

PROJECT NOTES

- ZONING C-2 (SC) MAP PAGES E-F-19-20.
- SITE IS APPROXIMATELY 13.59 ACRES TRACT B-1, REPLAT OF TRACT B OF SYCAMORE PLAZA.
- SITE DEVELOPMENT PLAN AMENDMENT TO ALLOW FOR PROPOSED ADDITION TO MAJOR ANCHOR.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY BY ZIA ENGINEERING & ENVIRONMENTAL CONSULTANT.
- SITE DEVELOPMENT PLAN AMENDMENT IS MERELY INCREASING BUILDING SQUARE FOOTAGE WITHIN TRACT B-1, REPLAT OF TRACT B OF SYCAMORE PLAZA.
- THE REMAINING PORTION OF SYCAMORE PLAZA REMAINS UNAFFECTED BY THIS AMENDMENT.
- PARKING LOT TO BE OVERLAPPED WITH AN ASPHALTIC SEAL COAT AND NEW PAINT STRIPING. LAYOUT WILL NOT BE CHANGED.
- SITE WILL BE IN COMPLIANCE TO 14-16-3-9, AREA LIGHTING STANDARDS.
- SYCAMORE PLAZA IS SUBJECT TO EASEMENTS WITH COVENANT AND RESTRICTIONS FILED 12-30-92, SECTION II, EXCEPTION 17. THIS DOCUMENT ADDRESSES THE CROSS LOT ACCESS.

SHOPPING CENTER PARKING REQUIRED

PARKING CALCULATIONS: 1 SPACE FOR EVERY 200 S.F.
TOTAL SHOPPING CENTER BUILDING AREA: 279,375 S.F. (EXCLUDES GARDEN CENTER)

279,375 S.F./200 S.F. = 1,397 PARKING SPACES REQUIRED

	REQUIRED SPACES	SUBJECT SITE	SHOPPING CENTER TOTAL
GENERAL PARKING	1,397	661	2,171
HANDICAP PARKING REQUIRED	25	16	37
MOTORCYCLE PARKING	9	8	9
BICYCLE PARKING	70	26	N/A

*SOME PARKING DATA OBTAINED FROM CITY OF ALBUQUERQUE STAFF.

PUBLIC OUTDOOR GATHERING SPACE

PROPOSED	4,130 S.F.
CITY OF ALBUQUERQUE REQUIRED	2,771 S.F.

EXISTING SITE ANALYSIS TABLE

WAL-MART	130,942 S.F.
GARDEN CENTER	11,018 S.F.
WAL-MART W/ GARDEN CENTER	149,532 S.F.
PARKING	661 SPACES*
ACCESSIBLE	16 SPACES
COMPACT	42 SPACES
MOTORCYCLE	8 SPACES
BICYCLE	26 SPACES
*COUNT INCLUDES ACCESSIBLE SPACES AND COMPACT SPACES	

PROPOSED SITE ANALYSIS TABLE

WAL-MART (INCLUDING 7625 SQ. FT. ADDITION)	138,534 S.F.
GARDEN CENTER	11,018 S.F.
WAL-MART W/ GARDEN CENTER	149,532 S.F.
PARKING	661 SPACES*
ACCESSIBLE	16 SPACES
COMPACT	42 SPACES
MOTORCYCLE	8 SPACES
BICYCLE	26 SPACES
*COUNT INCLUDES ACCESSIBLE SPACES AND COMPACT SPACES	

SITE LEGEND

- (A) PEDESTRIAN CROSSING SIGN TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
- (B) ACCESSIBLE PARKING SPACE TYPICAL
- (C) CART CORRAL TYPICAL
- (D) BUILDING SETBACK LINE PER ZONING ORDINANCE
- (E) "NO PARKING FIRE LANE" SIGN
- (F) PROPOSED FIRE LANE
- (G) EXISTING LIGHT POLE AND BASE SHALL REMAIN. CONTRACTOR SHALL REPLACE LIGHTING FIXTURE AND RE-PAINT THE EXISTING BASE TRAFFIC YELLOW
- (H) EXISTING LIGHT POLE TO BE RELOCATED.
- (I) PROPOSED LIGHT POLE LOCATION.
- (J) UPGRADE EXISTING LIGHT FIXTURES.
- (K) 2'-0" MINIMUM LOADING ZONE AT ALL CURBED PARKING SPACES.
- (L) PAINTED DIRECTIONAL ARROW TYPICAL.
- (M) 12' X 36' CONCRETE COMPACTOR PAD AND 12' X 36' HEAVY DUTY PAD.
- (N) "YIELD" PAINTED WHITE ON PAVEMENT TYPICAL
- (O) AISLE INDICATOR SIGNS TYPICAL.
- (P) STOP BAR.
- (Q) "STOP" SIGN.
- (R) PROPOSED COLORED STAMPED CONCRETE PEDESTRIAN CROSSWALK.
- (S) PROPOSED BICYCLE RACK LOCATION.
- (T) PROPOSED 8'-0" CMU SCREEN WALL.
- (U) PROPOSED PLANTER 20' x 4'-8".
- (V) PROPOSED SEATING AREA.
- (W) PROPOSED ENVIRONMENTAL CAGE.
- (X) PROPOSED PALLET/BALE RECYCLING AREA, 12'X45'
- (Y) PROPOSED ORGANIC WASTE CONTAINER WITH CMU WALL ENCLOSURE, 20'-4" X 9'-4" X 10'-0".
- (Z) PROPOSED FIRE HYDRANT LOCATION.
- (AA) PROPOSED "ADA ACCESSIBLE ROUTE" SIGN.
- (AB) PROPOSED "RAMP NOT ADA ACCESSIBLE" DOUBLE SIDED SIGN.
- (AC) PROPOSED ADA HANDRAIL LOCATION.
- (AD) PROPOSED ADA ACCESSIBLE RAMP.
- (AE) "COMPACT" PAINTED WHITE ON EACH COMPACT STALL.

BASIS OF ELEVATION:

ELEVATIONS BASED ON CITY OF ALBUQUERQUE BENCHMARK STAMPED "ACS BM 15 2207" NAVD 1988 ELEVATION, 8504.822 FEET, LOCATED ON TOP OF CONCRETE BASE OF STREET LIGHT, WWW QUADRANT OF ACADEMY ROAD N.E. AND MOON STREET N.E., ON SW CORNER OF SAID CONCRETE BASE.

BASIS OF BEARINGS:

SITE OF BEARINGS: REPLAT OF TRACT B SYCAMORE PLAZA RECORDED: DECEMBER 23, 1992 VOL. 92C, FOLIO 272. PER MONUMENTS FOUND HEREON.

FLOODPLAIN NOTE:

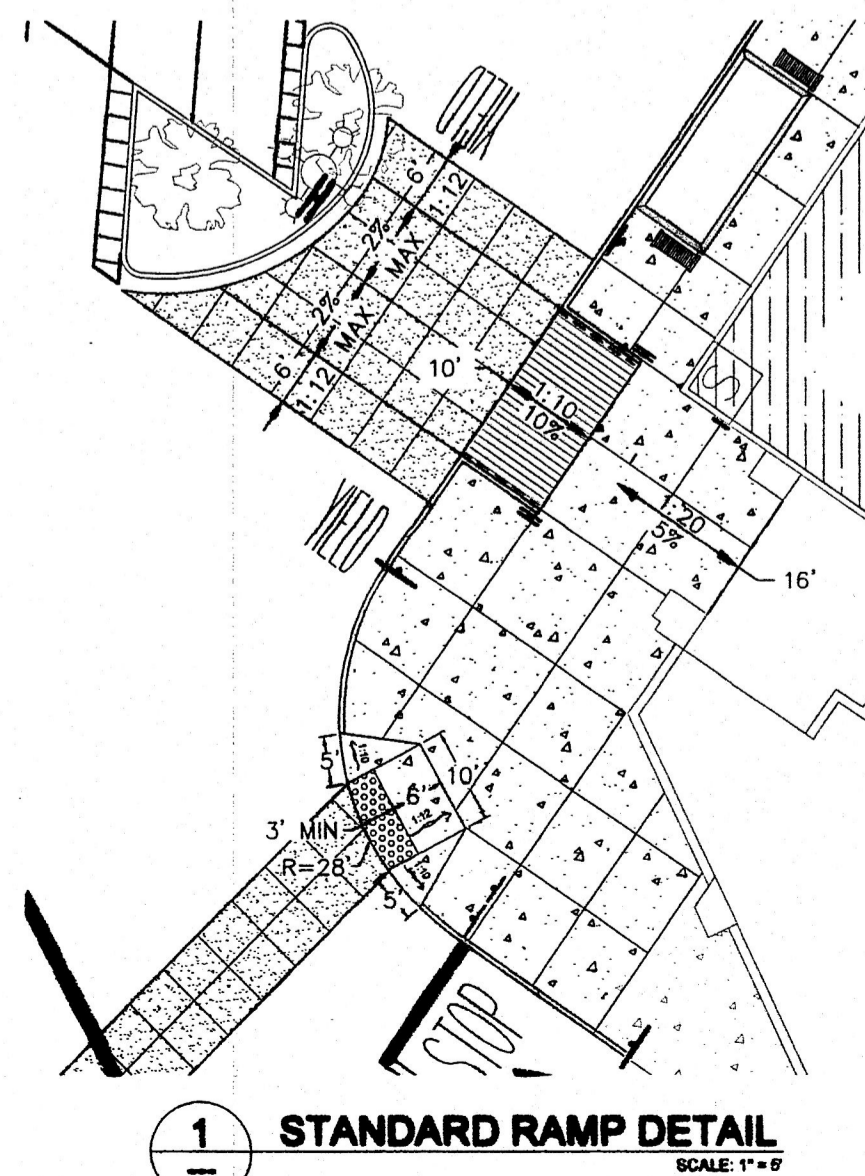
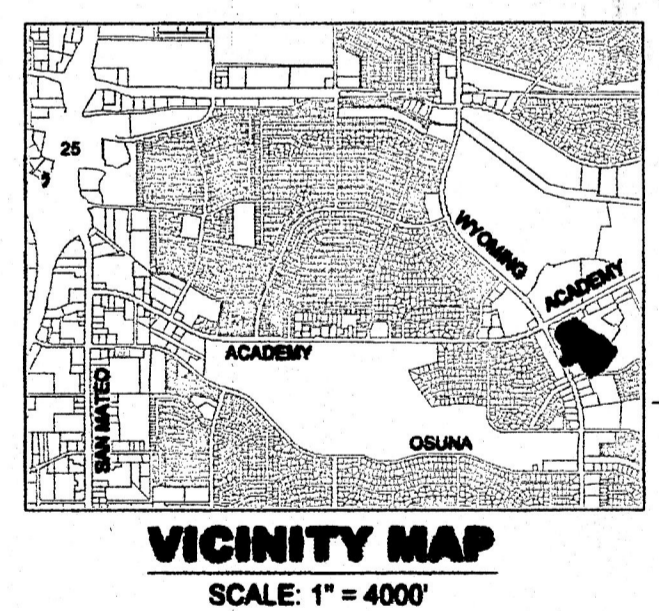
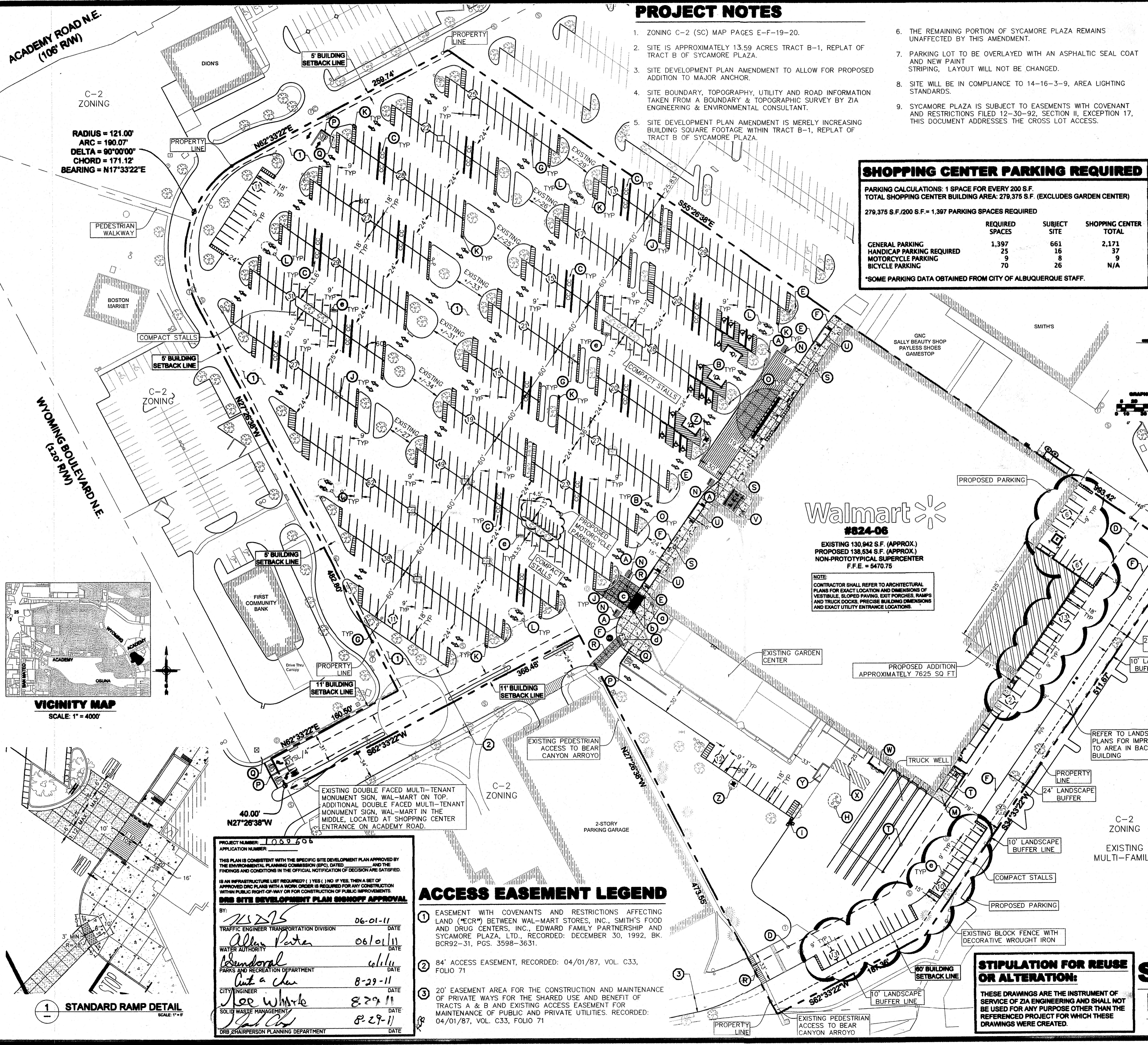
PROPERTY IS LOCATED IN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP NO. 36001C0143G, EFFECTIVE DATE SEPTEMBER 26, 2008.

