



Supplemental Form (SF)

<input type="checkbox"/> SUBDIVISION	S	Z	ZONING & PLANNING
Major subdivision action	___	___	Annexation
Minor subdivision action	___	___	
Vacation	V	___	Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
Variance (Non-Zoning)	___	___	
SITE DEVELOPMENT PLAN	P	___	Adoption of Rank 2 or 3 Plan or similar
for Subdivision	___	___	Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input checked="" type="checkbox"/> for Building Permit	___	___	
Administrative Amendment (AA)	___	___	
Administrative Approval (DRT, URT, etc.)	___	___	
IP Master Development Plan	D	___	Street Name Change (Local & Collector)
Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)	___	___	Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
Storm Drainage Cost Allocation Plan	___	___	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

PDF copy of the completed application along with all the plans and documents being submitted must be emailed to (PLNDRS@cabq.gov) prior to processing this application. **(Zipped files and files over 9 Megabytes will not get delivered via email, Therefore, PDF files must be provided on a CD)**

APPLICATION INFORMATION:

Professional/Agent (if any): DANIEL KEMME / DEKREK/DELICU/SABATINI PHONE: 505-761-9700
 ADDRESS: 7601 JEFFERSON NE #100 FAX: 505-761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: DANK@DPSDESIGN.ORG
 APPLICANT: JOURNAL CENTRAL BUILDING ASSOCIATES PHONE: 505-773-9600
 ADDRESS: 7777 JEFFERSON ST. NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: LHARE@ABQBUILDING.COM
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: AMEND SITE PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. AAA-5A-1 Block: 0 Unit: _____
 Subdiv/Addn/TBKA: JOURNAL CENTRAL
 Existing Zoning: 1P Proposed zoning: 1P MRGCD Map No _____
 Zone Atlas page(s): D-17 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX,Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? N
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 3.3
 LOCATION OF PROPERTY BY STREETS: On or Near: MASTHEAD NE
 Between: JEFFERSON and DAN AMERICAN FWY
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 2/27/18
 (Print Name) DANIEL P. KEMME Applicant: Agent:

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>18DRB - 70070</u>	<u>ASBP</u>	___	<u>\$ 100.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>EMF</u>	___	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	___	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	___	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	___	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	___	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	___	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	___	\$ _____
	Hearing date <u>March 7, 2018</u>			Total <u>\$ 120.00</u>

[Signature]

2-27-18
Staff signature & Date

Project # 1017545

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Maximum Size: 24" x 36"
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** Maximum Size: 24" x 36"
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
 - ___ Grading and Drainage Plan/Drainage Report Submittal to Hydrology*

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** Maximum Size: 24" x 36"
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center (SC): Certificate of No Effect or Approval
 - ___ Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
 - ___ Grading and Drainage Plan/Drainage Report Submittal to Hydrology*

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMEND SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** Maximum Size: 24" x 36"
- AMEND SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** Maximum Size: 24" x 36"
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF, EPC-APPROVED SDP FOR BUILDING PERMIT (DRB05)** Maximum Size: 24" x 36"
- FINAL SIGN-OFF, EPC-APPROVED SDP FOR SUBDIVISION (DRB06)** Maximum Size: 24" x 36"
 - ___ Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Solid Waste Management Department signature on Site Plan for Building Permit
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ___ FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ List any original and/or related file numbers on the cover application
 - ___ Grading and Drainage Plan/Drainage Report Submittal to Hydrology

*(Grading and Drainage Plan/Drainage Report must be submitted be to Hydrology prior to DRB application submittal. Grading and Drainage plans may have to be approved prior to DRB approval.)

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



Form revised January 2018

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
16DRB - 70070

Ray 2-27-18
 Planner signature / date
 Project # 1011545

February 15, 2018


To whom it may concern
City of Albuquerque

RE: Owner's Agent
5100 Masthead NE
Albuquerque, NM 87109

To whom it may concern:

This letter is to confirm that Dekker/Perich/Sabatini, Ltd. is the authorized agent for the owner of 5100 Masthead NE, Albuquerque, NM 87109 as per the attached Exhibit A with regards to proposed renovations and additions to the existing structure.

Sincerely,



Daniel P. Kemme, AIA, LEED AP
Principal

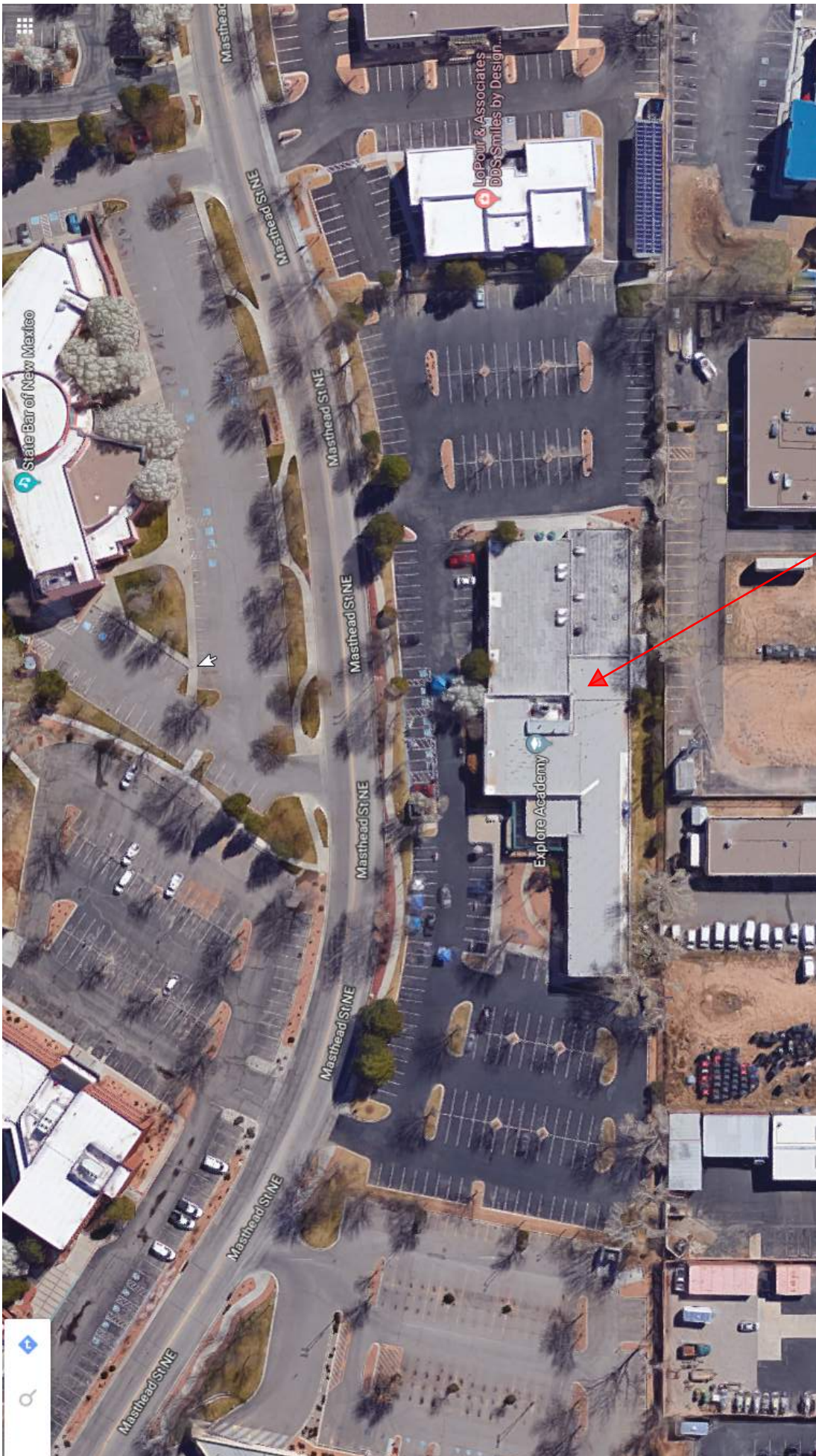
Acknowledged and Agreed
Owner: Journal Center Building Associates
a New Mexico general partnership

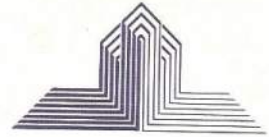
By: _____



Lowell Hare, Managing Partner

Exhibit A
5100 Masthead NE
Albuquerque, NM 87109





February 22, 2018

Mr. Justin Baiardo
Explore Academy Board
5100 Masthead NE
Albuquerque, NM 87109

RE: Journal Center - Explore Academy Renovations and Additions

Dear Justin:

The Journal Center Architectural Review Committee has reviewed and approved the draft Site Plan for DRB01 Amend Site Development Plan for Building Permit drawings submitted for the referenced project, which includes the proposed additions and site modifications to the Explore Academy Building on TR 4AA5A1 (REPL OF TR 4AA5A) Journal Center.

We understand this approval letter will be included in the DRB submittal for the site plan amendment for the property in preparation for building permit review.

Please do not hesitate to call our office if you have any questions as you move forward with the project.

Sincerely,

Lowell A. Hare
President and CEO

February 27, 2018



Explore Academy Renovations and Additions
Design Review Board Submittal
AMEND SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)

Project Summary

This project includes two additions to the existing Explore Academy charter school located at 5100 Masthead NE, in the Journal Center. In addition, the project includes renovations to existing classrooms and offices.

The school currently has capacity for 300 students, and serves high school grades. In the fall of 2018, however, they will be enrolling middle school students as well and require additional capacity for eventually as many as 580 students.

This project will add new classrooms, two new commons areas, a music classroom, science labs, and teacher's workroom. The new classrooms will be both within the additions as well as reconfiguration within the existing classroom spaces. In addition, the existing administrative office area will be renovated to accommodate more staff. Support spaces, particularly restrooms, are also being added for the additional student population.

The site layout is remaining as-is with the exception of the new additions. The addition to the east will occupy area that is currently parking, but even with the modest loss of parking stalls the site has more than are required for the occupancy. The west addition is located in a current landscaped area. The existing building area is 25,520 square feet, with the new additions totaling 9,948 square feet.

The exterior of the building is Exterior Insulation and Finish System (EIFS) with hollow metal windows and doors. The EIFS finish color will be to match the existing concrete shell system with a V-groove pattern similar to the original. An existing metal accent band will be matched in color with the EIFS system. A new guardrail/handrail at the west addition will be detailed and painted to match the existing rail system of the west steps. In coordination with the Journal Center Architectural Review Committee, the new rooftop mechanical units have been located as far to the south as possible to minimize visibility from the street.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

X A. 8-1/2" x 11" reduction for each plan sheet.

