPOSED WATER HARVESTING AREAS. THIS WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQ'D VOL= (0.33 IN. \* 36000 SF)/12 = 990 CF. PROPOSED WATER HARVEST AREA VOL IS GREATER THAN 1100 CF > 990 CF, AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO WATER HARVEST AREAS IN THE NORTHEAST CORNER OF THE SITE AND THE EASTERN PORTION OF THE SITE.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE AS PER FEMA MAPS.

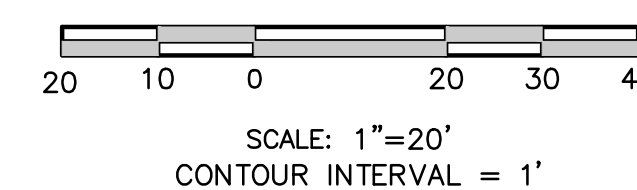
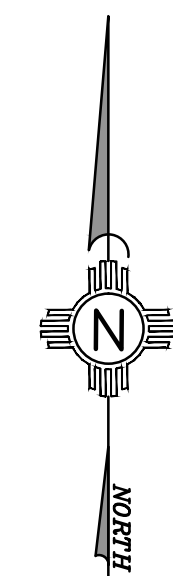
NOTE TO CONTRACTOR: ALL EXISTING UTILITIES THAT ARE BEING AFFECTED BY NEW IMPROVEMENTS ON THIS PROJECT SHALL ADJUST THEM TO GRADE. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AS NECESSARY FOR ALL ADJUSTMENTS TO EXISTING UTILITIES.

**KEYED NOTES:**

- 1 NEW HEAVY DUTY CONCRETE PAVEMENT SECTION. SEE SECTION DETAILS ON ARCHITECTURAL PLANS AND IN THE GEOTECHNICAL REPORT.
- 2 NEW HOT MIX ASPHALT PAVEMENT SECTION. SEE SECTION DETAILS ON SHEET C-502. ALL PARKING STALLS SHALL BE LIGHT DUTY HOT MIX ASPHALT. ALL OTHER ASPHALT SHALL BE HEAVY DUTY HOT MIX ASPHALT.
- 3 NEW CONCRETE SIDEWALK. AS PER COA STANDARD DWG 2430 AND SHEET C-501. CONTRACTOR SHALL SUBMIT A JOINT PATTERN TO THE PROJECT ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 4 NEW TYPE A HANDICAP RAMP, SEE DETAIL ON SHEET C-501.
- 5 NEW WATER HARVEST AREA 2. TOP=66.15, INV=64.65. REQ'D. VOL=122 CY PROVIDED VOL=261 CF. 1 WITH FILTER FABRIC. SEE DETAIL ON SHEET C-501.
- 6 NEW CONCRETE DRIVEPAD. AS PER COA STANDARD DETAIL 2425, DRIVE PAD DOESN'T MEET ADA COMPLIANCE. ADA ACCESS IS LOCATED BEHIND DRIVE PAD AS SHOWN.
- 7 APPROXIMATE LOCATION OF PROPERTY LINE.
- 8 NEW 36" WIDE CURB CUT.
- 9 NEW CONCRETE VALLEY GUTTER. SEE COA STANDARD DWG 2420.
- 10 EXISTING CURB CUTS TO REMAIN.
- 11 NEW BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 12 SAWCUT EXISTING SIDEWALK TO NEAREST CONSTRUCTION JOINT AND MATCH WITH NEW CONCRETE SIDEWALK.
- 13 NEW CONCRETE HEADER CURB. SEE SHEET C-501 FOR DETAILS.
- 14 LANDSCAPE AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 15 NEW CONCRETE SIDEWALK/FLATWORK. SEE SHEET C-501.
- 16 NEW CURB AND GUTTER. MATCH EXISTING CURB AND GUTTER SECTION AND ELEVATIONS. SEE SHEET C-501 FOR DETAILS.
- 17 EXISTING SIDEWALK TO REMAIN
- 18 NEW LOOSE RIP RAP RUNDOWN. SEE DETAIL ON SHEET C-501.
- 19 NEW PARKING BUMPERS, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 20 NEW CONCRETE CHANNEL. SEE SECTION DETAIL ON C-501. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS TO ENSURE POSITIVE DRAINAGE AND LOCATION PRIOR TO CONSTRUCTION.
- 21 NEW HANDICAP PARKING WITH PARKING BUMPER, PAINTED MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE MUTCD. CONTRACTOR SHALL SUBMIT A PAVEMENT MARKING LAYOUT TO PROJECT ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
- 22 NEW TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.

