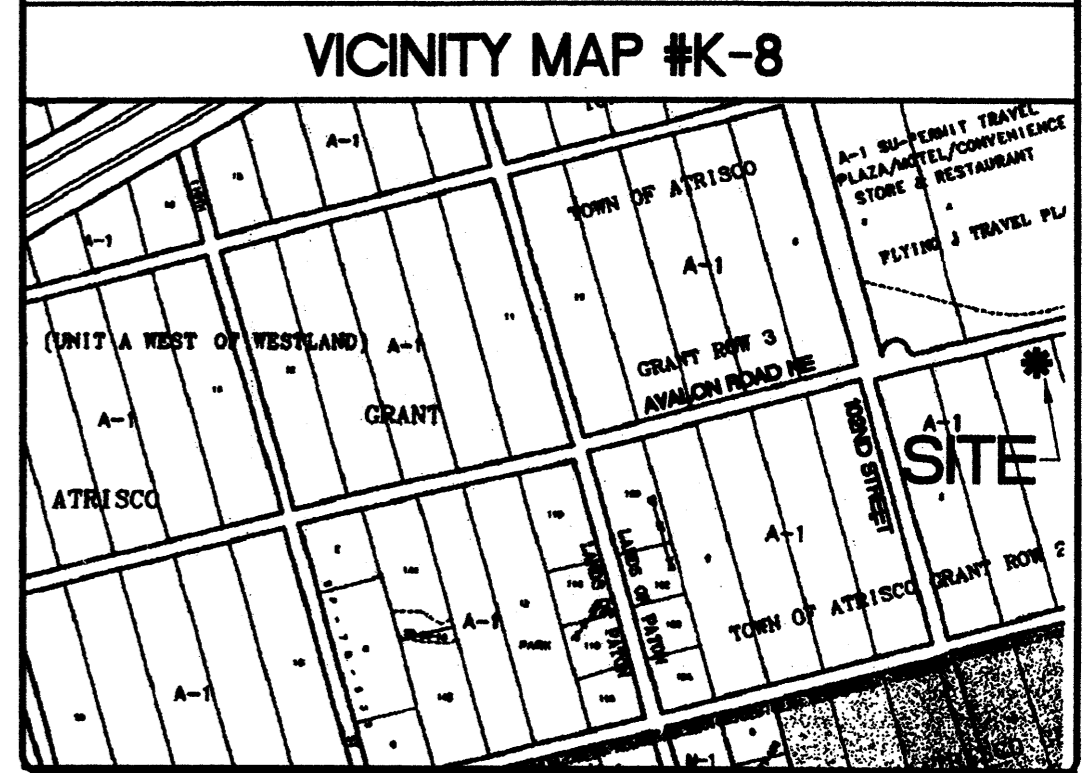
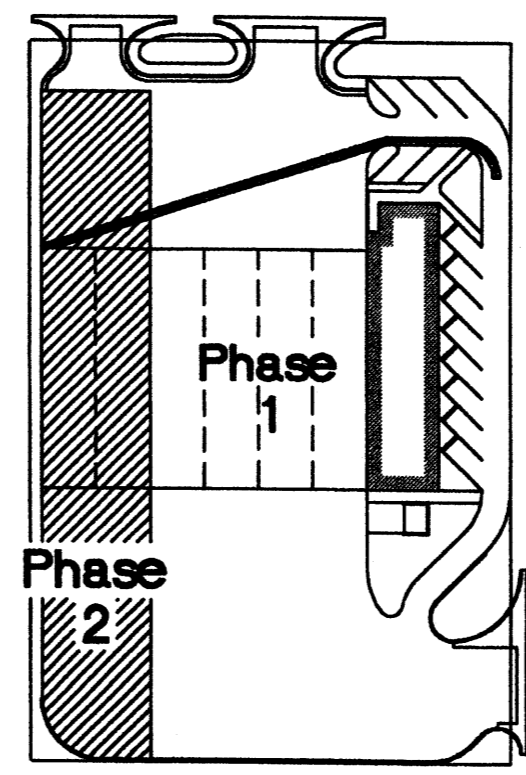


KEYNOTES	
LEGAL DESCRIPTION:	LOT 3B, ROW 2, UNIT A, WEST OF WESTLAND, TOWN OF ATRISCO GRANT
LOT SIZE:	75,000 SF + 17,216 ACRES (INCLUDES 50' WIDE ACCESS EASEMENT)
BUILDING AREA:	3,540 SF + 13,500 SF COVERED TRUCK WASH + 17,040 SF
BUILDING USE:	TRUCK WASH WITH ASSOCIATED WAITING ROOM / OFFICES / SUPPLIES / CUSTOMER LAUNDRY / EQUIPMENT AND SUPPLIES
CONSTRUCTION TYPE:	1IN
SIGNS:	POLE SIGN TO BE LOCATED AT THE CORNER OF AVALON ROAD AND LEONIDAS LANE. EXIT AND ENTRANCE SIGNS AS SHOWN.
TRASH ENCLOSURE:	PER C.O.A. STANDARDS
LANDSCAPING:	REQUIRED LANDSCAPING - 15% OF (75,000 - 17,040) = 8,532 SF PROVIDED LANDSCAPING - 9,558 SF + 16.5% (INCLUDES LANDSCAPING WITH EASEMENT)
LIGHTING:	TWO (2) UNITS LOCATED ON SITE PLAN. EACH UNIT WILL BE 20' HIGH WITH TWO 400 WATT METAL HALIDE, SHIELDED PARKING LOT LIGHTS.
OFF-STREET PARKING:	TOTAL SPACES REQUIRED, OFFICE (1/200): 14.75 TOTAL SPACES REQUIRED, STORAGE (1/200): 0.25 TOTAL SPACES REQUIRED, TRUCK WASH: 0** TOTAL SPACES REQUIRED: 15 TOTAL SPACES PROVIDED: 17* **INCLUDES 1 VAN ACCESSIBLE SPACE **NOTE: TRUCK WASH BAYS PROVIDE PARKING FOR TRUCKS. NO CAR PARKING IS REQUIRED FOR THIS PORTION OF BUILDING.



