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# Day Surgery / South East Parking Lots

Presbyterian Hospital  
Albuquerque, New Mexico

Presbyterian Hospital  
East Expansion Phase 1  
Parking Lot Expansions  
Albuquerque, NM

1000575

100575

04 DRB00813

PROJECT TEAM

**Owner**  
 Presbyterian Healthcare Services  
 P.O. Box 26666  
 Albuquerque, NM 87125-6666  
 (505) 841-1769

**ARCHITECT**  
 DEKKER/PERICH/SABATINI, LTD.  
 6801 JEFFERSON ST., N.E. SUITE 100  
 ALBUQUERQUE, NM 87109  
 (505) 761-9700  
 FAX: (505) 761-4222

**LANDSCAPE**  
 SITES SOUTHWEST  
 5150 A SAN FRANCISCO NE  
 ALBUQUERQUE, NM 87109  
 (505) 822-8200

**CIVIL ENGINEER**  
 BOHANNON HUSTON, INC.  
 7500 JEFFERSON, NE  
 ALBUQUERQUE, NM 87112  
 (505) 982-2845

**ELECTRICAL ENGINEER**  
 THE RESPONSE GROUP  
 11930 MENAUL NE, SUITE 214  
 ALBUQUERQUE, NM 87112  
 (505) 323-7629

PROJECT NO. 01048.011  
DATE: 5-25-04

ISSUE PURPOSE  
**DRB  
SUBMITTAL**

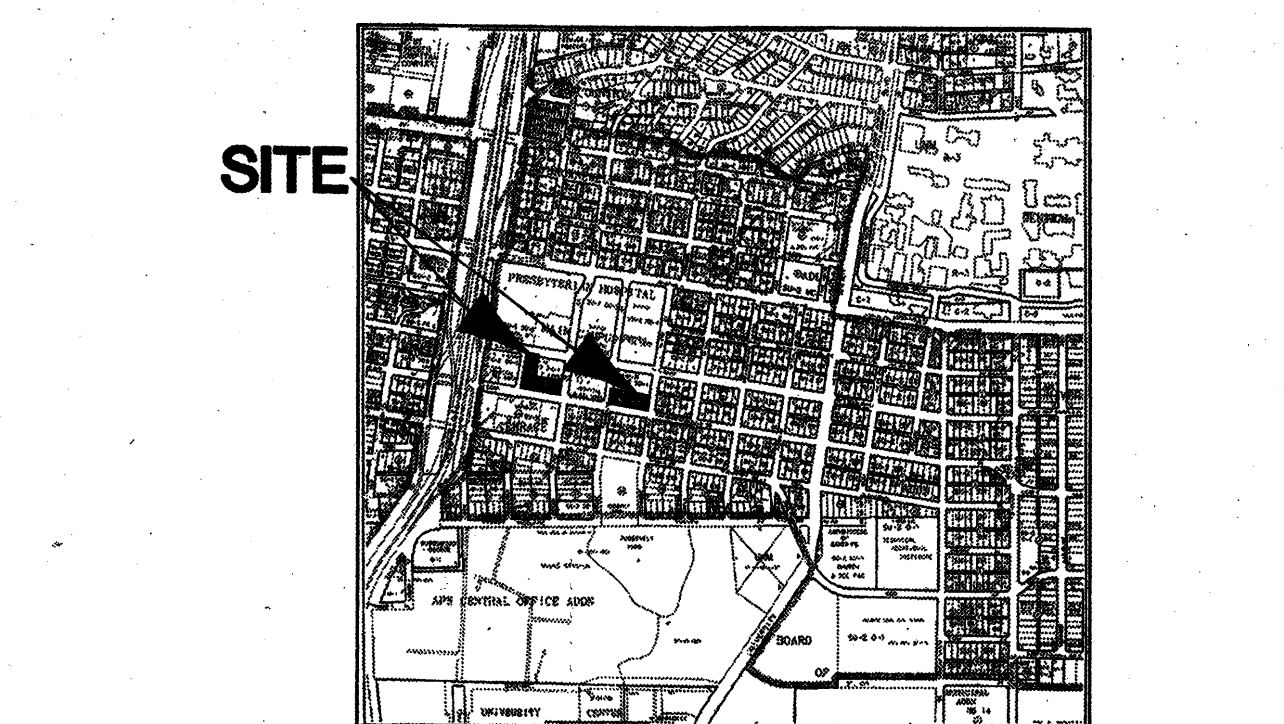


EXISTING SITE AREA	
TOTALS	1,147,082 SF 28.33 ACRES
REQUIRED PARKING	
HOSPITAL	
470 BEDS (PROJECTED) / 2 BEDS/PARKING SPACE = 235	
284,800 GSF X .8 = 227,904 NSF / 1750/DOCTOR = 130 DOCTORS	15 PARKING SPACES/DOCTORS
	= 650 SPACES
DAY SURGERY	
16,184 GSF X .8 = 12,947 NSF / 1,750/DOCTOR = 8 DOCTORS	15 PARKING SPACES/DOCTORS
	= 40 SPACES
TOTAL SPACES REQUIRED = 925 10X HC SPACES = 93 OF TOTAL REQUIRED SPACES	

EXISTING PARKING COUNT	ADDITIONAL PARKING (NOTED WITH BOLD NUMBERS)	TOTAL SITE PARKING
93 HANDICAP PARKING STALLS (INCLUDES REMOVAL OF 3 STALLS)	84 HANDICAP PARKING STALLS	177 HANDICAP PARKING STALLS
1,488 STANDARD PARKING STALLS	73 STANDARD PARKING STALLS (INCLUDES REMOVAL OF 25 STALLS)	1571 STANDARD PARKING STALLS
454 COMPACT PARKING STALLS	33 COMPACT PARKING STALLS	487 COMPACT PARKING STALLS
2046 TOTAL PARKING STALLS	109 TOTAL NEW PARKING STALLS	2154 TOTAL SITE PARKING STALLS
COMPACT SPACES ALLOWED		
25% OF TOTAL PARKING PROVIDED MAY BE COMPACT		
2156 X .25 = 539 (487 PROVIDED)		
BICYCLE PARKING COUNT (REQUIRED PARKING NUMBERS DO NOT CHANGE SO NO ADDITIONAL BICYCLE SPACES ARE REQUIRED)		
1 BICYCLE PARKING SPACE IS REQUIRED FOR EVERY 20 REQUIRED AUTOMOBILE PARKING SPACES.		
REQUIRED BICYCLE PARKING = 925 X 1/20 = 47		
EXISTING BICYCLE PARKING = 68		
AN ADDITIONAL 950 SQ. FT. LOCKED, CHAIN LINK FENCE ENCLOSED, COVERED BICYCLE LOCKER IS AVAILABLE FOR EMPLOYEES		

BUILDING AREA CALCULATIONS	
EXISTING BUILDING AREAS	598,920 SF
HOSPITAL	284,800 SF
PROFESSIONAL OFFICE BLDG.	16,185 SF
DAY SURGERY CENTER	16,896 SF
ENERGY CENTER	4,732 SF
PAINT SHOP	1,694 SF
SERVICE STATION	16,916 SF
ZIA BUILDING	1,504 SF
CASA CORAZON (RESIDENCE)	166,259 SF
PARKING GARAGE	6,100 SF
HOSPITAL LOBBY	1,144,768 SF
TOTAL EXISTING BUILDING AREA	1,144,768 SF
PROPOSED BUILDING AREAS	
EAST EXPANSION	150,000 SF
ZIA BUILDING (REMOVAL)	(18,916) SF
TOTAL PROPOSED BUILDING AREA	133,084 SF
NEW TOTAL CAMPUS BUILDING AREA	1,277,852 SF

- GENERAL NOTES**
1. ALL PARKING ON SITE IS EXISTING UNLESS OTHERWISE NOTED
  2. ALL CURB CUTS ARE EXISTING
  3. ALL DEMOLITION AND RENOVATION SHALL COMPLY WITH REQUIREMENTS OF THE ENVIRONMENTAL HEALTH DEPARTMENT FOR REMOVAL AND DISPOSAL OF ASBESTOS AND OTHER HAZARDOUS MATERIALS.
  4. ALL EXISTING CURB RADI AT STREET INTERSECTIONS ARE 3'-6" UNLESS OTHERWISE NOTED
  5. CONSTRUCTION STAGING AREAS AND CONTRACTOR PARKING AREAS SHALL BE LOCATED ON THE HOSPITAL CAMPUS BORDERED BY CENTRAL AVE. TO THE NORTH, LEAD AVE. TO THE SOUTH, SYCAMORE ST. TO THE EAST AND OAK ST. TO THE WEST
  6. THE ZIA BUILDING IS TO BE DEMOLISHED BY NO LATER THAN OCTOBER 31, 2004. WITH PARKING AREA IMPROVEMENTS (INCLUDING LANDSCAPING AND LOW WALL ALONG CENTRAL AVE) TO BE COMPLETED BY OCTOBER 31, 2004.
  7. ANY NEW OR REPLACEMENT SITE LIGHTING SHALL BE OF A HEIGHT NO GREATER THAN 30 FEET AND NO GREATER THAN 18 FEET WITHIN 100 FEET OF A RESIDENTIAL ZONE. ANY NEW OR REPLACEMENT FENCES SHALL BE FULL CUT-OUT (E.G. SHOE BOX FENCES) TO PREVENT FUTURE LIGHT.
  8. ALL COMPACT PARKING STALLS NEED TO HAVE THE TEXT "COMPACT" PRINTED AT EACH STALL TYPICAL.



**VICINITY MAP**

This plan is consistent with the specific Site Development Plan (SDP) approved by the Environmental Planning Commission (EPC) dated February 19, 2004, and the Findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? (YES) (X) No if yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

PROJECT NUMBER: 1600575

APPLICATION NUMBER: 04 DRB - 00813

DRB SITE DEVELOPMENT PLAN APPROVAL:

*[Signature]* 6-3-04 DATE  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION

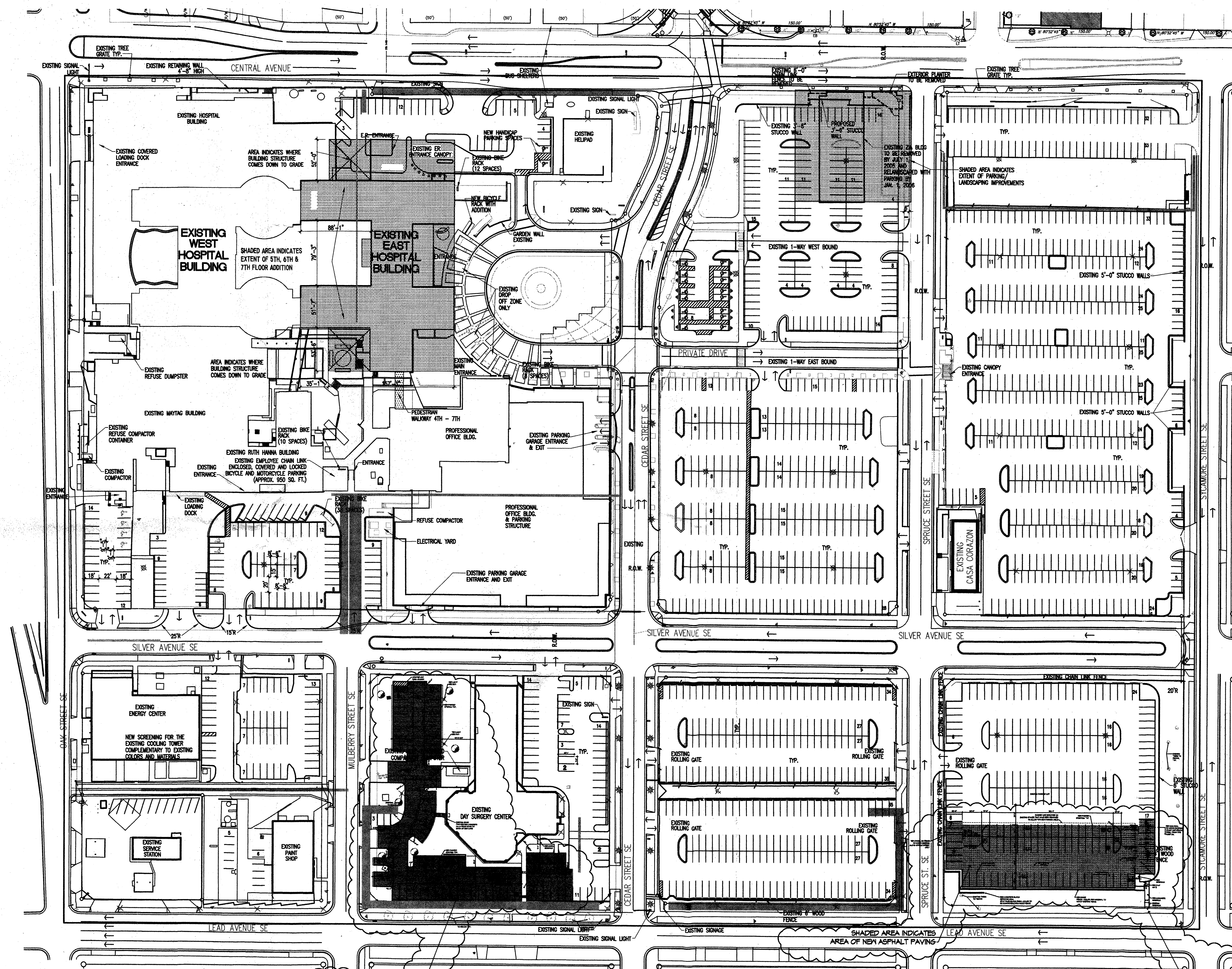
*[Signature]* 6/2/2004 DATE  
UTILITIES DIVISION