**KEYED NOTES CONTINUED**

- 23 NEW EARTHEN SWALE. SEE DETAIL SHEET C-501.
- 24 NEW SIDEWALK CULVERT AND NEW EMERGENCY SPILLWAY AS PER COA STANDARD DWG 2236. INV(IN)= 65.71 INV(OUT)=EXISTING.
- 25 NEW SIDEWALK CULVERT AND NEW EMERGENCY SPILLWAY AS PER COA STANDARD DWG 2236. INV(IN)= 61.78 INV(OUT)=EXISTING.
- 26 NEW THICKENED EDGE ON CONCRETE SIDEWALK. SEE DETAIL SHEET C-501.
- 27 SAWCUT EXISTING PAVEMENT TO CLEAN STRAIGHT EDGE AS NECESSARY TO INSTALL CONCRETE VG AND CONCRETE DRIVEPAD.
- 28 SAWCUT, REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER AS NECESSARY TO INSTALL NEW CONCRETE VG AND NEW CONCRETE DRIVEPAD.
- 29 NEW ASPHALT SWALE.
- 30 NEW 8.65 CURB CUT. MATCH EXISTING CURB CUT OPENING.
- 31 NEW HARVEST AREA 1. TOP=62.4, INV=60.9. REQUIRED VOLUME 713 CY, VOLUME PROVIDED = 740.



**A1 GRADING AND DRAINAGE PLAN**

SCALE: 1"=20'

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ALBUQUERQUE, NM 87107  
(505)888-7500  
(505)888-3800 (FAX)  
WWW.MECNM.COM

Job # 16-026  
File RA C-101  
Date 8-24-16

Designed JML  
Drawn RA  
Checked VAM



NEW MEXICO  
BERNALILLO COUNTY

**DAVITA ALBUQUERQUE II**  
CITY OF ALBUQUERQUE, NEW MEXICO

**GRADING AND DRAINAGE PLAN**

Date	Revision	Description

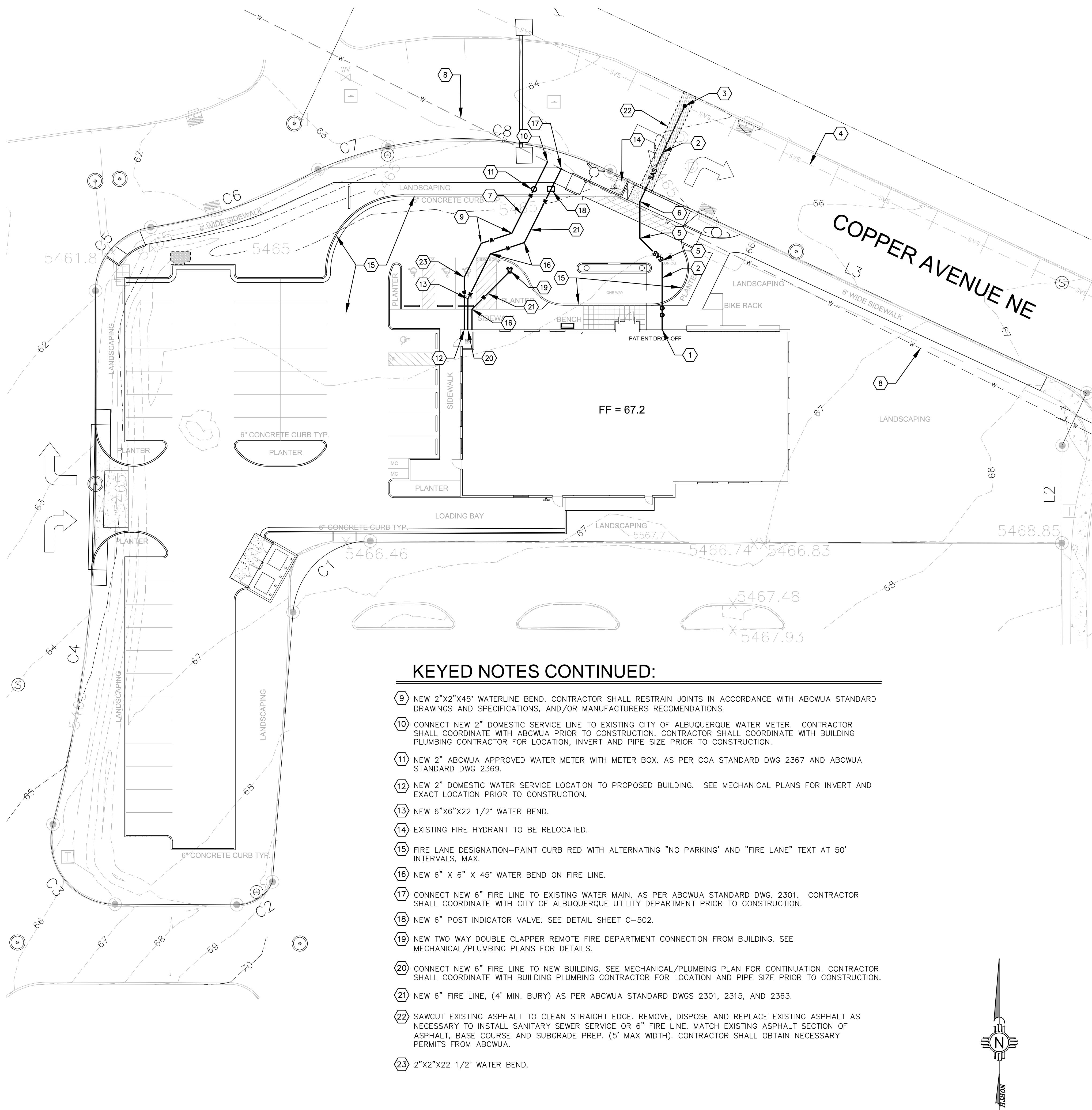
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**Davita**  
Albuquerque II  
at  
10500 Copper Point Way NE  
Albuquerque, New Mexico