STIPULATION FOR REUSE OR ALTERATION:

THESE DRAWINGS ARE THE INSTRUMENT OF SERVICE OF ZIA ENGINEERING AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE REFERENCED PROJECT FOR WHICH THESE DRAWINGS WERE CREATED.

SITE DEVELOPMENT PLAN AMENDMENT

MAY 2011



PROJECT NUMBER: 1059696
APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

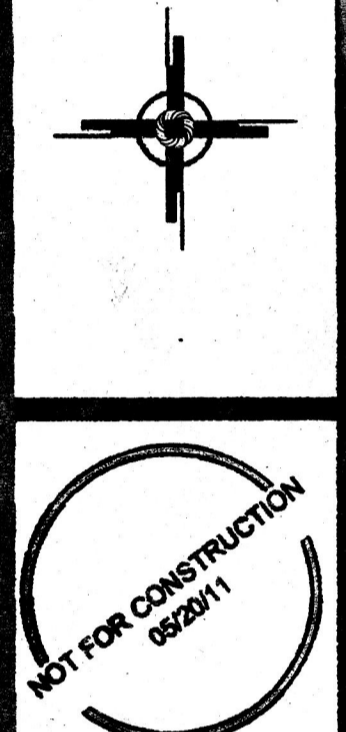
BY: <i>[Signature]</i>	DATE: 06-01-11
TRAFFIC ENGINEER TRANSPORTATION DIVISION	
WATER AUTHORITY: <i>[Signature]</i>	DATE: 06/01/11
PARKS AND RECREATION DEPARTMENT	
CITY ENGINEER: <i>[Signature]</i>	DATE: 8-29-11
SOLID WASTE MANAGEMENT	
DRG CHAIRPERSON PLANNING DEPARTMENT	

ACCESS EASEMENT LEGEND

- EASEMENT WITH COVENANTS AND RESTRICTIONS AFFECTING LAND ("EGR") BETWEEN WAL-MART STORES, INC., SMITH'S FOOD AND DRUG CENTERS, INC., EDWARD FAMILY PARTNERSHIP AND SYCAMORE PLAZA, LTD., RECORDED: DECEMBER 30, 1992, BK. BCR92-31, PGS. 3598-3631.
- 84' ACCESS EASEMENT, RECORDED: 04/01/87, VOL. C33, FOLIO 71
- 20' EASEMENT AREA FOR THE CONSTRUCTION AND MAINTENANCE OF PRIVATE WAYS FOR THE SHARED USE AND BENEFIT OF TRACTS A & B AND EXISTING ACCESS EASEMENT FOR MAINTENANCE OF PUBLIC AND PRIVATE UTILITIES. RECORDED: 04/01/87, VOL. C33, FOLIO 71

REVISIONS	BY

Zia Engineering & Environmental Consultants, LLC
755 S. Teahor Blvd., Suite F-201
Las Cruces, New Mexico 88011
Phone: (575) 532-1528
Fax: (575) 532-1587



ALB-824-06

WAL-MART SUPERCENTER #824-06
ALBUQUERQUE, NEW MEXICO
WAL-MART STORES, INC.
2001 SE 10TH STREET, BENTONVILLE, AR 72716
CONTACT: DANI ZIEM
PHONE: (479) 204-0425

DRAWN	GH
CHECKED	GV
DATE	05/20/11
SCALE	AS NOTED
JOB No.	ALB-824-06
SHEET	

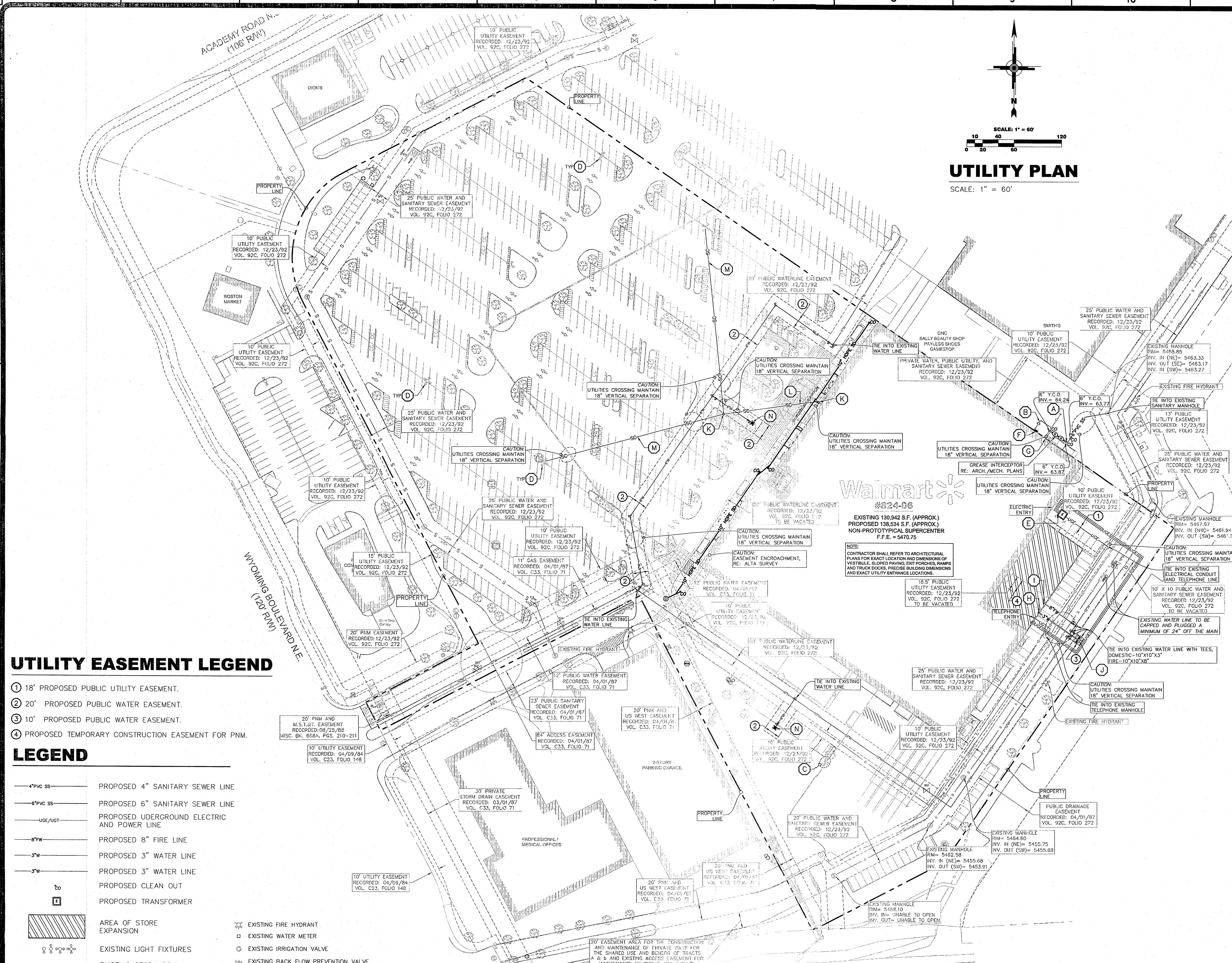
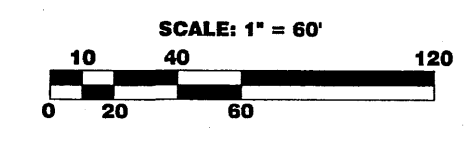
C-1
1 of 13 SHEETS

UTILITY LEGEND

- (A) 6" SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE
- (B) CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE EXTENSION AND INSTALLATION OF ADDITIONAL SERVICE LINE.
- (C) PROPOSED LIGHT POLE. REPLACE EXISTING LIGHT POLE BASE AND LUMINARIES WITH NEW LIGHT POLE BASE AND LUMINARIES. PAINT BASE TRAFFIC YELLOW. TYPICAL LIGHT POLE HEIGHT IS 35'-4"
- (D) UPGRADE EXISTING LIGHTING FIXTURES. TYPICAL LIGHT POLE HEIGHT IS 35'-4"
- (E) PROPOSED TRANSFORMER LOCATION
- (F) PROPOSED GAS ENTRY. REPLACE EXISTING GAS METER WITH NEW GAS METER.
- (G) 4" GRAY WATER SEWER LATERAL AT MINIMUM 1.0% SLOPE.
- (H) 3" DOMESTIC WATER LINE ENTRY WITH METER PER ALBUQUERQUE PUBLIC WORKS REQUIREMENTS.
- (I) SPRINKLER ENTRY.
- (J) PROPOSED (2)- 2" DOMESTIC WATER METERS.
- (K) PROPOSED PULL BOX LOCATION
- (L) ONE 3" CONDUIT SHALL BE CARLON TYPE "DB" DIRECT BURIAL TELEPHONE DUCT OR SCHEDULE 40 PVC.
- (M) ONE 2" CONDUIT SHALL BE CARLON TYPE "DB" DIRECT BURIAL TELEPHONE DUCT OR SCHEDULE 40 PVC.
- (N) PROPOSED FIRE HYDRANT LOCATION.

UTILITY PLAN

SCALE: 1" = 60'



UTILITY EASEMENT LEGEND

- ① 18' PROPOSED PUBLIC UTILITY EASEMENT.
- ② 20' PROPOSED PUBLIC WATER EASEMENT.
- ③ 10' PROPOSED PUBLIC WATER EASEMENT.
- ④ PROPOSED TEMPORARY CONSTRUCTION EASEMENT FOR PNM.

LEGEND

- 4" PVC SS — PROPOSED 4" SANITARY SEWER LINE
- 6" PVC SS — PROPOSED 6" SANITARY SEWER LINE
- USE/UGT — PROPOSED UNDERGROUND ELECTRIC AND POWER LINE
- 8" FW — PROPOSED 8" FIRE LINE
- 3" W — PROPOSED 3" WATER LINE
- 3" W — PROPOSED 3" WATER LINE
- — PROPOSED CLEAN OUT
- — PROPOSED TRANSFORMER
- ▨ — AREA OF STORE EXPANSION
- ⊙ — EXISTING FIRE HYDRANT
- ⊙ — EXISTING WATER METER
- ⊙ — EXISTING IRRIGATION VALVE
- ⊙ — EXISTING BACK FLOW PREVENTION VALVE
- ⊙ — EXISTING UTILITY PIPE
- ⊙ — EXISTING TELEPHONE RISER
- ⊙ — EXISTING TRAFFIC SIGN
- ⊙ — EXISTING GAS METER
- ⊙ — EXISTING TRAFFIC SIGNAL
- ⊙ — EXISTING ELECTRIC METER
- ⊙ — EXISTING ELECTRIC BOX
- ⊙ — EXISTING SECURITY CAMERA
- ⊙ — EXISTING ROOF DRAIN
- ⊙ — EXISTING EXTERIOR WALL MOUNTED LIGHT
- ⊙ — EXISTING STORM DRAIN MANHOLE STRUCTURE
- ⊙ — EXISTING SANITARY SEWER MANHOLE STRUCTURE
- ⊙ — EXISTING GAS LINE
- ⊙ — EXISTING UNDERGROUND ELECTRIC
- ⊙ — EXISTING SANITARY SEWER LINE
- ⊙ — EXISTING WATER LINE
- ⊙ — EXISTING STORM DRAIN PIPE
- ⊙ — EXISTING TELE COMMUNICATIONS MANHOLE
- ⊙ — EXISTING WATER LINE



EXISTING 130,942 S.F. (APPROX.)
PROPOSED 138,534 S.F. (APPROX.)
NON-PROTOTYPICAL SUPERCENTER
F.F.E. # 5470.75

NOTE:
CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS. PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

NEW MEXICO ONE CALL STATEWIDE
1-800-321-ALERT(2537)
www.nmonecall.org
Call two working days before you dig.

FLOODPLAIN NOTE:
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BASIS OF ELEVATION:
ELEVATIONS BASED ON CITY OF ALBUQUERQUE BENCHMARK, STAMPED "ACS BM, 15-E20", NAVD 1988 ELEVATION, 5504.822 FEET, LOCATED ON TOP OF CONCRETE BASE OF STREET LIGHT, WNW QUADRANT OF ACADEMY ROAD N.E. AND MOON STREET N.E., ON SW CORNER OF SAID CONCRETE BASE.

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SITE DEVELOPMENT PLAN AMENDMENT

MAY 2011

REVISIONS	BY

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ALB-824-06

WAL-MART SUPERCENTER #824-06
ALBUQUERQUE, NEW MEXICO
WAL-MART STORES, INC.
2001 SE 10TH STREET, BENTONVILLE, AR 72716
CONTACT: DANI ZIEM
PHONE: (479) 204-0425

DRAWN	GH
CHECKED	GV
DATE	05/20/11
SCALE	AS NOTED
SHEET NO.	338
PROJECT NO.	ALB-824-06
SHEET	

C-2
2 of 13 SHEETS

BASIS OF ELEVATION:

ELEVATIONS BASED ON CITY OF ALBUQUERQUE BENCHMARK, STAMPED "ACS BM, 15-E20", NAVD 1988 ELEVATION, 5504.822 FEET, LOCATED ON TOP OF CONCRETE BASE OF STREET LIGHT, WNW QUADRANT OF ACADEMY ROAD N.E. AND MOON STREET N.E., ON SW CORNER OF SAID CONCRETE BASE.

BASIS OF BEARINGS:

BASIS OF BEARINGS: REPLAT OF TRACT B SYCAMORE PLAZA RECORDED: DECEMBER 23, 1992 VOL. 92C, FOLIO 272, PER MONUMENTS FOUND HEREON.

SITE DRAINAGE:

THE PROPOSED ADDITION AND BUILDING RENOVATIONS WILL BE CONSTRUCTED WITHIN EXISTING IMPERVIOUS AREAS. THEREFORE, THERE IS NO INCREASE IN ON-SITE IMPERVIOUS AREA AND NO RESULTANT INCREASE IN DRAINAGE FLOW OR VOLUME.