*[Signature]* 6/2/04 DATE  
PARKS AND RECREATION DEPARTMENT

*[Signature]* 6/2/04 DATE  
CITY ENGINEER

*[Signature]* 5-20-04 DATE  
SOLID WASTE MANAGEMENT

*[Signature]* 5/3/04 DATE  
DRB CHAIRPERSON, PLANNING DEPARTMENT



**Site Plan**  
**PRESBYTERIAN HOSPITAL SITE DEVELOPMENT PLAN**  
SCALE: 1" = 50'

**NOTE:**  
THIS AMMENDMENT TO THE SITE DEVELOPMENT PLAN IS FOR ADDITIONAL SURFACE PARKING ONLY. THERE ARE NO BUILDING ADDITIONS OR FACADE CHANGES INCLUDED IN THIS AMMENDMENT.

- LEGEND**
- X EXISTING LIGHT POLE
  - ▶ EXISTING TRAFFIC SIGN
  - ◆ EXISTING FIRE HYDRANT
  - EXISTING BOLLARD LIGHT TYPE "E"
  - ⊗ EXISTING LIGHTING TYPE "D"
  - △ EXISTING LIGHTING TYPE "C"
  - ⊕ EXISTING LIGHTING TYPE "B"
  - EXISTING LIGHTING TYPE "A"
- ▬ EXISTING EASEMENT
  - EXISTING FENCE
  - EXISTING TRAFFIC FLOW
  - ▨ EXISTING BICYCLE RACK
  - EXISTING BLDG. OUT LINE TO BE REMOVED
  - EXISTING PROPERTY LINE
  - ▨ PROPOSED AREA OF 5TH, 6TH & 7TH FLOORS

NEW SIDEWALK AND GATE FOR ACCESS TO SHARED PARKING WITH NEIGHBORING CHURCH

**Dekker/Perich/Sabatini**  
architecture • interiors • planning • engineering

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Albuquerque, NM 87109

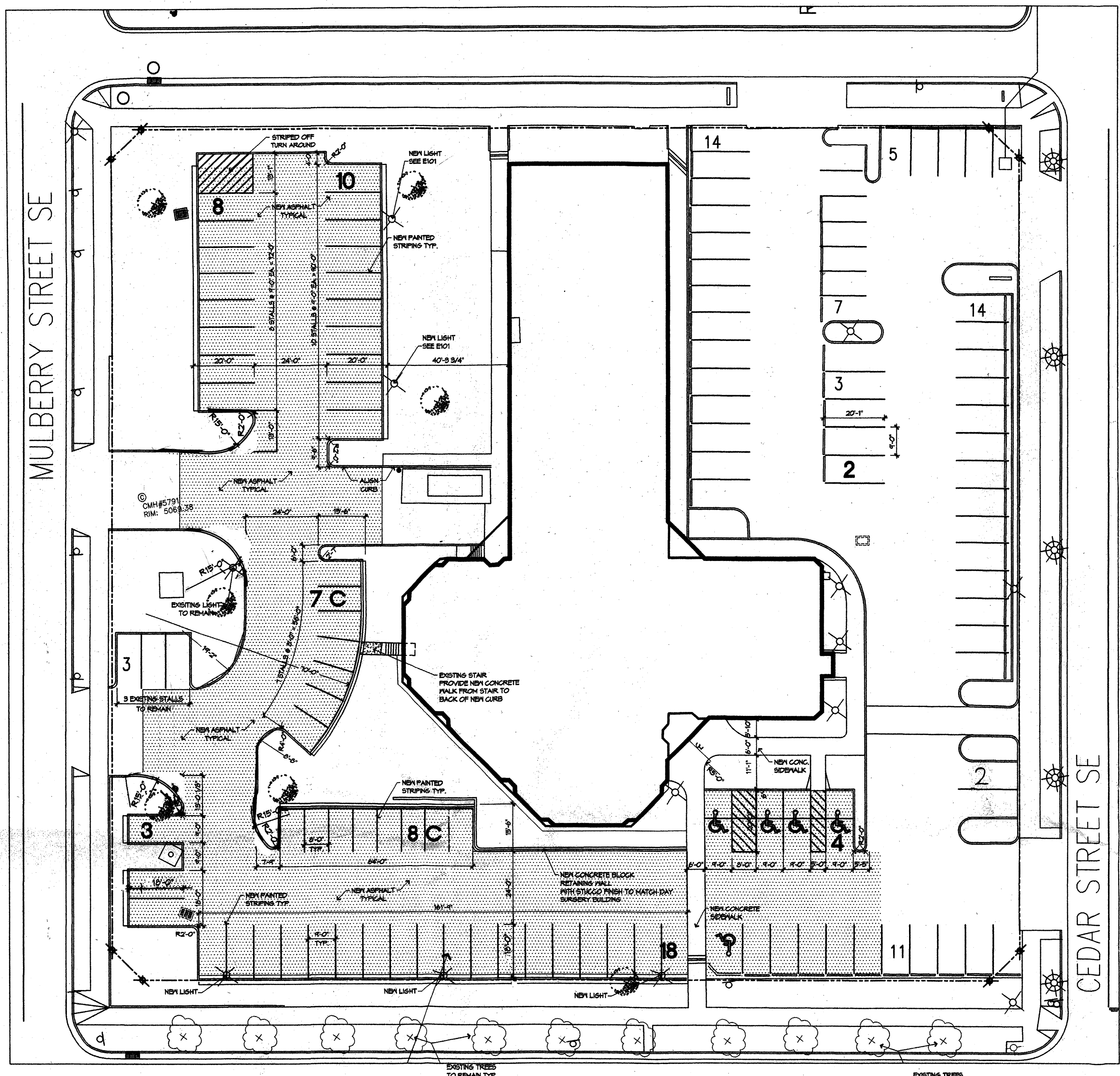
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fax 761-4222

05-25-2004

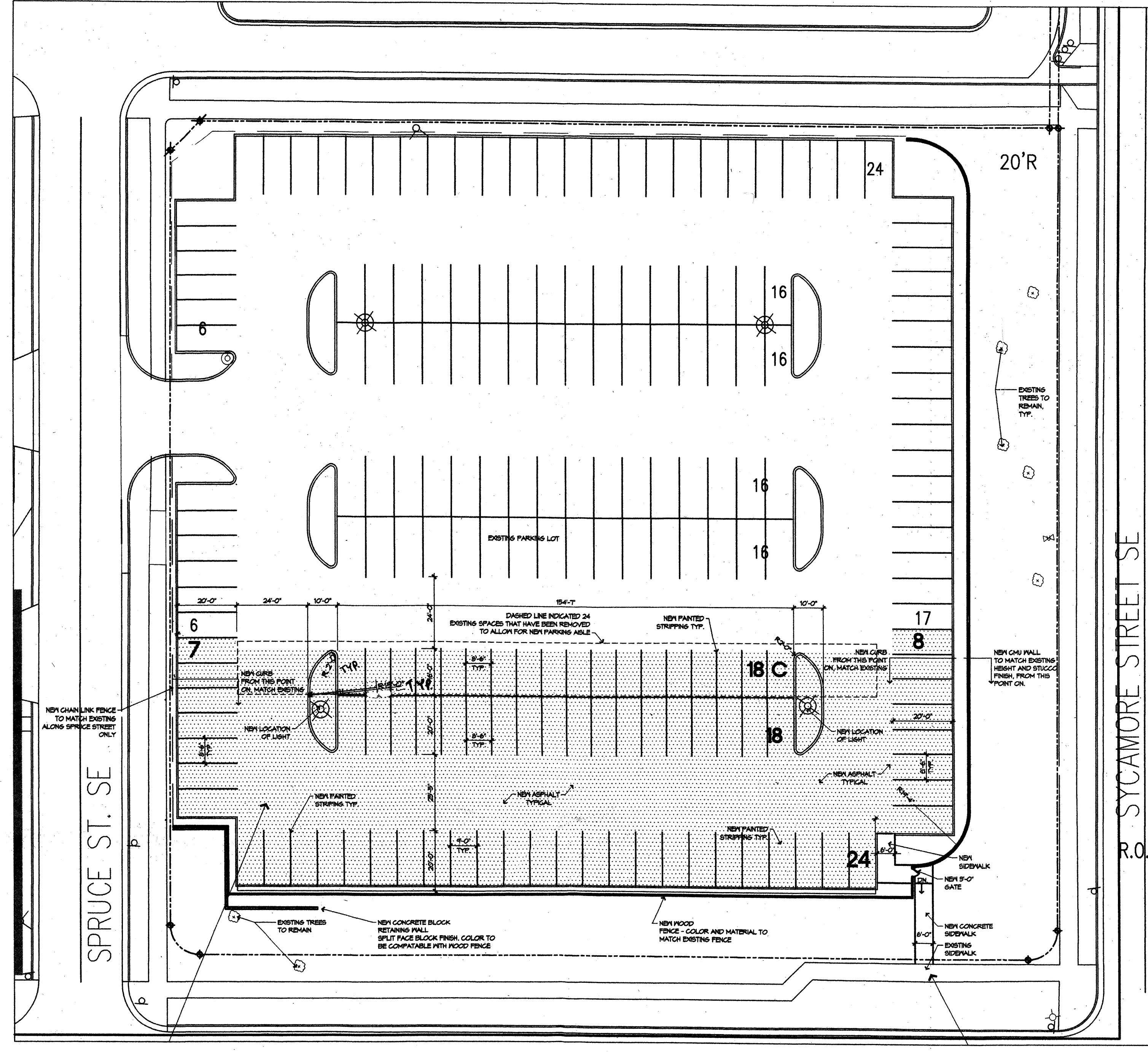
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C:\Program Files\AutoCAD 2004\acad.plt