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Engineers • Planners  
3500 COMANCHE, NE  
ALBUQUERQUE, NM 87107  
(505)888-7500  
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**SHEET NO.**  
**C-101**

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**LEGEND:**

- W — PROPOSED WATER SERVICE LINE
- S — PROPOSED SANITARY SEWER LINE
- W — EXISTING WATER SERVICE LINE
- S — EXISTING SANITARY SEWER LINE
- PROPOSED CLEANOUT
- Ⓜ PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE

**GENERAL SHEET NOTES**

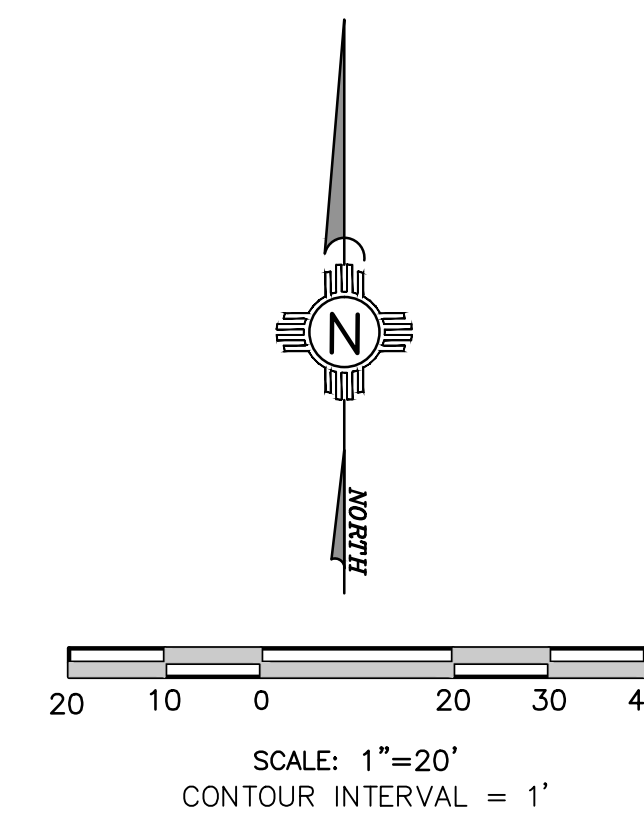
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8, INCLUDING AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (811) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. IF A CONFLICT BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES EXISTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CITY OF ALBUQUERQUE TRAFFIC DEPARTMENT A DETAILED CONSTRUCTION SCHEDULE AND TRAFFIC CONTROL PLAN. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEER. CONTRACTOR SHALL NOTIFY THE CITY OF ALBUQUERQUE TRAFFIC ENGINEER (848-1500) PRIOR TO OCCUPYING AN INTERSECTION OR PERFORMING CONSTRUCTION ON A ROADWAY.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [http://abcwua.org/Water\\_Main\\_Shutoff.aspx](http://abcwua.org/Water_Main_Shutoff.aspx).
12. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650, SUBPART P.
13. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING AND TRAFFIC CONTROL SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
15. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, HANDICAP RAMPS AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER CITY OF ALBUQUERQUE STANDARD, AT THEIR OWN EXPENSE.
16. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM ABCWUA (WATER UTILITY AUTHORITY), AND CITY OF ALBUQUERQUE INCLUDING, BUT NOT LIMITED TO, THE STREET EXCAVATION PERMIT PRIOR TO CONSTRUCTION. THE PREFERRED BMP IS TO REMOVE SEDIMENT/POLLUTANTS ON THE PROPERTY WHERE CONSTRUCTION ACTIVITY IS OCCURRING.
17. ALL WATERLINE PIPE SHALL BE C-900 PVC.
18. ALL SANITARY SEWERLINE PIPE SHALL BE SDR-35 PVC.
19. CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER AND THE ABCWUA FOR REVIEW PRIOR TO CONSTRUCTION.
20. CONTRACTOR SHALL USE RESTRAINED JOINTS AS NECESSARY PER RESTRAINED JOINT MANUFACTURERS RECOMMENDATIONS.
21. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY COMPONENTS TO GRADE AS NECESSARY, PER ABCWUA STANDARD DRAWINGS AND DETAILS.
22. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
23. MAINTENANCE OF THE WATER AND SANITARY SEWER UTILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.