LEGEND	
	SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
	PROPOSED PAVED DRIVE
	BUILDING (EXISTING, PROPOSED)
	PROPERTY LINE
	LANDSCAPED AREA
	R/W
	PL
	PP
	ENTRY / EXIT LOCATION
	SITE LIGHTING
	PARKING SPACE COUNT



Phasing Diagram

Application # 00420-0000-00327  
Project # 1000608

CASE NUMBER: Z- 97-83

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 8/25/00 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

*Rafael Ruiz* 7-19-00  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

*William E. Castellana* 7-19-00  
DESIGN AND DEVELOPMENT DIVISION DATE

*Roger J. Green* 7/19/00  
PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION DATE

*Maria Calogian* 7-19-00  
CITY ENGINEER, ENGINEERING DIVISION / AFCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL

*Paul S. ...* 8/25/00  
PLANNER, ALBUQUERQUE PLANNING DEPARTMENT DATE

622 (10706) 4/96

Christopher L. Weiss  
NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
7/14/00

C.L. WEISS ENGINEERING, INC.

SANDIA PARK OFFICE  
POST OFFICE BOX 17  
SANDIA PARK, NM 87047  
(505) 261-1800

ALVARADO OFFICE  
1100 ALVARADO DR. NE  
ALBUQUERQUE, NM 87110  
(505) 266-3444

Revisions

THIS DESIGN, CALCULATIONS, AND CONCEPTS ARE OWNED BY AND REMAIN THE PROPERTY OF C.L. WEISS ENGINEERING, INC. AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE WRITTEN PERMISSION OF CHRISTOPHER L. WEISS, P.E. ©

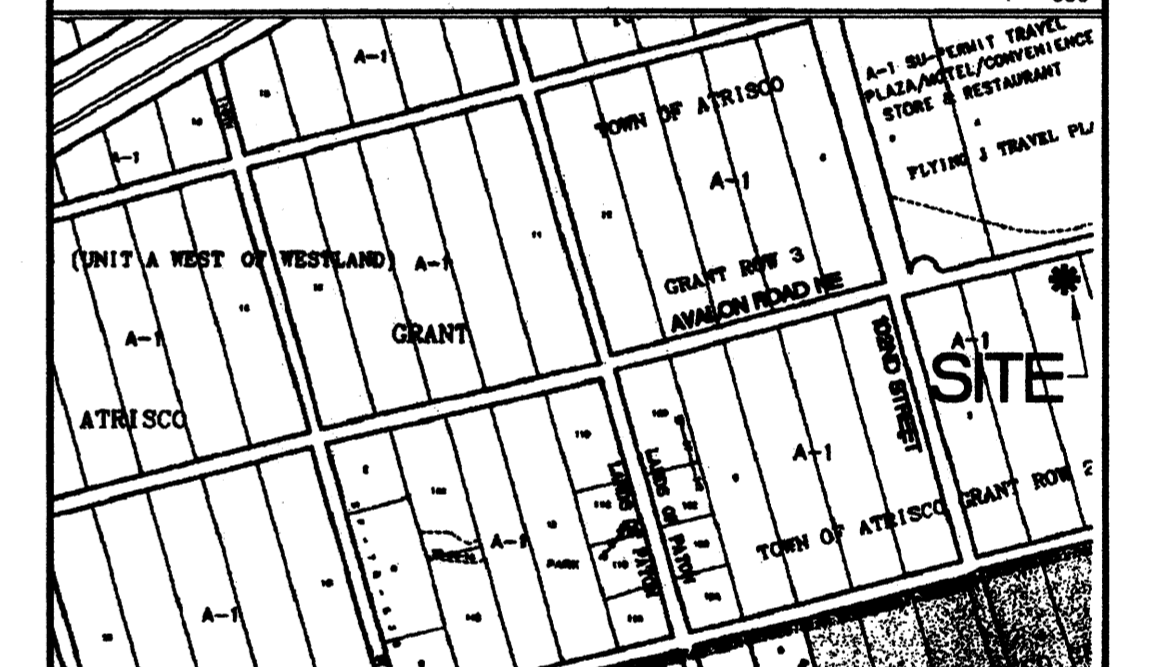
AVALON ROAD TRUCK WASH

Scale: 1" = 20'  
Drawn By: BJP  
Checked By: CLW  
Job Number:  
Date: JULY 2000