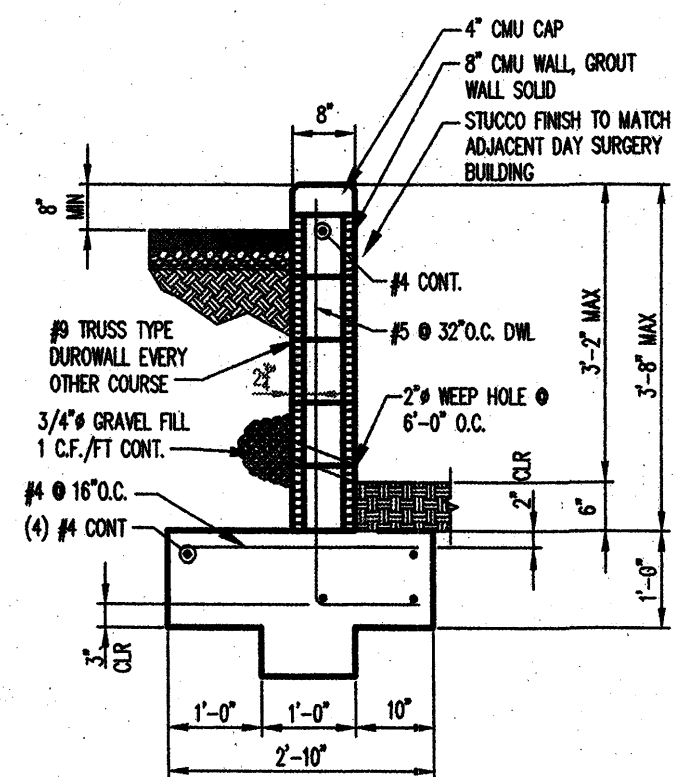
SITE PLAN - DAY SURGERY



SITE PLAN - SOUTHEAST PARKING LOT

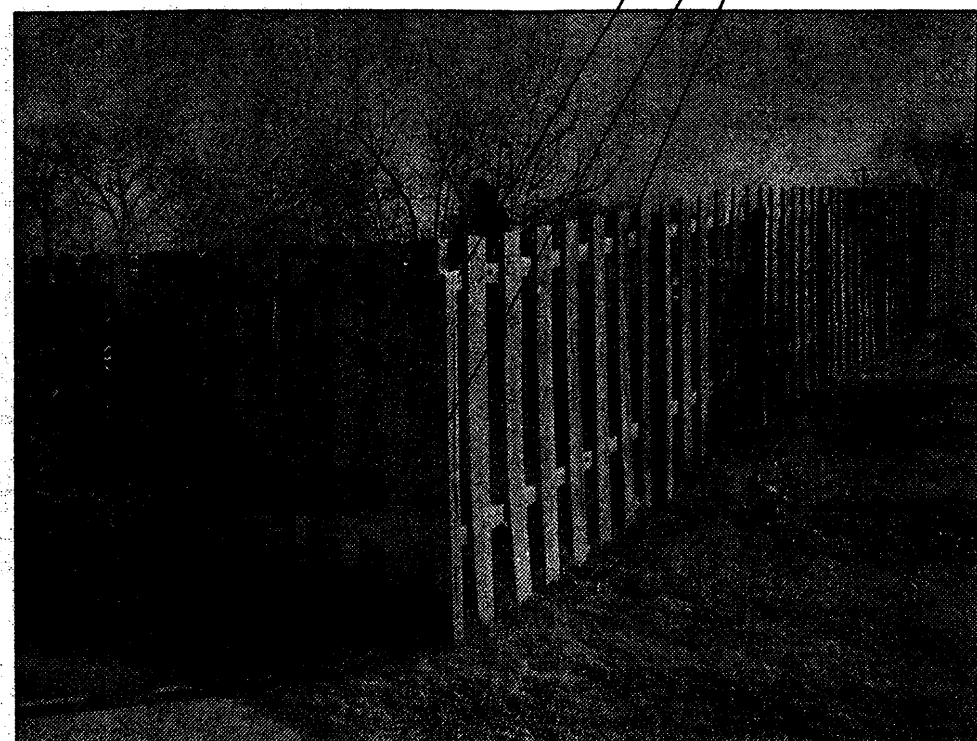
PRESBYTERIAN HOSPITAL SITE DEVELOPMENT PLAN - DAY SURGERY AND SOUTHEAST PARKING LOT

SCALE: 1" = 20'



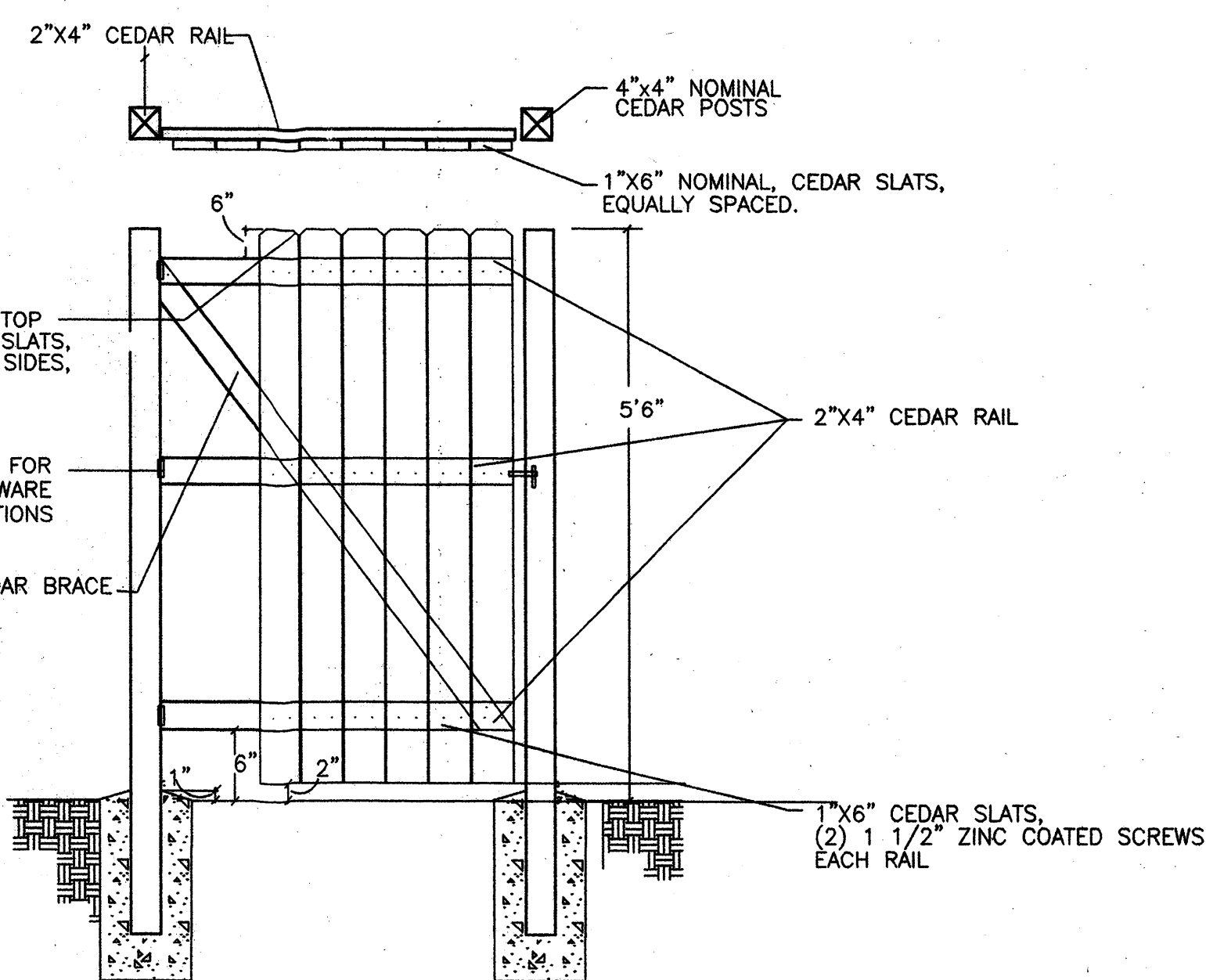
RETAINING WALL DETAIL

N.T.S.



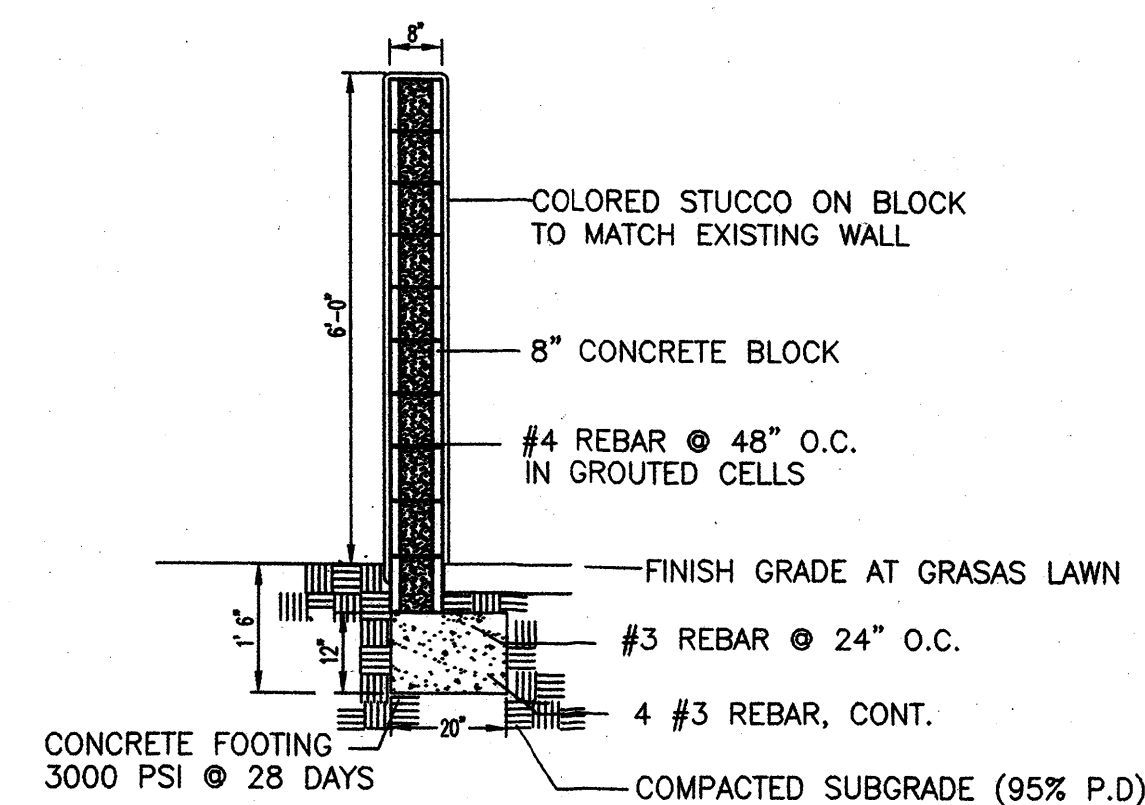
EXISTING CEDAR FENCE  
NEW FENCE TO MATCH

N.T.S.



CEDAR FENCE GATE

N.T.S.



CMU BLOCK WALL WITH STUCCO

N.T.S.

**A 102**

**Dekker/Perich/Sabatini**  
 architecture - interiors - planning - engineering  
 6801 Jefferson NE, Suite 100  
 Albuquerque, NM 87109  
 505 761-8700  
 fax 761-4222



**TREE REPLACEMENT POLICY**

- The Owner shall maintain the existing trees to remain as well as any new trees.
- The Owner shall replace trees that are diseased or dying with trees of a reasonable size, similar in nature to the replaced tree except as noted below.
- The existing Mulberry and Silver Maple trees along Silver Avenue shall be replaced, as they become diseased or die, with large "broadleaf trees" such as Black Locust or other trees with a similar stature. Mulberry and Silver Maple trees shall not be used as replacement trees.