X B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- X 3. Bar scale
- X 4. North arrow
- X 5. Scaled vicinity map
- X 6. Property lines (clearly identify)
- X 7. Existing and proposed easements (identify each)
- NA 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST*

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- NA E. Walls, fences, and screening: indicate height, length, color and materials
- NA F. Dimensions of all principal site elements or typical dimensions thereof
- NA G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- NA I. Indicate structures within 20 feet of site
- NA J. Elevation drawing of refuse container and enclosure, if applicable.
- NA K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces EXISTING
 - 2. **Calculations:** spaces required: 84 provided: 111
Handicapped spaces (included in required total) required: 4 provided: 8
Motorcycle spaces (in addition to required total) required: 3 provided: 3
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 6 provided: 7
 - NA 2. Bikeways and other bicycle facilities, if applicable
- NA C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation EXISTING TO REMAIN
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - NA 1. Ingress and egress locations, including width and curve radii dimensions NO NEW
 - 2. Drive aisle locations, including width and curve radii dimensions
 - NA 3. End aisle locations, including width and curve radii dimensions NONE
 - NA 4. Location & orientation of refuse enclosure, with dimensions EXISTING, NO NEW
 - NA 5. Curb cut locations and dimensions EXISTING, NO NEW
 - NA 6. Existing and proposed street widths, right-of-way widths and curve radii NONE
 - NA 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions NONE
 - NA 8. Location of traffic signs and signals related to the functioning of the proposal NONE
 - 9. Identify existing and proposed medians and median cuts EXISTING ONLY

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping. NO PHASING

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- X 1. Scale - must be same as scale on sheet #1 - Site plan
X 2. Bar Scale
X 3. North Arrow
X 4. Property Lines
X 5. Existing and proposed easements
X 6. Identify nature of ground cover materials NEW SHOWN, MOSTLY EXISTING
X A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
X B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
X C. Ponding areas either for drainage or landscaping/recreational use
NA 7. Identify type, location and size of plantings (common and/or botanical names).
NO NEW ___ A. Existing, indicating whether it is to preserved or removed.
___ B. Proposed, to be established for general landscaping.
___ C. Proposed, to be established for screening/buffering.
NA 8. Describe irrigation system – Phase I & II . . . EXISTING
NA 9. Backflow prevention detail EXISTING
NA 10. Planting Beds, indicating square footage of each bed EXISTING
NA 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. EXISTING TO REMAIN, NO NEW
X 12. Responsibility for Maintenance (statement) JOURNAL CENTER
X 13. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
X 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
X 15. Landscaped area provided; square footage and percent (specify clearly on plan)
NA 16. Planting or tree well detail
NA 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- X 1. Scale - must be same as Sheet #1 - Site Plan
X 2. Bar Scale
X 3. North Arrow
X 4. Property Lines
X 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT *CHECKLIST*

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s) EXISTING TO REMAIN, NO NEW
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

PROJECT DATA

ADDRESS:
5100 MASTHEAD STREET NE
ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION:
LOT 4AA-5A-1, BLOCK 0, JOURNAL CENTER, BERNALILLO COUNTY NEW MEXICO

UPC: 101-706-341-014-740-235

ZONING: IP

ZONE ATLAS MAP: D-17-Z

BUILDING DATA:
OCCUPANCY GROUP: E - EDUCATION
EXISTING STRUCTURE: ONE STORY - 25,520 SF
PROPOSED NEW CONSTRUCTION: ONE STORY - 9,948 SF
PROPOSED NEW BUILDING: 35,468 SF
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SITE AREA: 3.3 ACRES
SITE AREA: 143,748 SF
BUILDING-TO-LOT COVERAGE (TOTAL): 24.6%

PARKING:
PROVIDED PARKING SPACES: 111 (INCLUDING 8 ACCESSIBLE SPACES,
NOT INCLUDING 3 MOTORCYCLE PARKING SPACES)
REQUIRED PARKING SPACES: 84 (3 SPACES FOR EACH CLASSROOM, 28 CLASSROOMS
Per 14-16-3-1 Off-Street Parking Regulations, Part 3 - A, (28)
PROVIDED BICYCLE PARKING: 7 PROVIDED
REQUIRED BICYCLE PARKING: 6 PER 14-16-3-1 Off-Street Parking Regulations Part 3 - B, 3 (C);
1 SPACE per 50 STUDENTS @ 300 STUDENTS TOTAL

FIRE FLOW REQUIREMENTS:
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SQUARE FOOTAGE: 35,468 SF
EXISTING FIRE HYDRANTS: 2
FIRE FLOW: 2,000 GPM (PER IFC APPENDIX B)

FIRE APPARATUS ACCESS AND LOADING:
NEW FIRE APPARATUS ACCESS ROAD AND ANY REPAIRS TO EXISTING FIRE APPARATUS
ACCESS ROADS (DUE TO NEW FOUNDATION WORK) TO BE 3" MIN ASPHALT CONCRETE
OVER 8" MIN COMPACTED SUB-GRADE AND WILL BE CAPABLE OF SUPPORTING 75,000
POUNDS MIN, NOT TO EXCEED 10% GRADE.

LANDSCAPE:
ALL NEW LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF
ALBUQUERQUE WATER CONSERVATION ORDINANCE.
LANDSCAPE AREA REQUIREMENT: 143,748 SF (SITE AREA) - 35,468SF (BUILDING AREA) =
108,280 SF X 15% = 16,242 SF
LANDSCAPE AREA PROVIDED: 19,750 SF (18%)



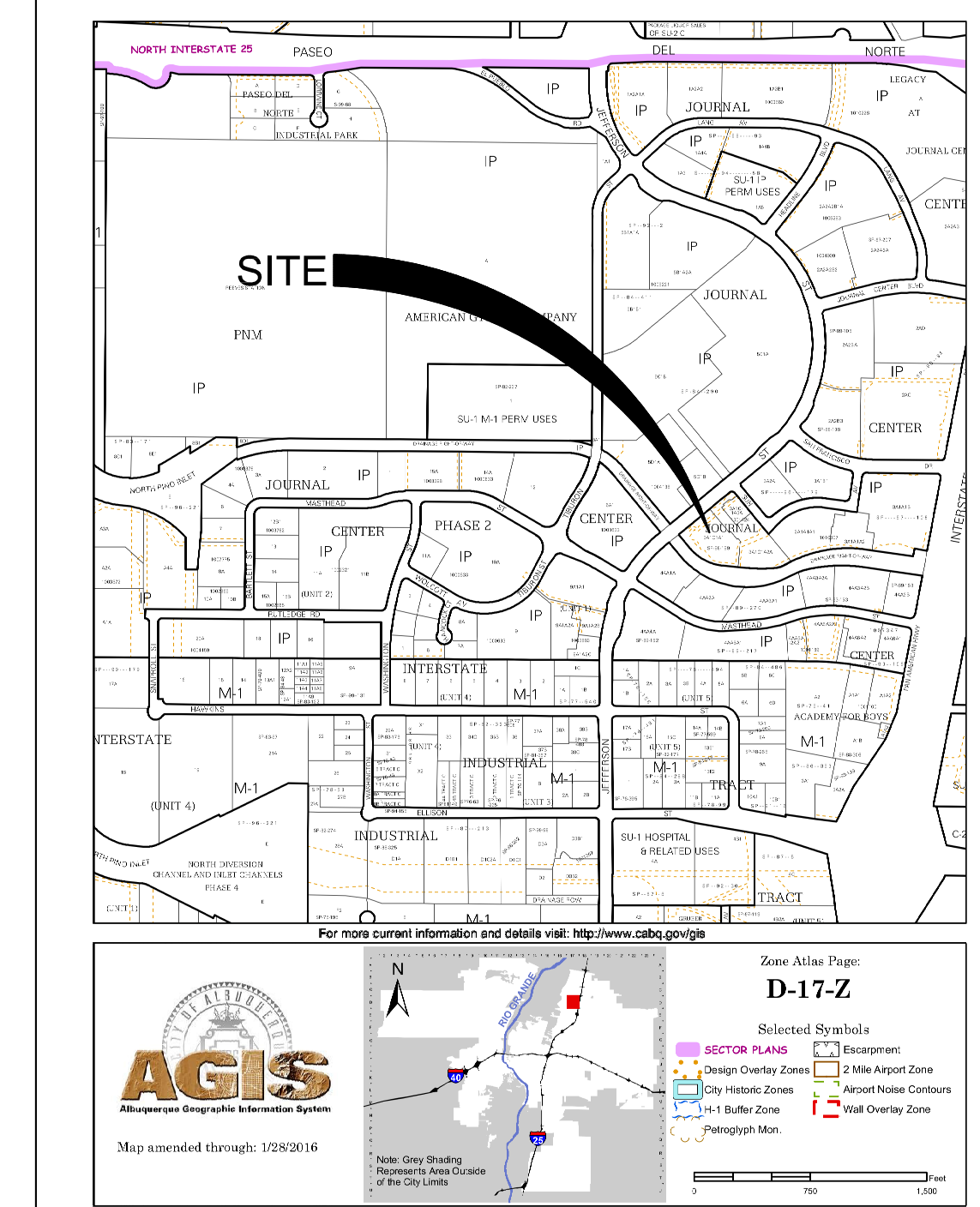
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

VICINITY MAP Zone Atlas Page: D-17



PROJECT

EXPLORE ACADEMY
RENOVATION/ADDITION
5100 MASTHEAD ST. NE
ALBUQUERQUE, NM 87109

APPROVALS

PROJECT NUMBER:	
APPLICATION NUMBER:	
Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHAL	DATE
CODE ENFORCEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

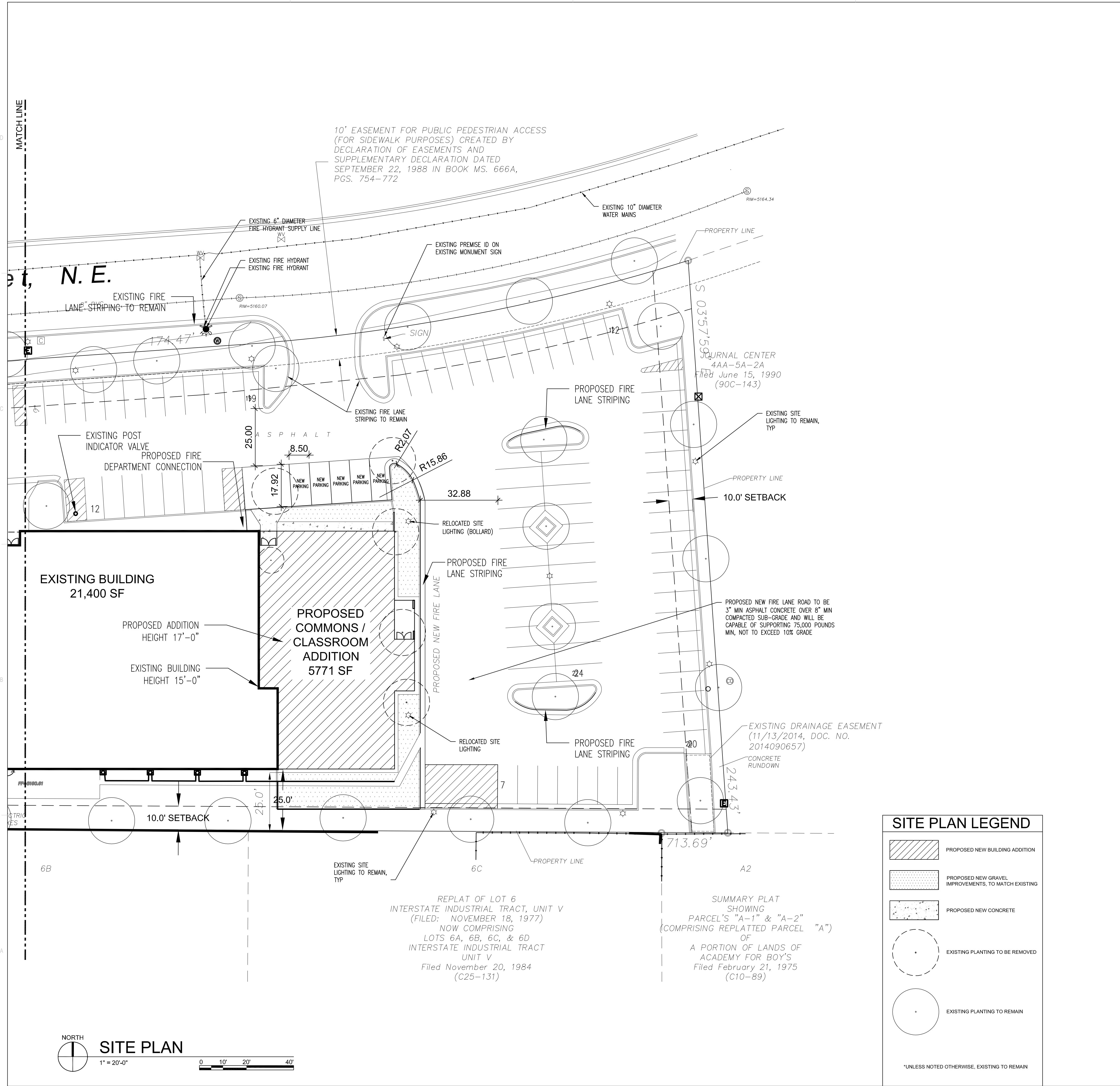
REVISIONS
△
△
△
△

DRAWN BY _____
REVIEWED BY _____
DATE 02/26/2018
PROJECT NO. 16-0150.006
DRAWING NAME

SITE PLAN

SHEET NO.