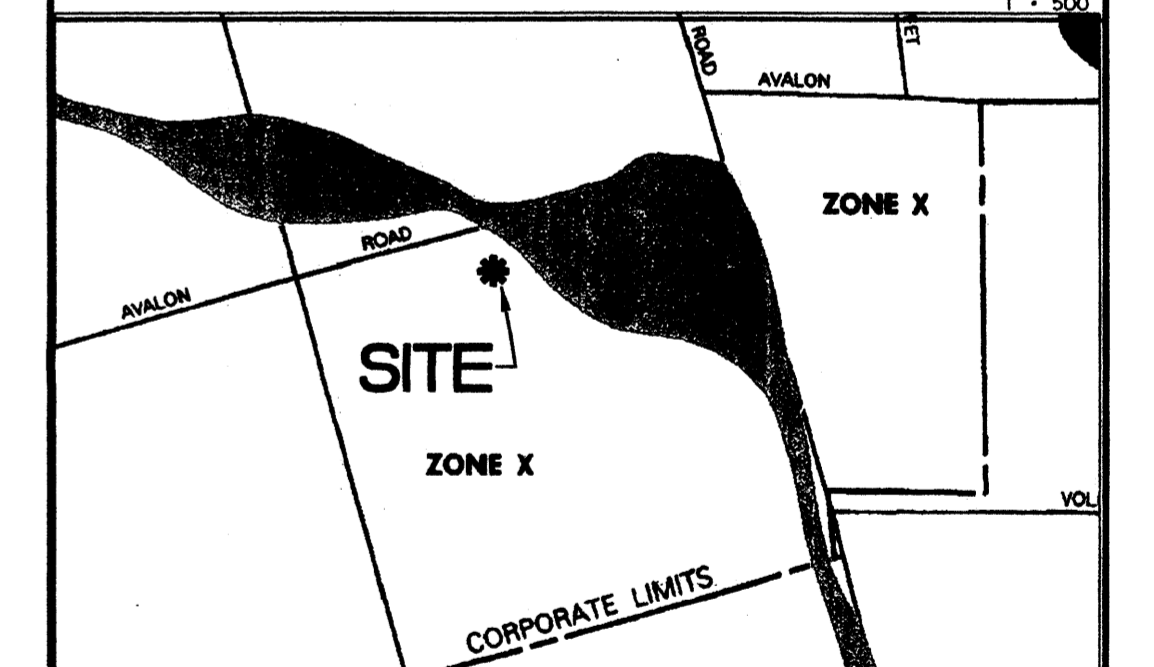
# KEYNOTES

- 1 ALL SPOT ELEVATIONS WITHIN PAVEMENT AREAS REPRESENT TOP OF PAVING UNLESS NOTED, ADD 6" TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS.
- 2 CONSTRUCT HANDICAP ACCESSIBLE PARKING PER C.O.A. REQUIREMENTS THIS AREA TOP OF ASPHALT TO BE FLUSH WITH TOP OF WALK. SEE SITE PLAN FOR ADDL. INFO.
- 3 PROPOSED ASPHALT PAVING. CONSTRUCT AT ELEVATIONS SHOWN. SEE SITE PLAN FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, SECTIONS, ETC.
- 4 CONSTRUCT SITE ENTRANCE WITH CONCRETE VALLEY GUTTER PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDING TRANSITION. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
- 5 CONSTRUCT EXTENDED BUILDING STEMWALLS TO ACHIEVE GRADE RELATIONS SHOWN.
- 6 ROOF FLOWS TO BE RELEASED TO THE EAST PAVED PARKING AREA.
- 7 EXISTING 50' WIDE PRIVATE ACCESS, PUBLIC WATER, SEWER AND DRAINAGE EASEMENT.
- 8 CONSTRUCT STANDARD CURB AND GUTTER THIS AREA PER C.O.A. STD. DWG. 2415.
- 9 CONSTRUCT HEADER CURB THIS AREA PER C.O.A. STD. DWG. 2415.
- 10 EDGE OF ASPHALT PAVING FLUSH WITH TOP OF LANDSCAPING. NO CURB THIS AREA.
- 11 CONSTRUCT 3' WIDE CONCRETE ALLEY GUTTER AT SLOPE = 0.00507 PER C.O.A. STD. DWG. 2415 (15M).
- 12 HIGH POINT IN PAVEMENT THIS AREA. FLOWS TO DRAIN AWAY FROM TRUCK WASH BAYS AS SHOWN.
- 13 CONSTRUCT WALK FLUSH WITH TOP OF ASPHALT PAVING THIS AREA.
- 14 CONSTRUCT MOUNTABLE CURB - ROLL TYPE PER C.O.A. STD. DWG. 2415 WITH 5' WIDE CONCRETE WALK FLUSH WITH TOP OF CURB AS SHOWN.

## VICINITY MAP #K-8



## FEMA MAP #328



## C.L. WEISS ENGINEERING, INC.

**CHRISTOPHER L. WEISS**  
 REGISTERED PROFESSIONAL ENGINEER  
 NEW MEXICO  
 11/14/00

**SANDIA PARK OFFICE:**  
 POST OFFICE BOX 97  
 SANDIA PARK, NM 87047  
 (505) 281-1800

**ALVARADO OFFICE:**  
 100 ALVARADO DR. NE  
 ALBUQUERQUE, NM 87110  
 (505) 266-3444

Revisions			
THIS DESIGN, CALCULATIONS, AND CONCEPTS ARE OWNED BY AND REMAIN THE PROPERTY OF C.L. WEISS ENGINEERING, INC. AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CHRISTOPHER L. WEISS, P.E. ©			
<b>AVALON ROAD TRUCK WASH</b>			
Scale:	Drawn By:	Checked By:	Job Number:
1" = 20'	DJB	CLW	
Date:	JULY 2000		
D. Image and Graphics		C-1	

**SCOPE**  
 The proposed improvements include an approx. 3,540 sq. ft. Commercial building an approx. 13,450 sq. ft. Truck wash facility with associated asphalt paving, parking, walks and landscaped areas.  
 The present site is an undeveloped commercial property located in Albuquerque, New Mexico. Avalon Road borders the property to the north, Leonidas Lane borders the site to the east, undeveloped commercial property borders the site to the west and south. The site slope varies with an average drop of 3% from northwest to southeast property corners.

**DRAINAGE PLAN CONCEPT**  
 Per the approved Master Drainage Plan for Tracts 3A, 3B, 3C, 3D and 3E, Row Two, Unit A, West of Westland, Town of Atrisco Grant, the site will free discharge to Leonidas Lane, an existing private paved street that is also a designated drainage easement. Flows will continue south within the drainage easement to an existing temporary retention basin (Phase I) or to a proposed series of storm sewer inlets located at the intersection of Leonidas Lane and Volcano Road (Phase II) to be released into the existing C.O.A. retention pond on the south side of Volcano Road.