FOR THE PURPOSE OF PUBLIC SAFETY DURING FREEZING TEMPERATURES, RUNOFF FROM PROPOSED VESTIBULE ROOFS WILL DISCHARGE TO A ROOF DRAIN COLLECTION MANIFOLD AND EVENTUALLY BE CONVEYED TO THE EXISTING ON-SITE STORM SEWER SYSTEM. IN EXISTING CONDITIONS, RUNOFF FROM THE VESTIBULE DRAINAGE AREAS IS CONVEYED VIA OVERLAND FLOW TO DROP INLETS THAT DISCHARGE TO THE ON-SITE STORM SEWER SYSTEM. THEREFORE, THERE IS NO INCREASE IN THE DRAINAGE FLOW OR VOLUME TO THE ON-SITE STORM SEWER SYSTEM.

THREE EXISTING ROOF DRAINS LOCATED AT THE REAR OF THE EXISTING BUILDING WILL BE RELOCATED TO ADJACENT POSITIONS ALONG THE PROPOSED ADDITION. THE NEW ROOF DRAINS WILL DISCHARGE TO THE TRUCK PATH DRIVE ISLE BEHIND THE BUILDING IN THE SAME MANNER AS THE EXISTING ROOF DRAINS. THESE DISCHARGES WILL FOLLOW EXISTING DRAINAGE PATTERNS TO THE TRENCH DRAIN WHICH DISCHARGES TO THE ON-SITE STORM SEWER SYSTEM. THE ON-SITE STORM SEWER SYSTEM ULTIMATELY DISCHARGES TO THE BEAR CANYON ARROYO CHANNEL.

FLOODPLAIN NOTE:

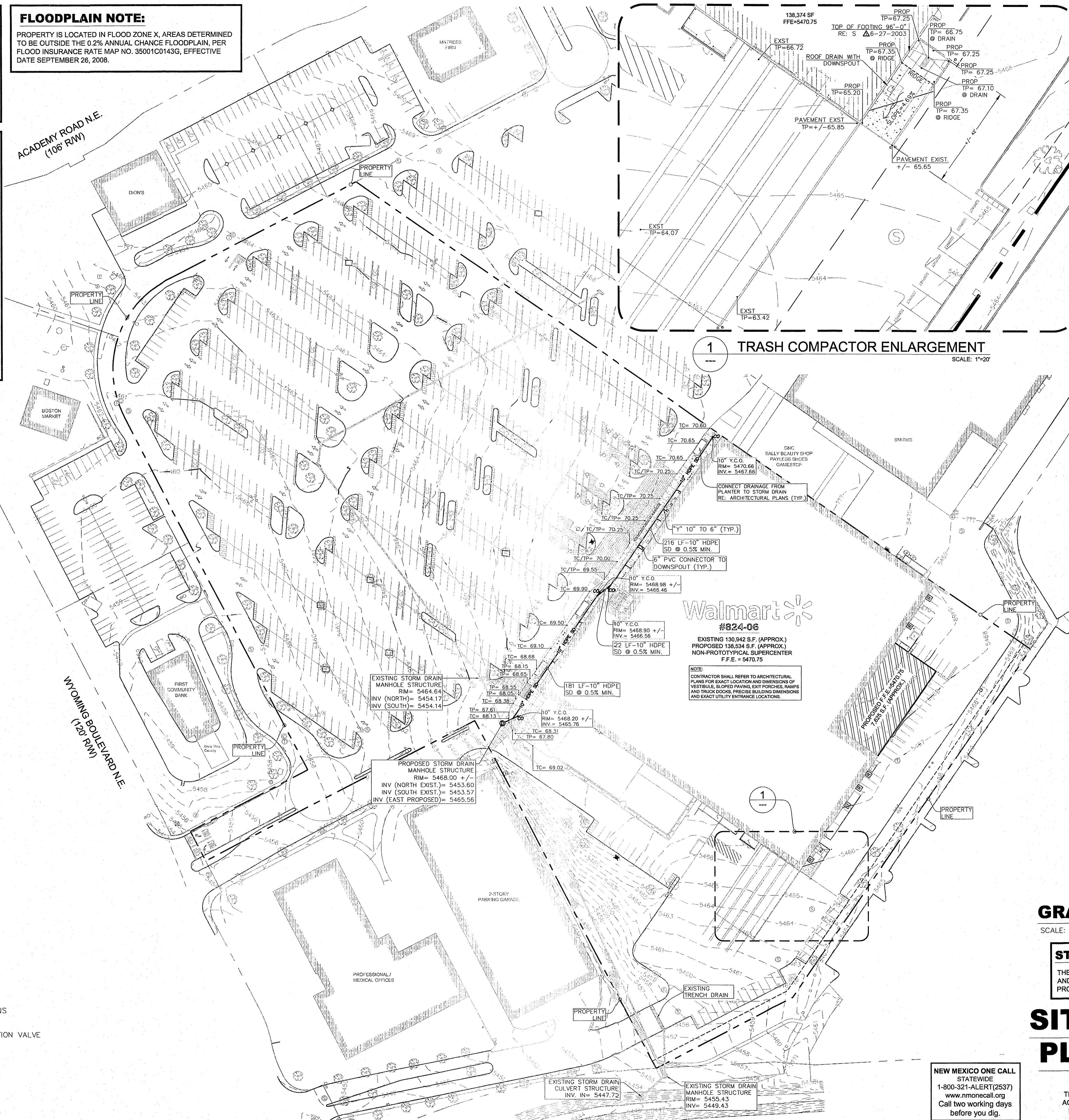
PROPERTY IS LOCATED IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP NO. 35001C0143G, EFFECTIVE DATE SEPTEMBER 26, 2008.

GRADING NOTES

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED: HIGH DENSITY POLYETHYLENE (HDPE): AASHTO M252 TYPE S OR ASTM F2306 SMOOTH INTERIOR/ANNUAL EXTERIOR PIPE FITTINGS SHALL CONFORM TO AASHTO M252 AND M294.
- EXISTING PIPES AND INLETS TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA AND APPLICABLE CITY / COUNTY GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND THE WAL MART SPECIAL CONDITIONS, SECTION 8, ENVIRONMENTAL COMPLIANCE AND STORM WATER POLLUTION PREVENTION. THIS APPLIES TO WAL MART BUILT PROJECTS ONLY.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY ZIA ENGINEERING. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- ADD 5400 FEET TO ALL SPOT ELEVATIONS.
- CALCULATED RUNOFF FROM ROOF DRAINS AND PLANTERS LOCATED ALONG BUILDING FRONTAGE IS 0.1 CUBIC FEET/SECOND.

LEGEND

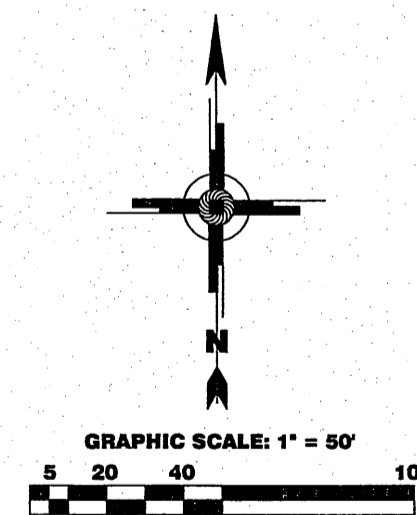
- PROPOSED PARKING SPACES SYSL 4"
- CART CORRAL
- STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
- AREA OF STORE EXPANSION
- EXISTING HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- PROPOSED STORM DRAIN MANHOLE STRUCTURE
- PROPOSED ROOF DRAIN
- PROPOSED CLEAN OUT
- EXISTING STORM DRAIN INLET
- EXISTING CONTOURS
- EXISTING TREES AND VEGETATION
- EXISTING 18" CURB AND GUTTER
- EXISTING BUILDING
- EXISTING FIRE HYDRANT
- EXISTING LIGHT FIXTURES
- EXISTING FENCE LINE
- EXISTING STORM DRAIN MANHOLE STRUCTURE
- EXISTING BOLLARDS
- ADJACENT PARCEL LINE
- PROPERTY LINE
- EXISTING SANITARY SEWER MANHOLE STRUCTURE
- EXISTING ROOF DRAIN
- EXISTING TELE COMMUNICATIONS MANHOLE
- EXISTING BACK FLOW PREVENTION VALVE
- EXISTING TELEPHONE RISER
- EXISTING TRAFFIC SIGN
- EXISTING TRAFFIC SIGNAL
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC BOX



Walmart #824-06

EXISTING 130,942 S.F. (APPROX.) PROPOSED 138,534 S.F. (APPROX.) NON-PROTOTYPICAL SUPERCENTER F.F.E. = 5470.75

NOTE: CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMP AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATION.



GRADING AND DRAINAGE PLAN

SCALE: 1" = 50'

STIPULATION FOR REUSE OR ALTERATION:

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SITE DEVELOPMENT PLAN AMENDMENT

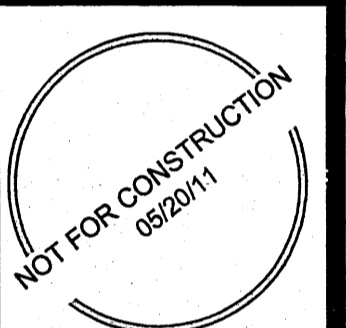
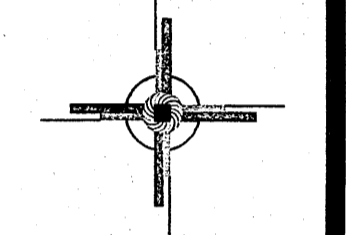
MAY 2011

THIS IS AN EXISTING RETAIL SITE AND ALL GRADES SHALL BE MAINTAINED ACCORDINGLY. NO GRADES WILL BE CHANGED OR ALTERED. STORMWATER RUNOFF WILL CONTINUE TO DRAIN INTO THE BEAR CANYON ARROYO AS PREVIOUSLY APPROVED.

NEW MEXICO ONE CALL STATEWIDE 1-800-321-ALERT(2537) www.nmonecall.org Call two working days before you dig.

REVISIONS	BY

Zia Engineering & Environmental Consultants, LLC 755 S. Telsnor Blvd., Suite F-201 Las Cruces, New Mexico 88011 Phone: (575) 532-1526 Fax: (575) 532-1587



ALB-824-06

WAL-MART SUPERCENTER #824-06 ALBUQUERQUE, NEW MEXICO WAL-MART STORES, INC. 2001 SE 10TH STREET, BENTONVILLE, AR CONTACT: DAN ZIEM PHONE: (479) 204-0425

DRAWN	GH
CHECKED	GH
BY	
DATE	05/20/11
SCALE	AS NOTED
JOB NO.	ALB-824-06
SHEET	

C-3

CITY OF ALBUQUERQUE LANDSCAPE REQUIREMENTS

LANDSCAPE AREA REQUIREMENTS
 15% OF NET LOT AREA SHALL BE LANDSCAPED
 NET LOT AREA = (LOT SF - BLDG. SF) X .15

NET LOT AREA	REQUIRED	PROVIDED
344,708 SF	54,207 (15%)	64,315 (16%)

PARKING LOT AREA REQUIREMENTS
 1 TREE PER 10 PARKING SPACES
 75% MUST BE DECIDUOUS CANOPY TREES
 NO SPACE SHALL BE MORE THAN 100' FROM A TREE

SPACES	REQUIRED	PROVIDED
664	67	184

RESPONSIBILITY FOR MAINTENANCE
 SITE IS CURRENTLY MAINTAINED PRIVATELY
 AND WILL CONTINUE TO BE MAINTAINED PRIVATELY

REQUIRED VEGETATIVE COVER
 ALL REQUIRED LANDSCAPE AREAS GREATER THAN 36 SF SHALL BE COVERED WITH LIVING MATERIALS OVER AT LEAST 75% OF THE REQUIRED LS AREA

NOTE: THERE IS NO "HIGH WATER" TURF ON SITE.

STATEMENT OF COMPLIANCE WITH WATER CONSERVATION
 THE LANDSCAPING PROVIDED ON SITE SHALL COMPLY WITH ARTICLE 6-1-1 OF THE WATER CONSERVATION ORDINANCE

IRRIGATION
 THERE IS CURRENTLY AN EXISTING OPERATIONAL AUTOMATIC IRRIGATION SYSTEM ON SITE, COMPLETE WITH BACKFLOW PREVENTOR AND ELECTRONIC CONTROLLER, WATERING ALL LANDSCAPE AREAS. ANY ADDITIONS AND MODIFICATIONS WILL COMPLY WITH CITY OF ALBUQUERQUE STANDARDS, CODES AND SPECIFICATIONS.

CITY OF ALBUQUERQUE LANDSCAPE REQUIREMENTS

PROPERTY IS ZONED "C-2" (COMMUNITY COMMERCIAL).

THE CITY OF ALBUQUERQUE REQUIRES THE SUBMITTAL OF A LANDSCAPING PLAN TO BE APPROVED BY THE PLANNING DIRECTOR PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR A BUILDING ADDITION OVER 200 SQUARE FEET.

THE CITY OF ALBUQUERQUE REQUIRES A TOTAL LANDSCAPED AREA OF NO LESS THAN 15% OF THE NET LOT AREA.

THE SITE IS FULLY LANDSCAPED AND HAS AN IRRIGATION SYSTEM IN PLACE, WITH THE EXCEPTION OF A 25 FEET WIDE AREA ALONG THE REAR BOUNDARY OF THE PARCEL WHERE NO IRRIGATION SYSTEM COULD BE OBSERVED. THE EXISTING TREES IN THIS AREA ARE IN BAD CONDITION AND NO SHRUBBERY OR GROUND COVER HERE IN PLACE.

THE CITY OF ALBUQUERQUE SHOPPING CENTER REGULATIONS REQUIRE ONE SHADE TREE PER EIGHT PARKING SPACES. SHADE TREES MAY BE LOCATED AT THE CENTER OF A GROUP OF FOUR TO EIGHT PARKING SPACES, CLUSTERED IN PARKING ROW END CAPS, OR LOCATED ALONG INTERNAL PEDESTRIAN WAYS. CEC ASSUMES THAT NO EXTRA TREES ARE REQUIRED WITH EXCEPTION OF THOSE PROPOSED AT THE BACK OF THE BUILDING.

LANDSCAPE BUFFER AREAS ARE REQUIRED BY THE CITY OF ALBUQUERQUE TO SEPARATE OFF-STREET PARKING AREAS FROM FRONT, SIDE AND REAR BOUNDARIES OF PREMISES. ON PLANNED DEVELOPMENT AREAS CONTROLLED BY SITE DEVELOPMENT PLANS, THESE REQUIREMENTS SHALL BE BASED ON THE ENTIRE AREA OF THE PLANNING SITE UNLESS OTHERWISE APPROVED BY THE PLANNING COMMISSION.

