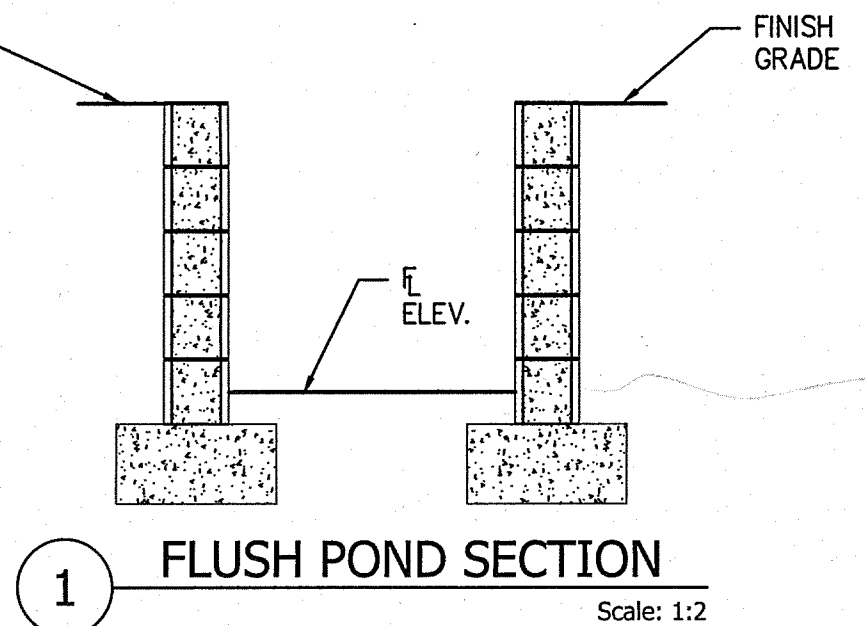
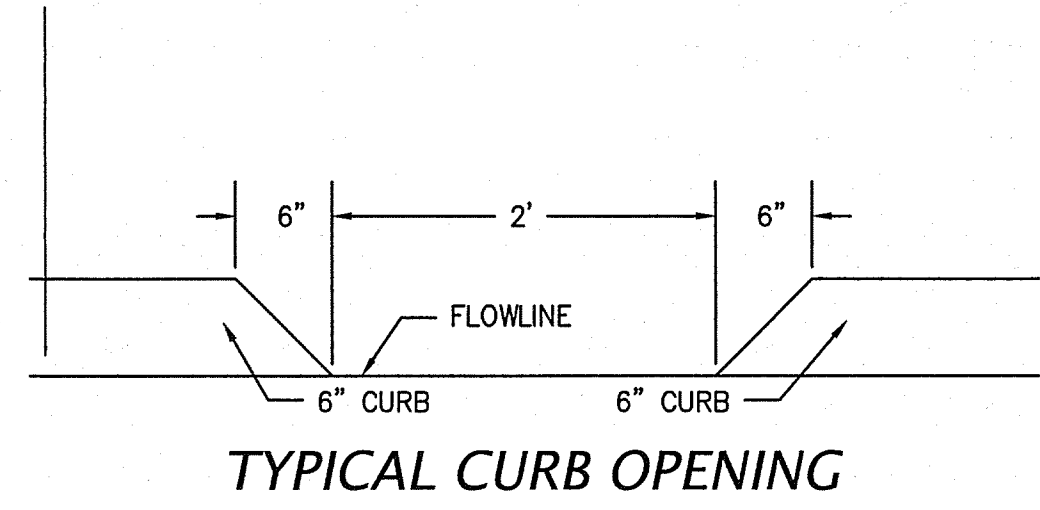


TRACT H-1
THE PRESIDIO UNIT 2



NOTES
THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:

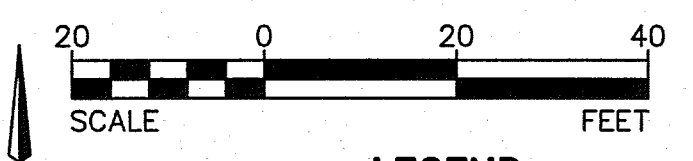
- ALL WORK IN CITY RIGHT OF WAY WILL REQUIRE CITY WORK ORDER SUBMITTAL.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
- THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
- THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEDED OR LANDSCAPED.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

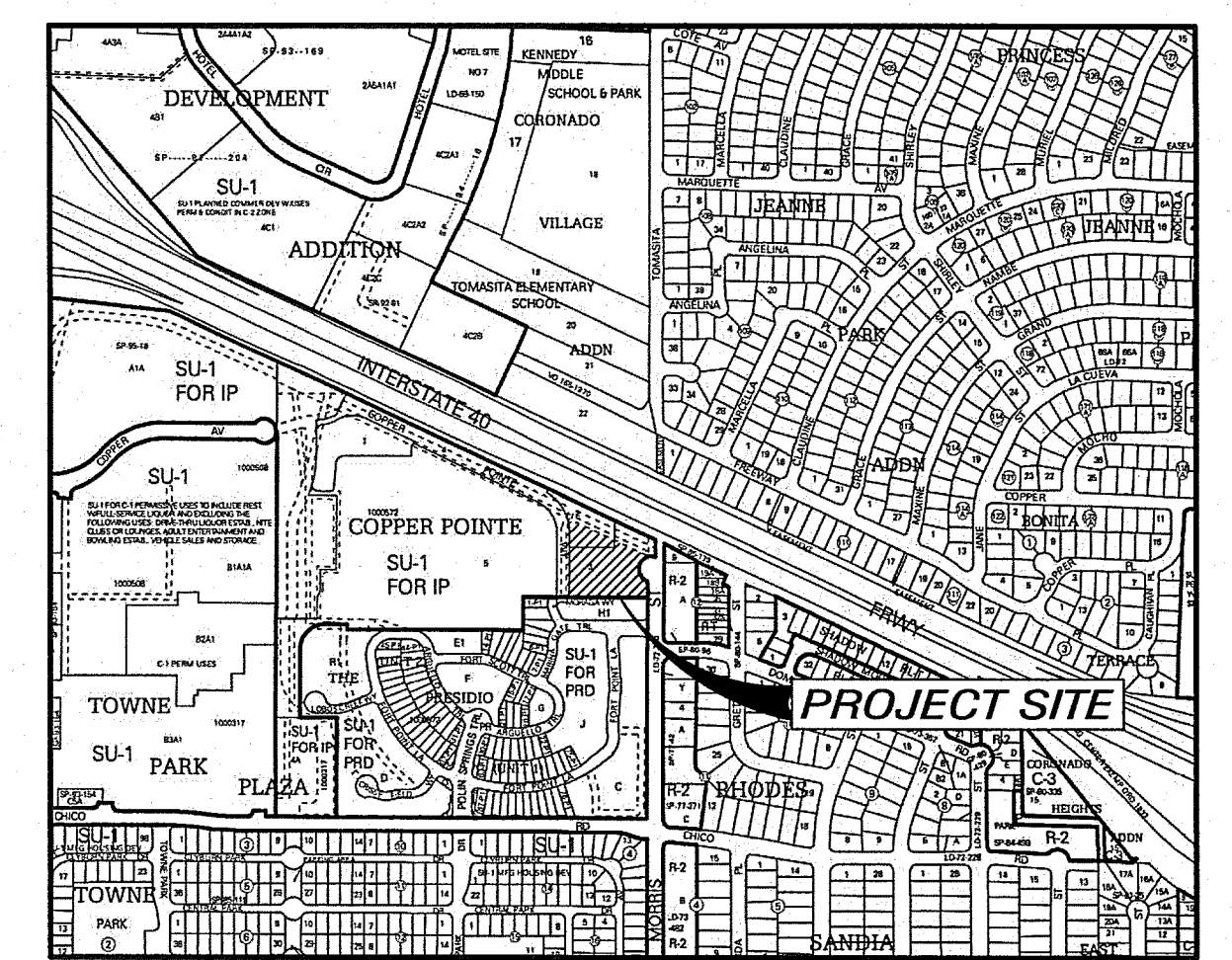
GRADING CONSTRUCTION NOTES

I.D.#	DESCRIPTION
①	17 L.F. OF 6" DUCTILE IRON PIPE
②	6' ASPHALT ADA RAMP



LEGEND

	FLOW ARROW
	SLOPE ARROW
	PROPOSED ELEVATION
	EXISTING ELEVATION
	GRADE BREAK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED EASEMENT
	PROPOSED GRADE
	EXISTING WALL
	PROPOSED WALL



VICINITY MAP K-21-Z
LEGAL DESCRIPTION
TRACT 3-A, COPPER POINT SUBDIVISION
WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST,
NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO
COUNTY, NEW MEXICO

DRAINAGE INFORMATION
LOCATION & DESCRIPTION

THE SITE IS 1.60 ACRES LOCATED ON THE SOUTH SIDE OF I-40 AT MORRIS AVE. WITHIN THE COPPER POINT COMMERCIAL DEVELOPMENT AS SEEN ON THE VICINITY MAP. THE SITE IS CURRENTLY UNDEVELOPED. THE ADJACENT PROPERTY TO THE WEST IS A DEVELOPED COMMERCIAL SITE. THE PROPERTIES TO THE SOUTH AND EAST ARE DEVELOPED AS RESIDENTIAL. THE SITE IS TO BE DEVELOPED AS A HOTEL SITE.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED APRIL 2, 2002 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE.

PRECIPITATION