**WATER HARVESTING IN PARKING LOTS**

- In the design of the parking lots, every reasonable effort shall be made to harvest run off water into the landscaped areas including islands.
- Water shall be directed to the landscaped areas and allowed to penetrate curbed areas through notches in the curbs.
- Larger notches in the higher ends of the curbs and smaller notches in the lower ends shall allow water to collect and penetrate.

**PRESBYTERIAN HOSPITAL SITE DEVELOPMENT LANDSCAPING SUMMARY**

Buildings (After Improvements)		
Hospital and POB	175,300 GSF	
Day Surgery	16,184	
Energy Center	10,850	
Park Shop	4,752	
Service Station	1,694	
Casa Corazon	1,584	
POB/Parking Structure	62,234	
Lobby/Wayfinding	4,830	
Emergency	3,000	
North Infill	2,944	
<b>TOTAL</b>	<b>283,102</b>	<b>OR 3.629 ACRES</b>

Site Area	1,147,082 GSF	OR 26.933 ACRES
Difference	863,980 GSF	OR 19.634 ACRES
Landscaping Required (15%)	129,597 GSF	OR 2.975 ACRES
EXISTING LANDSCAPE SHOWN (19.4%)	167,964 GSF	OR 3.85 ACRES
PROPOSED LANDSCAPE SHOWN (17.2%)	148,728 GSF	OR 3.41 ACRES

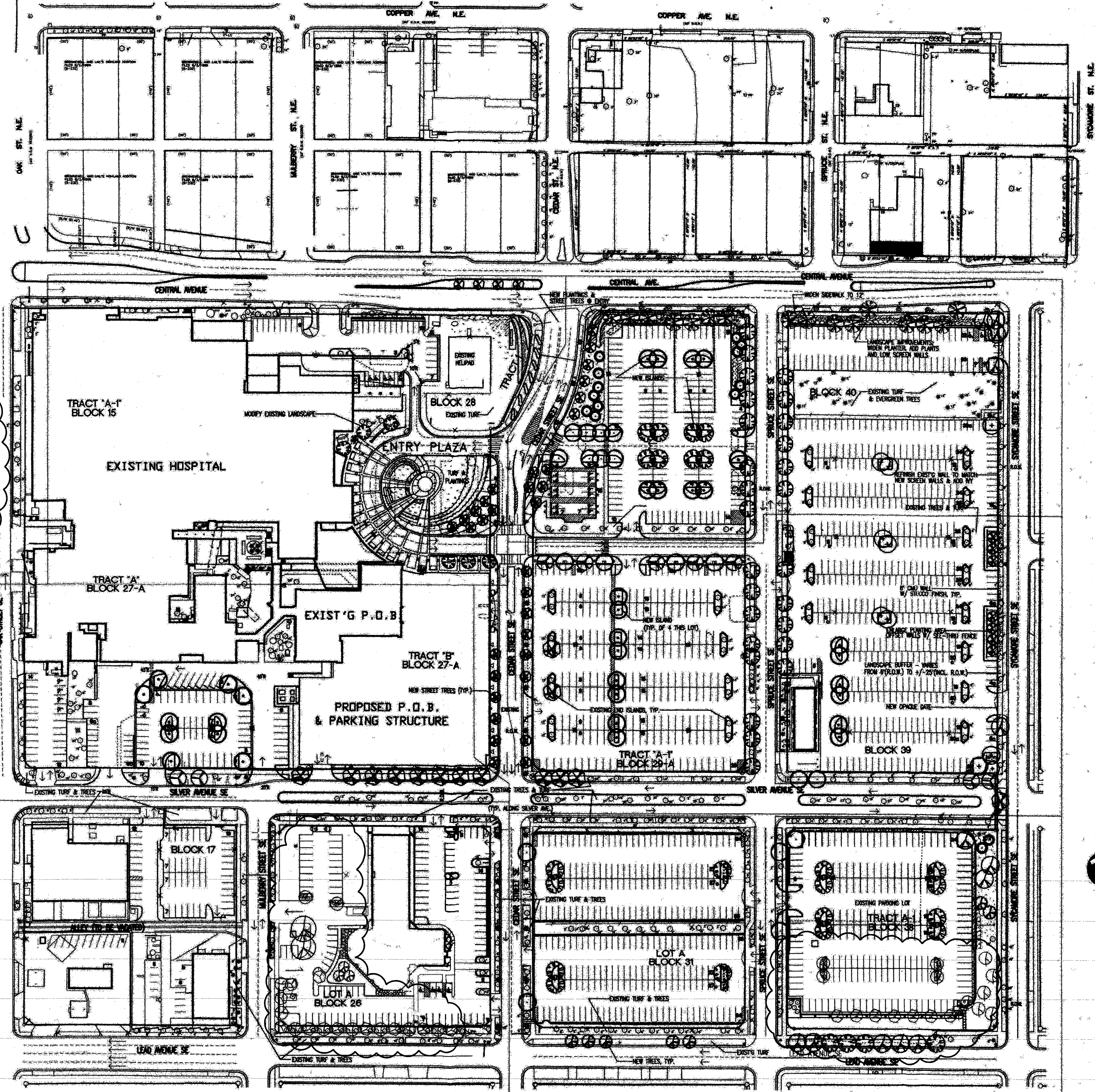
\*Note: Landscaping within the public R.O.W. is excluded from the calculation. However, landscaping within the public R.O.W. is counted toward buffer landscaping where applicable.

High water use turf restrictions  
 Area of high water use turf allowed - 133,235 x 20 = 26,647  
 Area of high water use turf shown - 19,450 (14.6%)

Landscaping By Areas	Existing	Proposed
BLOCK 16, 28, 27A TRACT A & B	44,169 GSF	NC
TRACT A-1, BLOCK 29-A	15,212	NC
BLOCKS 38 & 40	33,261	NC
BLOCK 38, TRACT A-1	9,276	23,500
LOT A BLOCK 31	8,210	NC
LOT A BLOCK 26	29,970	19,590
BLOCK 17	3,790	NC
<b>TOTAL</b>	<b>167,964</b>	<b>148,728</b>
<b>ACRES</b>	<b>3.85</b>	<b>3.41</b>

\*\* This number is reduced from the previous total for this tract that was 32,650 GSF. The landscape calculations from the 2001 EPC submission showed this figure incorrectly as 10,010 GSF.

GENERAL NOTE: vehicle overhang areas are not counted toward landscape areas.



**GENERAL NOTES**

- The landscape plan will be designed to incorporate recommendations as per University Neighborhoods Sector Development Plan and Sycamore West/Collins Redevelopment Plan for buffering and screening of parking lots and related landscape elements.
- Plants are diagrammatic and approximate due to scale of drawings, and not all shrubs or groundcovers are shown.
- Intent of plan is to conform to all city ordinances and codes relating to landscape requirements.
- No planting bed will be left uncovered or not top dressed. All new planting beds will be planted with shrubs, groundcovers, grass and/or mulch.
- For site boundary and utility information see Sheet No. 1, 2 and 3; minimum centerline to centerline setback for tree trunk from utility line within easements will be three (3) feet.

**IRRIGATION**

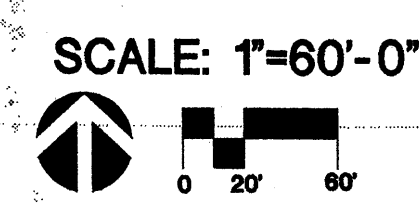
- An automatic underground irrigation system will be designed and installed or existing irrigation system will be modified to serve all new plant materials, and turf areas, or Native seeded areas, according to current City of Albuquerque Ordinances and Standards.

**MAINTENANCE**

- All maintenance responsibilities will be with the Owner's in-house grounds maintenance personnel.

**PLANTING NOTES**

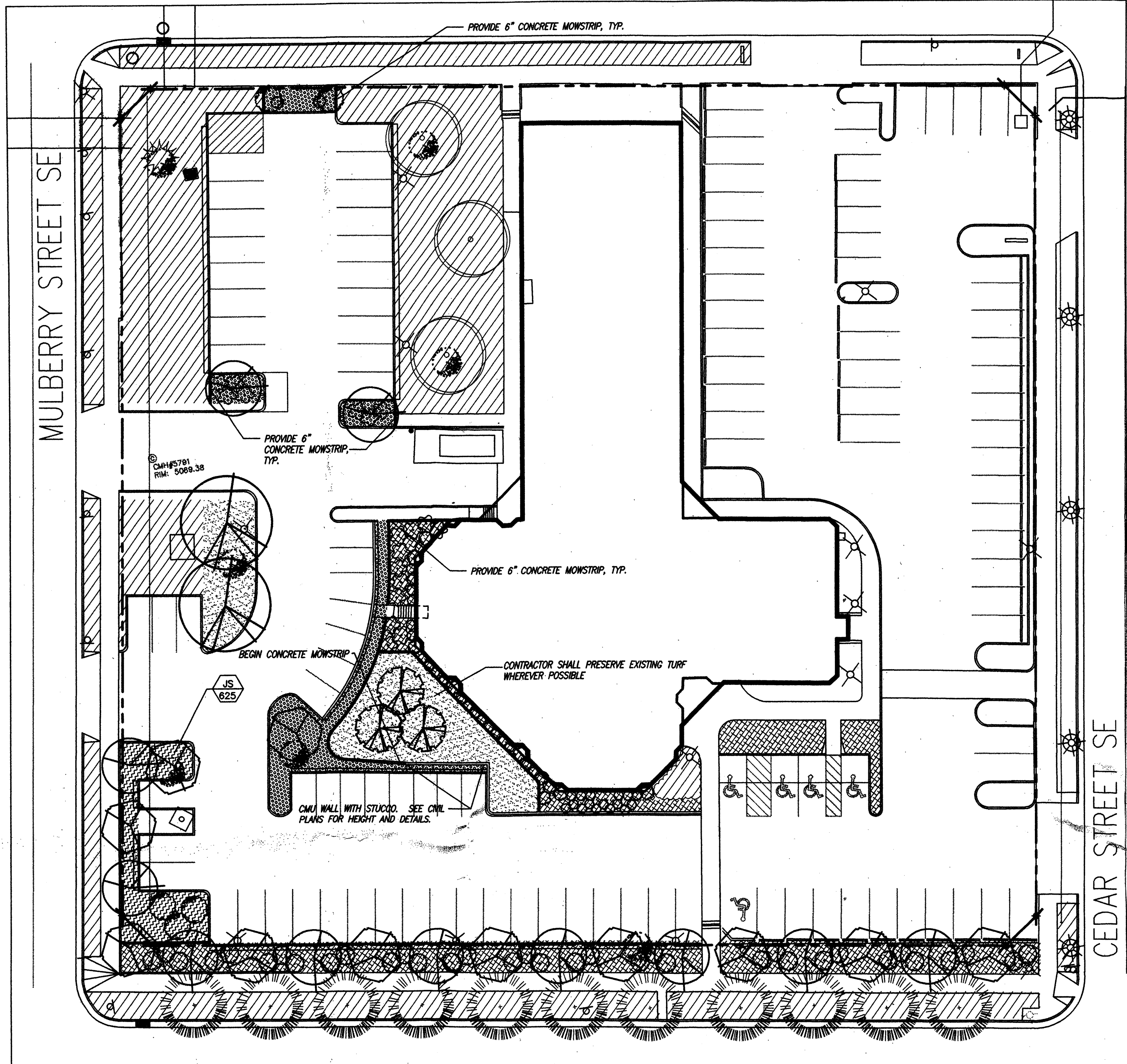
- EXISTING TREES ON SITE**
- Shade/Street/Planting: Arizona Ash, Honey Locust, Siberian Elm, Mulberry, Cottonwood, Ponderosa Pine, Silver Maple
- NEW TREES TO BE ADDED TO SITE**
- Shade/Street/Planting: Ash Species, Honey Locust, Sycamore, Black Locust, Hackberry, Kentucky Coffee Tree, Osage Orange, Ornamental (Flowering, Foliage, etc.) Chinese Pistache, Ornamental Pear, Hawthorn, Plums, Golden Rain Tree, New Mexico Olive, Sophora, Desert Willow
  - Evergreen: Scotch Pine, Austrian Pine, Japanese Black Pine, Plant Pine, Juniper Species (no male varieties over 2' height)
- SHRUBS**
- Apache Plume, Bluebeard, Juniper Species (no male varieties over 2' height), Barbary Species, Sumac, Cokeraster Species, Lavender, Cotton, Forsythia, Lilac, Mahonia Species, Mock Orange, Pyracantha, Spiraea, Silverberry, English Lavender, Waxleaf Plant, Nandina, Bartonia, Butterflybush, Flowering Quince, Dogwood, Flower of Sharon
- GROUNDCOVERS/VINES**
- Trumpet Vine, English Ivy, Boston Ivy, Wintercreeper, Virginia Creeper, Rosemary, Daylily, Santolina, Honeysuckle, Cherry Sage, Dwarf Phlox, Penstemon, Juniper Species, Blue Oyster
- MULCHES**
- Bark, Quarry (crusher) Pines/Cobblestones (Bark and Pine will be 2 to 3 inches deep)
- GRASS**
- Turf - will consist of sod (Fescue or Blue Grass/Fescue Blend) laid on properly tilled and amended soil.
  - Seed - Native Blue Grama, Buffalo grass with winterizer mix.
- PLANT SIZES**
- Deciduous Trees to be min. 2 1/2" Caliper, B & B or Bowed
  - Evergreen Trees to be min. 75 gallon container or 5' high
  - Shrubs to be min. 1- and 5-gallon containers
  - Annuals and Perennials to be min. 4" pot.
- The Plant list constitutes a range of plant materials which may be used on this project. It is possible that not all listed plants will be used.
- BICYCLE RACKS**
- As located on plan