THE CITY OF ALBUQUERQUE REQUIRES THAT, WHERE A NON-RESIDENTIAL USE IS DEVELOPED FOR A NON-RESIDENTIAL PURPOSE AND THE SITE ADJUTS A RESIDENTIAL ZONE, SPECIAL BUFFER LANDSCAPING IS TO BE PROVIDED TO MINIMIZE THE NOISE AND SIGHT IMPACT OF THE NON-RESIDENTIAL ACTIVITIES IN THE RESIDENTIAL AREA.

THE CITY OF ALBUQUERQUE SPECIFIES THAT THE STANDARD BUFFER LANDSCAPING SHALL BE A LANDSCAPING STRIP AT LEAST 10 FEET WIDE WHERE LOCATED ALONG THE RESIDENTIAL/NON-RESIDENTIAL BOUNDARY.

THE CITY OF ALBUQUERQUE SPECIFIES THAT THE BUFFER LANDSCAPING SHALL CONSIST PRIMARILY OF TREES, WHICH TREES SHALL BE AT LEAST 8 FEET HIGH AT TIME OF PLANTING AND CAPABLE OF REACHING A HEIGHT AT MATURITY OF AT LEAST 25 FEET. SPACING OF THE TREES SHALL BE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER OF THE TREES.

ALL TREES IN NORTHWEST PARKING AREA ARE EXISTING 10"-12" CALIPER SYCAMORE TREES IN GOOD CONDITION

Walmart
 #824-06

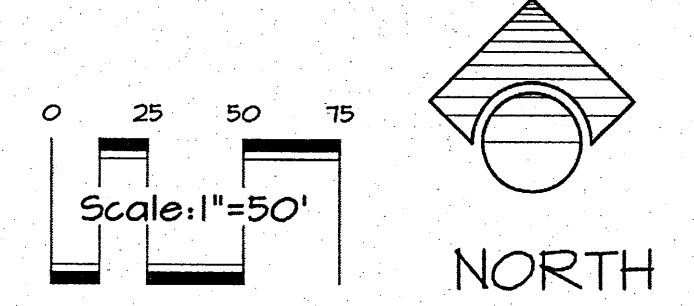
LANDSCAPE AREA CALCULATIONS

LS AREA	SQ FT	LS AREA	SQ FT
A	3340	1	346
B	634	2	2284
C	354	3	43
D	366	4	42
E	375	5	40
F	327	6	43
G	520	7	416
H	514	8	204
I	421	9	201
J	644	10	282
K	532	11	185
L	581	12	282
M	1124	13	107
N	1124	14	201
O	1124	15	282
P	1124	16	201
Q	532	17	48
R	581	18	323
S	353	19	335
T	587	20	323
U	363	21	482
V	363	22	433
W	335	23	354
X	335	24	580
Y	576	25	547
Z	346	26	346
		27	21,165
		28	15,288
		29	134
		30	134
		31	134

TOTAL LANDSCAPE AREA PROVIDED 64,555 SQ FT
 TOTAL LANDSCAPE AREA REQUIRED 54,207 SQ FT

REFER TO GENERAL NOTES, TREE REMOVAL NOTES, PLANT MATERIAL SCHEDULE, AND TREE PLANTING DETAILS ON SHEET L-3.

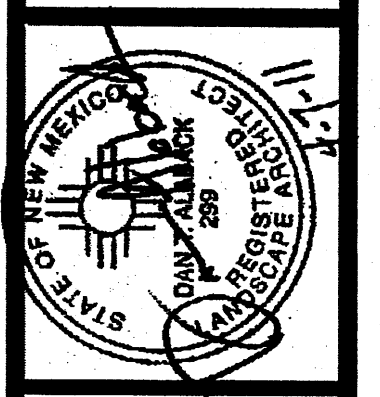
REFER TO SHEET L-2 FOR PROPOSED TREE PLANTING



EXISTING SITE LANDSCAPE PLAN

REVISIONS BY

2002 E. 49th ST.
 SUITE 500
 TULSA, OK 74106
 TEL: 918-742-1479
 FAX: 918-742-1479
 dan_alaback@alabackdesign.com
 alabackdesign.com



ALB-824-06

WAL-MART SUPERCENTER #824-06
 ALBUQUERQUE, NEW MEXICO
 WAL-MART STORES, INC.
 2001 SE 10TH STREET, BENTONVILLE, AR 72716
 CONTACT: DANI ZIEM
 PHONE: (479) 204-0425

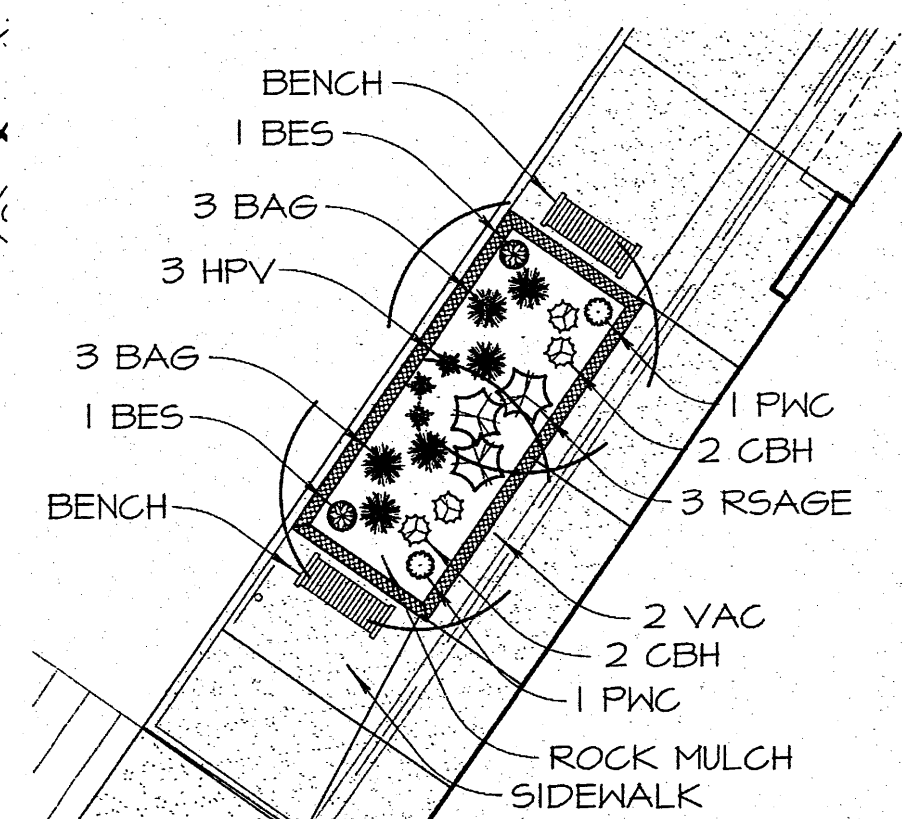
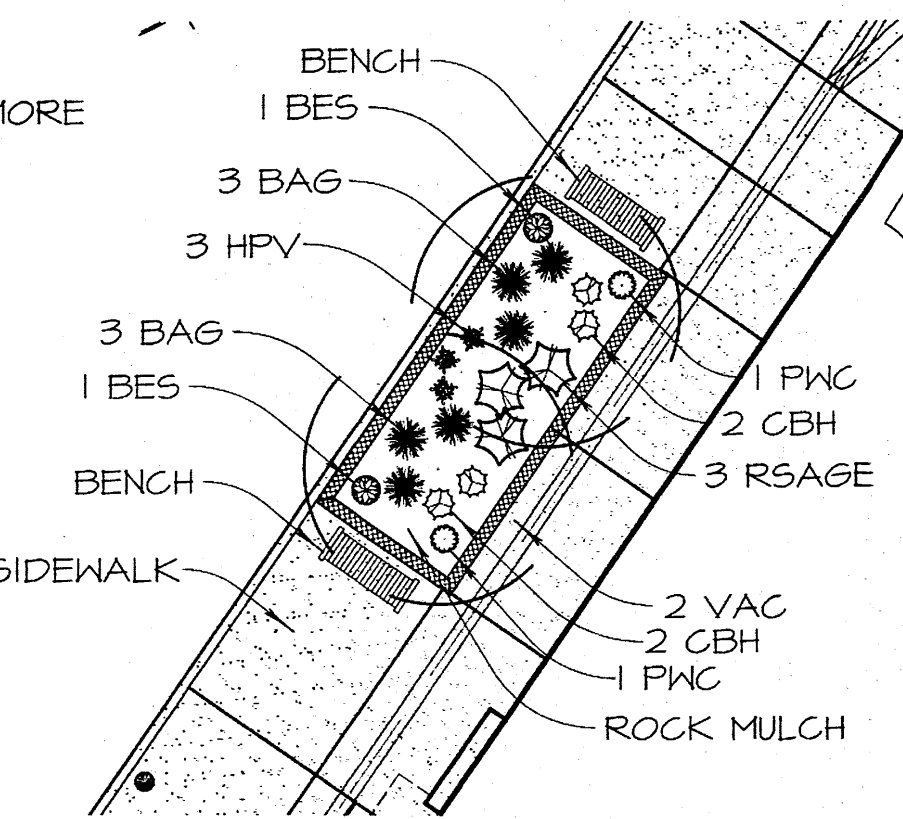
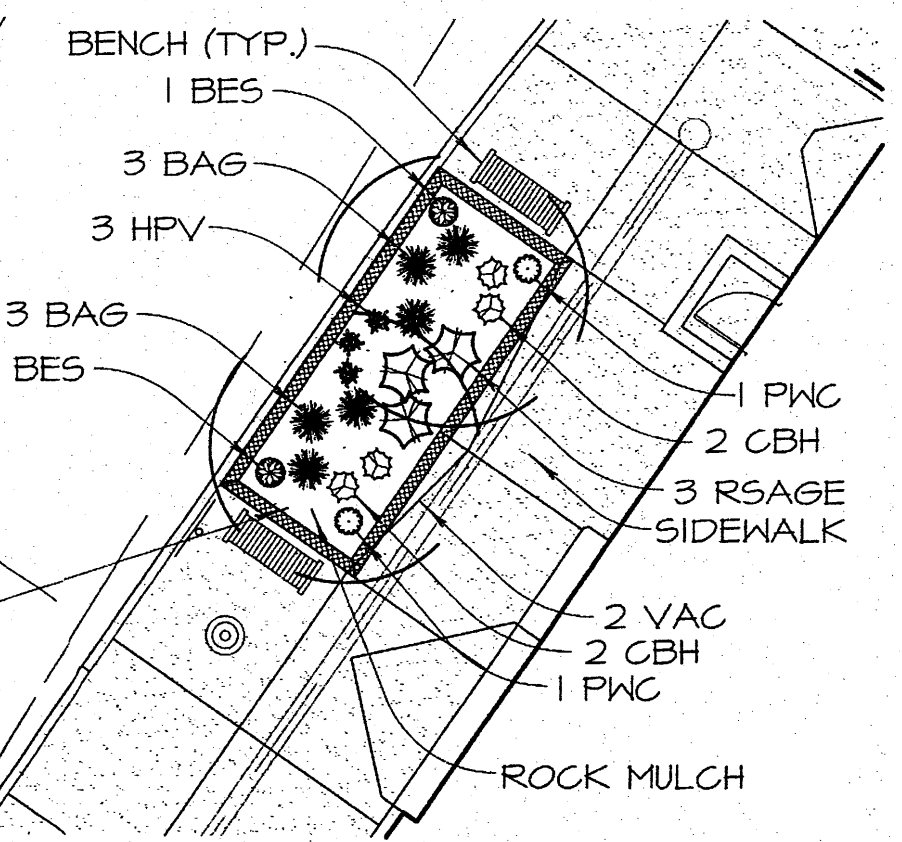
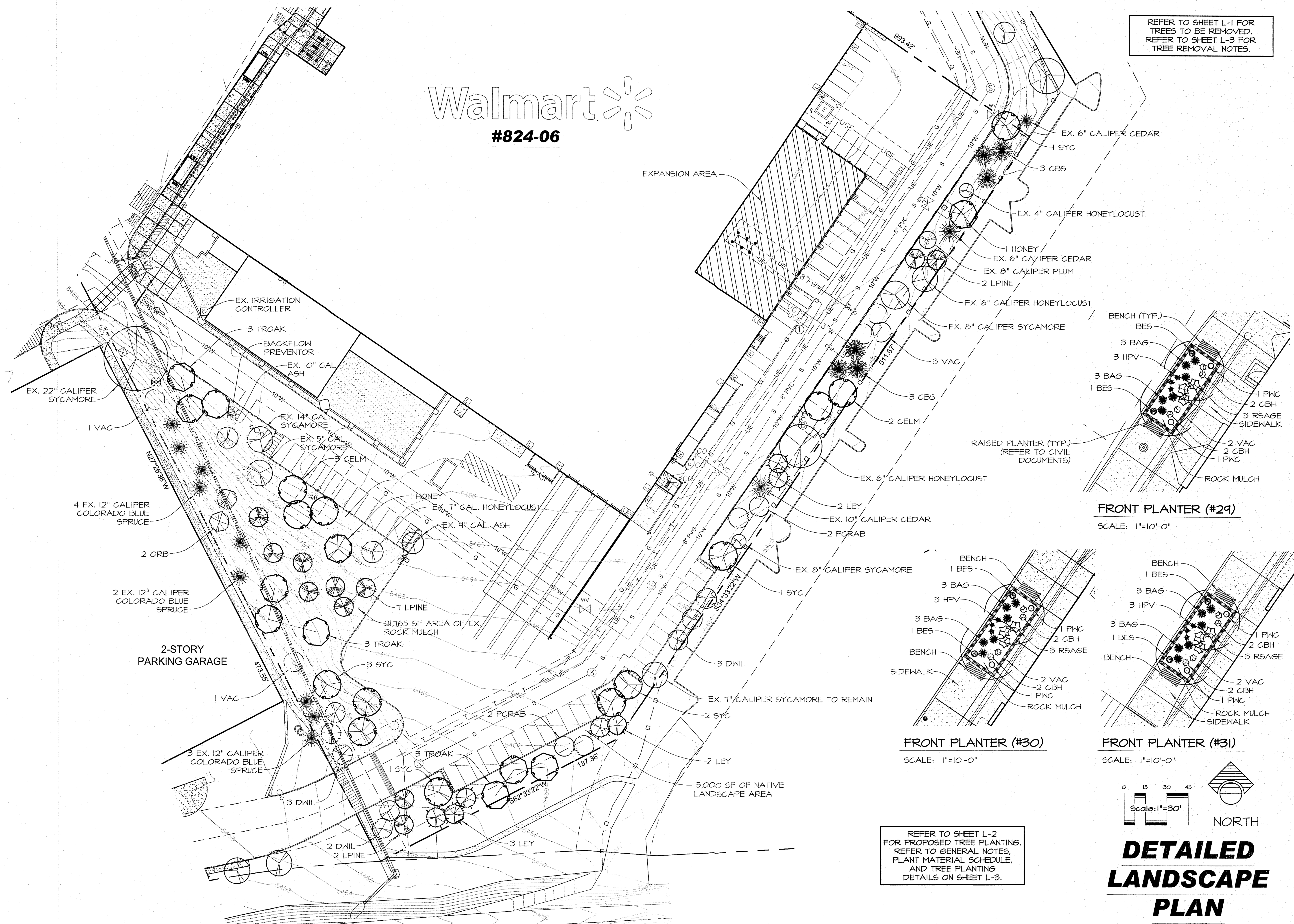
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 CHECKED: BDD
 DATE: 2/25/2011
 SCALE: 1"=50'-0"
 JOB No: ALB-824-06
 SHEET

L-1
 4 of 13 SHEETS

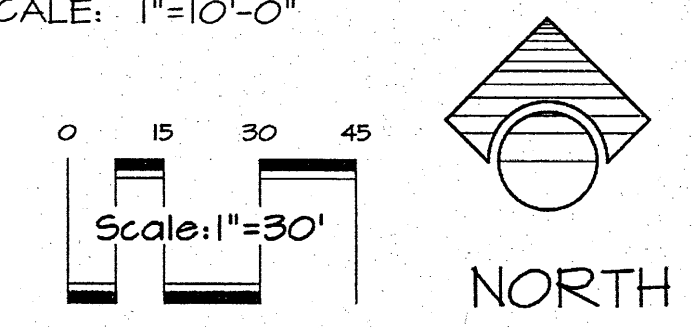
Walmart*

#824-06

REFER TO SHEET L-1 FOR
TREES TO BE REMOVED.
REFER TO SHEET L-3 FOR
TREE REMOVAL NOTES.