**KEYED NOTES CONTINUED:**

9. NEW 2"x2"x45" WATERLINE BEND. CONTRACTOR SHALL RESTRAIN JOINTS IN ACCORDANCE WITH ABCWUA STANDARD DRAWINGS AND SPECIFICATIONS, AND/OR MANUFACTURERS RECOMMENDATIONS.
10. CONNECT NEW 2" DOMESTIC SERVICE LINE TO EXISTING CITY OF ALBUQUERQUE WATER METER. CONTRACTOR SHALL COORDINATE WITH ABCWUA PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH BUILDING PLUMBING CONTRACTOR FOR LOCATION, INVERT AND PIPE SIZE PRIOR TO CONSTRUCTION.
11. NEW 2" ABCWUA APPROVED WATER METER WITH METER BOX. AS PER COA STANDARD DWG 2367 AND ABCWUA STANDARD DWG 2369.
12. NEW 2" DOMESTIC WATER SERVICE LOCATION TO PROPOSED BUILDING. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION.
13. NEW 6"x6"x22 1/2" WATER BEND.
14. EXISTING FIRE HYDRANT TO BE RELOCATED.
15. FIRE LANE DESIGNATION—PAINT CURB RED WITH ALTERNATING "NO PARKING" AND "FIRE LANE" TEXT AT 50' INTERVALS, MAX.
16. NEW 6" X 6" X 45" WATER BEND ON FIRE LINE.
17. CONNECT NEW 6" FIRE LINE TO EXISTING WATER MAIN. AS PER ABCWUA STANDARD DWG. 2301. CONTRACTOR SHALL COORDINATE WITH CITY OF ALBUQUERQUE UTILITY DEPARTMENT PRIOR TO CONSTRUCTION.
18. NEW 6" POST INDICATOR VALVE. SEE DETAIL SHEET C-502.
19. NEW TWO WAY DOUBLE CLAPPER REMOTE FIRE DEPARTMENT CONNECTION FROM BUILDING. SEE MECHANICAL/PLUMBING PLANS FOR DETAILS.
20. CONNECT NEW 6" FIRE LINE TO NEW BUILDING. SEE MECHANICAL/PLUMBING PLAN FOR CONTINUATION. CONTRACTOR SHALL COORDINATE WITH BUILDING PLUMBING CONTRACTOR FOR LOCATION AND PIPE SIZE PRIOR TO CONSTRUCTION.
21. NEW 6" FIRE LINE, (4' MIN. BURY) AS PER ABCWUA STANDARD DWGS 2301, 2315, AND 2363.
22. SAWCUT EXISTING ASPHALT TO CLEAN STRAIGHT EDGE. REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT AS NECESSARY TO INSTALL SANITARY SEWER SERVICE OR 6" FIRE LINE. MATCH EXISTING ASPHALT SECTION OF ASPHALT, BASE COURSE AND SUBGRADE PREP. (5' MAX WIDTH). CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM ABCWUA.
23. 2"x2"x22 1/2" WATER BEND.

**KEYED NOTES:**

1. CONNECT NEW 4" SANITARY SEWER SERVICE TO SERVICE FROM PROPOSED BUILDING AND DOUBLE CLEANOUTS. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH BUILDING PLUMBING CONTRACTOR FOR LOCATION, INVERT AND PIPE SIZE PRIOR TO CONSTRUCTION.
2. NEW 4" SANITARY SEWER SERVICE LINE. MIN. SLOPE = 2.0% AS PER COA STANDARD DWG 2125.
3. CONNECT NEW 4" SANITARY SEWER LINE TO EXISTING SANITARY SEWER MAIN AS PER COA STANDARD DWG. CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION AND COORDINATE WITH ABCWUA PRIOR TO CONSTRUCTION.
4. EXISTING SANITARY SEWER MAIN TO REMAIN IN PLACE.
5. NEW 4"x4"x45" SANITARY SEWER BEND WITH DOUBLE CLEANOUT. SEE DETAIL SHEET C-502.
6. NEW 4"x4"x22 1/2" SANITARY BEND.
7. NEW 2" DOMESTIC WATER SERVICE LINE. AS PER ABCWUA STANDARD DWG 2301, 2315, 2363. (4' MIN BURY).
8. EXISTING WATERLINE TO REMAIN IN PLACE.

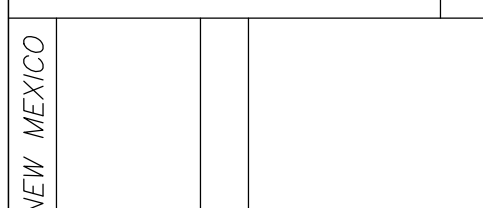


**A2** SITE UTILITY PLAN  
SCALE: 1" = 20'

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Engineers • Planners  
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BUILDING  
ALBUQUERQUE, NM 87107  
(505) 888-7500  
(505) 888-3800 (FAX)  
WWW.MECON.COM