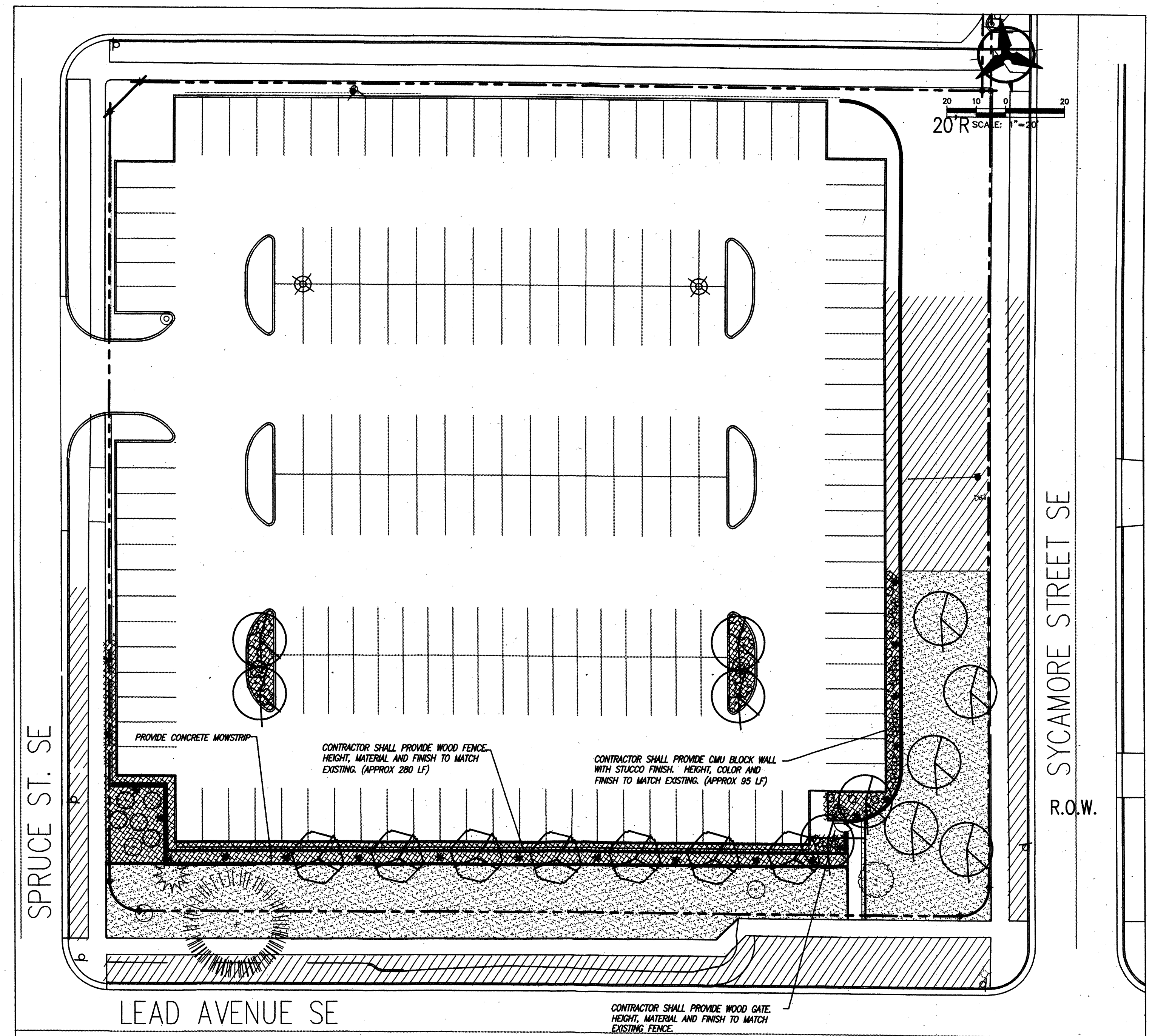
**Master Landscaping Plan**  
**PRESBYTERIAN HOSPITAL SITE DEVELOPMENT PLAN**







**SITE PLAN - DAY SURGERY**

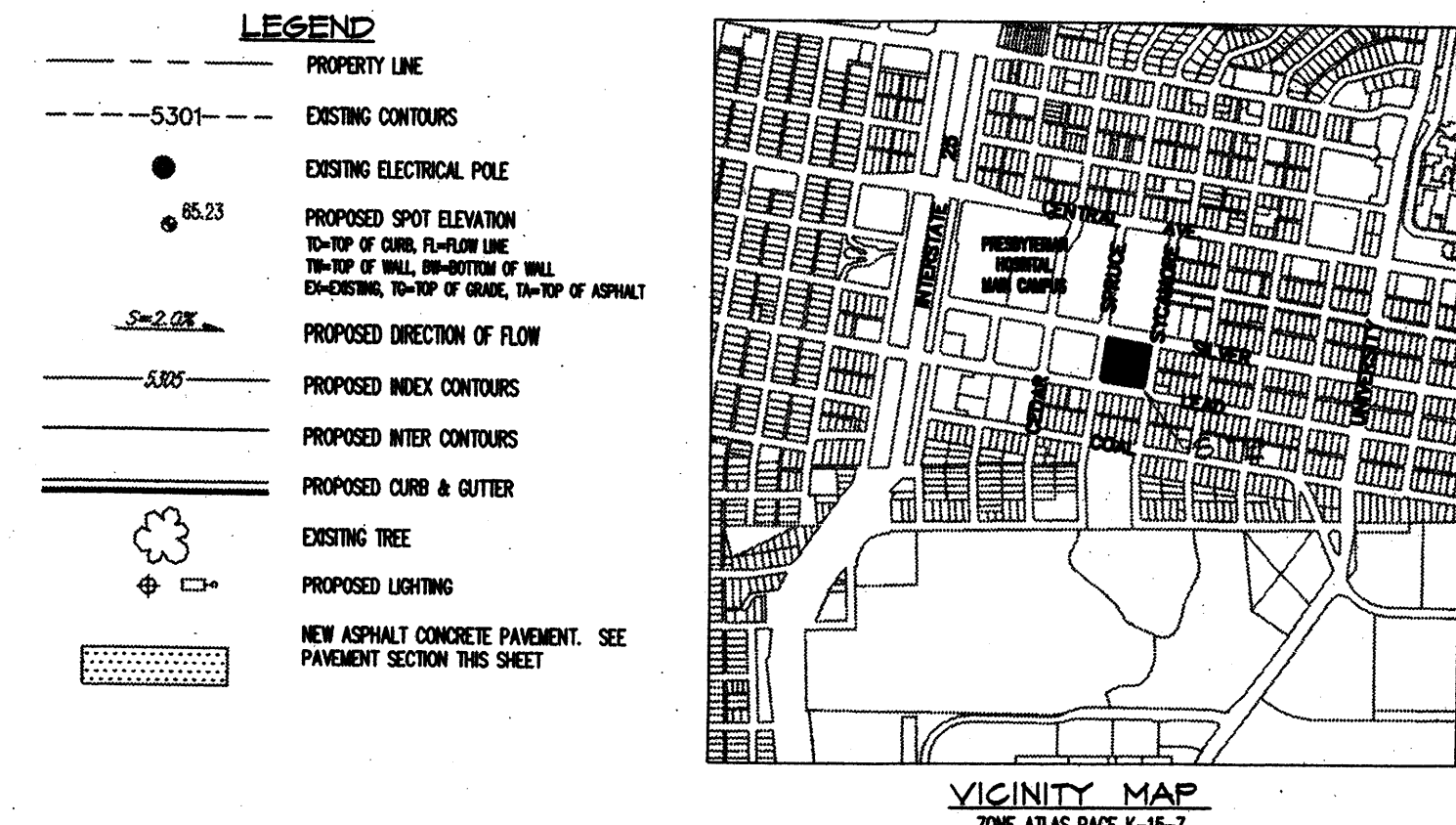
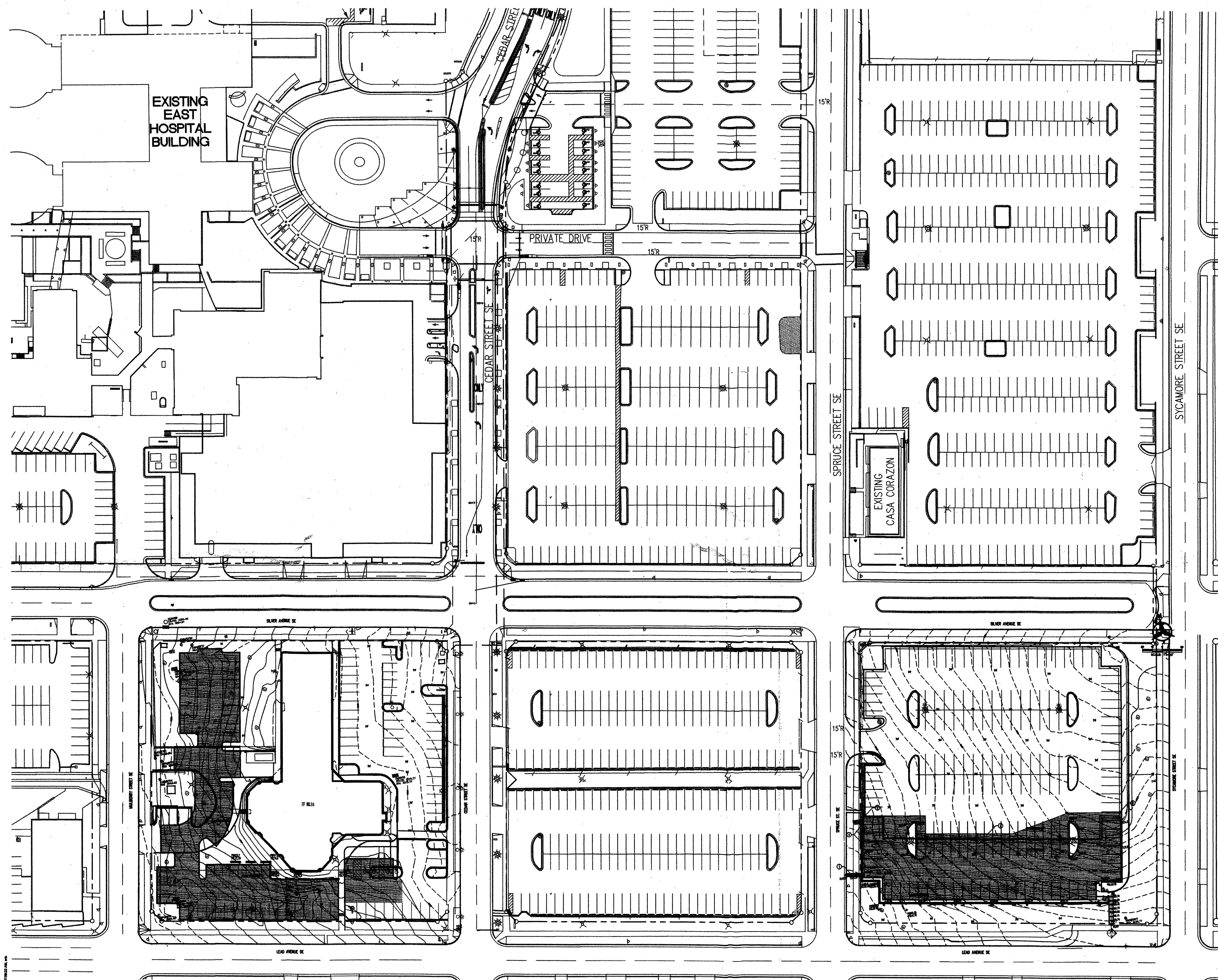