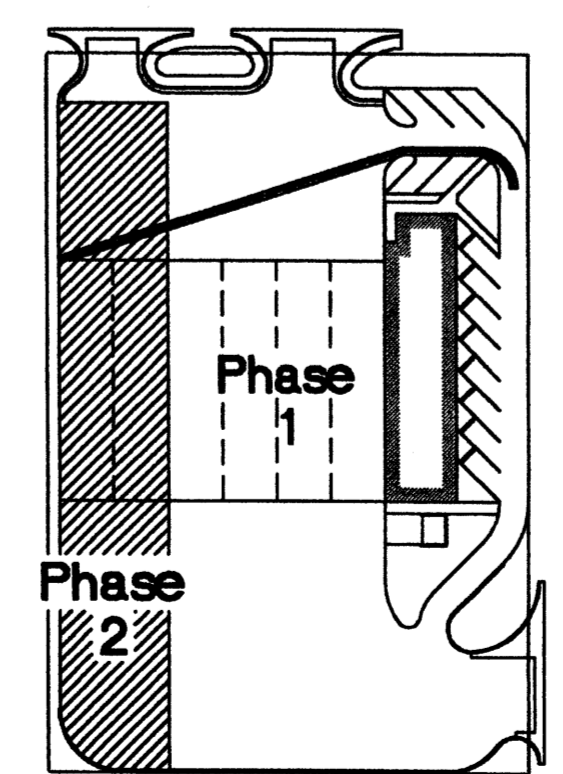
The intent of this plan is to show:  
 Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.  
 The extent of proposed site improvements, including buildings, walks and pavement.  
 The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City of Albuquerque requirements for drainage management.  
 The relationship of on-site improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

**GENERAL NOTES**  
**LEGAL:** Tracts 3B, Row Two, Unit A, West of Westland, Town of Atrisco Grant  
**SURVEYOR:** Forstbauer Surveying Co. - 1100 Alvarado Dr. NE - Albuq. N.M. - Ron Forstbauer - 268-2112  
**B.M.:** City of Albuquerque 8-K9. An aluminum cap located 0.4 miles south on 98th street from its intersection with I-40, and 113 feet east of the centerline of 98th street. Elevation = 5247.43 M.S.L.D.  
**T.B.M.:** South bonnet bolt of existing fire hydrant located at the southeast property corner. Elevations = 5240.70 M.S.L.D.

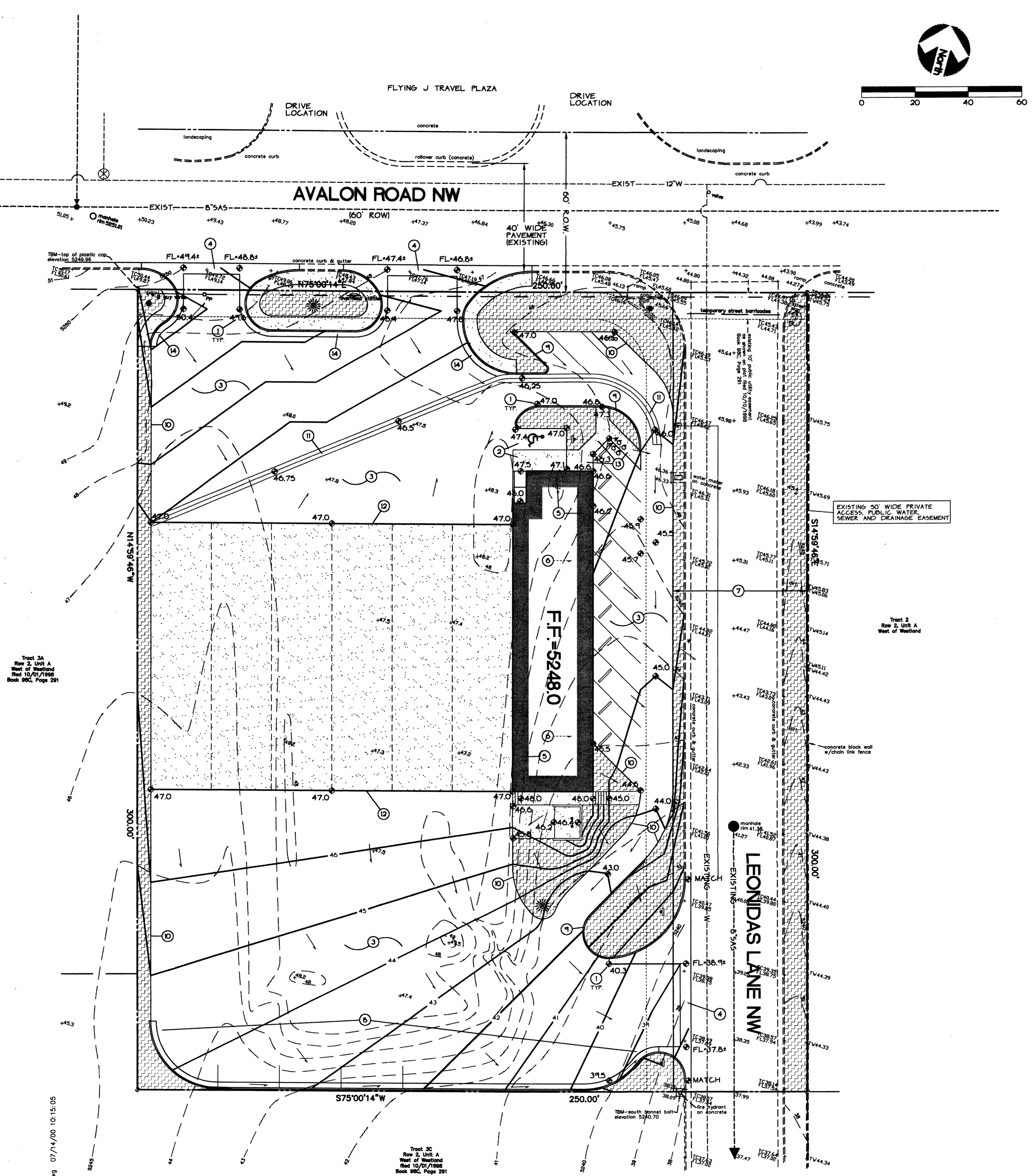
**OFF-SITE DRAINAGE:** No off-site drainage affects this property.  
**FLOOD HAZARD:** Per Bernalillo County FIRM Map #328 (see plan), the northeast corner of the property is located within a Zone "A" 100-year Flood Area. A L.O.M.R. for this portion of the floodzone has been prepared and submitted by C.L. Weiss Engineering, Inc. which removes this portion of the floodzone based on a series of recently constructed ponds and storm sewer installation as part of the Flying J Travel Plaza construction upstream from this site.  
**EROSION CONTROL:** The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points on the west and north property lines.