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Engineers • Planners  
3000 COMANCHE, NE  
BUILDING  
ALBUQUERQUE, NM 87107  
(505) 888-7500  
(505) 888-3800 (FAX)  
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Designed JMU Job # 16-026  
Drawn RA File C-102  
Checked VAM Date 10-4-16  
Engineers Stamp



NEW MEXICO  
BERNALILLO COUNTY  
DAVITA ALBUQUERQUE II  
CITY OF ALBUQUERQUE, NEW MEXICO  
SITE UTILITY PLAN

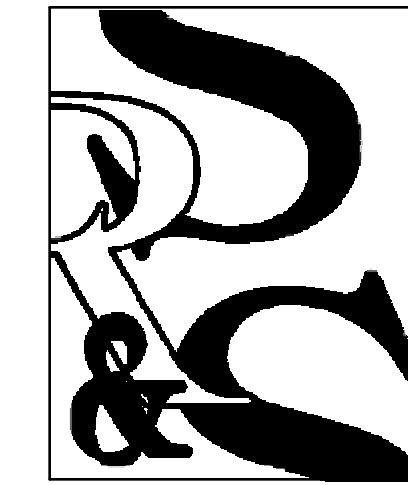
Date	Revision	Description

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**Davita**  
at  
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10500 Copper Point Way NE  
Albuquerque, New Mexico

**SHEET NO.**  
**C-102**

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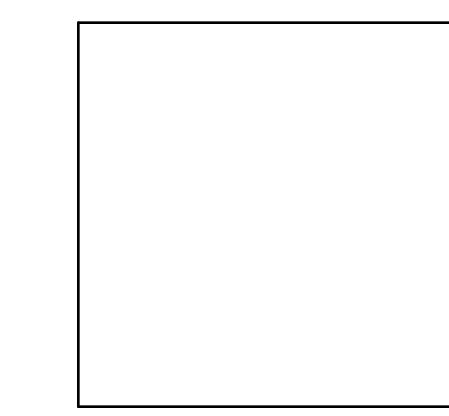


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 1730 EAST NORTHERN AVENUE, SUITE 124, PHOENIX, ARIZONA 85020 (602) 277-1187 FAX: (602) 277-9879