**SITE PLAN - SOUTHEAST PARKING LOT**

Symbol	Botanical Name	Common Name	Qty	Size/Notes
<b>Trees</b>				
	<i>Populus fremontii</i>	Valley Cottonwood	2	2 1/2" cal.
	<i>Celtis occidentalis</i>	Common Hackberry	11	2 1/2" cal.
	<i>Gleditsia triacanthos inermis 'Shademaster'</i>	Shade Master Honey Locust	11	2 1/2" cal.
	<i>Pinus nigra</i>	Austrian Pine	3	8. min ht. B&B
	Existing Trees Contractor to preserve and protect			
<b>Shrubs</b>				
	<i>Jasminum nudiflorum</i>	Winter Jasmine	37	5 gal.
	<i>Rosa woodsii</i>	Wood's Rose	10	5 gal.
	<i>Rhus aromatica</i>	"Grov Low" Sumac	18	5 gal.
	<i>Spiraea prunifolia 'Plena'</i>	Bridal Wreath Spiraea	37	5 gal.
	<i>Syringa reticulata</i>	Japanese Tree Lilac	2	5 gal.
	<i>Pachysandra terminalis</i>	Japanese Spurge (JS)	625	1 gal
	Bluegrass Sod	Re-sod all areas disturbed by construction.	15' o.c.	
	Existing Landscaping - Protect and Preserve			

Symbol	Botanical Name	Common Name	Qty	Size/Notes
<b>Trees</b>				
	<i>Celtis occidentalis</i>	Common Hackberry	7	2 1/2" cal.
	<i>Gleditsia triacanthos inermis 'Shademaster'</i>	Shade Master Honey Locust	11	2 1/2" cal.
	Existing Trees - Contractor to preserve and protect			
<b>Shrubs</b>				
	<i>Coloneaster microphylla</i>	Rockspray Coloneaster	13	5 gal.
	<i>Falugia paradoxa</i>	Apache Plume	18	5 gal.
	<i>Rhus aromatica</i>	"Grov Low" Sumac	10	5 gal.
	<i>Spiraea prunifolia 'Plena'</i>	Bridal Wreath Spiraea	7	5 gal.
	<i>Campsis radicans</i>	Trumpet Vine	21	5 gal.
	4" Depth 3/4" Santa Fe brown gravel mulch over filter fabric			
	Retain existing buffalo grass. (Preserve and Protect) Re-sod all areas disturbed by construction.			
	Existing Landscaping - Protect and Preserve			
<b>Wood Gate</b>				
Gate hardware to include: Heavy duty zinc plated steel slide bolt latch. Heavy duty zinc plated steel hinge hasp (for padlock) and Two (2) Standard weight double acting gate spring pivot hinges, cast aluminum, finish to match hasp and latch.				





**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
The purpose of this submitted is to present a final grading and drainage plan for the Presbyterian parking lot on the corner of Lead and Sycamore. This submitted is made in order to support parking approval.

**II. SITE LOCATION AND EXISTING CONDITIONS**  
The project site is located on the northwest corner of Lead and Sycamore. Prior to proposed work, the total existing area includes landscaped land (225 Treatment D), and parking lot (225 Treatment D). The site currently drains to the southwest corner of the parking lot through a sidewalk culvert into Spruce Street. According to the DPM chapter 22.2-A.6, the total peak discharge from the site in the 100 year storm is approximately 7.10cfs. Site slopes are 8% to 10%. The site is located within zone atlas map # K-15-2, and hydrologic zone 2.

**III. PROPOSED HYDROLOGIC CONDITIONS**  
The proposed project consists of the addition of 74 new parking spaces to the south side of the existing parking lot. A new sidewalk culvert will be installed in the southwest corner of the parking lot to aid in properly draining the site. The site will still drain into Spruce Street. After completion of the proposed construction, 78.6% will be impervious and 21.4% will consist of land treatment B which will generate a peak discharge of 8.06cfs in the 100 year storm (DPM chapter 22-A.6).  
The total discharge to adjacent public streets under proposed conditions is 0.96cfs more than existing peak flows.

**IV. LETSIE CONSIDERATIONS**  
There are no upstream effluent flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure show proposed conditions discharge is slightly more than existing.

**V. CONCLUSION**  
The improvements proposed with this final grading and drainage plan are capable of safely posing the 100 year storm and meet city requirements. With this submitted, we are seeking city hydrology approval for parking permit.

**GENERAL NOTES**

- ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOLOGICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC UTILITIES SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- BEFORE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OWNER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
- THE CONTRACTOR SHALL VERIFY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPROPRIATELY ENGINEERED BURIED CONDUITS THAT REQUIRE RELOCATION SHALL BE RELOCATED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COOPERATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK. THE CONTRACTOR MAY BE REQUIRED TO RELOCATE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION ENGINEER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OBSTRUCTION PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT EXCEED THE MAXIMUM WIDTH OF THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO BEGINNING ANY CONSTRUCTION WORK OR ADJACENT TO EXISTING STREETS.
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SCHEDULING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SCHEDULING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SCHEDULING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PERMITS.

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
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**DRAINAGE CALCULATIONS**

**EXISTING CONDITIONS:**  
TREATMENT → 52.0% = D, 48.0% = B  
 $(0.52)(1.93AC)(4.70) + (0.48)(1.93AC)(2.28) = 7.10cfs$

**PROPOSED CONDITIONS:**  
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 $(0.786)(1.93AC)(4.70) + (0.214)(1.93AC)(2.28) = 8.06cfs$

NET DIFFERENCE = 8.06 - 7.10 = .96cfs

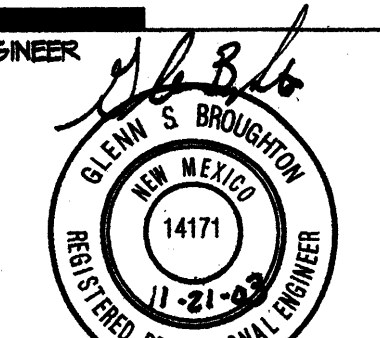
**Conceptual Grading Plan**  
**PRESBYTERIAN HOSPITAL SITE DEVELOPMENT PLAN**



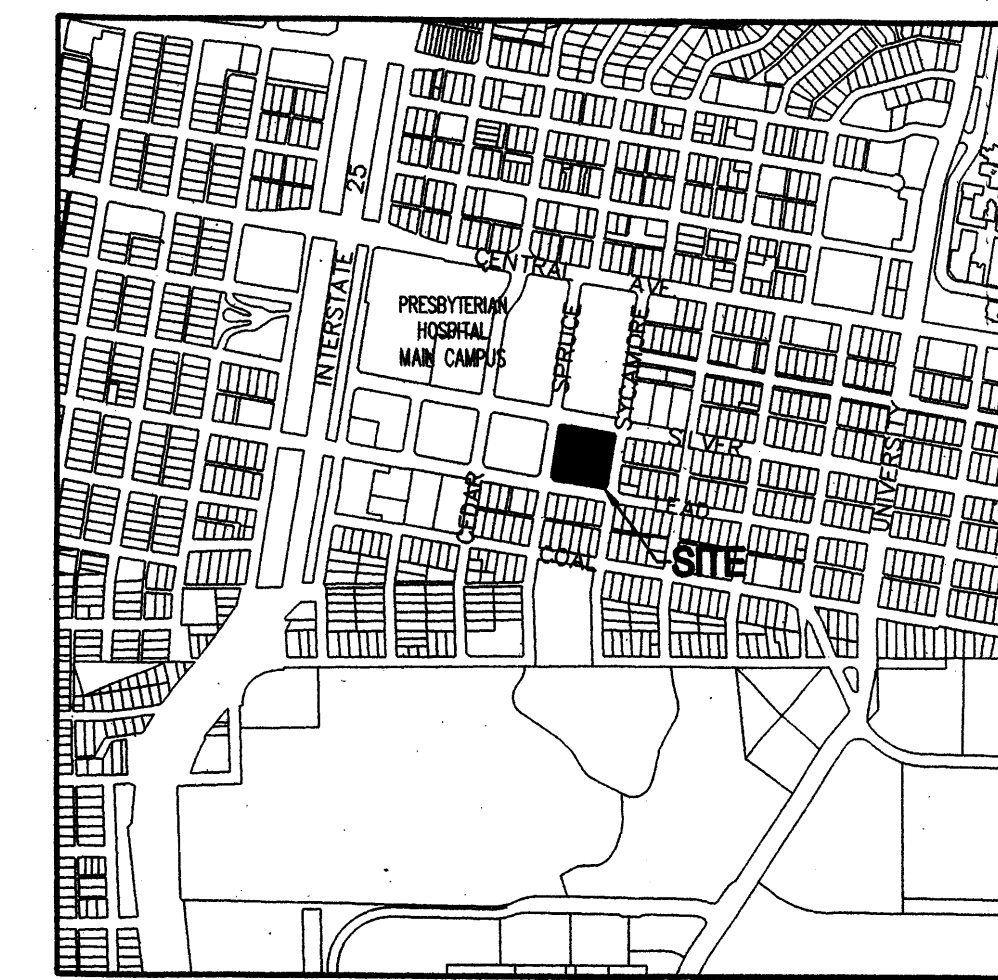
**Bohannon & Huston**  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES  
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109

**C 100**  
**Dekker/Perich/Sabatini**  
architecture • interiors • planning • engineering  
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222





**Presbyterian Hospital  
East Expansion  
South East Parking Lot  
Albuquerque, NM**



**VICINITY MAP**  
ZONE ATLAS PAGE K-15-Z

**LEGEND**

- PROPERTY LINE
- 5.301- EXISTING CONTOURS
- EXISTING ELECTRICAL POLE
- 65.23 PROPOSED SPOT ELEVATION  
TO-TOP OF CURB, FL-FLOW LINE  
TO-TOP OF WALL, BN-BOTTOM OF WALL  
EX-EXISTING, TO-TOP OF GRADE, TA-TOP OF ASPHALT
- S=2.0% PROPOSED DIRECTION OF FLOW
- 5.805- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- ☼ EXISTING TREE
- ☼ PROPOSED LIGHTING
- ▨ NEW ASPHALT CONCRETE PAVEMENT. SEE  
PAVEMENT SECTION THIS SHEET

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- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