DRB01B
OF



SITE PLAN LEGEND

- PROPOSED NEW BUILDING ADDITION
- PROPOSED NEW GRAVEL IMPROVEMENTS, TO MATCH EXISTING
- PROPOSED NEW CONCRETE
- EXISTING PLANTING TO BE REMOVED
- EXISTING PLANTING TO REMAIN

*UNLESS NOTED OTHERWISE, EXISTING TO REMAIN

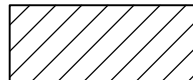
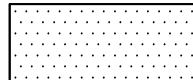


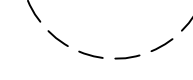


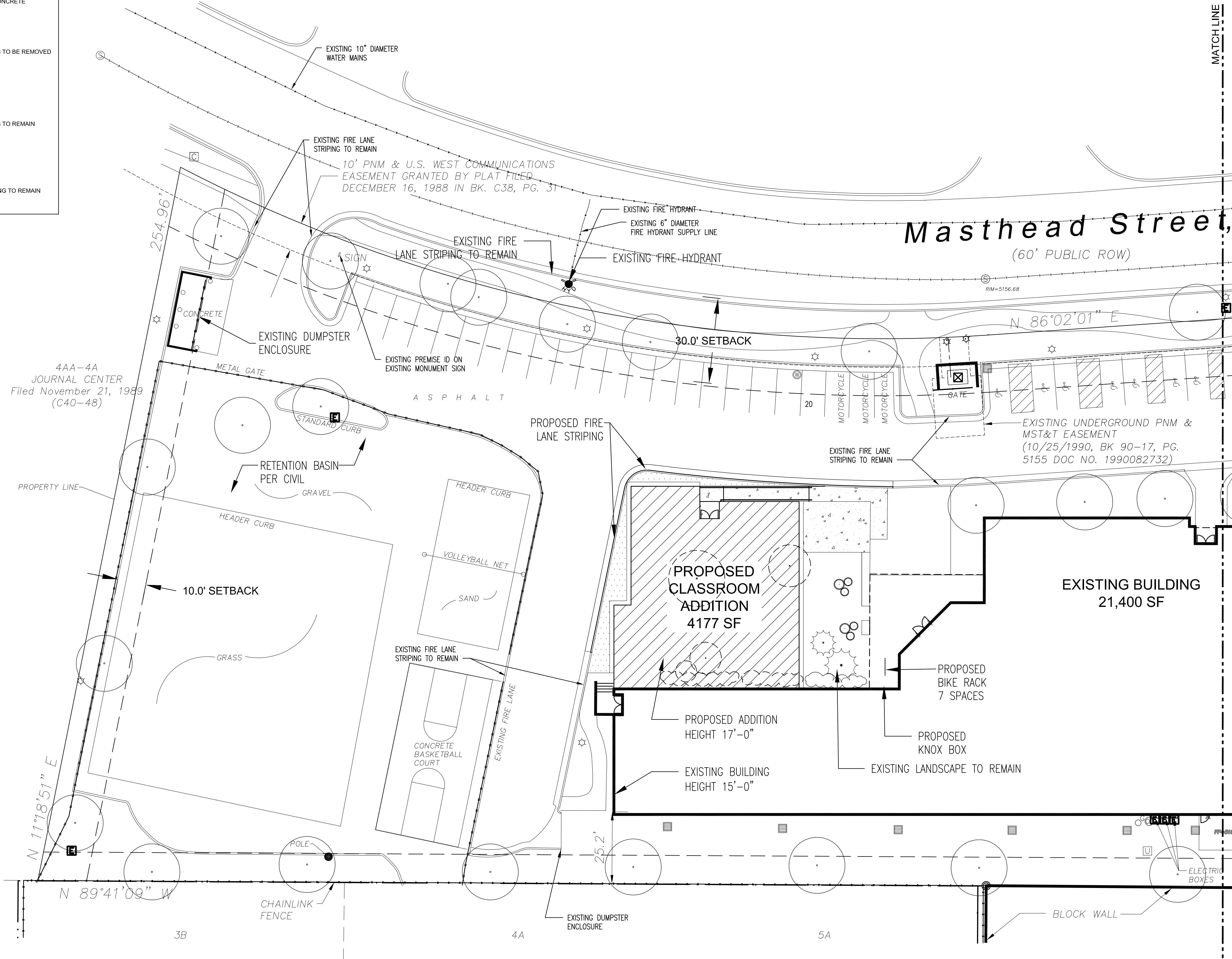
10' EASEMENT FOR PUBLIC PEDESTRIAN ACCESS (FOR SIDEWALK PURPOSES) CREATED BY DECLARATION OF EASEMENTS AND SUPPLEMENTARY DECLARATION DATED SEPTEMBER 22, 1988 IN BOOK MS. 666A, PGS. 754-772

REPLAT OF LOT 6 INTERSTATE INDUSTRIAL TRACT, UNIT V (FILED: NOVEMBER 18, 1977) NOW COMPRISING LOTS 6A, 6B, 6C, & 6D INTERSTATE INDUSTRIAL TRACT UNIT V Filed November 20, 1984 (C25-131)

SUMMARY PLAT SHOWING PARCEL'S "A-1" & "A-2" (COMPRISING REPLATED PARCEL "A") OF A PORTION OF LANDS OF ACADEMY FOR BOY'S Filed February 21, 1975 (C10-89)

SITE PLAN LEGEND

-  PROPOSED NEW BUILDING ADDITION
 -  PROPOSED NEW GRAVEL IMPROVEMENTS, TO MATCH EXISTING
 -  PROPOSED NEW CONCRETE
 -  EXISTING PLANTING TO BE REMOVED
 -  EXISTING PLANTING TO REMAIN
- *UNLESS NOTED OTHERWISE, EXISTING TO REMAIN



PROJECT DATA

ADDRESS:
5100 MASTHEAD STREET NE
ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION:
LOT 4AA-5A-1, BLOCK 0, JOURNAL CENTER, BERNALILLO COUNTY NEW MEXICO

UPC: 101-706-341-014-740-235

ZONING: IP

ZONE ATLAS MAP: D-17-Z

BUILDING DATA:
OCCUPANCY GROUP: E - EDUCATION
EXISTING STRUCTURE: ONE STORY - 25,520 SF
PROPOSED NEW CONSTRUCTION: ONE STORY - 9,948 SF
PROPOSED NEW BUILDING: 35,468 SF
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SITE AREA: 3.3 ACRES
SITE AREA: 143,748 SF
BUILDING-TO-LOT COVERAGE (TOTAL): 24.6%

PARKING:
PROVIDED PARKING SPACES: 111 (INCLUDING 8 ACCESSIBLE SPACES, NOT INCLUDING 3 MOTORCYCLE PARKING SPACES)
REQUIRED PARKING SPACES: 84 (3 SPACES FOR EACH CLASSROOM, 28 CLASSROOMS Per 14-16-3-1 Off-Street Parking Regulations, Part 3 - A, (28))

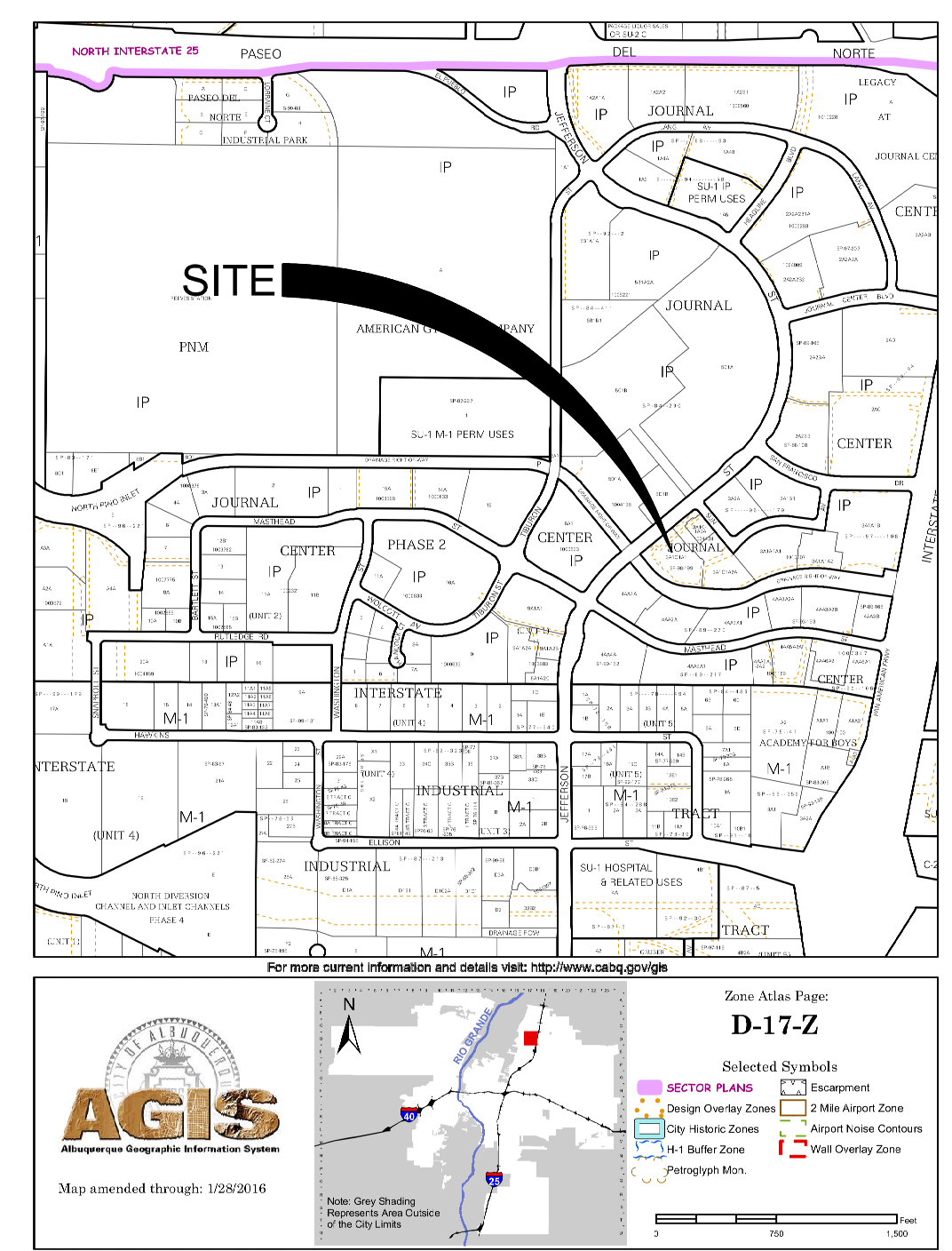
PROVIDED BICYCLE PARKING: 7 PROVIDED
REQUIRED BICYCLE PARKING: 6 PER 14-16-3-1 Off-Street Parking Regulations Part 3 - B, 3 (C): 1 SPACE per 50 STUDENTS @ 300 STUDENTS TOTAL

FIRE FLOW REQUIREMENTS:
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SQUARE FOOTAGE: 35,468 SF
EXISTING FIRE HYDRANTS: 2
FIRE FLOW: 2,000 GPM (PER IFC APPENDIX B)

FIRE APPARATUS ACCESS AND LOADING:
NEW FIRE APPARATUS ACCESS ROAD AND ANY REPAIRS TO EXISTING FIRE APPARATUS ACCESS ROADS (DUE TO NEW FOUNDATION WORK) TO BE 3" MIN ASPHALT CONCRETE OVER 8" MIN COMPACTED SUB-GRADE AND WILL BE CAPABLE OF SUPPORTING 75,000 POUNDS MIN, NOT TO EXCEED 10% GRADE.