## LEGEND

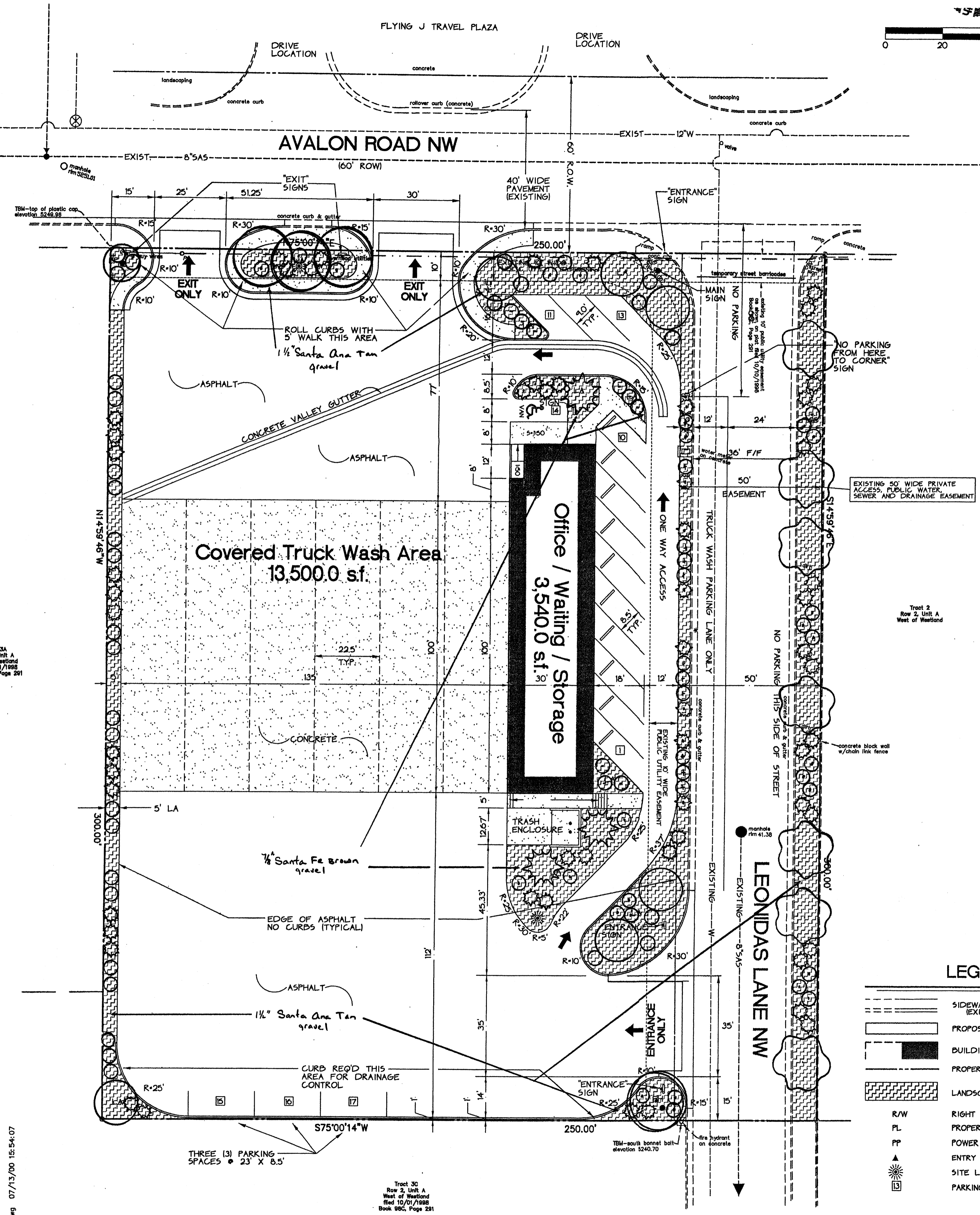
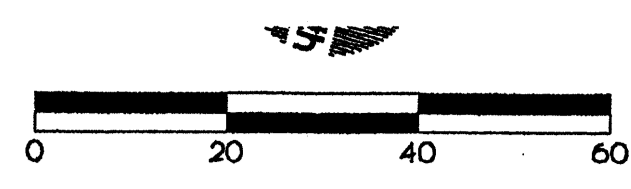
- SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
- PROPOSED PAVED DRIVE
- PROPOSED LANDSCAPING
- BUILDING (EXISTING, PROPOSED)
- PROPERTY LINE
- + 65.7 EXISTING SPOT ELEVATION
- 20 EXISTING CONTOUR
- ⊕ 75.2 PROPOSED SPOT ELEVATION
- 30 PROPOSED CONTOUR
- SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)
- LA LANDSCAPED AREA
- TGW TOP OF GRADE WALL (< 15' HIGH)
- TRW TOP OF RETAINING WALL (> 15' HIGH)
- TA TOP OF ASPHALT
- TC TOP OF CURB
- FL FLOW LINE
- FF FINISHED FLOOR
- R/W RIGHT OF WAY
- PL PROPERTY LINE
- PP POWER POLE
- A ENTRY / EXIT LOCATION