DESIGN APPROVAL: \_\_\_\_\_

HYDROLOGY SECTION DATE \_\_\_\_\_

INSPECTION APPROVAL: \_\_\_\_\_

TRANS/STREET MAINT. DATE \_\_\_\_\_

ACCEPTANCE: \_\_\_\_\_

CONSTRUCTION MGT. DIV. DATE \_\_\_\_\_

**GRADING & DRAINAGE KEYED NOTES**

- INSTALL 24" WIDE SIDEWALK CULVERT/CONCRETE RIBBON CHANNEL AS PER CITY OF ALBUQUERQUE STD DWG. 2236. SPECIAL SO-19 PERMIT AND INSPECTION REQUIRED, SEE NOTICE TO CONTRACTOR, THIS SHEET
- MATCH EXISTING CURB AND GUTTER HORIZONTAL AND VERTICAL
- SAW CUT AND MATCH EXISTING PAVEMENT, SEE DETAIL THIS SHEET
- INSTALL SLEEVE FOR CHAIN LINK FENCE PER DETAIL ON THIS SHEET

**Bohannon & Huston**  
Courtney | 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

REVISIONS


DRAWN BY	MJB
REVIEWED BY	GBS
DATE	11-21-05
PROJECT NO.	
DRAWING NAME	

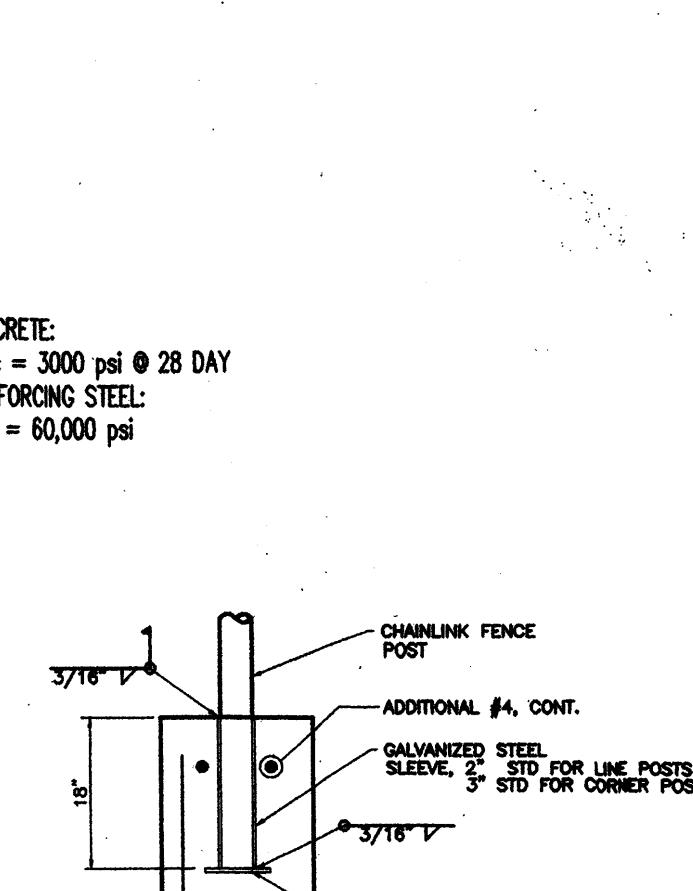
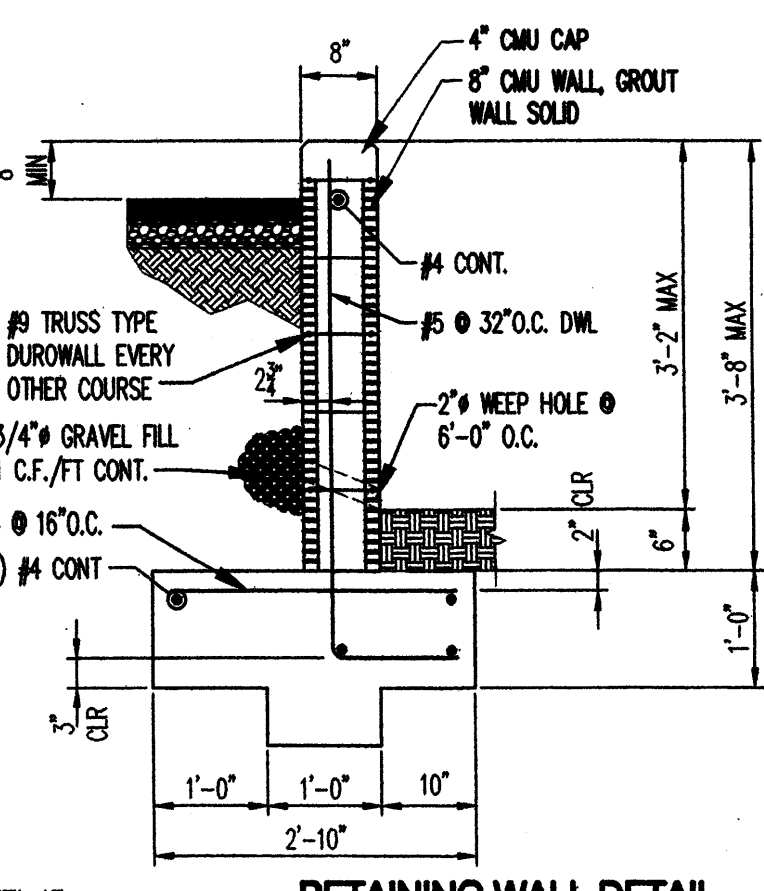
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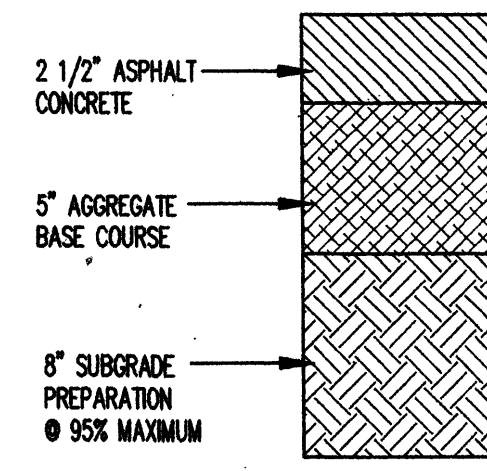
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- NOTES:
- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER GROUTING THE WALL.
  - LAP SPICE ON REINFORCING BARS IS NOT ALLOWED
  - CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE.
  - DESIGN DATA  
EPP (ACTIVE) = 36 PCF  
SOIL BEARING PRESSURE = 2000 PCF  
(1/3 INCREASE FOR WIND/SEISMIC)  
COEFFICIENT OF FRICTION = 0.35  
EPP (PASSIVE) = 300 PCF  
CONCRETE F'c (28 DAYS) = 3000 PSI  
REINFORCEMENT = 60 ASTM A-615
  - CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.

**PAVEMENT SECTION**  
NTS

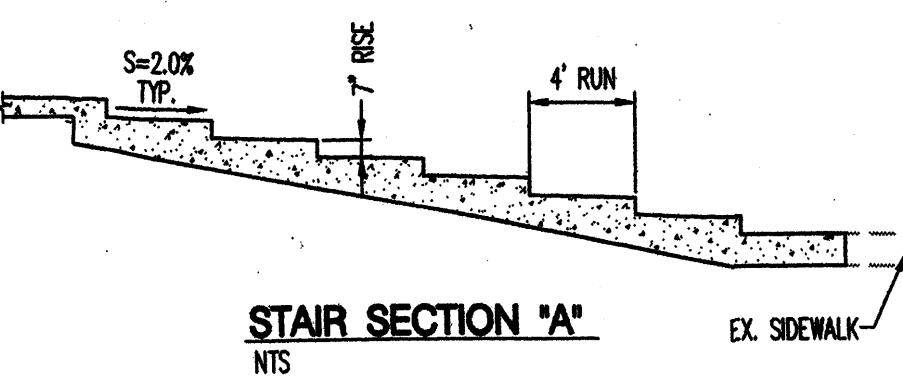


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**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
The purpose of this submittal is to present a final grading and drainage plan for the Presbyterian parking lot on the corner of Lead and Sycamore. This submittal is made in order to support paving approval.

**II. SITE LOCATION AND EXISTING CONDITIONS**  
The project site is located on the northwest corner of Lead and Sycamore. Prior to proposed work, the total existing area includes landscaped land (42% Treatment B), and parking lot (58% Treatment D). The site currently drains to the southwest corner of the parking lot through a sidewalk culvert into Spruce Street. According to the DPM chapter 22.2-A.6, the total peak discharge from the site in the 100 year storm is approximately 7.10cfs. Site slopes are 8% to 10%. The site is located within zone atlas map # K-15-Z, and hydrologic zone 2.

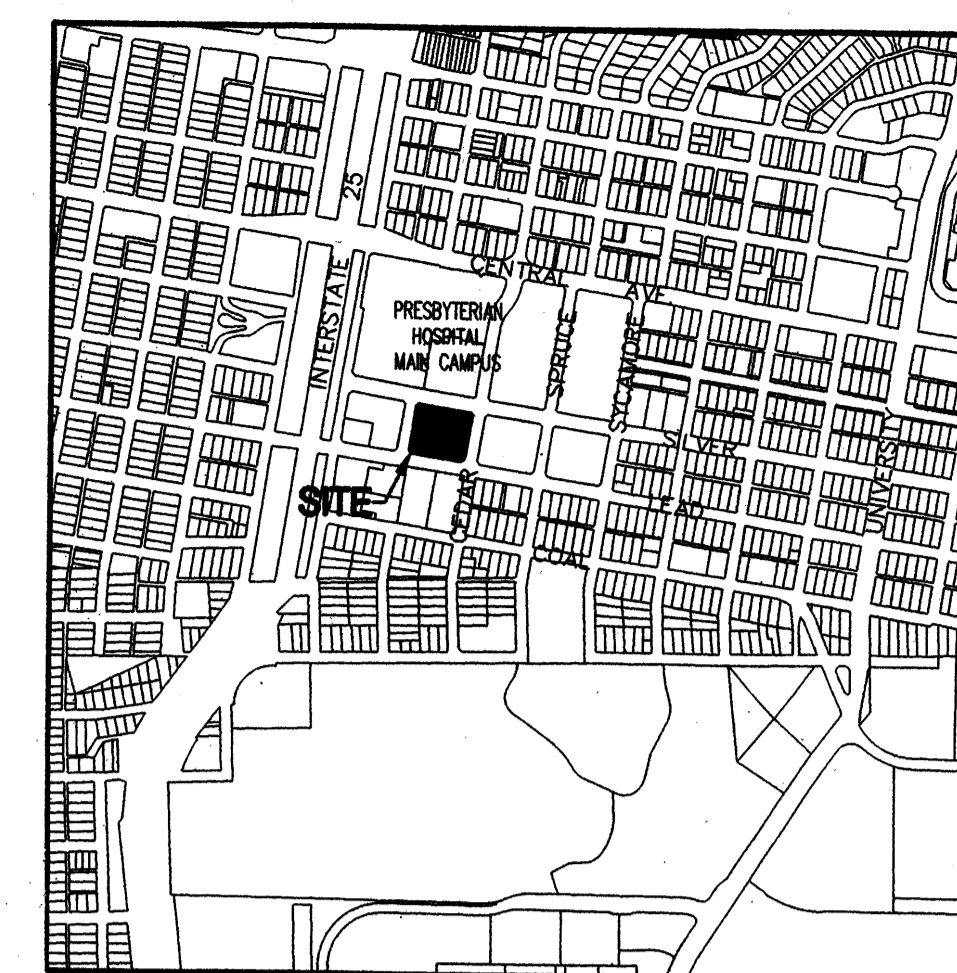
**III. PROPOSED HYDROLOGIC CONDITIONS**  
The proposed project consists of the addition of 74 new parking spaces to the south side of the existing parking lot. A new sidewalk culvert will be installed in the southwest corner of the parking lot to aid in properly draining the site. The site will still drain into Spruce Street. After completion of the proposed construction, 78.6% will be impervious and 21.4% will consist of land treatment B which will generate a peak discharge of 8.06cfs in the 100 year storm (DPM chapter 22-A.6).