REFER TO SHEET L-2
FOR PROPOSED TREE PLANTING.
REFER TO GENERAL NOTES,
PLANT MATERIAL SCHEDULE,
AND TREE PLANTING
DETAILS ON SHEET L-3.

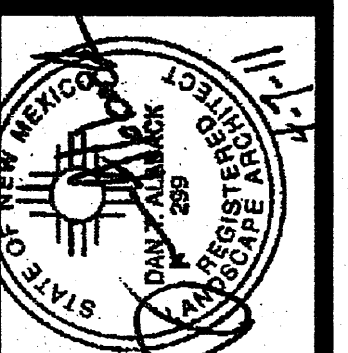


DETAILED LANDSCAPE PLAN

REVISIONS	BY

2202 E. 48th ST.
SUITE 600
TULSA, OK 74105
918-742-1655
FAX: 918-742-1657
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ALABAC DESIGN
LANDSCAPE ARCHITECTS



ALB-824-06

WAL-MART SUPERCENTER #824-06
ALBUQUERQUE, NEW MEXICO
WAL-MART STORES, INC.
2001 SE 10TH STREET, BENTONVILLE, AR 72716
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PHONE: (479) 204-0425

DRAWN	JMH
CHECKED	BBD
DATE	2/26/2011
SCALE	1"=30'-0"
JOB No.	ALB-824-06
SHEET	

L-2
5 OF 13 SHEETS

REVISIONS	BY

PLAN

SECTION

SMALL TREE PLANTING (14' OR LESS)

NOT TO SCALE

- TREE WRAP
- 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS SPECIFIED
- 3" HIGH SOIL BERM TO HOLD WATER
- STAKE SIZE SHALL BE ONE SIZE HIGHER THAN REQUIRED FOR SIZE OF TREE. REFER TO SITEMARK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- FINISHED GRADE (SEE GRADING PLAN)
- TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE
- B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
- PREPARED PLANTING SOIL AS SPECIFIED
- ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- UNDISTURBED SUBSOIL

NOTES:

- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- BRANCHING HEIGHT TO A.A.N. STANDARDS.

PLAN

SECTION

MULTI-TRUNK TREE PLANTING

NOT TO SCALE

- BASE OF TREE SHALL BE PLANTED SLIGHTLY ABOVE (1" MIN.) ADJACENT FINISH GRADE. REMOVE ALL TWINE & STRAPS & CUT BURLAP FROM TOP 1/3 OF ROOTBALL. NO SYNTHETIC BURLAP WILL BE ACCEPTED.
- SHREDDED HARDWOOD BARK MULCH OR APPROVED EQUAL DIAMETER OF TREE PIT TO BE THICE THE DIAMETER OF ROOTBALL-ROUGHEN SIDES OF TREE PIT.
- 3" HIGH SOIL BERM TO HOLD WATER.
- TOPSOIL MIX BACKFILL
- TREE WRAP
- 4" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN)
- ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- UNDISTURBED SUBSOIL
- PREPARE PLANTING SOIL AS SPECIFIED
- STAKE SIZE SHALL BE ONE SIZE HIGHER THAN REQUIRED FOR SIZE OF TREE. REFER TO SITEMARK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.

NOTES:

- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- SET TREE AT ORIGINAL DEPTH. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT
- BRANCHING HEIGHT TO A.A.N. STANDARDS

PLAN

SECTION

TREE PLANTING ON SLOPE

NOT TO SCALE

- 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS SPECIFIED.
- STAKE SIZE SHALL BE ONE SIZE HIGHER THAN REQUIRED FOR SIZE OF TREE. REFER TO SITEMARK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN)
- TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE
- B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
- PREPARE PLANTING SOIL AS SPECIFIED.
- ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- UNDISTURBED SUBSOIL
- 3" HIGH SOIL BERM TO HOLD WATER.
- TREE WRAP
- CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

NOTES:

- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- BRANCHING HEIGHT TO A.A.N. STANDARDS.

LANDSCAPE NOTES

ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. SEE 02900 SPECIFICATION.

ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.

ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.

ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.

ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.

ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.

ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT ALL OF THE UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.

CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF TIME SHOWN IN THE 02900 SPECIFICATION.

ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.

THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD DEFINED IN THE 02400 SPECIFICATION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.

AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MISTY SYSTEM PRIOR TO INSTALLATION.

STANDARDS SET FORTH IN 'AMERICAN STANDARD FOR NURSERY STOCK' REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.

WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF FOUR INCHES, AS LISTED IN THE SPECIFICATIONS.

REFER TO WALMART SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.

PLANTING 3

EACH TREE SHALL RECEIVE:
THREE (3) CUBIC FEET OF "BACK TO EARTH" COMPOSTED COTTON BURRS AND 1 CUBIC FOOT OF STERILIZED COW MANURE. MIX WITH THE TOPSOIL AND USE AS A BACKFILL. APPLY BIOPLEX 5-IN-1 COMPLETE PLANTING GRANULES AT A RATE OF 8 OUNCES PER EACH 1" CALIPER. INCORPORATE 5-IN-1 INTO THE TOP 3"-4" OF SOIL BACKFILL.

THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SNPPP PLAN.

GENERAL NOTES

CALL 811 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES.

CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

PLANT TREES TWO (2) INCHES ABOVE FINISHED GRADE. CUT TWINE FROM AROUND THE TRUNK AND PULL BACK THE BURLAP FROM THE TOP 1/3 OF THE ROOT BALL. CAREFULLY REMOVE ANY EXCESS SOIL ON TOP OF ROOT BALL TO EXPOSE THE ROOT FLARES.

TREE REMOVAL NOTES

CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES AS SHOWN "TO BE REMOVED" ON SHEET L-1 (TOTAL OF FIVE TREES). COMPLETELY REMOVE TREE TRUNK, BRANCHES, TREE STUMP AND ROOT SYSTEM. LEGALLY DISPOSE OF ALL DEBRIS CREATED BY REMOVAL. REPLACE SURFACE VOIDS CREATED BY TREE REMOVAL WITH HIGH QUALITY TOPSOIL, AND RETURN GROUND TO ORIGINAL GRADE ELEVATION. COMPACT REPLACEMENT SOIL TO AVOID FUTURE HOLES AND/OR DEPRESSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING AND PROTECTING EXISTING TREES TO REMAIN DURING TREE REMOVAL.

BED PREPARATION

THE FOLLOWING NOTES ARE A PARTIAL SUMMARY OF SPECIFICATIONS. REFER TO THE FOLLOWING SECTIONS:
02812 - SITE IRRIGATION SYSTEM
02900 - PLANTING

ALL SHRUB, GROUND COVER AREAS SHALL RECEIVE SOIL AMENDMENTS PER SPECIFICATION 02900. ROTO-TILL AMENDMENTS WITH IMPORTED TOPSOIL TO A DEPTH OF EIGHT (8) INCHES. REPLACE WITH IMPORTED TOPSOIL / AMENDMENTS PER SPECIFICATION 02900.

PROVIDE BIOPLEX 5-IN-1 COMPLETE PLANTING GRANULES AS MANUFACTURED BY ADVANCED GROWING SOLUTIONS TO ALL PLANTING BEDS. APPLY AT A RATE OF 2.0 POUNDS PER 100 SQUARE FEET. ROTO-TILL INTO THE TOP 3"-4" OF PLANTING BEDS.

EACH TREE SHALL RECEIVE:
THREE (3) CUBIC FEET OF "BACK TO EARTH" COMPOSTED COTTON BURRS AND 1 CUBIC FOOT OF STERILIZED COW MANURE. MIX WITH THE TOPSOIL AND USE AS A BACKFILL. APPLY BIOPLEX 5-IN-1 COMPLETE PLANTING GRANULES AT A RATE OF 8 OUNCES PER EACH 1" CALIPER. INCORPORATE 5-IN-1 INTO THE TOP 3"-4" OF SOIL BACKFILL.

IRRIGATION

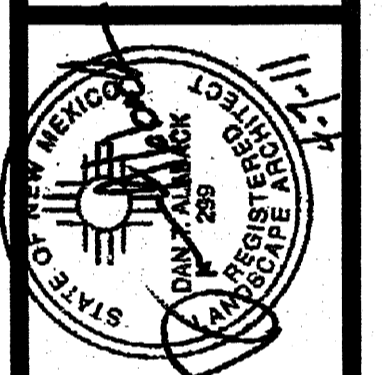
AN IRRIGATION SYSTEM IS CURRENTLY OPERATING ON SITE. REFER TO IRRIGATION DOCUMENTS FOR SYSTEM DESIGN, DETAILS AND NOTES.

PLANT MATERIAL SCHEDULE				
QTY	TAG	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
2	HONEY	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	3" CAL.; 10'-12' HT.; FULL
8	SYC	SYCAMORE	PLATANUS OCCIDENTALIS	3" CAL.; 10'-12' HT.; FULL
4	TROAK	TEXAS RED OAK	QUERCUS TEXANA	3" CAL.; 10'-12' HT.; FULL
5	CELM	CEDAR ELM	ULMUS CRASSIFOLIA	3" CAL.; 10'-12' HT.; FULL
11	LPINE	LIMBER PINE	PINUS FLEXILIS	7'-8' HT.; FULL TO GROUND
7	LEY	LEYLAND CYPRESS	CUPRESSOCYPARIS LEYLANDII	7'-8' HT.; FULL TO GROUND
6	CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS 'KOSTER'	7'-8' HT.; FULL TO GROUND
11	VAC	VITEX CHASTE TREE	VITEX AGNUS-CASTUS	8' MIN. HT.; FULL BRANCHING
8	DWIL	DESERT WILLOW	CHILOPSIS LINEARIS	8' MIN. HT.; FULL BRANCHING
4	PCRAB	PRAIRIFIRE GRABAPPLE	MALUS SPP. 'PRAIRIFIRE'	2" CAL.; 8' MIN. HT.; FULL
2	ORB	OKLAHOMA REDBUD	CERCIS CANADENSIS 'OKLAHOMA'	2" CAL.; 8' MIN. HT.; FULL
4	RSAGE	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON; FULL
18	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	3 GALLON; FULL
4	HPV	HOMESTEAD PURPLE VERBENA	VERBENA CANADENSIS 'HOMESTEAD PURPLE'	1 GALLON; FULL
6	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	1 GALLON; FULL
12	CBH	PALACE PURPLE CORAL BELL	HEUCHERA MICRANTHA 'PALACE PURPLE'	1 GALLON; FULL
6	PWC	PURPLE WINTERCREEPER	EVONYMUS FORTUNEI 'COLORATUS'	1 GALLON; FULL

LANDSCAPE NOTES AND DETAILS

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SUITE 500
TULSA, OK 74105
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Fax: 918-421-7879
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ALABACK DESIGN
LANDSCAPE ARCHITECTS