**Phasing Diagram**



003.dwg 07/14/00 10:15:05

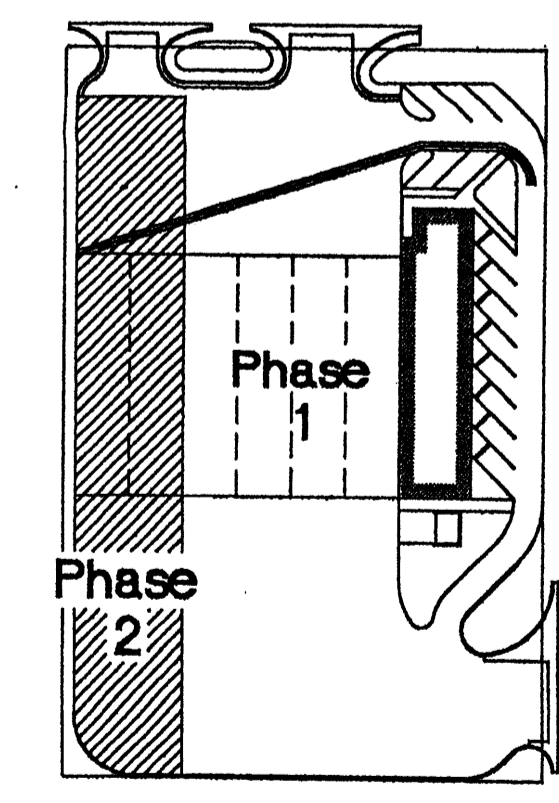


**PLANT LEGEND**

Symbol	Qty.	Botanical Name	Common Name	Size
	4	Chilopsis X catalpa	Chiltalpa	15G
	7	Chilopsis linearis	Desert Willow	20G
	7	Forestiera neomexicana	New Mexico Olive	15G
	3	Pinus nigra	Austrian Pine	20G
	25	Cytissus scoparius	Moonlite Broom	5G
	28	Cotoneaster lacteus	Cotoneaster "Parney"	5G
	12	Chrysothamnus nauseosus	Dwarf Chamisa	5G
	12	Salvia greggii	Autumn Sage	1G
	12	Caryopteris X clandonensis	Blue Mist	1G
	42	Perovskia Atriplicifolia	Russian Sage	1G

**LEGEND**

	SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)
	PROPOSED PAVED DRIVE
	BUILDING (EXISTING, PROPOSED)
	PROPERTY LINE
	LANDSCAPED AREA
	R/W RIGHT OF WAY
	PL PROPERTY LINE
	PP POWER POLE
	▲ ENTRY / EXIT LOCATION
	☀ SITE LIGHTING
	☐ PARKING SPACE COUNT



**Phasing Diagram**

**CASE NUMBER: Z-**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [DATE] AND THAT THE FEES AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

**SITE DEVELOPMENT PLAN**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
DESIGN AND DEVELOPMENT, CEP	DATE
PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	DATE
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT	DATE

10706 496

WESTLAND, TOWN OF ATRISCO GRANT

LOT SIZE: 75,000 SF + 17,218 ACRES (INCLUDES 50' WIDE ACCESS EASEMENT)

BUILDING AREA: 3,540 SF + 13,500 SF COVERED TRUCK WASH + 17,040 SF

BUILDING USE: TRUCK WASH WITH ASSOCIATED WAITING ROOM / OFFICES SUPPLIES / CUSTOMER LAUNDRY / EQUIPMENT AND SUPPLIES

CONSTRUCTION TYPE: IIN

SIGNS: POLE SIGN TO BE LOCATED AT THE CORNER OF AVALON ROAD AND LEONIDAS LANE. EXIT AND ENTRANCE SIGNS AS SHOWN.

TRASH ENCLOSURE: PER C.O.A. STANDARDS

LANDSCAPING: REQUIRED LANDSCAPING = 15% OF (175,000 - 17,040) = 8,532 SF

PROVIDED LANDSCAPING = 1,558 SF + 16.5% (INCLUDES LANDSCAPING WITH EASEMENT)

All Planting holes to be amended with composted soil builder

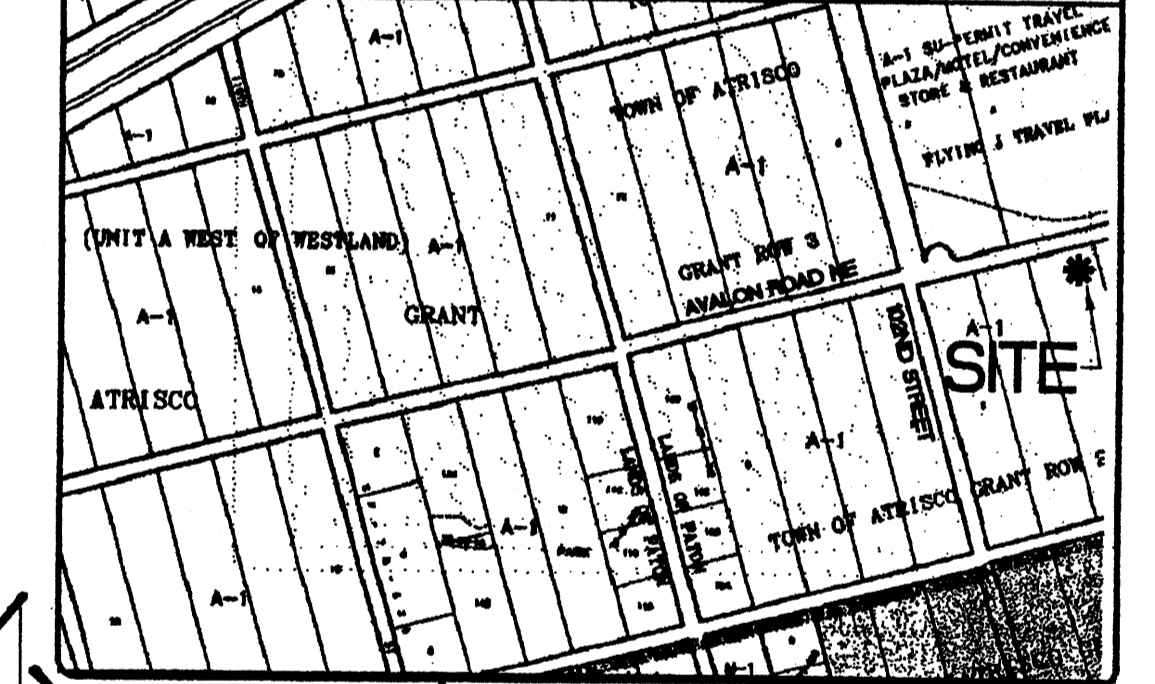
Planting to be watered by auto. drip irrigation system

Irrigation system shall adhere to local codes

Gravel mulches to be 3" depth over geotextile weed control fabric

Moss boulder accents (15- each, 2'x2'x1-1/2') To be placed in beds near entrances, exits and building entrances