LANDSCAPE:
ALL NEW LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE.
LANDSCAPE AREA REQUIREMENT: 143,748 SF (SITE AREA) - 35,468 SF (BUILDING AREA) = 108,280 SF X 15% = 16,242 SF
LANDSCAPE AREA PROVIDED: 19,750 SF (18%)

VICINITY MAP Zone Atlas Page: D-17



APPROVALS

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHAL	DATE
CODE ENFORCEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

**EXPLORE ACADEMY
RENOVATION/ADDITION**
5100 MASTHEAD ST. NE
ALBUQUERQUE, NM 87109

REVISIONS

△	
△	
△	
△	

DRAWN BY _____
REVIEWED BY _____
DATE 02/26/2018
PROJECT NO. 16-0150.006
DRAWING NAME

LANDSCAPE PLAN

SHEET NO.
LAND01A
OF



PROJECT DATA

ADDRESS:
5100 MASTHEAD STREET NE
ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION:
LOT 4AA-5A-1, BLOCK 0, JOURNAL CENTER, BERNALILLO COUNTY NEW MEXICO

UPC: 101-706-341-014-740-235

ZONING: IP

ZONE ATLAS MAP: D-17-Z

BUILDING DATA:
OCCUPANCY GROUP: E - EDUCATION
EXISTING STRUCTURE: ONE STORY - 25,520 SF
PROPOSED NEW CONSTRUCTION: ONE STORY - 9,948 SF
PROPOSED NEW BUILDING: 35,468 SF
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SITE AREA: 3.3 ACRES
SITE AREA: 143,748 SF
BUILDING-TO-LOT COVERAGE (TOTAL): 24.6%

PARKING:
PROVIDED PARKING SPACES: 111 (INCLUDING 8 ACCESSIBLE SPACES)
NOT INCLUDING 3 MOTORCYCLE PARKING SPACES
REQUIRED PARKING SPACES: 84 (3 SPACES FOR EACH CLASSROOM, 28 CLASSROOMS
Per 14-16-3-1 Off-Street Parking Regulations, Part 3 - A, (28)

PROVIDED BICYCLE PARKING: 7 PROVIDED
REQUIRED BICYCLE PARKING: 6 PER 14-16-3-1 Off-Street Parking Regulations Part 3 - B, 3 (C):
1 SPACE per 50 STUDENTS @ 300 STUDENTS TOTAL

FIRE FLOW REQUIREMENTS:
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SQUARE FOOTAGE: 35,468 SF
EXISTING FIRE HYDRANTS: 2
FIRE FLOW: 2,000 GPM (PER IFC APPENDIX B)

FIRE APPARATUS ACCESS AND LOADING:
NEW FIRE APPARATUS ACCESS ROAD AND ANY REPAIRS TO EXISTING FIRE APPARATUS ACCESS ROADS (DUE TO NEW FOUNDATION WORK) TO BE 3" MIN ASPHALT CONCRETE OVER 8" MIN COMPACTED SUB-GRADE AND WILL BE CAPABLE OF SUPPORTING 75,000 POUNDS MIN, NOT TO EXCEED 10% GRADE.

LANDSCAPE:
ALL NEW LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE.

LANDSCAPE AREA REQUIREMENT: 143,748 SF (SITE AREA) = 108,280 SF X 15% = 16,242 SF
LANDSCAPE AREA PROVIDED: 19,750 SF (18%)



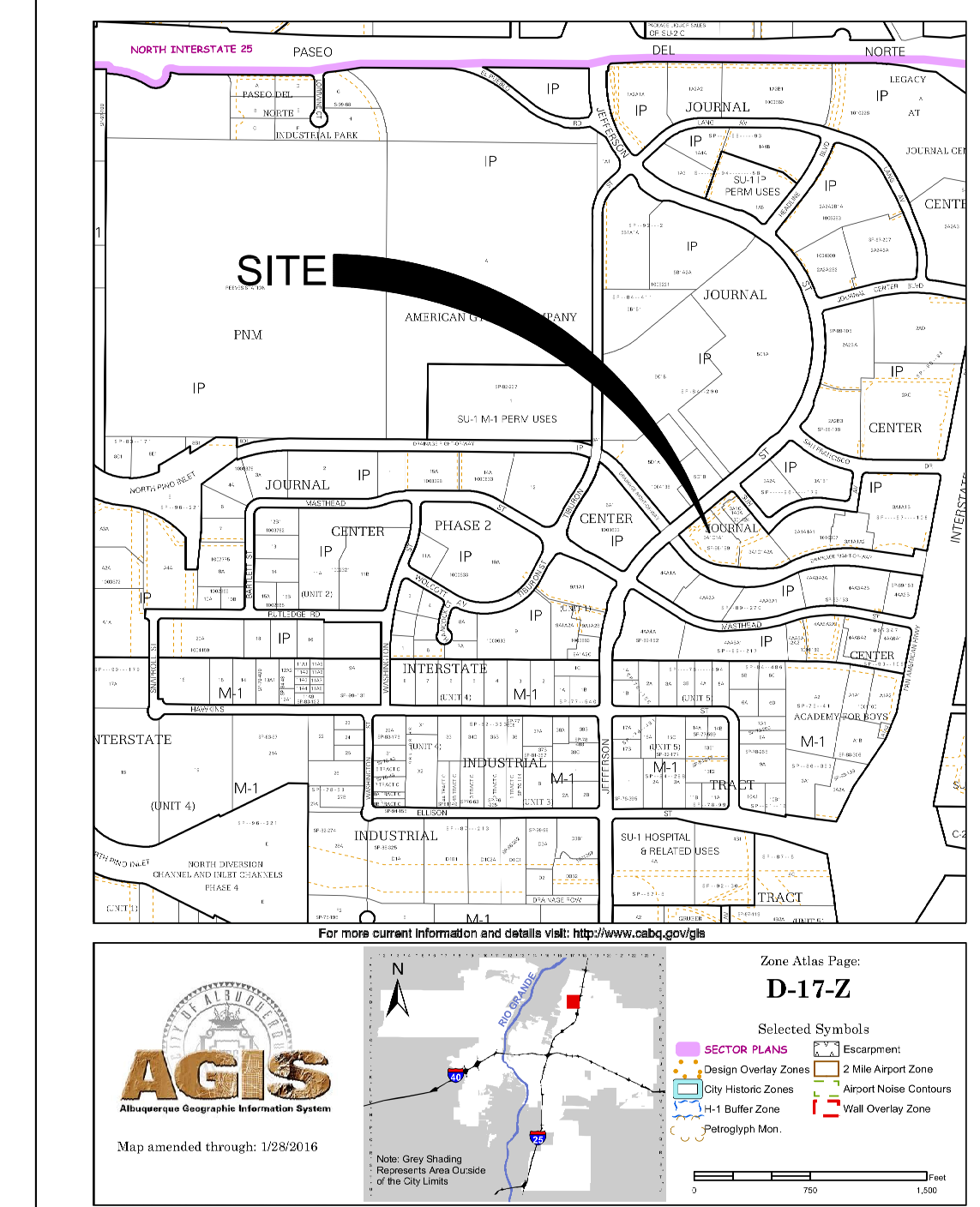
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

VICINITY MAP Zone Atlas Page: D-17



APPROVALS

PROJECT NUMBER:	_____
APPLICATION NUMBER:	_____
Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE _____
ABCWUA	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
FIRE MARSHAL	DATE _____
CODE ENFORCEMENT	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