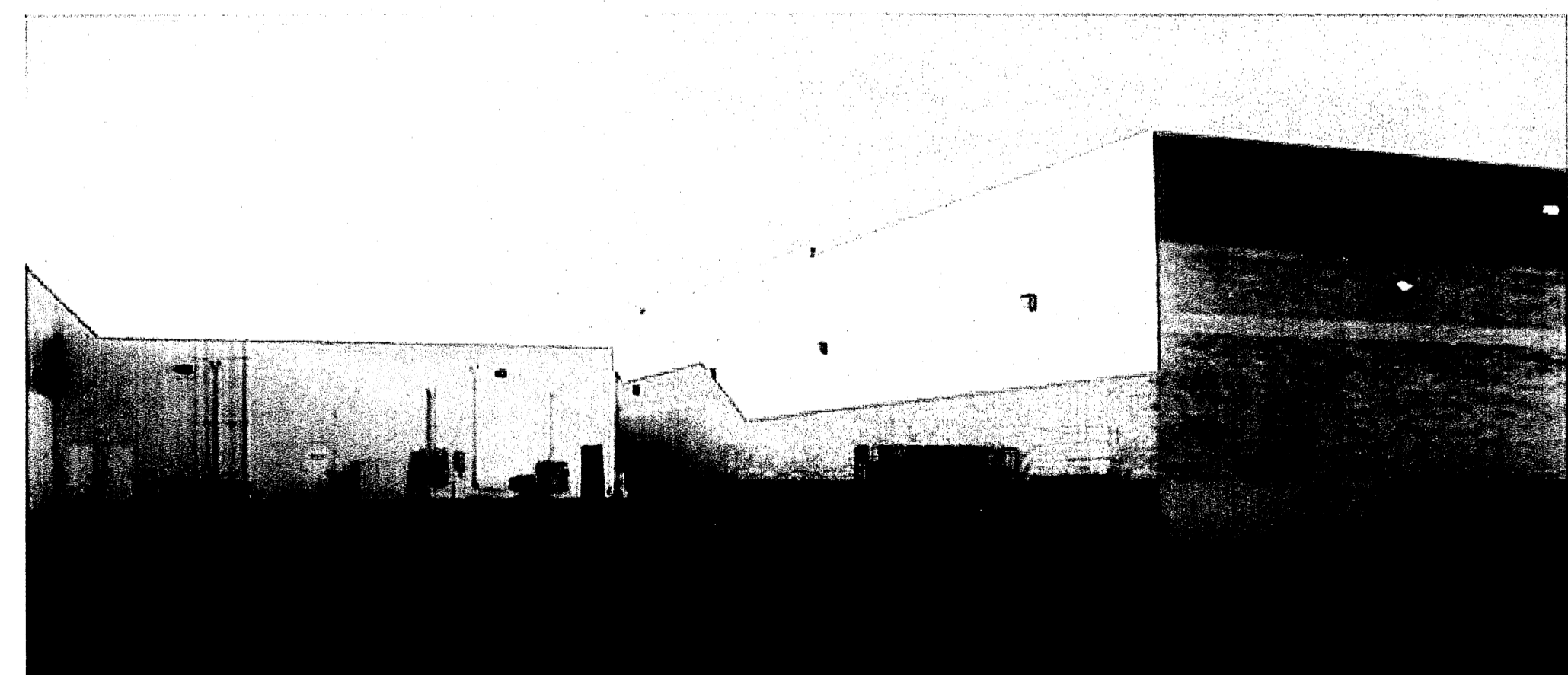
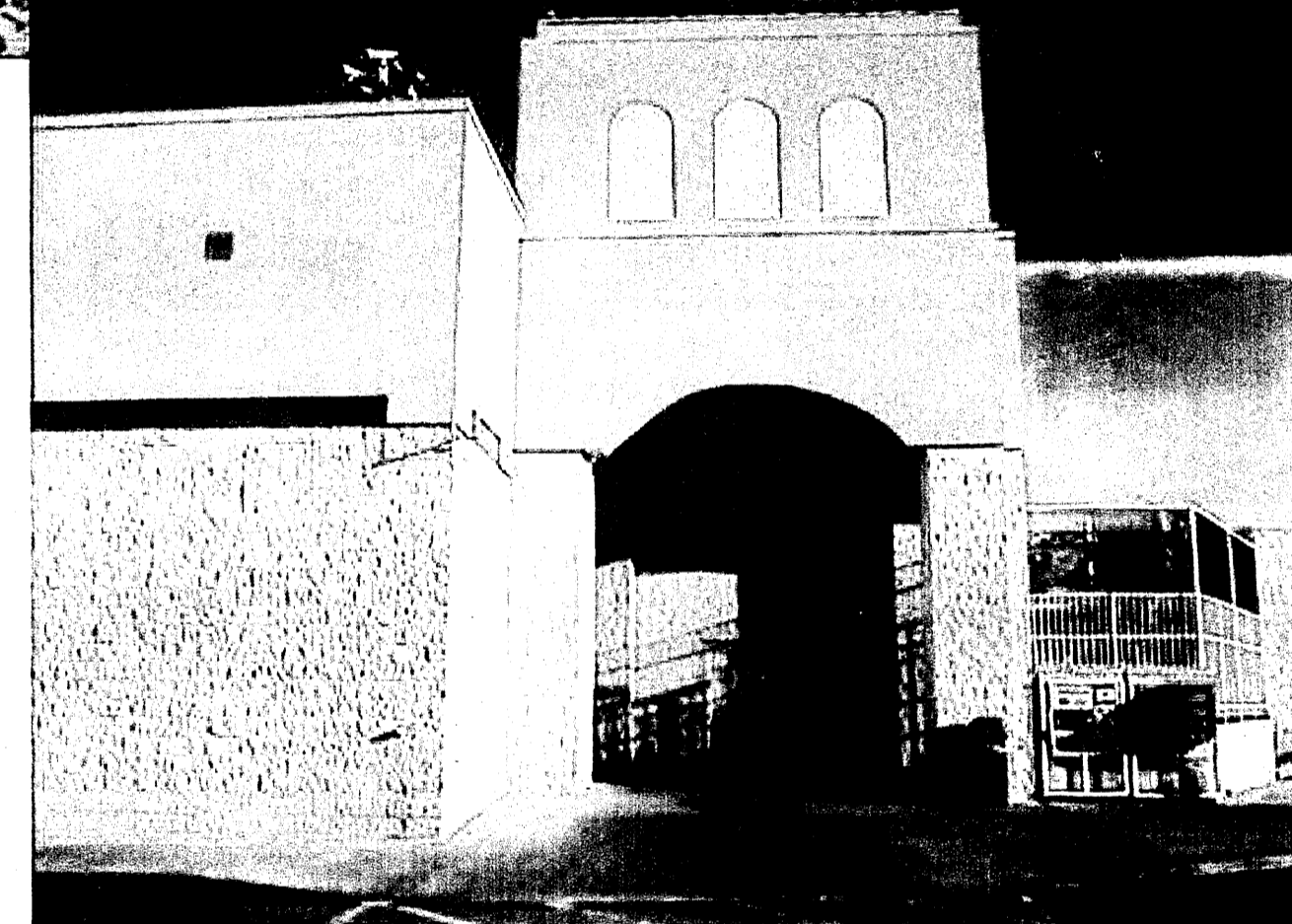
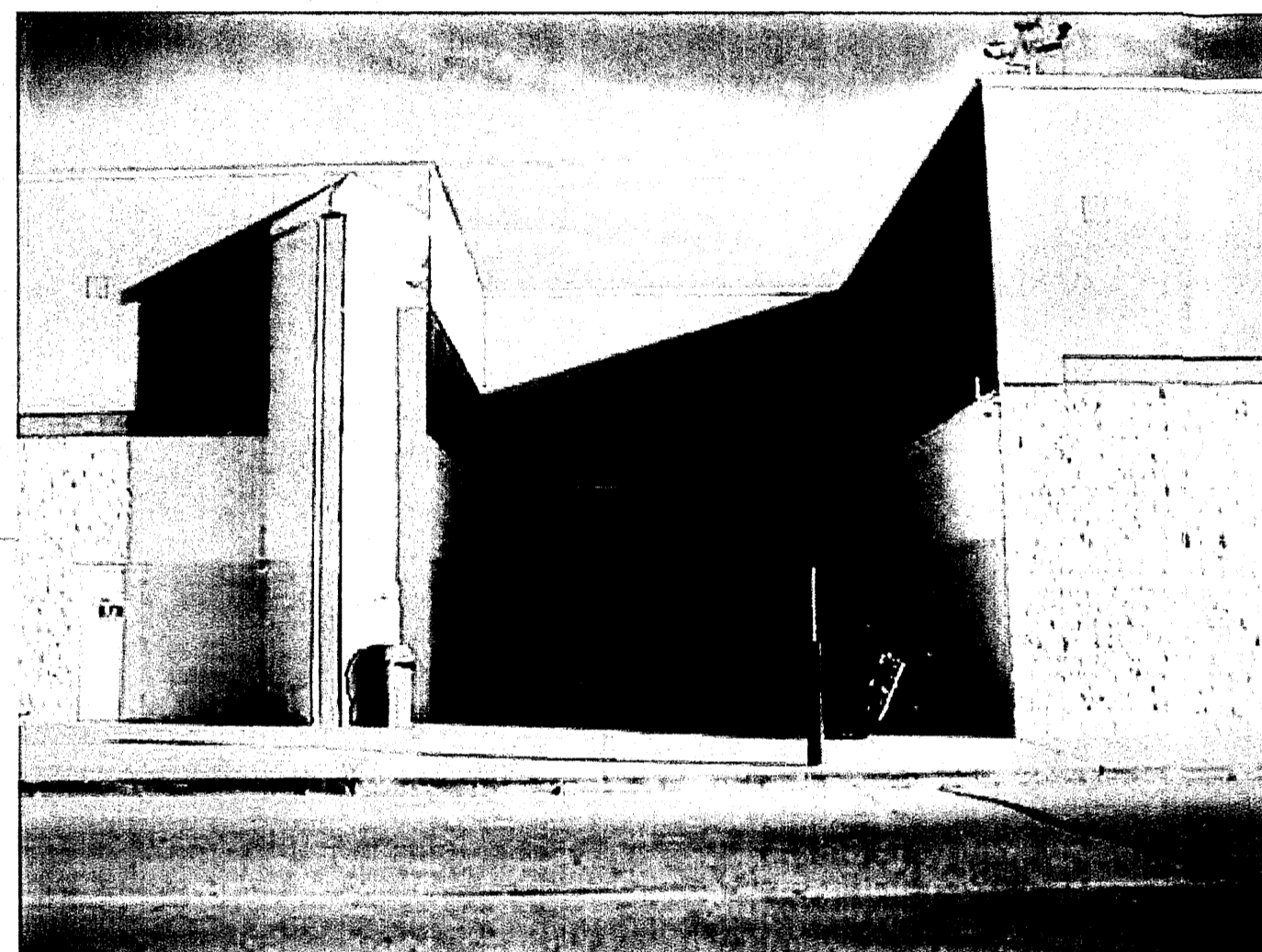
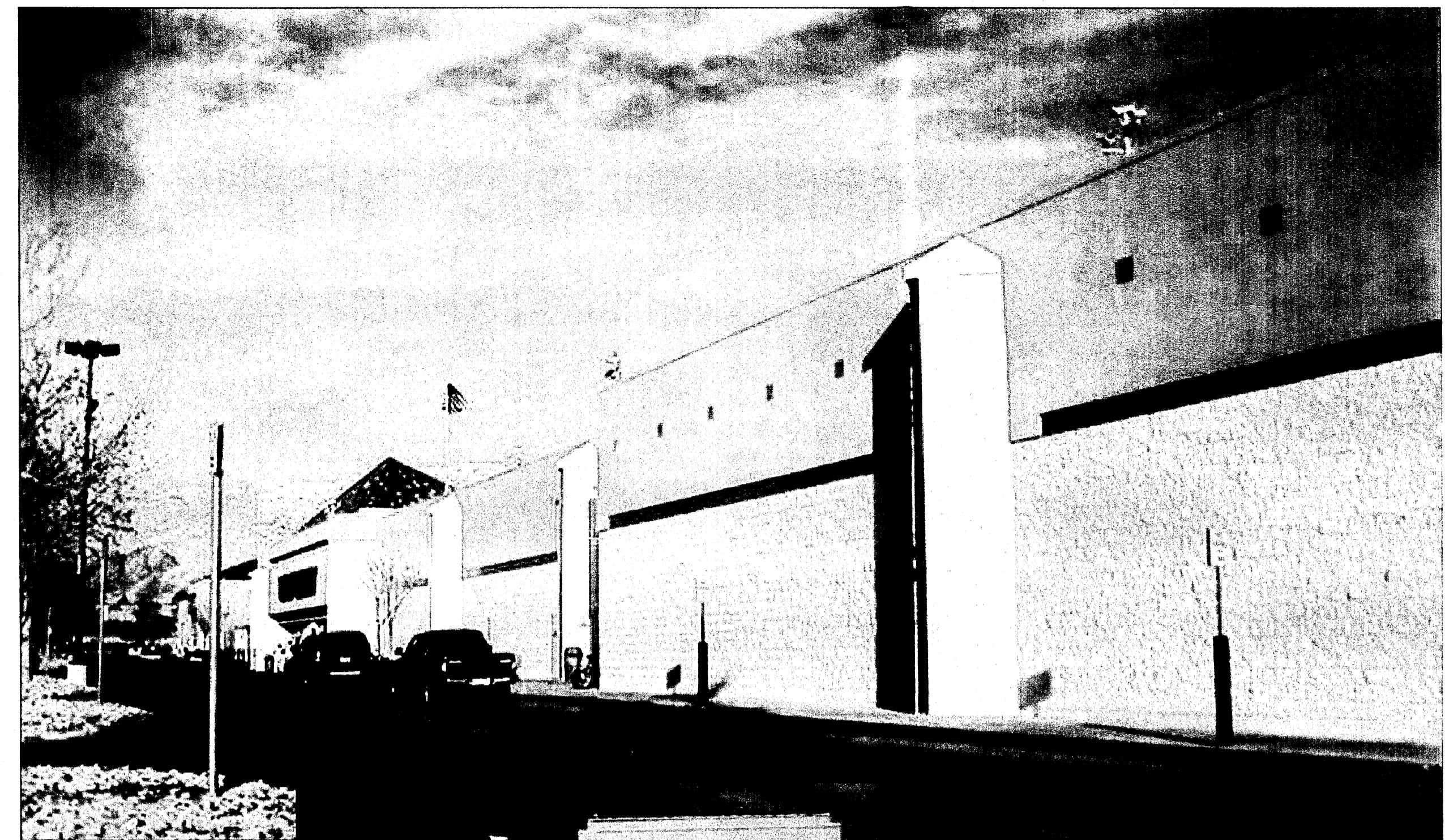
ALB-824-06

WAL-MART SUPERCENTER #824-06
ALBUQUERQUE, NEW MEXICO
WAL-MART STORES, INC.
2001 SE 10TH STREET, BENTONVILLE, AR 72716
CONTACT: DANI ZIEM
PHONE: (479) 204-0425

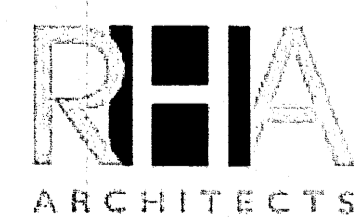
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SCALE	N/A
JOB No.	ALB-824-06
SHEET	