**EXTERIOR ELEVATIONS**

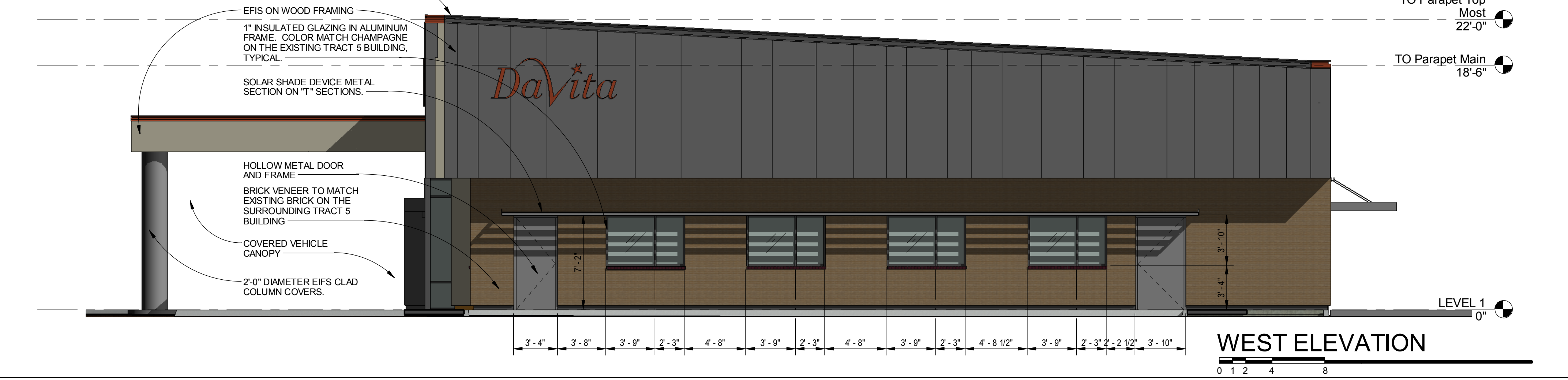
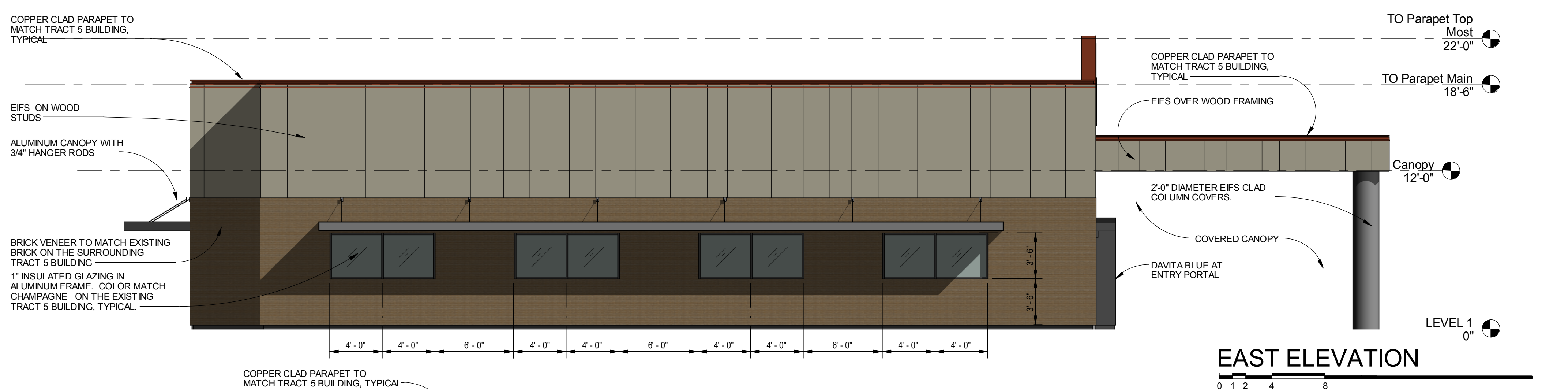
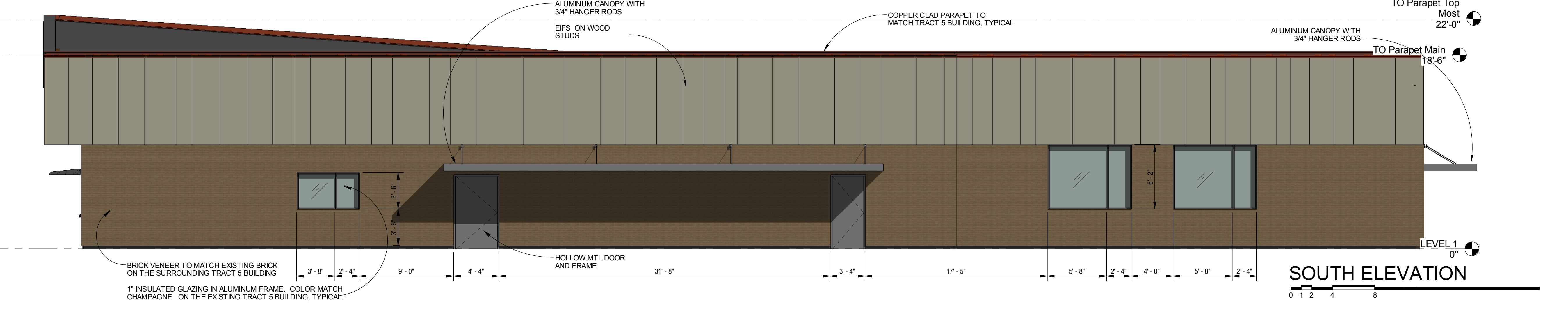
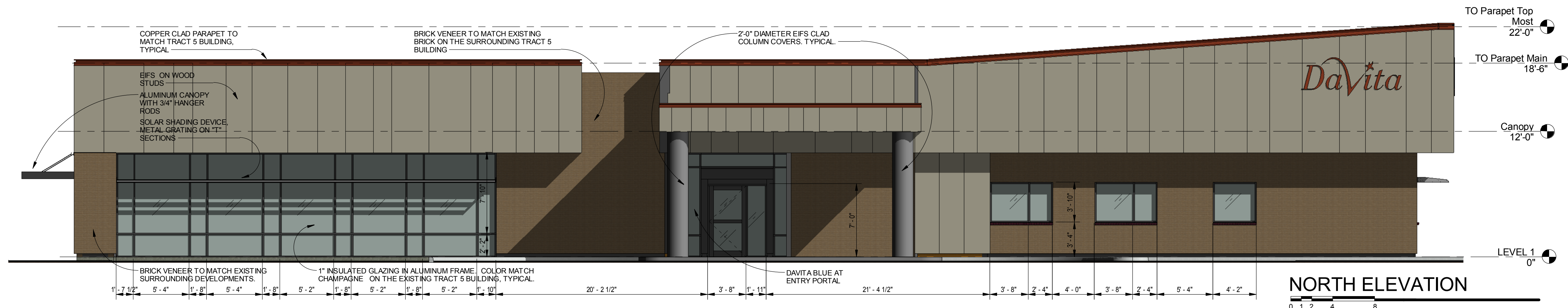
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 DATE 9/2/16

REVISIONS



**Davita.**  
 Albuquerque II Dialysis Center  
 at  
 10505 Copper Avenue, NE  
 Albuquerque, NM

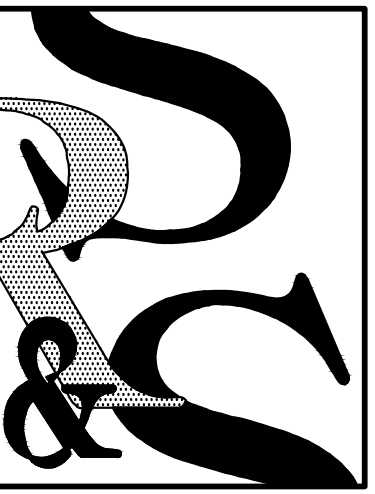
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**PR-102**