The total discharge to adjacent public streets under proposed conditions is 0.96cfs more than existing peak flows.

**IV. OFFSITE CONSIDERATIONS**  
There are no upstream offsite flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure since proposed conditions discharge is slightly more than existing.

**V. CONCLUSION**  
The improvements proposed with this final grading and drainage plan are capable of safely passing the 100 year storm and meet city requirements. With this submittal, we are seeking city hydrology approval for paving permit.





VICINITY MAP  
ZONE ATLAS PAGE K-15-Z

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- CONSTRUCTION MOT. DIV. DATE \_\_\_\_\_

ENGINEER



PROJECT

**Presbyterian Hospital  
East Expansion  
Parking Lot Day Surgery  
Albuquerque, NM**

REVISIONS

- ▲
- ▲
- ▲
- ▲
- ▲

DRAWN BY **RSB**  
REVIEWED BY **EJS**  
DATE **11-21-05**  
PROJECT NO.  
DRAWING NAME

**GRADING &  
DRAINAGE PLAN**

SHEET NO.

**C102**  
OF

**LEGEND**

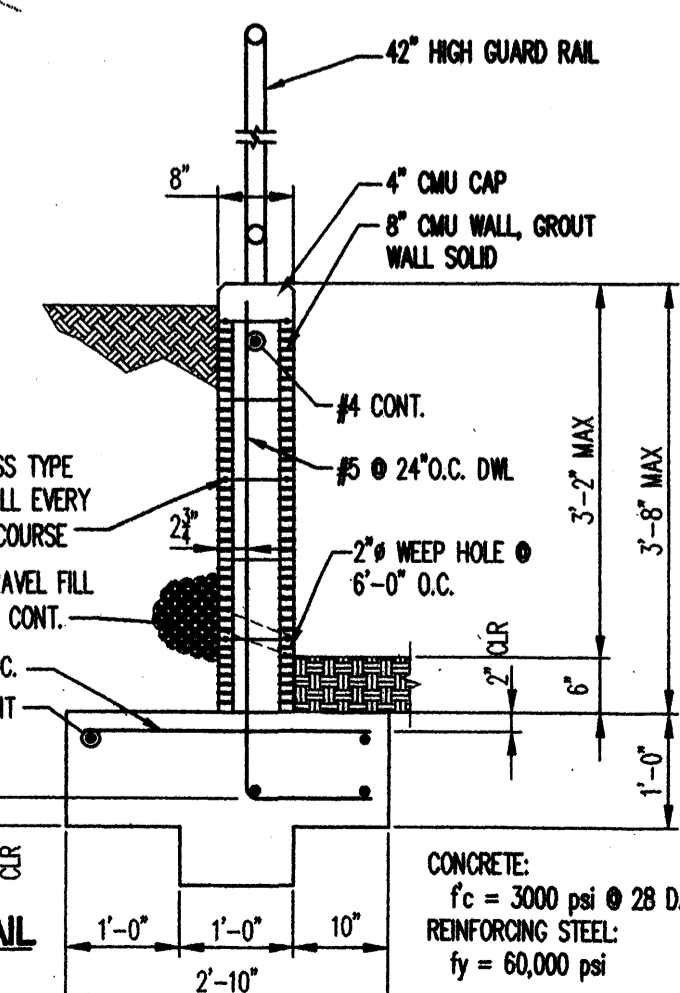
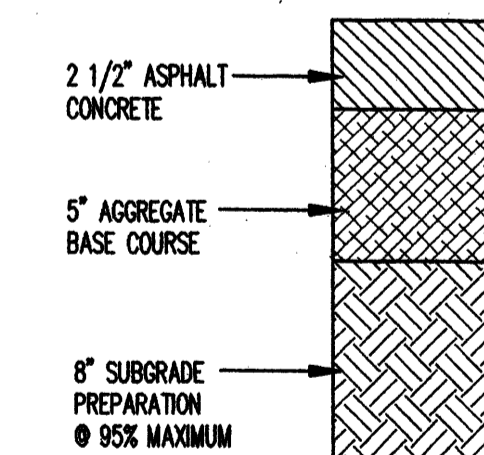
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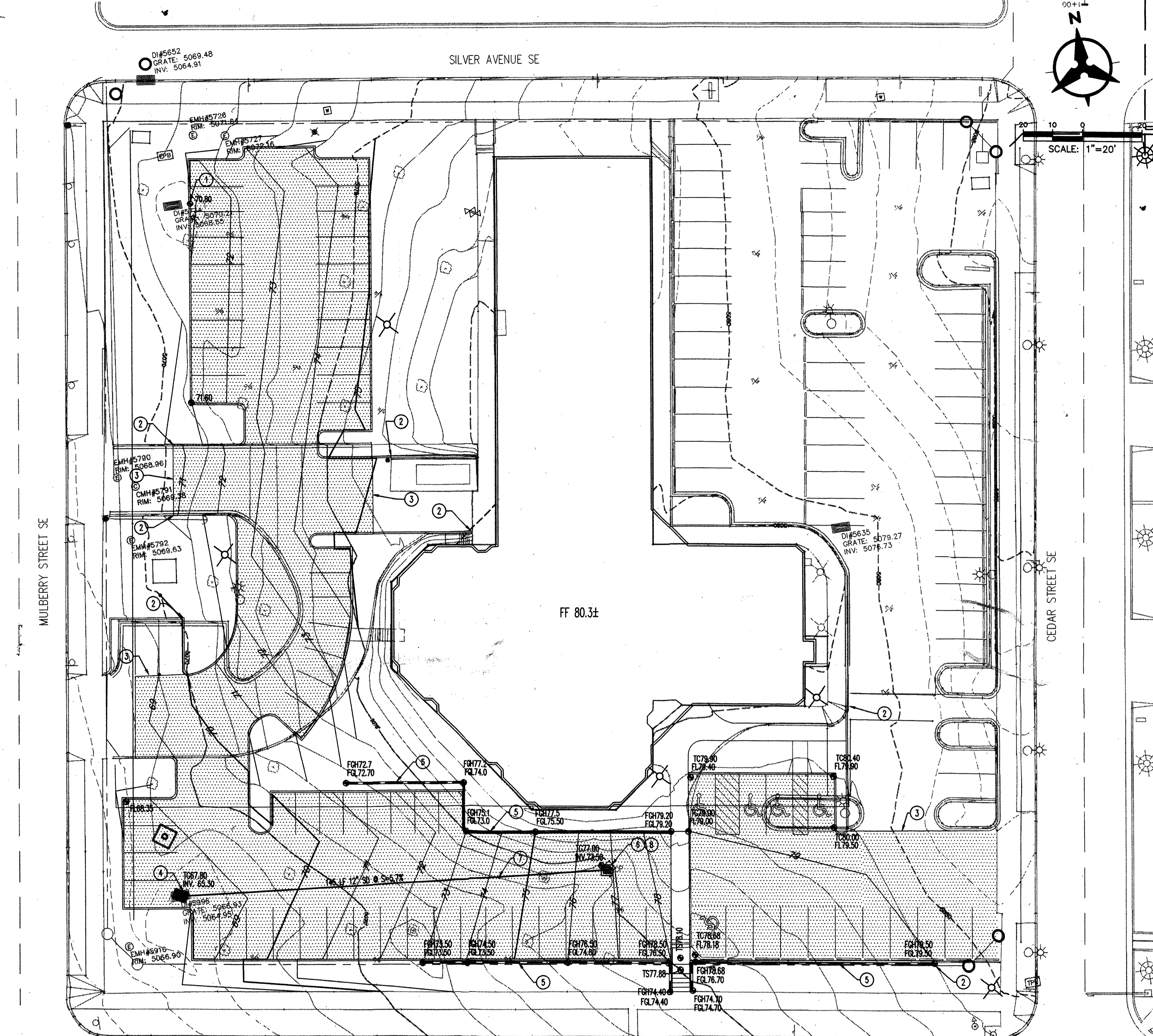
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- MATCH EXISTING CURB AND GUTTER BOTH HORIZONTAL AND VERTICAL.
- SAW CUT AND MATCH EXISTING PAVEMENT, SEE DETAIL THIS SHEET.
- ADJUST EXISTING INLET TO FINISHED GRADE.
- RETAINING WALL, SEE DETAIL THIS SHEET.
- NEW TYPE "D" INLET PER COA. STD. DWG. 2206.
- 12" SDR35 PVC STORM DRAIN PIPE.
- REMOVE EXISTING CONCRETE HEAD WALL.



**RETAINING WALL NOTES:**

- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER GROUTING THE WALL.
- LAP SPICE ON REINFORCING BARS IS NOT ALLOWED
- CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE.
- DESIGN DATA  
EFP (ACTIVE) = 36 PCF  
SOIL BEARING PRESSURE = 2000 PCF (1/3 INCREASE FOR WIND/ SEISMIC)  
COEFFICIENT OF FRICTION = 0.35  
EFP (PASSIVE) = 300 PCF  
CONCRETE F'c (28 DAYS) = 3000 PSI  
REINFORCEMENT = 60 ASTM A-615
- CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE FOOTING POUR. FOR INSPECTION OF COMPACTION UNDER FOOTING. FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.  
WEEP BOLES: PLACE A 2x4" PIECE OF MIRAFI 140N FILTER FABRIC ON THE BACK OF WALL AT EACH WEEP LOCATION. OMIT HEAD JOINT ON BOTTOM TWO COURSES AT 48" O.C.  
THE FIRST COURSE OF CMU BLOCK MAY BE PLACED IN FRESH FOOTING CONCRETE. SUBSEQUENT COURSES OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.  
ALL CMU BLOCK JOINTS SHALL BE TOOLED.



**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
The purpose of this submittal is to present a final grading and drainage plan for the Presbyterian parking lot on the corner of Lead and Cedar. This submittal is made in order to support building permit approval.

**II. SITE LOCATION AND EXISTING CONDITIONS**  
The project site is located on the northwest corner of Lead and Cedar. Prior to proposed work, the total existing area includes landscaped land (51% Treatment B), and parking lot (49% Treatment D). The site currently drains to the west to two existing inlets on the project site. According to the DPM chapter 22-A.6, the total peak discharge from the site in the 100 year storm is approximately 6.9cfs. Site slopes are 8% to 10%. The site is located within zone atlas map # K-15-Z, and hydrologic zone 2.

**III. PROPOSED HYDROLOGIC CONDITIONS**  
The proposed project consists of the addition of 55 new parking spaces south and west of the existing day surgery building. A new sidewalk culvert will be installed in the new southwest corner of the parking lot to aid in properly draining the property. The site will still drain into Spruce Street. After completion of the proposed construction, 74% is impervious and 36% will consist of land treatment B which will generate a peak discharge of 8.3cfs in the 100 year storm (DPM chapter 22-A.6).

The total discharge to adjacent public streets under proposed conditions is 1.4cfs more than existing peak flows.

**IV. OFFSITE CONSIDERATIONS**  
There are no upstream offsite flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure since proposed conditions discharge is slightly more than existing.

**V. CONCLUSION**  
The improvements proposed with this final grading and drainage plan are capable of safely passing the 100 year storm and meet city requirements. With this submittal, we are seeking city hydrology approval for building permit.

**DRAINAGE CALCULATIONS**

**EXISTING CONDITIONS:**  
TREATMENT -> 49.0% = D, 51.0% = B  
(0.49)(1.93AC)(4.70) + (0.51)(1.93AC)(2.28) = 6.9cfs

**PROPOSED CONDITIONS:**  
TREATMENT -> 74% = D, 36% = B  
(0.74)(1.93AC)(4.70) + (0.36)(1.93AC)(2.28) = 8.3cfs

NET DIFFERENCE = 8.3 - 6.9 = 1.4cfs