L-3

6 of 13 SHEETS



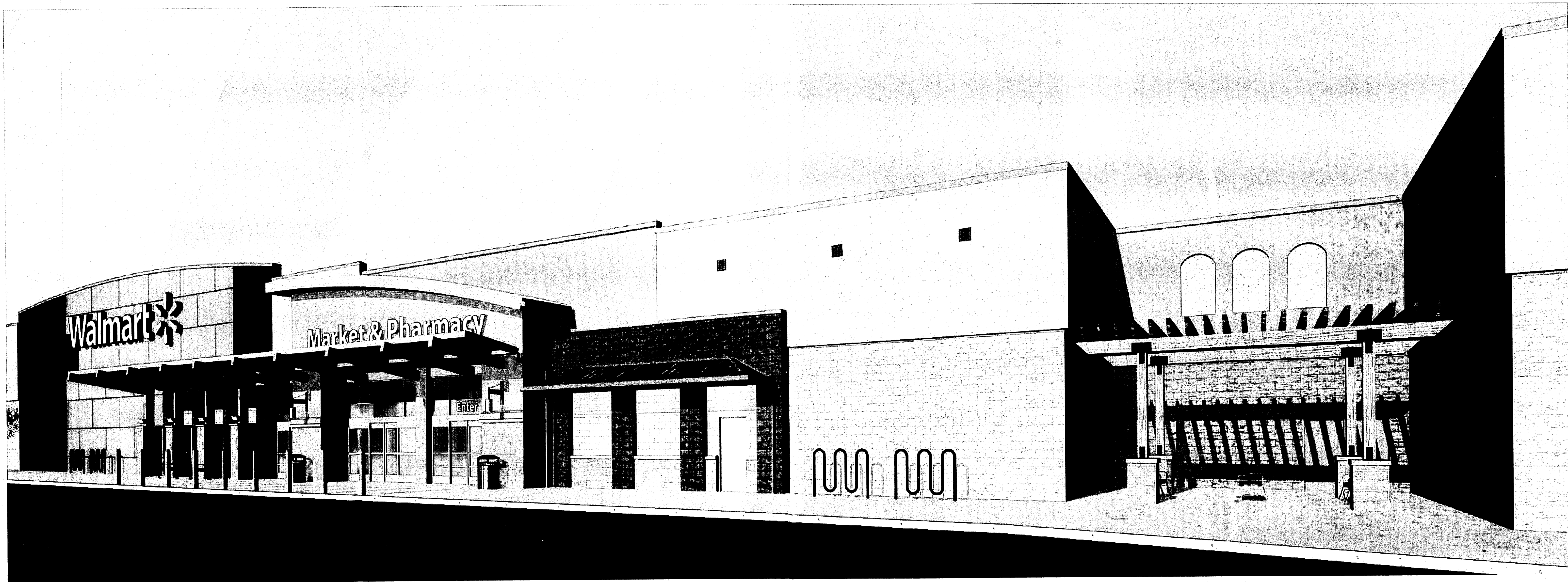
Walmart



May 20, 2011

Albuquerque, NM #824

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Walmart



May 20, 2011

Albuquerque, NM #824

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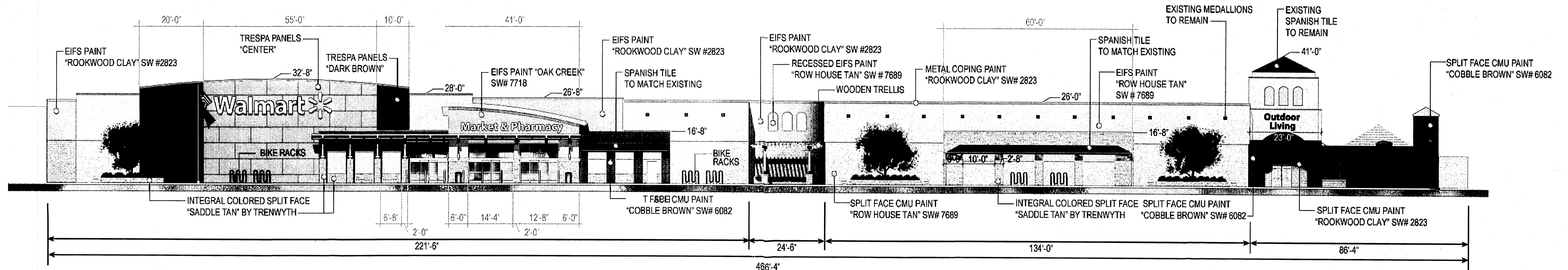
Walmart



May 20, 2011

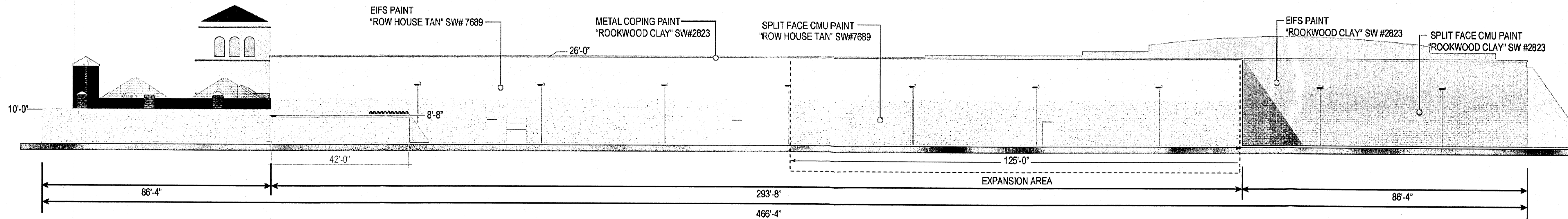
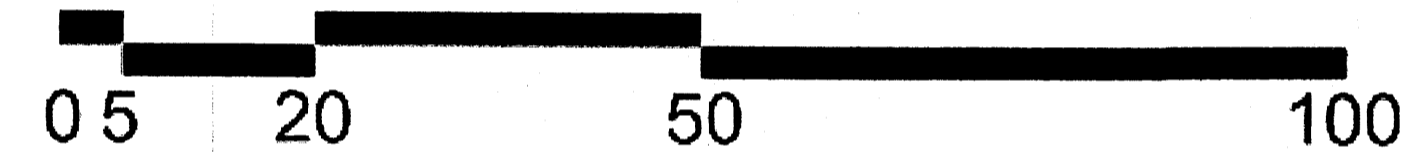
Albuquerque, NM #824

9 of 13



Front Elevation (West)

Graphic Scale



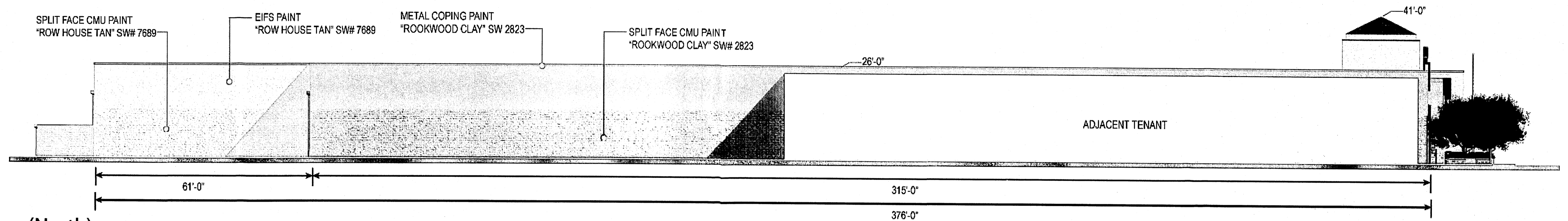
Rear Elevation (East)

Walmart



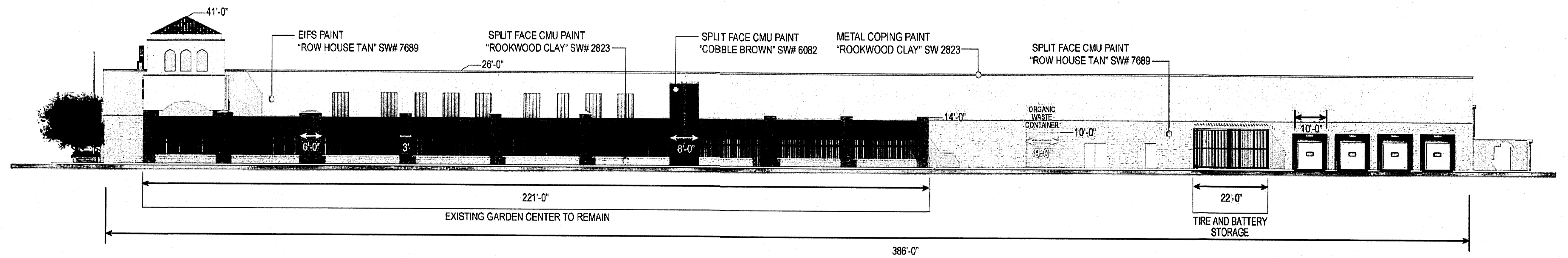
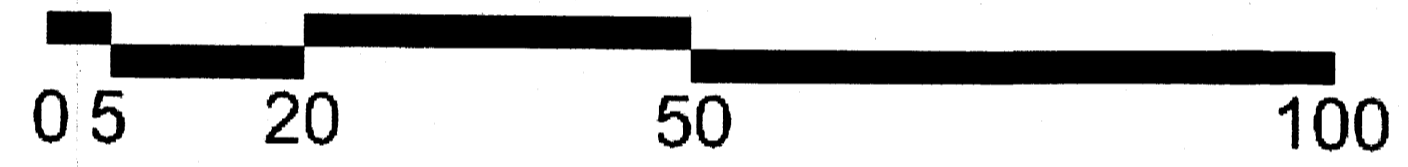
May 20, 2011

Albuquerque, NM #824

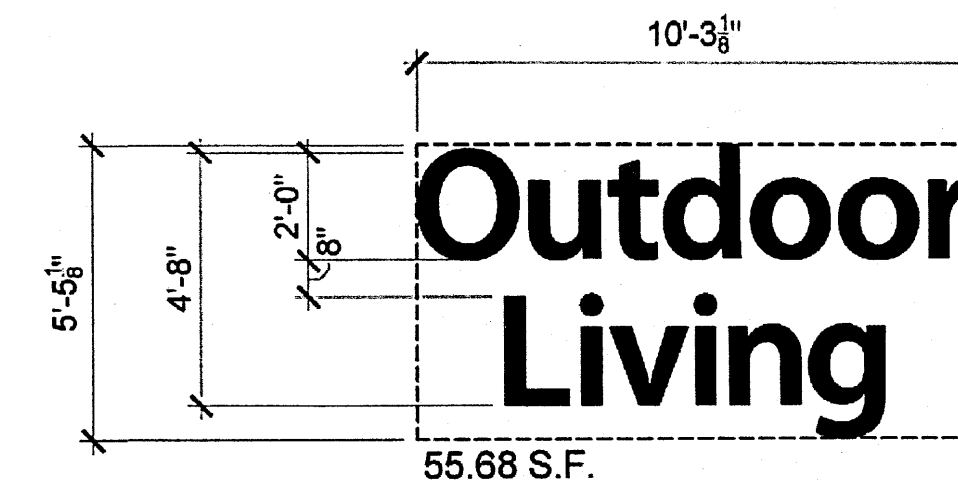
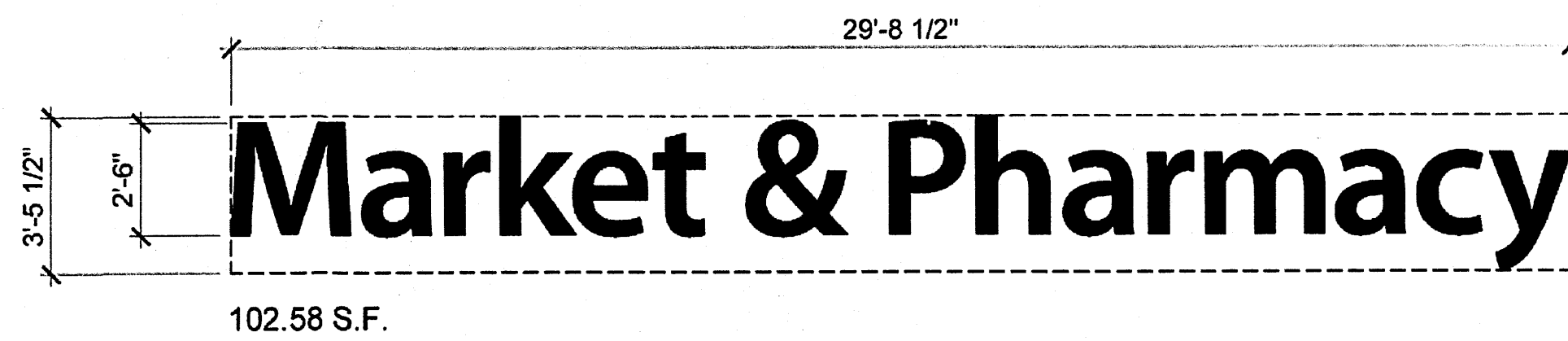
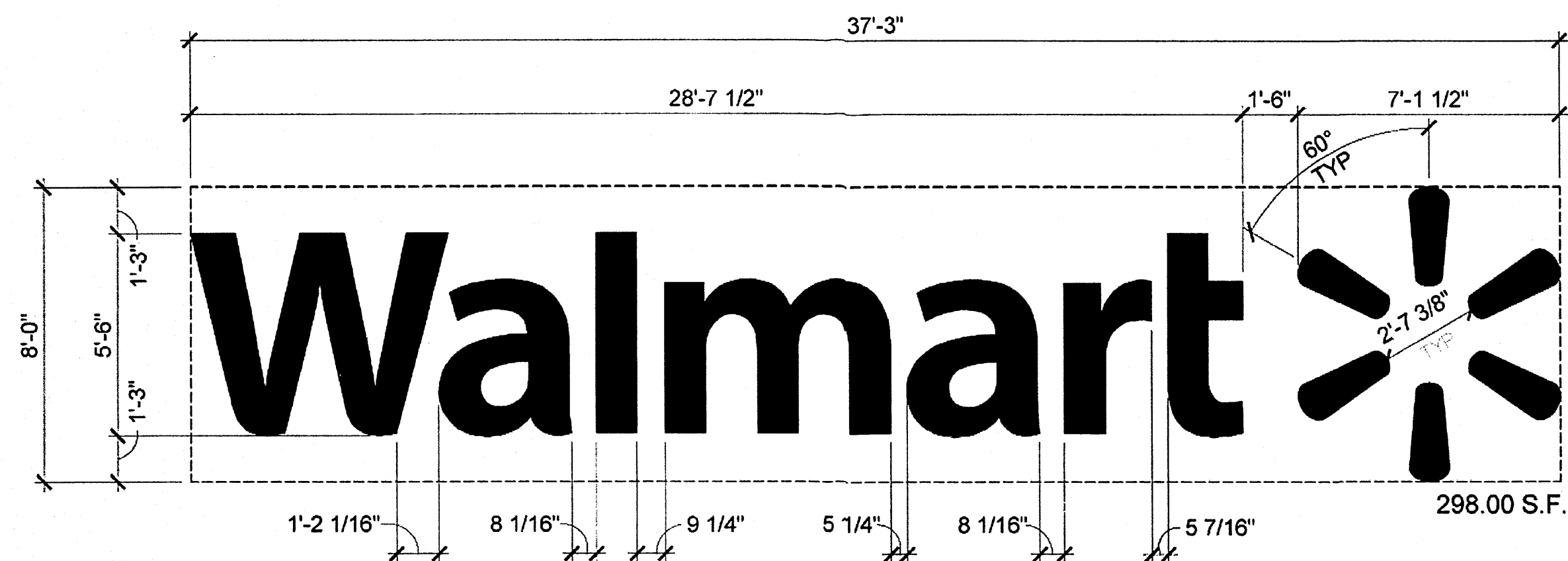
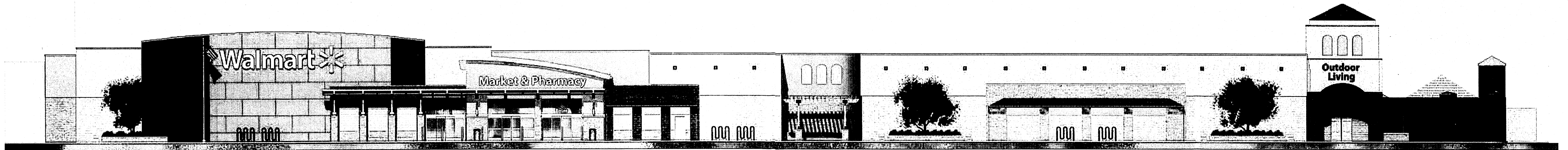