**EIFS COLORS TO BE BY STO AS FOLLOWS:**

- LIMESTONE 2088
- LIMESTONE 93860
- LIMESTONE 93440
- LIMESTONE SW61521
- LIMESTONE SW6152
- LIMESTONE SW7034

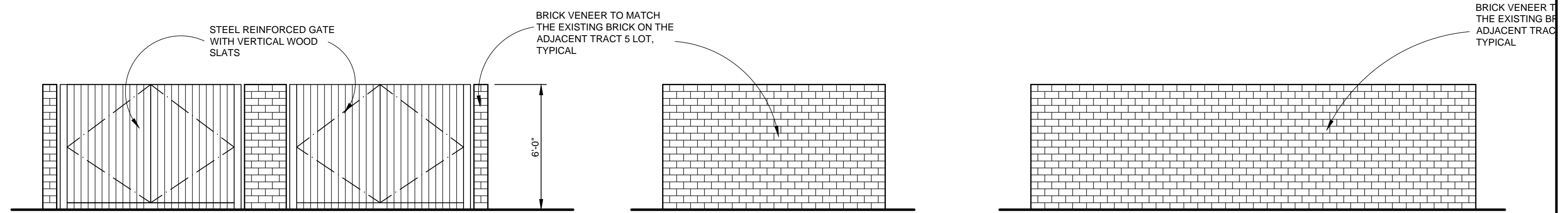
**NOTE:**  
 NO ROOFTOP EQUIPMENT SHALL BE VISIBLE ABOVE PARAPET LINES



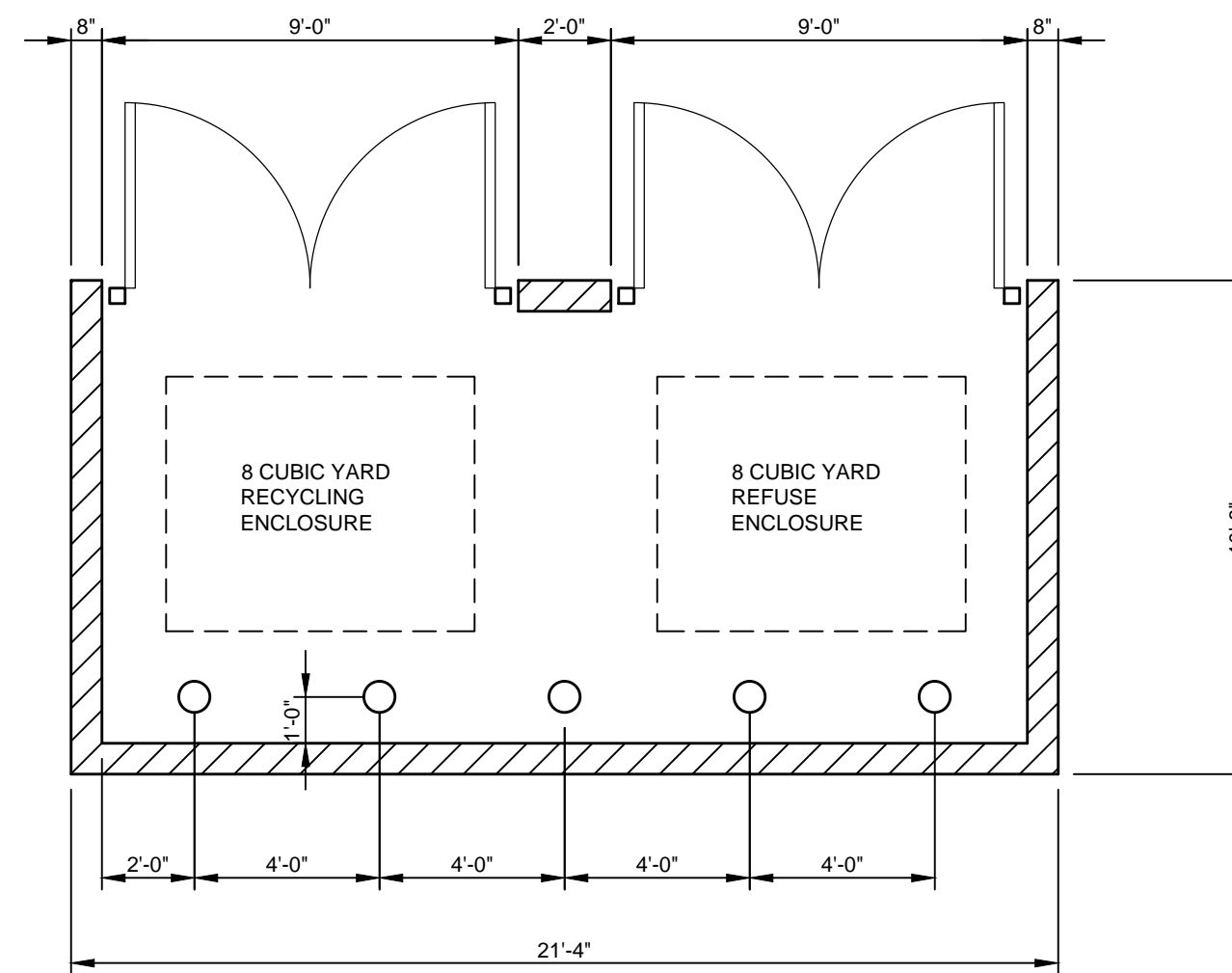
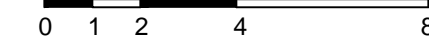
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**REFUSE AND SIGN DETAILS**