PROJECT

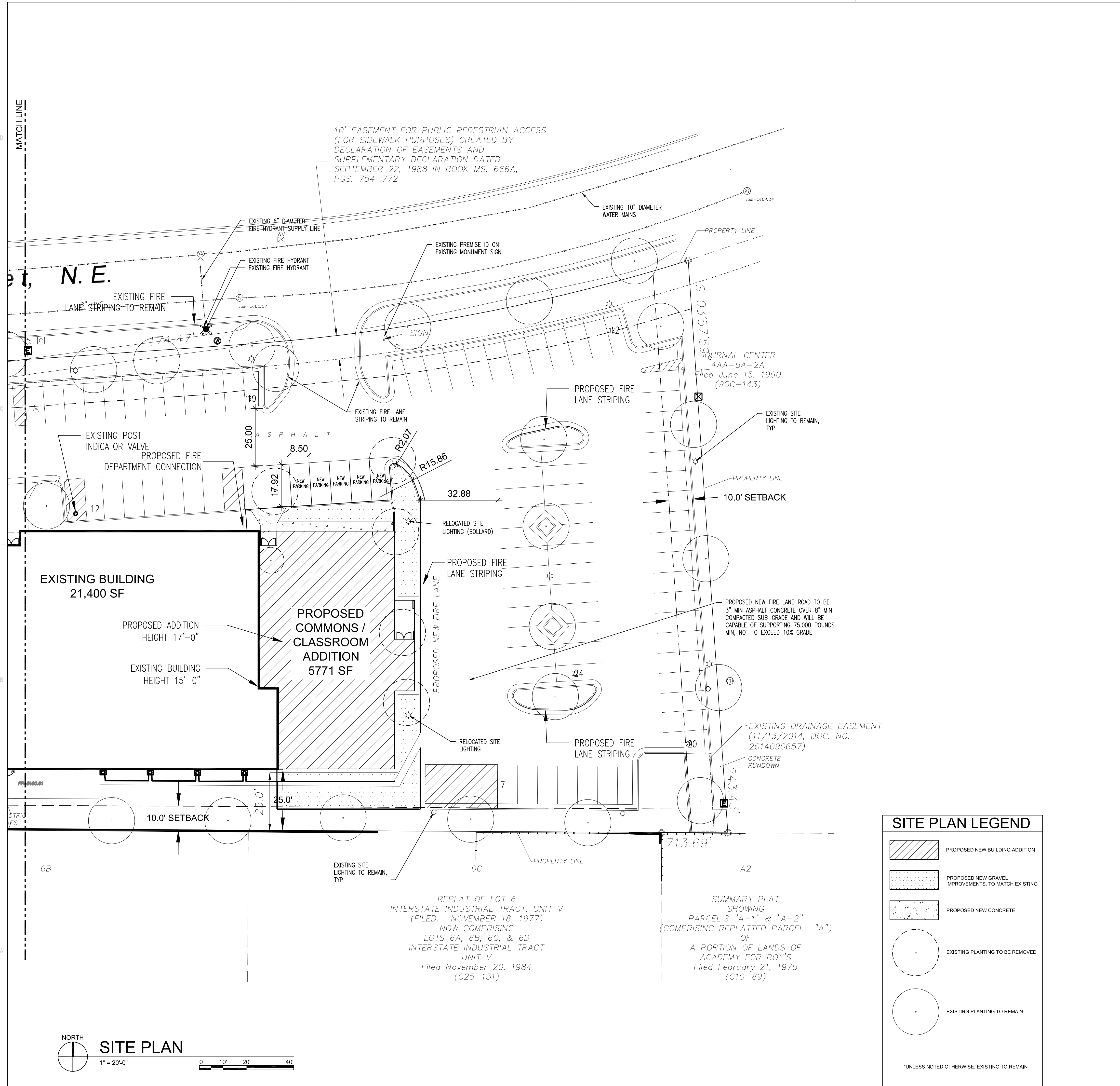
EXPLORE ACADEMY
RENOVATION/ADDITION
5100 MASTHEAD ST. NE
ALBUQUERQUE, NM 87109

REVISIONS
△
△
△
△

DRAWN BY _____
REVIEWED BY _____
DATE 02/26/2018
PROJECT NO. 16-0150.006
DRAWING NAME

LANDSCAPE PLAN

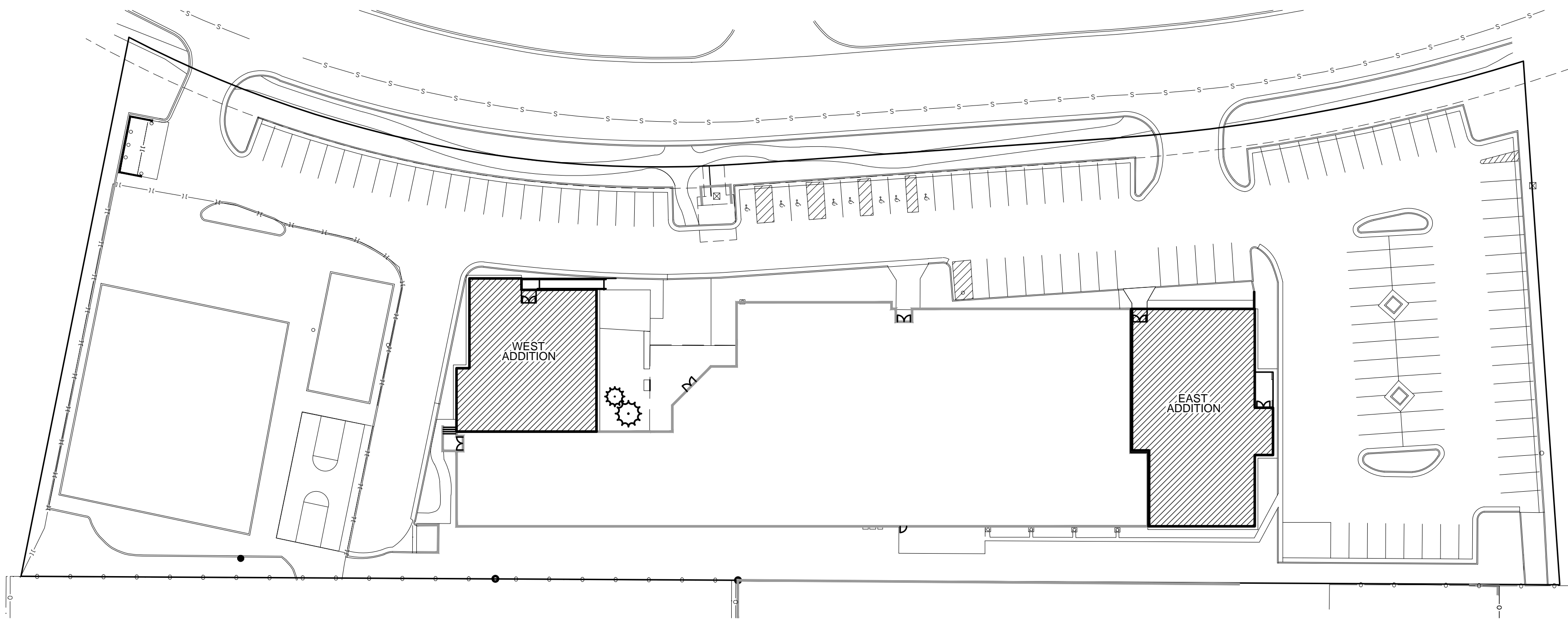
SHEET NO.
LAND01B
OF



SITE PLAN LEGEND

- PROPOSED NEW BUILDING ADDITION
 - PROPOSED NEW GRAVEL IMPROVEMENTS, TO MATCH EXISTING
 - PROPOSED NEW CONCRETE
 - EXISTING PLANTING TO BE REMOVED
 - EXISTING PLANTING TO REMAIN
- *UNLESS NOTED OTHERWISE, EXISTING TO REMAIN





SITE LOCATION PLAN

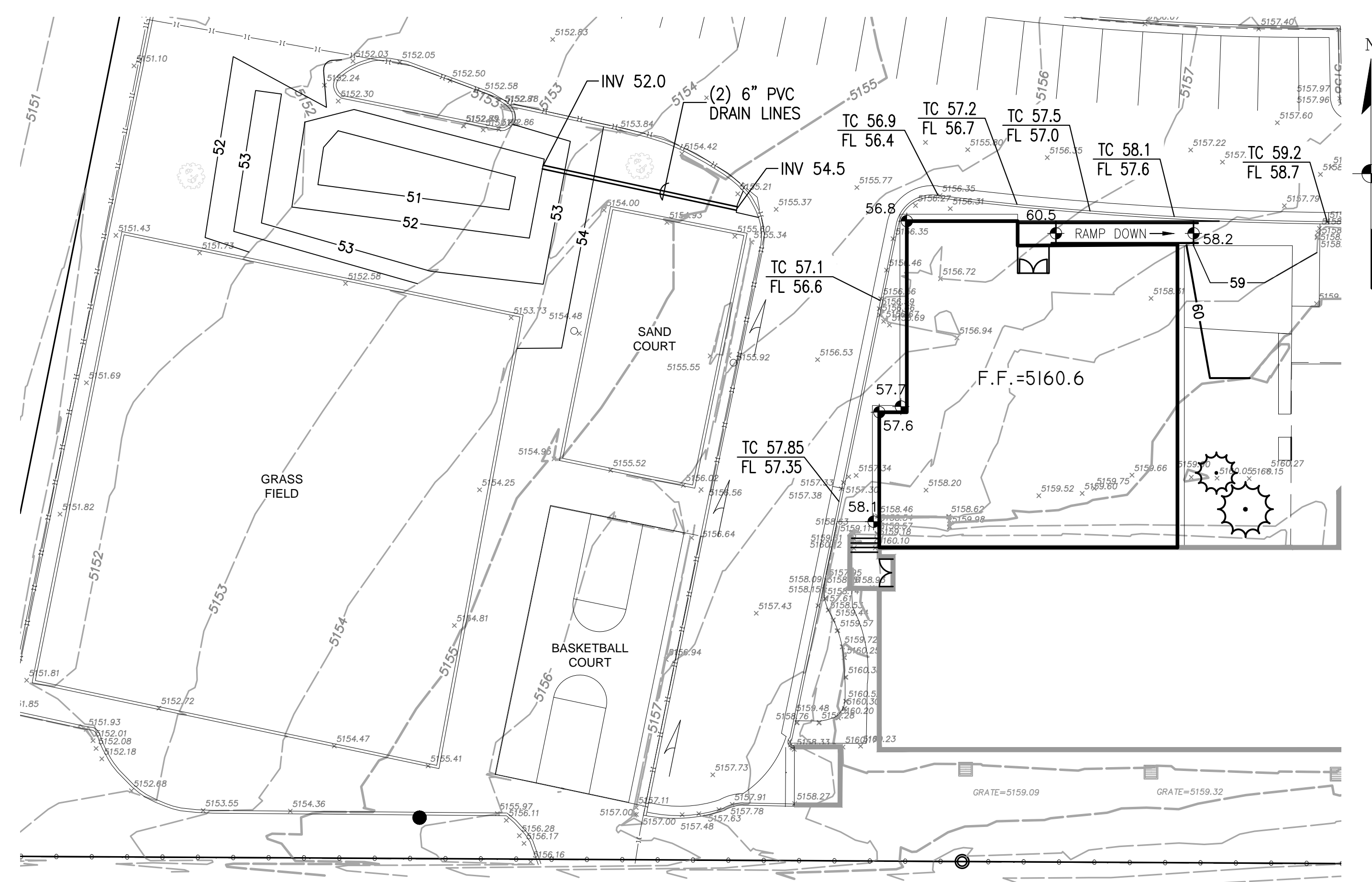
1" = 40'-0" 0 40' 80'



VICINITY MAP D-17
N.T.S.

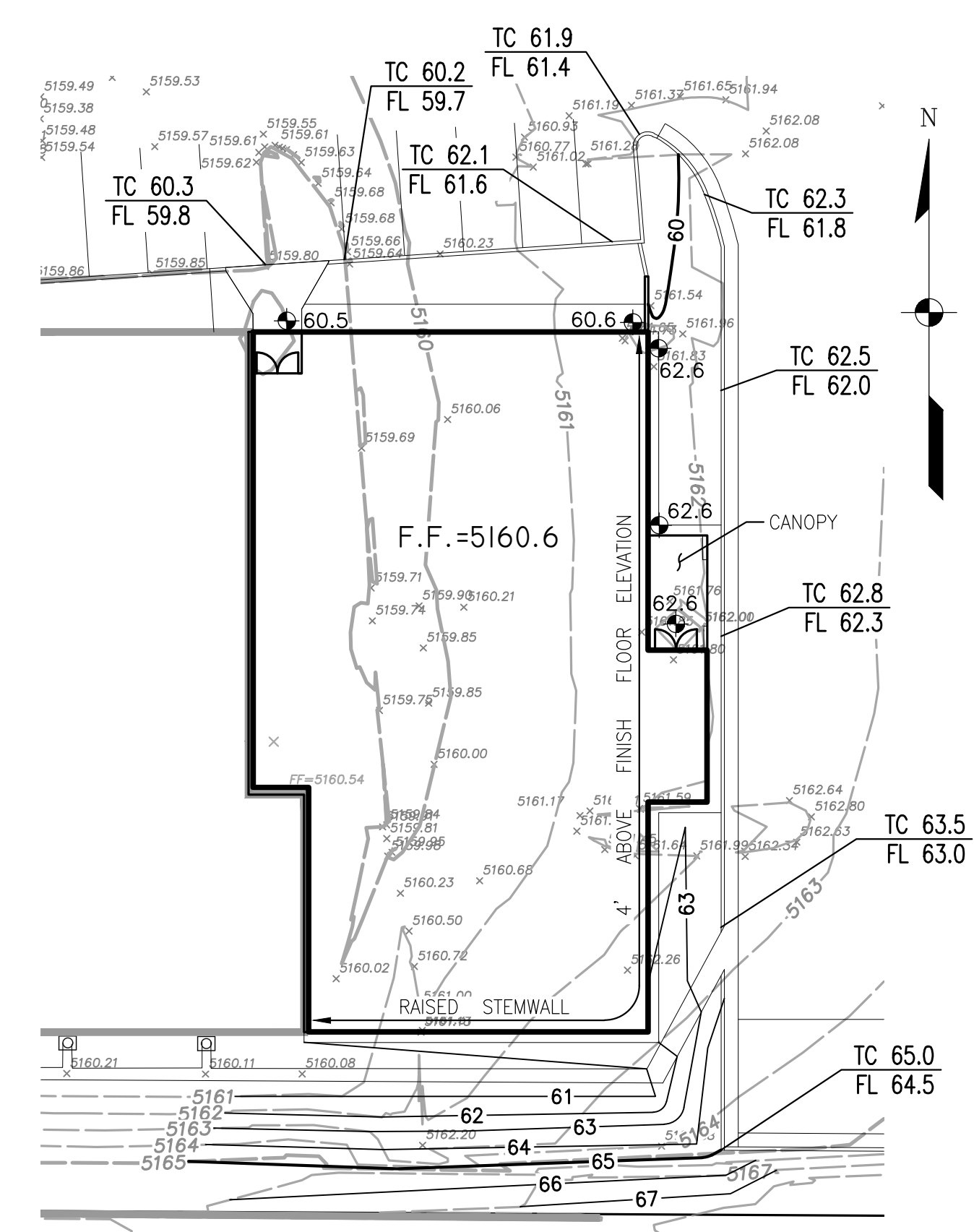
DRAINAGE

LEGAL DESCRIPTION: Tract 4AA5A1 JOURNAL CENTER
AREA: 3.3001 acres (Project Area: 0.831 Acre = 36,200 SF)
SURVEYOR: Topographic survey by Precision Surveys, Inc. January, 2018
BENCHMARK: AGRS Monument "ZAB_B" ELEVATION = 5195.09 (NAVD 1988)
FLOOD HAZARD: From FEMA Map Panel 35001C0137H (effective 8/16/12), this site is within Zone 'X'; areas determined to be subject to the 0.2% annual chance flood.
EXISTING CONDITIONS: The site is developed with a single-story school building, paved parking, walkways, and landscaping. A recent playground and grass field area have been constructed at the west end of the site which replaced asphalt paving. Site runoff surface flows to the west on both the north and south sides of the building and then discharges north to Masthead NE.
OFFSITE FLOW: No offsite flows enter the project site.
PROPOSED IMPROVEMENTS: The project includes two proposed single-story additions. A 4,180 SF addition is proposed at the NW corner and a 5,770 SF addition is proposed east of the building. The additions replace both paved and landscaped areas.
DRAINAGE APPROACH: The drainage concept will honor historic flow patterns. The west addition roof runoff will be directed to the west where it will discharge to grade and flow toward the new onsite retention area shown north of the grass field area. Runoff from the east addition will be carried north and then flow west on the paved surface.
RUNOFF: Precipitation Zone 2
 Existing Q = ((.23)(2.28) + (.12)(2.60) + (.65)(2.92))(3.3 acre) = 9.0 CFS
 Proposed Q = ((.22)(2.28) + (.11)(2.60) + (.67)(2.92))(3.3 acre) = 9.0 CFS
 There is no increase to site runoff.
 For the proposed redevelopment area:
 FIRST FLUSH V = (9,950 SF) (0.26"/12) = 216 CF
 VOLUME PROVIDED = 240 CF (@ 6" DEPTH)



**GRADING AND DRAINAGE PLAN
WEST ADDITION**

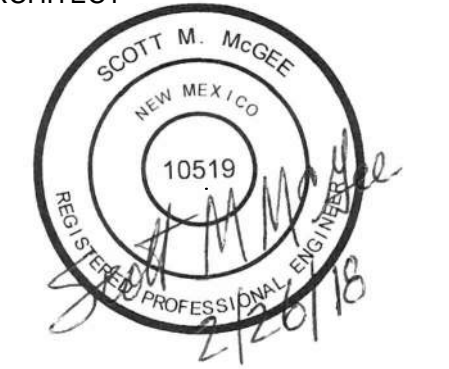
1" = 20'-0" 0 20' 40'



**GRADING AND DRAINAGE PLAN
EAST ADDITION**

1" = 20'-0" 0 20' 40'

Legend	
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	NEW CONTOUR
	SPOT ELEVATION
	F.F. = 5160.6 FINISH FLOOR ELEVATION
	TC 14.5 TOP OF CONCRETE FLOWLINE
	FL 14.0 FLOW DIRECTION



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT



ENGINEER

PROJECT

**EXPLORE ACADEMY
RENOVATION/ADDITION**
5100 MASTHEAD ST. NE
ALBUQUERQUE, NM 87109

REVISIONS

- △
- △
- △
- △

DRAWN BY EJS

REVIEWED BY

DATE 02/16/2018

PROJECT NO. 16-0150.006

DRAWING NAME

UTILITIES

SHEET NO.