Left Elevation (North)

Graphic Scale

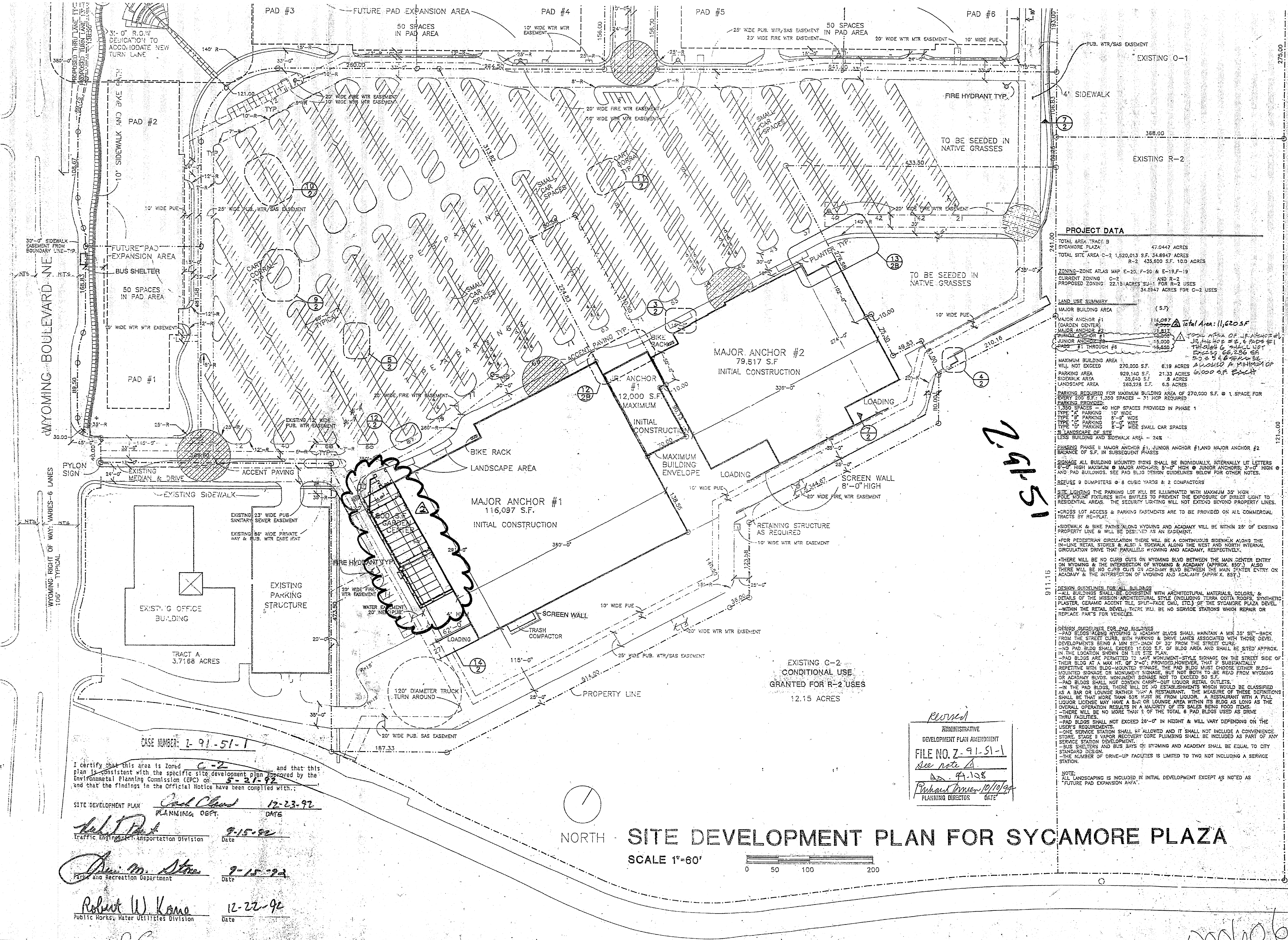


Right Elevation (South)



Sign	#	Type	Color	Height	Illumination	Sq. Ft.	Total Sq. Ft.
Walmart Spark	1	Identity	White Yellow	5'-6" 8'-0"	Channel lit Channel lit	298.00	298.00
Market & Pharmacy	1	Directional	White	2'-6"	None	102.74	102.74
Outdoor Living	1	Directional	White	2'-0"	None	55.68	55.68
Total							456.42

Walmart



PROJECT DATA

TOTAL AREA TRACT B 47,044 ACRES
 TOTAL SITE AREA C-2 1,520,013 S.F. 34.8947 ACRES
 ZONING-ZONE ATLAS MAP E-20, F-20 & E-19, F-19
 EXISTING ZONING R-2 435,800 S.F. 10.0 ACRES
 PROPOSED ZONING 22.15 ACRES 'SU-1' FOR R-2 USES
 34.8947 ACRES FOR C-2 USES

LAND USE SUMMARY

MAJOR BUILDING AREA (S.F.) 116,097
 MAJOR ANCHOR #1 (GARDEN CENTER) 116,097
 MAJOR ANCHOR #2 79,817
 JUNIOR ANCHOR #1 12,000
 JUNIOR ANCHOR #2 15,000
 TOTAL 221,914 S.F. 5.09 ACRES

MAXIMUM BUILDING AREA 270,000 S.F. 6.19 ACRES
PARKING AREA 929,140 S.F. 21.33 ACRES
LANDSCAPE AREA 263,228 S.F. 6.5 ACRES

PARKING REQUIRED FOR MAXIMUM BUILDING AREA OF 270,000 S.F. @ 1 SPACE FOR EVERY 300 S.F. 1,350 SPACES - 31 HCP REQUIRED

PARKING PROVIDED
 1,350 SPACES - 40 HCP SPACES PROVIDED IN PHASE 1
 TYPE 'A' PARKING 10' WIDE
 TYPE 'B' PARKING 8'-0" WIDE
 TYPE 'C' PARKING 8'-0" WIDE SMALL CAR SPACES
 2% THIRDS OF ALL

PHASING PHASE I MAJOR ANCHOR #1, JUNIOR ANCHOR #1 AND MAJOR ANCHOR #2
 BALANCE OF S.F. IN SUBSEQUENT PHASES

SIGNAGE ALL BUILDING MOUNTED SIGNS SHALL BE INDIVIDUALLY, INTERNALLY LIT LETTERS 6'-0" HIGH MAXIMUM @ MAJOR ANCHORS; 8'-0" HIGH @ JUNIOR ANCHORS; 3'-0" HIGH @ AND PAD BUILDINGS. SEE PAD BLDG DESIGN GUIDELINES BELOW FOR OTHER NOTES.

BUSES 9 DUMPSTERS @ 6 CU YD VARS & 2 COMPACTORS

SEE LIGHTING THE PARKING LOT WILL BE ILLUMINATED WITH MAXIMUM 35' HIGH POLE MOUNT FIXTURES WITH Baffles TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO RESIDENTIAL AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES.

CROSS LOT ACCESS & PARKING FASTMETS ARE TO BE PROVIDED ON ALL COMMERCIAL TRACTS BY DE-PLAT.

SIDEWALK & BIKE PATHS ALONG WYOMING AND ACADEMY WILL BE WITHIN 25' OF EXISTING PROPERTY LINE & WILL BE DESIGNED AS AN EASEMENT.

FOR PEDESTRIAN CIRCULATION THERE WILL BE A CONTINUOUS SIDEWALK ALONG THE IN-LINE RETAIL STORES & ALSO A SIDEWALK ALONG THE WEST AND NORTH INTERNAL CIRCULATION DRIVE THAT PARALLEL WYOMING AND ACADEMY, RESPECTIVELY.

THERE WILL BE NO CURB CUTS ON WYOMING BLVD BETWEEN THE MAIN CENTER ENTRY ON WYOMING & THE INTERSECTION OF WYOMING & ACADEMY (APPROX. 650'). ALSO THERE WILL BE NO CURB CUTS ON ACADEMY BLVD BETWEEN THE MAIN CENTER ENTRY ON ACADEMY & THE INTERSECTION OF WYOMING AND ACADEMY (APPROX. 650').

DESIGN GUIDELINES FOR ALL BUILDINGS
 ALL BUILDINGS SHALL BE CONSISTENT WITH ARCHITECTURAL MATERIALS, COLORS, & DETAILS OF THE MISSION ARCHITECTURAL STYLE (INCLUDING TERRA COTTA ROOFS, SYNTHETIC PLASTER, CERAMIC ACCENT TILE, SHUTTER CASE, ETC.) OF THE SYCAMORE PLAZA DEVELOPMENT.
 WITHIN THE RETAIL LEVEL, THERE WILL BE NO SERVICE STATIONS WHICH REPAIR OR REPLACE PAW'S FOR VEHICLES.

DESIGN GUIDELINES FOR PAD BUILDINGS
 -PAD BLDGS ALONG WYOMING & ACADEMY BLVD SHALL MAINTAIN A MIN 35' SET-BACK FROM THE STREET CURB, WITH PARKING & DRIVE LANES ASSOCIATED WITH THOSE DEVELOPMENTS BEING A MIN SET-BACK OF 30' FROM THE STREET CURB.
 -PAD BLDG SHALL EXCEED 10,000 S.F. OF BLDG AREA AND SHALL BE SITED APPROX. IN THE LOCATION SHOWN ON THIS SITE PLAN.
 -PAD BLDGS ARE PERMITTED TO HAVE MONUMENT-STYLE SIGNAGE ON THE STREET SIDE OF THEIR BLDG AT A MAX HGT. OF 34'-0". PROVIDED HOWEVER, THAT IF SUBSTANTIALLY REPETITIVE WITH BLDG-MOUNTED SIGNAGE, THE PAD BLDG MUST CHOOSE EITHER BLDG-MOUNTED SIGNAGE OR MONUMENT SIGNAGE, BUT NOT BOTH TO BE READ FROM WYOMING OR ACADEMY BLVD. MONUMENT SIGNAGE NOT TO EXCEED 50 S.F.
 -PAD BLDGS SHALL NOT CONTAIN CARRY-OUT LIQUOR RETAIL OUTLETS.
 -IN THE PAD BLDGS, THERE WILL BE NO ESTABLISHMENTS WHICH WOULD BE CLASSIFIED AS A BAR OR LOUNGE RATHER THAN A RESTAURANT. THE MEASURE OF THESE DEFINITIONS SHALL BE THAT MORE THAN HALF MUST BE FROM LIQUOR. A RESTAURANT WITH A FULL LIQUOR LICENSE MAY HAVE A BAR OR LOUNGE AREA WITHIN ITS BLDG AS LONG AS THE OVERALL OPERATION RESULTS IN A MAJORITY OF ITS SALES BEING FOOD ITEMS.
 -THERE WILL BE NO MORE THAN 1 OF THE TOTAL 6 PAD BLDGS USED AS DRIVE THRU FACILITIES.
 -PAD BLDGS SHALL NOT EXCEED 28'-0" IN HEIGHT & WILL VARY DEPENDING ON THE USER'S REQUIREMENTS.
 -ONE SERVICE STATION SHALL BE ALLOWED AND IT SHALL NOT INCLUDE A CONVENIENCE STORE, STAGE & VAPOR RECOVERY CORE PLUMBING SHALL BE INCLUDED AS PART OF ANY SERVICE STATION DEVELOPMENT.
 -BUS SHELTERS AND BUS BAYS ON WYOMING AND ACADEMY SHALL BE EQUAL TO CITY STANDARD DESIGN.
 -THE NUMBER OF DRIVE-UP FACILITIES IS LIMITED TO TWO NOT INCLUDING A SERVICE STATION.

NOTE: ALL LANDSCAPING IS INCLUDED IN INITIAL DEVELOPMENT EXCEPT AS NOTED AS "FUTURE PAD EXPANSION AREA".

Revised March 28, 2002 BY RDM Bohannon

Revised 08/26/1994 BY JLDW DEBEL

SITE DEVELOPMENT PLAN

2-9-51

REMOVED
 ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. Z-91-51-1
 NEW NOTE A
 9-1-98
 Richard Dwyer 10/10/98
 PLANNING DIRECTOR DATE

CASE NUMBER: Z-91-51-1

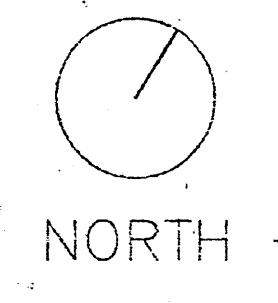
I certify that this area is Zoned C-2 and that this plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 5-21-92 and that the findings in the Official Notice have been complied with.

SITE DEVELOPMENT PLAN *Cash Clark* 12-23-92 DATE
 PLANNING DEPT.

John D. Pank 9-15-92 DATE
 Traffic Engineering - Transportation Division

David M. Stron 9-15-92 DATE
 Parks and Recreation Department

Robert W. Kono 12-22-92 DATE
 Public Works, Water Utilities Division



SITE DEVELOPMENT PLAN FOR SYCAMORE PLAZA

SCALE 1"=60'

9-26-94
 10-16-92
 design
 collaborative
 southwest inc.
 105 4th st. s.w.
 albuquerque, nm.
 87102
 job no: 9117
 date: 08/02/92