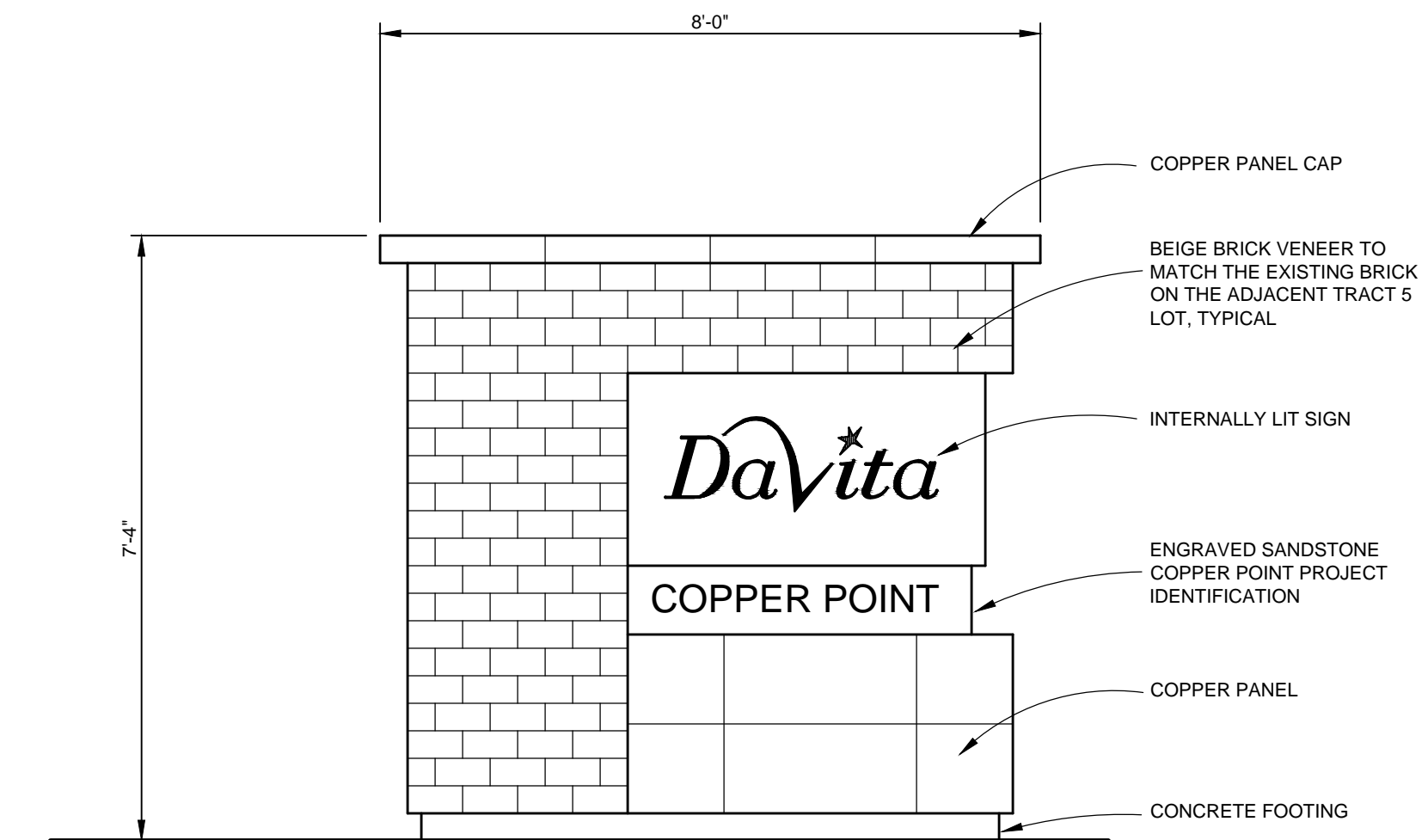
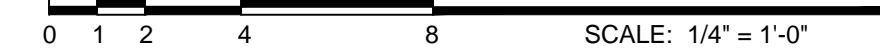
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**REFUSE ELEVATIONS**



**REFUSE PLAN**



**MONUMENT SIGN ELEVATION**



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 at  
 10505 Copperpoint Way NE  
 Albuquerque, New Mexico

SHEET NO.  
**Details**