C1001
OF

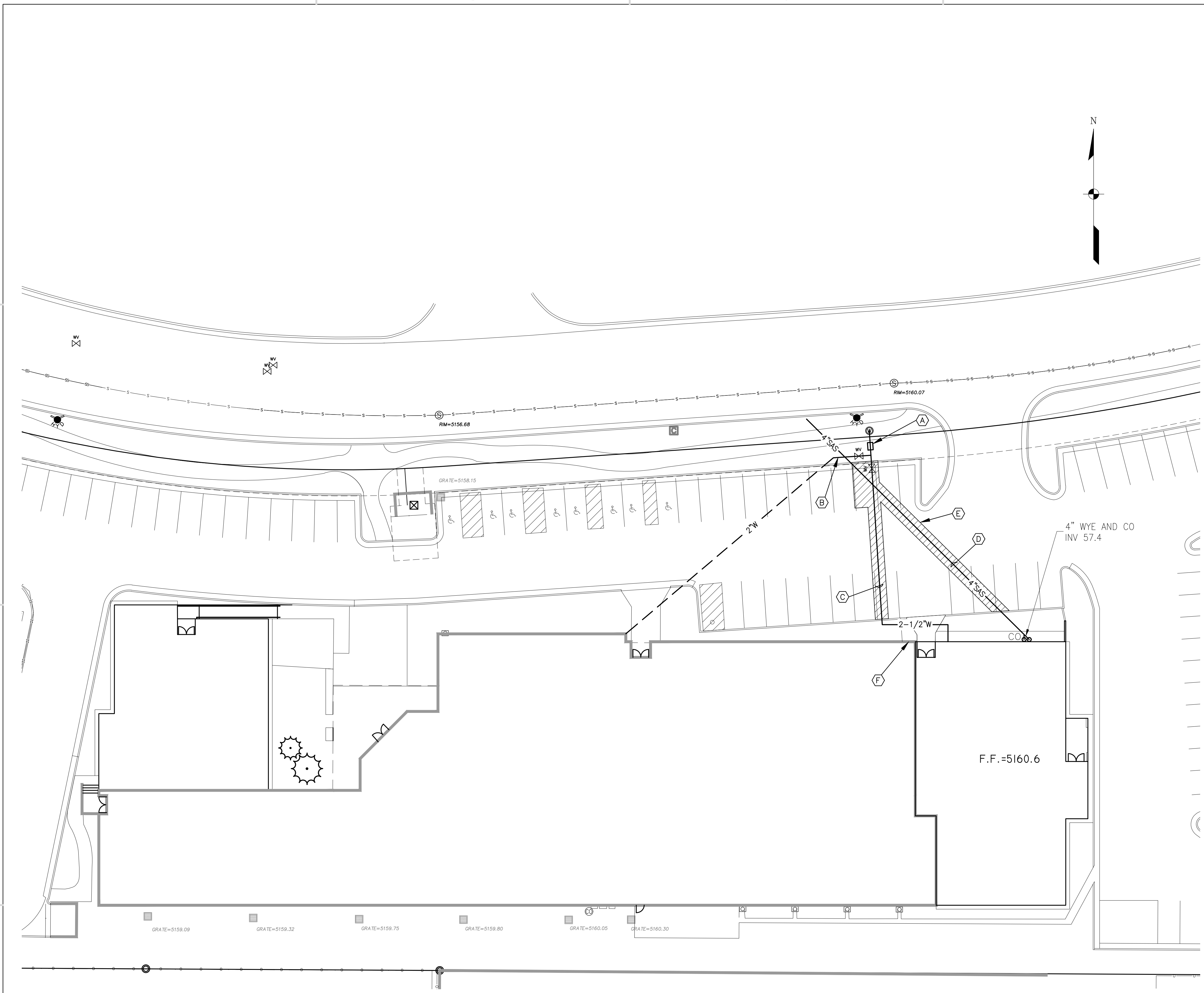


VICINITY MAP D-17
N.T.S.

KEYED UTILITY NOTES

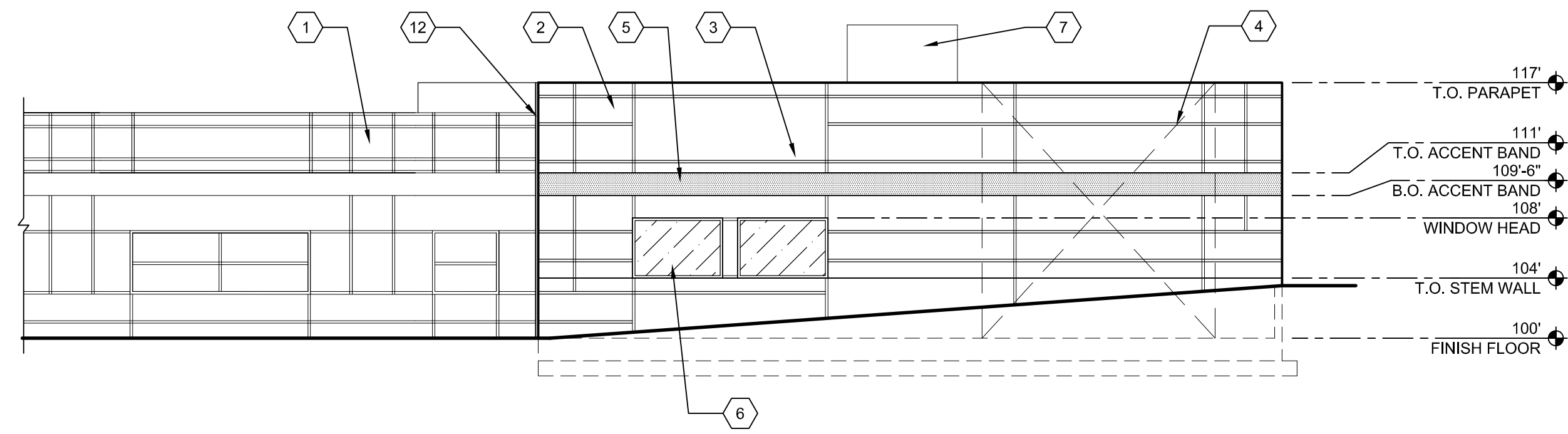
- A. NEW 2-1/2" REDUCED PRESSURE BACKFLOW PREVENTER VALVE (FEBCO SERIES 860) IN A HOT-BOX (MODEL HB4000-A4) WITH A 1000W HEATER ON A 65" x 45" PAD.
- B. NEW 2 x 2-1/2" TEE AFTER HOT-BOX WITH A 2" ISOLATION VALVE (TO WEST), IN NEW 2" WATER TO CONNECT TO EXISTING 2" WATER SERVICE LINE AS SHOWN.
- C. NEW 2-1/2" ISOLATION VALVE AND NEW 2-1/2" WATER LINE TO NEW BUILDING ADDITION. SEE PLUMBING PLAN FOR CONTINUATION.
- D. NEW 4" SEWER SERVICE FROM BUILDING ADDITION TO EXISTING SEWER STUB FROM STREET AT 2% (MINIMUM) SLOPE.
- E. REMOVE AND REPLACE PARKING LOT PAVING AS NEEDED WITH 3" ASPHALT PAVEMENT OVER COMPACTED (95% MINIMUM) SUBGRADE FOR UTILITY TRENCHES.
- F. BUILDING MOUNTED FDC.

Legend	
— 4" SAS —	NEW SANITARY SEWER LINE WITH SIZE
— 2"W —	NEW WATER LINE WITH SIZE
○ CO	CLEANOUT
⊗	WATER VALVE

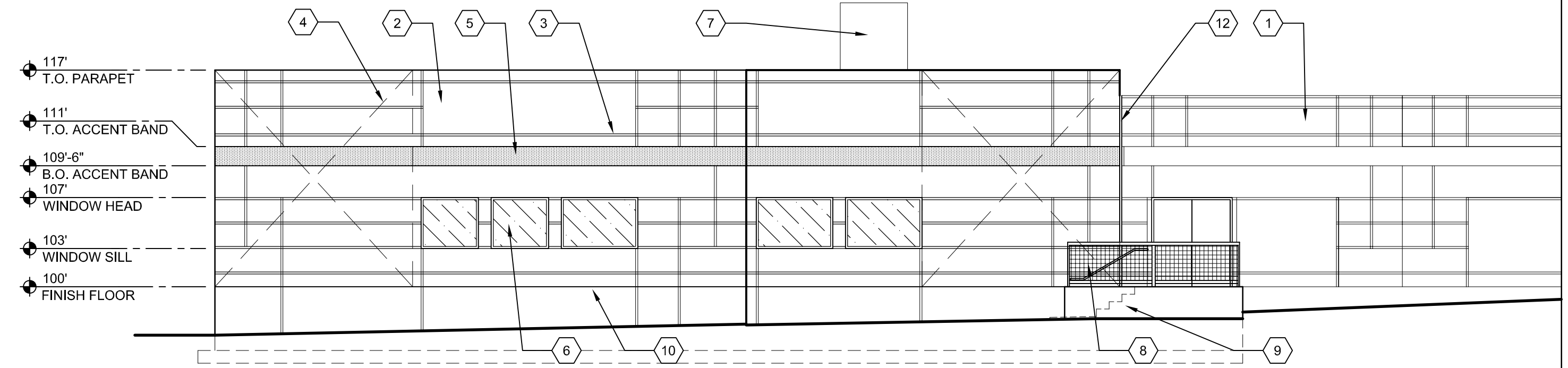


UTILITIES PLAN

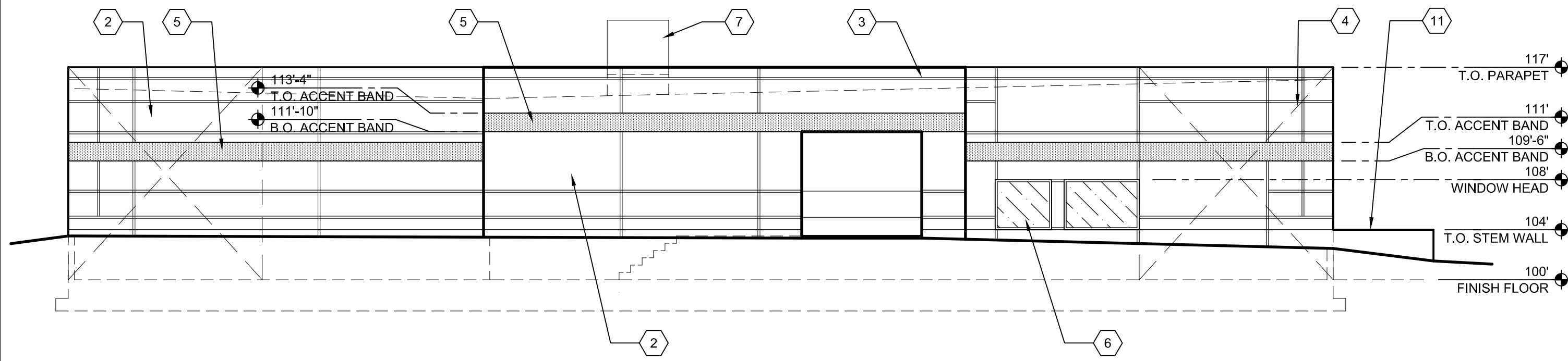
1" = 20'-0"
0 20' 40'