THE 100-YR 24-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

DRAINAGE & REPORTS

THE SITE IS WITHIN THE COPPER POINT GRADING AND DRAINAGE PLAN AREA. THE PREVIOUSLY APPROVED DRAINAGE PLAN, SUPPLEMENTAL CALCULATIONS FOR COPPER POINT DATED MAY 2007, WAS APPROVED FOR ALL DISCHARGE TO BE DIRECTED TO THE PRIVATE ROADWAY TO THE WEST AT 7.37 CFS (SEE TABLE). THERE ARE NO OFFSITE FLOWS THAT IMPACT THE SITE.

DEVELOPED CONDITION

THE RUNOFF FROM SITE WILL BE ROUTED THROUGH THE FLUSH PONDS ALONG SOUTH AND WEST PROPERTY LINES THEN DISCHARGED INTO THE PRIVATE DRIVE. THE PRIVATE DRIVE WILL CONVEY FLOW ALONG THE CURB TO INLETS LOCATED WEST OF THE SITE AND DISCHARGING TO THE I-40 CHANNEL. THIS DEVELOPMENT WILL HAVE NO ADDITIONAL IMPACT ON DOWNSTREAM FACILITIES.

FIRST FLUSH

THERE ARE FLUSH PONDS ALONG THE PERIMETER OF THE SITE TO ACCOMMODATE THE FOLLOWING FIRST FLUSH REQUIREMENTS:
IMPERVIOUS AREA = 56,432 FT²
REQUIRED FLUSH VOLUME = 56,432 FT² * 0.34/12 FT. = 1,588 CU.FT.

HYDROLOGIC DATA - APPROVED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ₁₀₀ (cfs)	V ₁₀₀₋₂₄ (acft)
		A	B	C	D			
A	1.70	0	7	85	4.66	7.37	0.342	

HYDROLOGIC DATA - PROPOSED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ₁₀₀ (cfs)	V ₁₀₀₋₂₄ (acft)
		A	B	C	D			
A-1	1.60	0	13	81	4.55	7.20	0.331	

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10500 COPPER AVENUE
ALBUQUERQUE, NEW MEXICO 87123

REV	DATE	DESCRIPTION	APVD

THE group
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