**VICINITY MAP #K-8**



**C.L. WEISS ENGINEERING, INC.**

SANDIA PARK OFFICE  
POST OFFICE BOX 97  
SANDIA PARK, NM 87047  
(505) 261-1500

ALVARADO OFFICE  
100 ALVARADO DR. NE  
ALBUQUERQUE, NM 87110  
(505) 266-3444

**Professional Engineer**

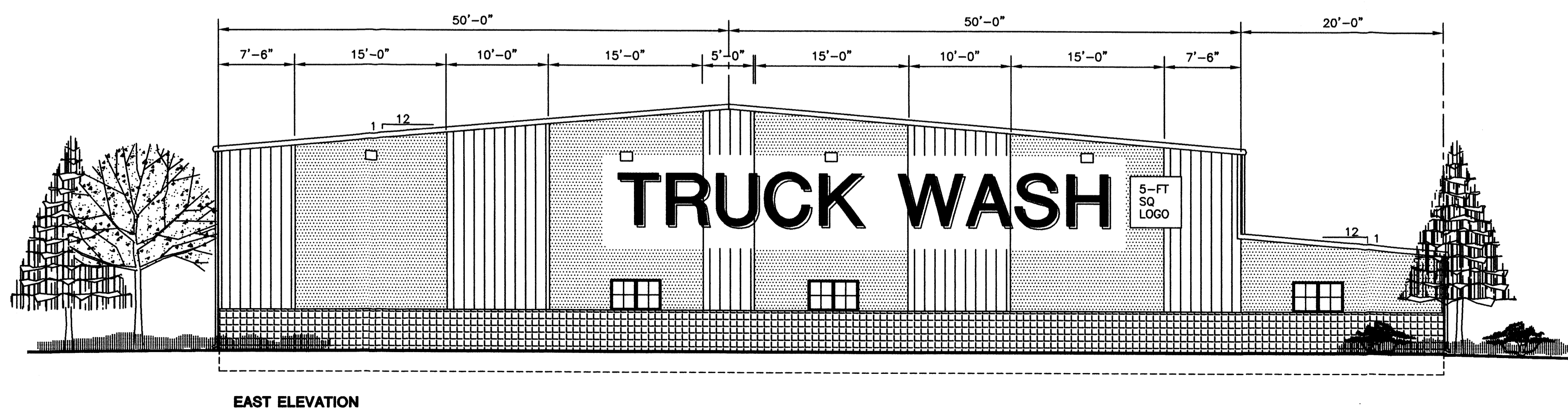
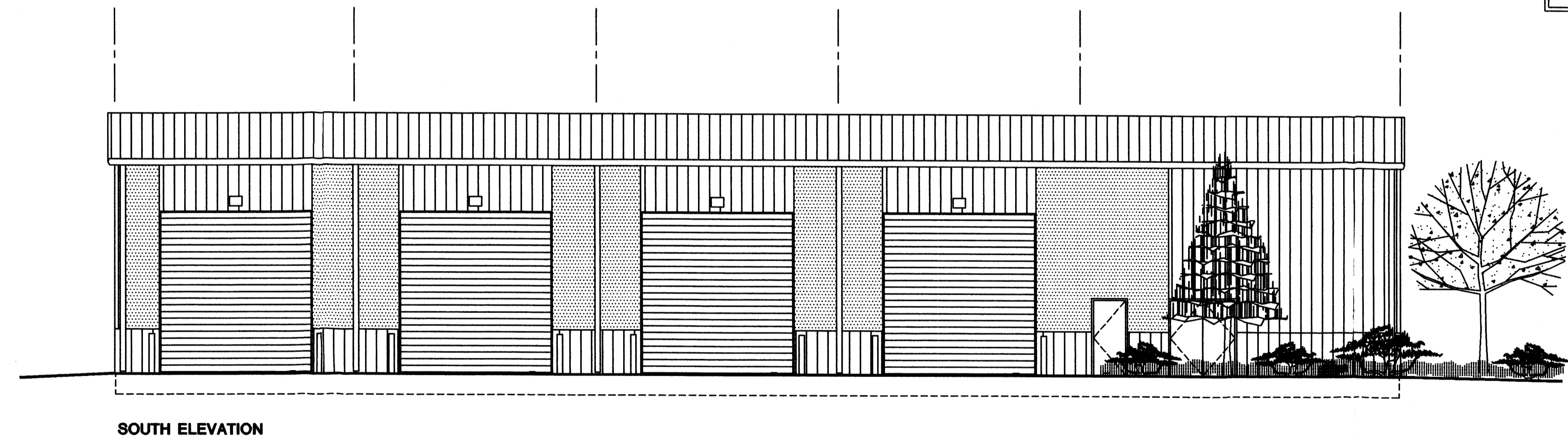
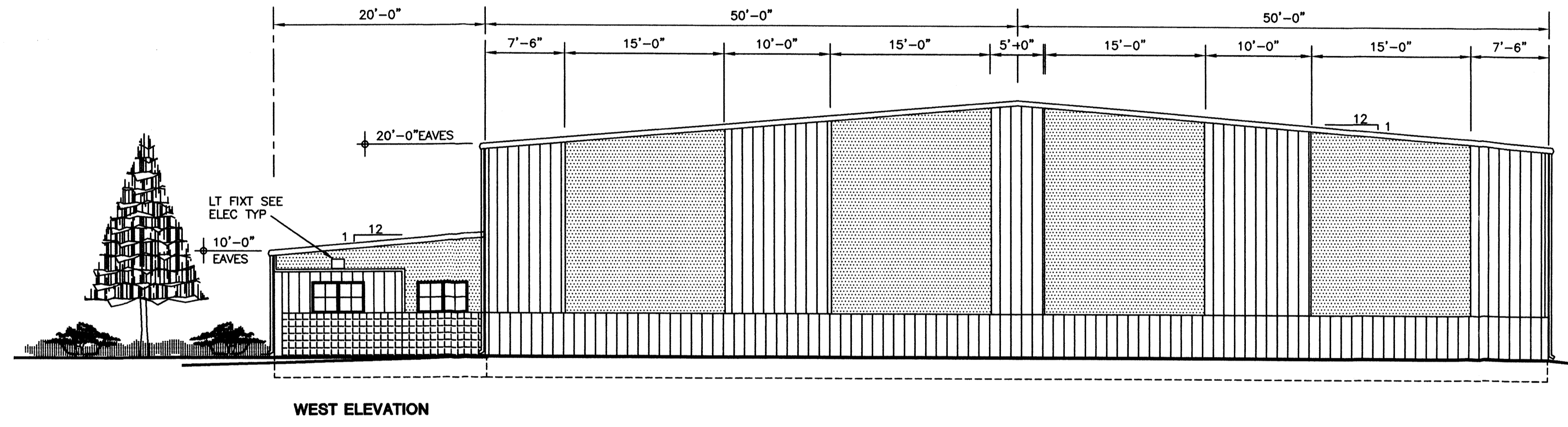
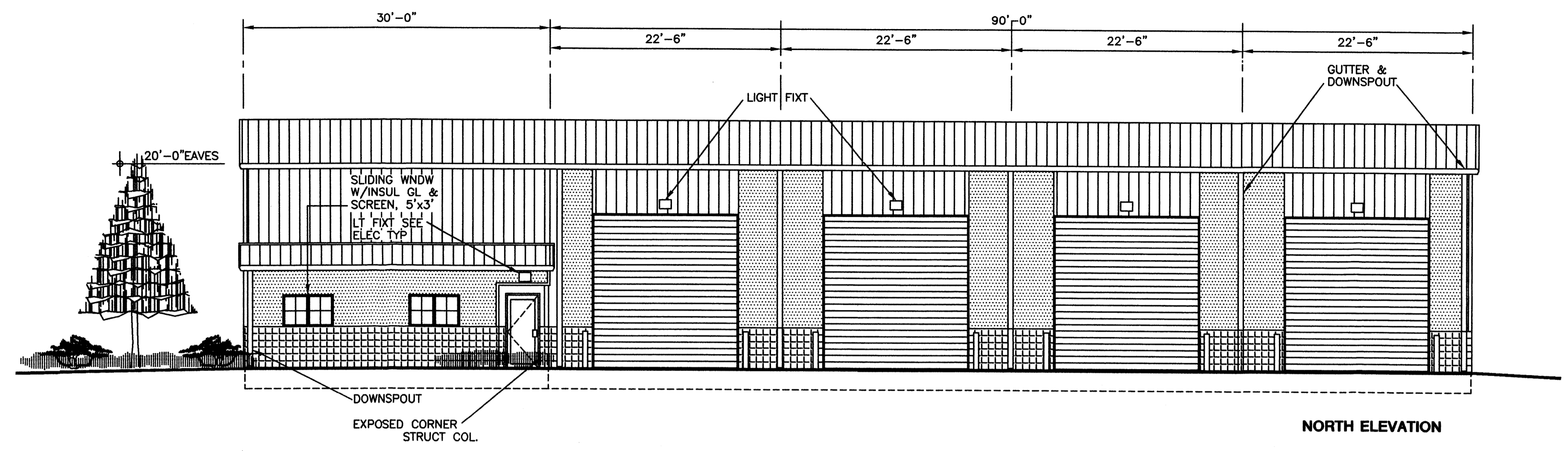
Scale: 1" = 20'