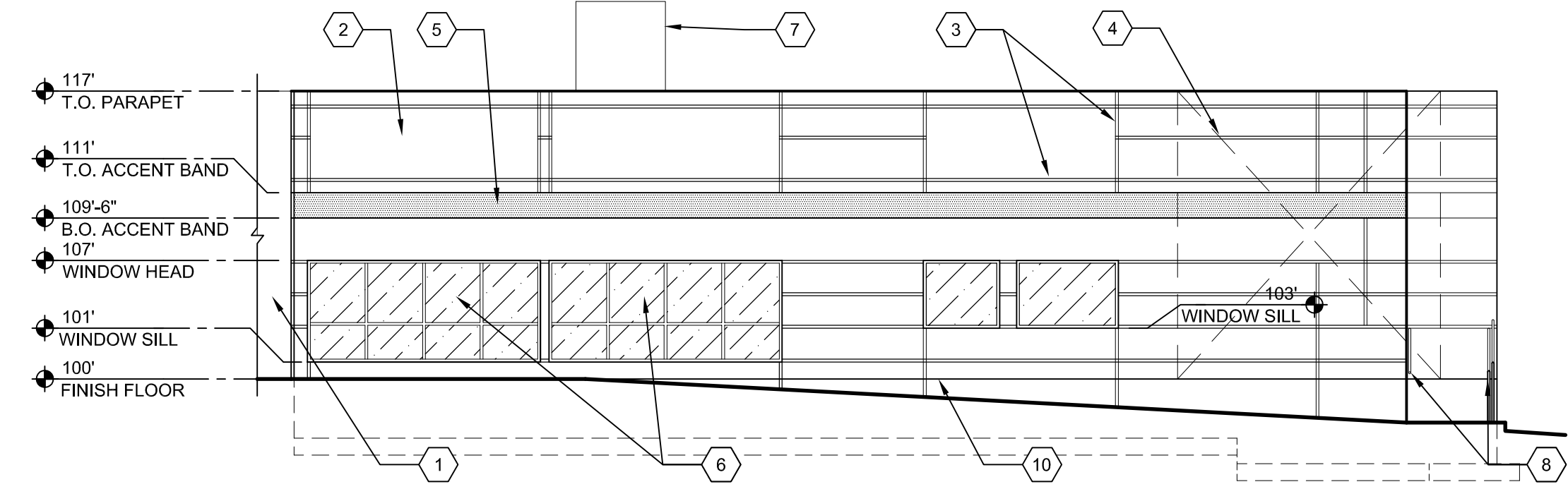
C1 EAST ADDITION - SOUTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



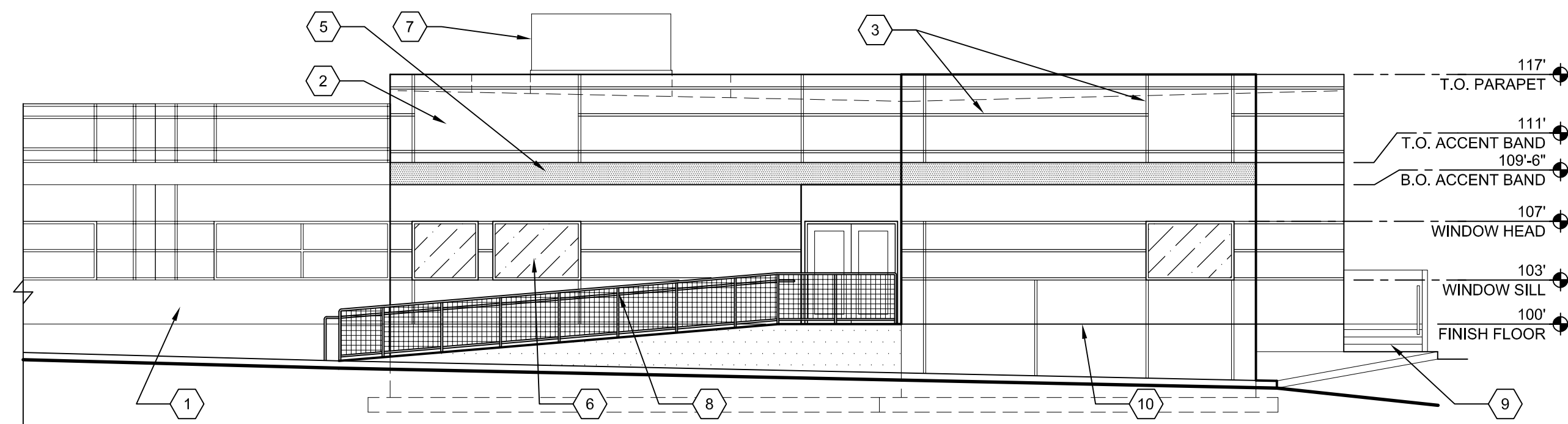
C4 WEST ADDITION - WEST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



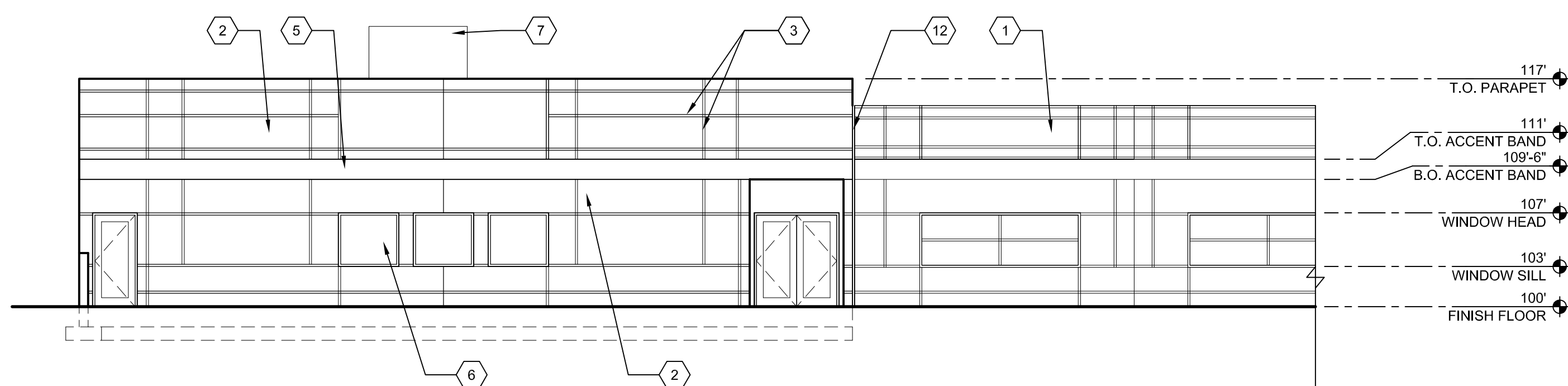
B1 EAST ADDITION - EAST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



B4 WEST ADDITION - EAST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



A4 WEST ADDITION - NORTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



A1 EAST ADDITION - NORTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'

GENERAL SHEET NOTES

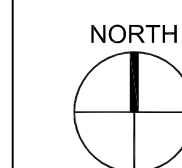
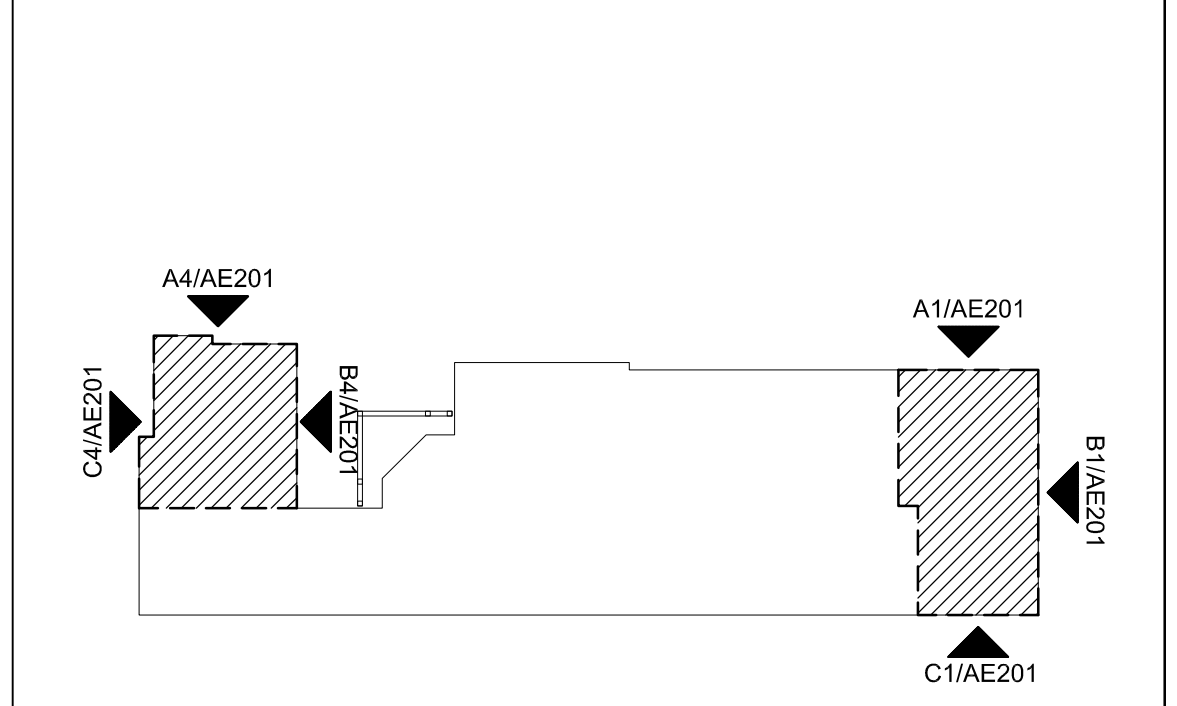
- A. VERIFY ALL DIMENSIONS RELATIVE TO EXISTING STRUCTURE TO REMAIN
- B. HORIZONTAL BANDING OF NEW ELEVATIONS TO MATCH EXISTING U.N.O.

SHEET KEYED NOTES

1. EXISTING BUILDING, PRECAST CONCRETE PANELS
2. EXTERIOR INSULATION FINISH SYSTEM (EIFS) COLOR TO MATCH EXISTING CONCRETE PANELS
3. V-GROOVE IN EIFS SYSTEM TO MATCH EXISTING GROOVE PROFILE
4. STRUCTURAL BRACE WITHIN WALL
5. COLORED ACCENT BAND TO MATCH EXISTING
6. HOLLOW METAL WINDOW & FRAME, PAINT FRAME TO MATCH EXISTING
7. ROOFTOP MECHANICAL UNIT
8. PAINTED METAL HANDRAIL AND GUARDRAIL, 4X4 WWF INFILL PANELS, TYP.
9. NEW CONC. STEPS AND CHEEK WALL AT EXISTING CONC. LANDING
10. EIFS JOINT AT FLOOR LINE - SEE WALL SECTION
11. CONC. RETAINING WALL
12. 2" EXPANSION JOINT AND COVER

KEYPLAN

NOT TO SCALE



REVISIONS

DRAWN BY
REVIEWED BY
DATE 02/26/2018
PROJECT NO. 16-0150.006
DRAWING NAME
ELEVATIONS



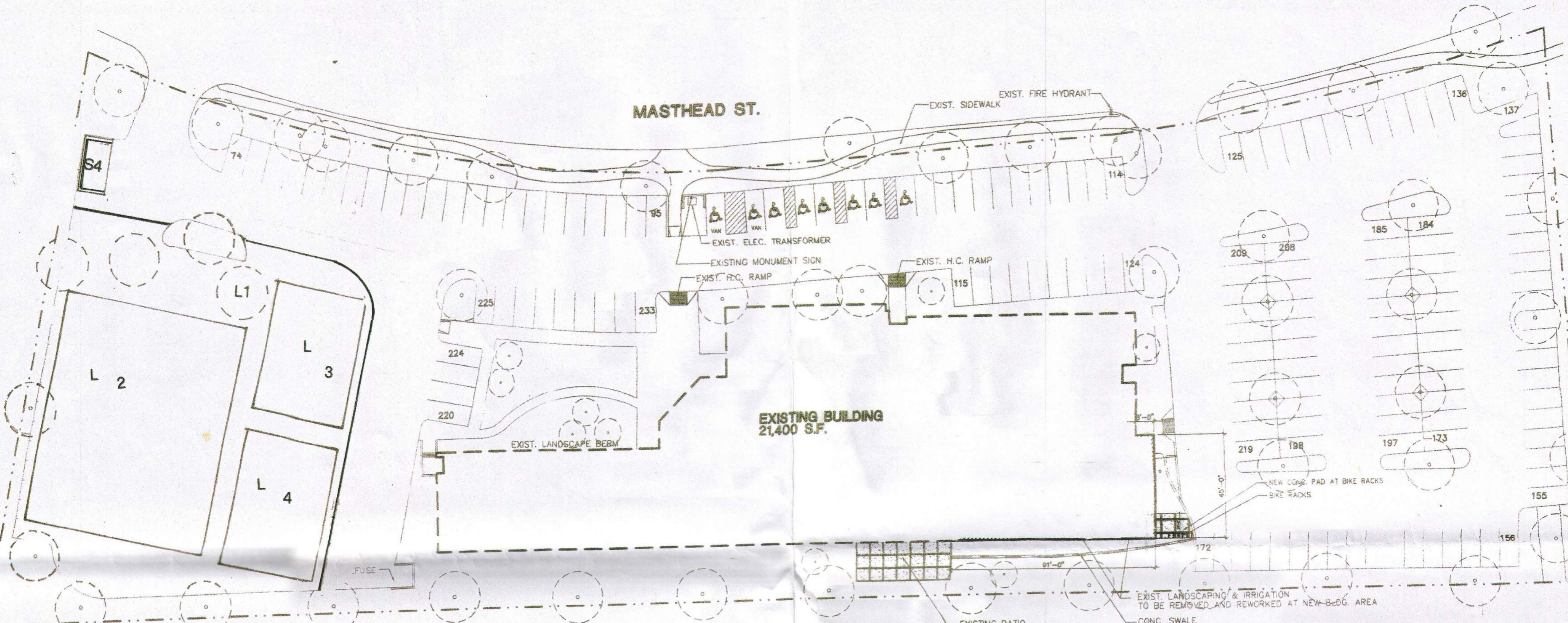
EXPLORE ACADEMY RENOVATION / ADDITION
RENDERED ELEVATIONS 02/26/2018

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG




SITE PLAN
SCALE: 1" = 30'-0"

SCOPE:

1. Remove 22,250 square feet of existing parking lot areas outlined for outdoor use.
2. Install 160 lineal feet of 6 inch vertical curbing, New fire lane
3. Relocate Fire Lane to North South along East side of building 139.21 feet to curb dead end with a 25 foot opening and East to West along main drive with 30 foot opening. Verified in field.
4. Relocate dumpster to North West corner of lot, en-closer to be installed per city specifications.
5. Install 446 lineal feet of 6 foot decorative fencing, with 12 foot access on the North side and 6 foot access on the East side.
7. Install 9,000 square foot turf area for outdoor activity.
8. Install 1,800 square foot basketball court.
9. Install 1,800 square foot volley ball court.

- LANDSCAPE AND ACTIVITY :**
1. Raywood Ash Min. 2" caliper
 2. 9,000 square foot turf area
 3. 1,800 square foot Volley ball area.
 4. 1,800 square foot Basketball area.

APPROVALS:

Explore Academy  **NORTH**

5975-17

AFD FIRE MARSHAL'S OFFICE
764-6300 FAX-764-6323
APPROVED **SITE PLAN**
~~DISAPPROVED~~
[Signature] 10/20/17
SIGNATURE/DATE

APPROVALS

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHAL	DATE
CODE ENFORCEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT DATA

ADDRESS: 5100 MASTHEAD STREET NE ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION: LOT 4AA-5A-1, BLOCK 0, JOURNAL CENTER, BERNALILLO COUNTY NEW MEXICO
 UPC: 101-706-341-014-740-235
 ZONING: IP
 ZONE ATLAS MAP: D-17-Z

BUILDING DATA:
 OCCUPANCY GROUP: E - EDUCATION
 EXISTING STRUCTURE: ONE STORY - 25,520 SF
 PROPOSED NEW CONSTRUCTION: ONE STORY - 9,948 SF
 PROPOSED NEW BUILDING: 35,468 SF
 PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
 SITE ACREAGE: 3.3 ACRES
 SITE AREA: 143,748 SF
 BUILDING-TO-LOT COVERAGE (TOTAL): 24.6%

PARKING:
 EXISTING PARKING SPACES: 158
 PARKING SPACES REMOVED FOR PROPOSED ADDITION: 41
 PROVIDED PARKING SPACES: 117 (INCLUDING 8 ACCESSIBLE SPACES)
 REQUIRED PARKING SPACES: 84 (3 SPACES FOR EACH CLASSROOM, 28 CLASSROOMS)

FIRE FLOW REQUIREMENTS:
 PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
 SQUARE FOOTAGE: 35,468 SF
 EXISTING FIRE HYDRANTS: 2
 FIRE FLOW: 2,000 GPM (PER IFC APPENDIX B)

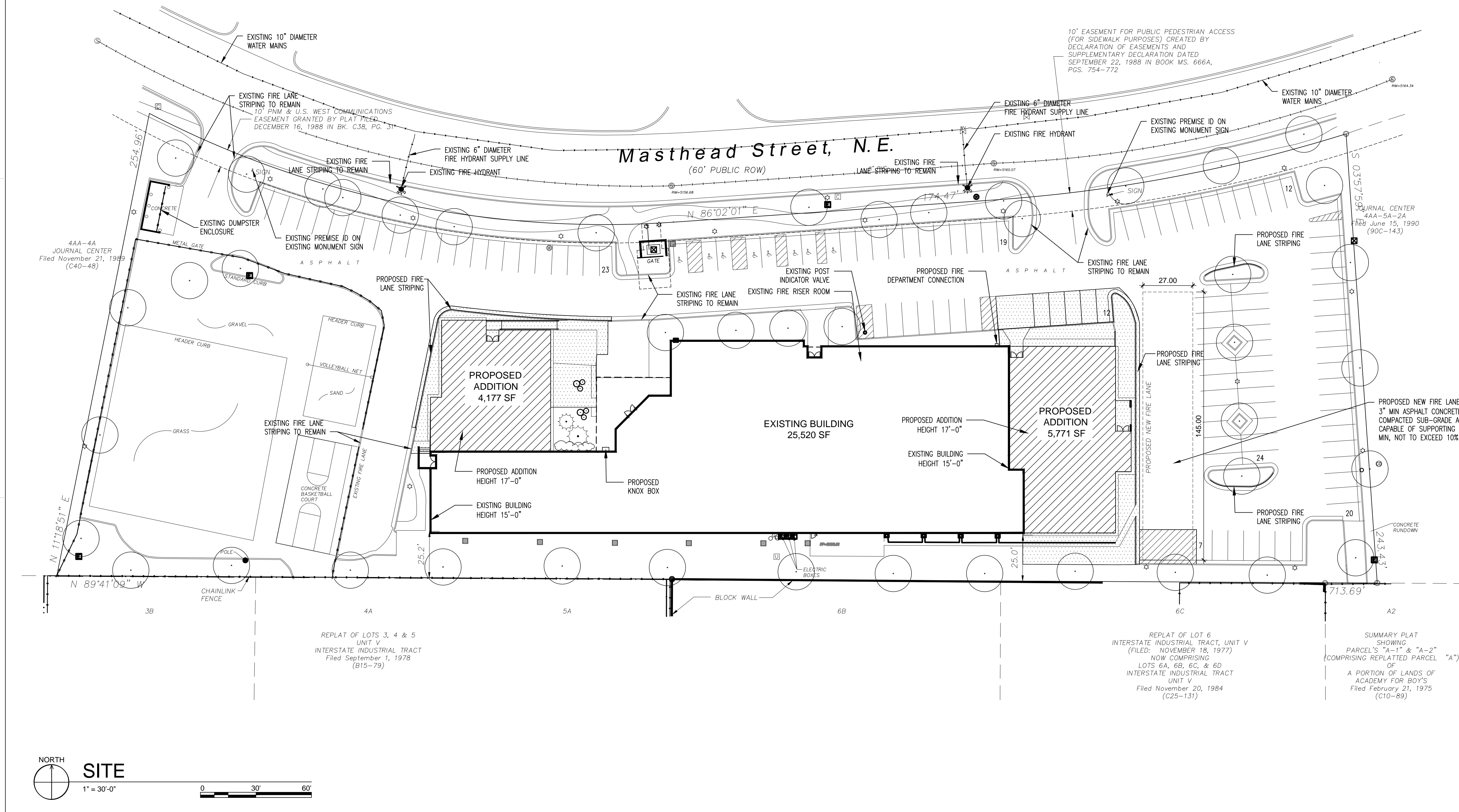
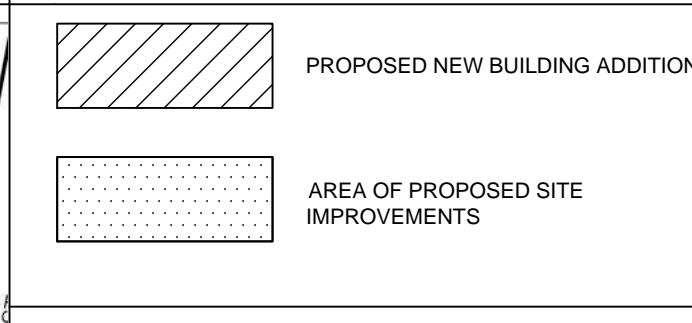
FIRE APPARATUS ACCESS AND LOADING:
 NEW FIRE APPARATUS ACCESS ROAD TO BE 3" MIN ASPHALT CONCRETE OVER 8" MIN COMPACTED SUB-GRADE AND WILL BE CAPABLE OF SUPPORTING 75,000 POUNDS MIN, NOT TO EXCEED 10% GRADE.

ANY REPAIRS TO EXISTING FIRE APPARATUS ACCESS ROADS (DUE TO NEW FOUNDATION WORK) TO BE 3" MIN ASPHALT CONCRETE OVER 8" MIN COMPACTED SUB-GRADE AND WILL BE CAPABLE OF SUPPORTING 75,000 POUNDS MIN, NOT TO EXCEED 10% GRADE.

VICINITY MAP Zone Atlas Page: D-17



SITE PLAN LEGEND



7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109
 505.761.9700 / DPSDESIGN.ORG
 ARCHITECT

ENGINEER

PROJECT

EXPLORE ACADEMY
 RENOVATION/ADDITION
 5100 MASTHEAD ST. NE
 ALBUQUERQUE, NM 87109

REVISIONS

- ▲
- ▲
- ▲
- ▲

DRAWN BY: DPS
 REVIEWED BY: DPS
 DATE: 02/22/2018
 PROJECT NO.: 16-0150.006
 DRAWING NAME:

SITE PLAN
 FIRE 1

SHEET NO.
FIRE 1
 OF

800-18
HYDRANT AND FIRE ACCESS
 ALBUQUERQUE FIRE MARSHAL'S OFFICE
 PLANS CHECKING DIVISION
 SOFT COPY CONSTRUCTION TYPE II-B
 GPM 2000 NUMBER OF HYDRANTS 2
APPROVED
 DATE 2.22.18
 SIGNATURE / MAIN NUMBER / DATE