Drawn By: EJB  
Checked By: CLW  
Job Number:  
Date: JULY 2000

**LANDSCAPE**

Treat 3A Row 2, Unit A West of Westland filed 10/01/1988 Book 984, Page 291

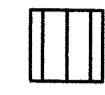
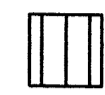
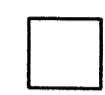
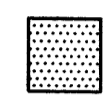


Treat 3C Row 2, Unit A West of Westland filed 10/01/1988 Book 984, Page 291



NOTE: ALL DIMENSIONS AND MATERIALS ON ELEVATIONS ARE THE SAME UNLESS NOTED OTHERWISE.

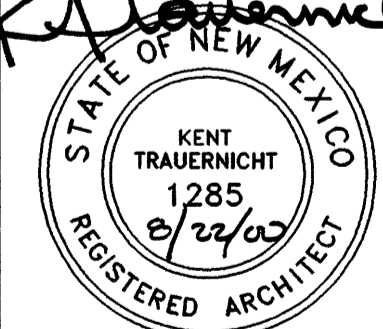
**BUILDING FINISHES MATERIALS AND COLORS SYMBOLS**

BUILDING IS PRE ENGINEERED STEEL BY "VARCO-PRUDEN".  
COLORS: SEE VARCO-PRUDEN COLOR GUIDE

-  METAL ROOF PANELS: EGYPTIAN WHITE
-  METAL WALL PANELS: EGYPTIAN WHITE
-  METAL TRIM, GUTTERS, DOWN SPOUTS: EGYPTIAN WHITE
-  FIBER REINFORCED STUCCO SYSTEM OVER 20 GAGE, 1-INCH, GALVANIZED STEEL STUCCO NET. STUCCO SYSTEM APPLIED OVER 1/2-INCH GYPSUM SHEATHING ATTACHED TO 1 1/4-INCH, 20 GAGE HAT CHANNELS. COLOR: CLASSIC BEIGE.
-  4-FT HIGH SPLIT FACED FIBERBLOK WAINSCOT COLOR: CLASSIC BEIGE.
-  4-FT METAL PANEL WAINSCOT: CLASSIC BEIGE

METAL WINDOWS - PREFINISHED DARK BRONZE  
METAL DOORS AND FRAMES - PAINT TO MATCH ADJACENT FINISH.

SIGNAGE: NON-ILLUMINATED PAINTED SIGNAGE, 5-FT HIGH BLACK LETTERS WITH YELLOW OUTLINE AND BLUE DROP SHADOW.

*Kent Trauernicht*  
  
**akt architect**  
 P.O. BOX 3366  
 ALBUQUERQUE, NEW MEXICO  
 87190 (505)281-9690

PROJECT NAME	REVISIONS
WANCHECK TRUCK WASH AVALON DR NW ALBUQUERQUE, NEW MEXICO	NO. DATE
PROJECT NUMBER	DATE
DRAWING TITLE	
EXTERIOR BUILDING ELEVATIONS	A-2

**BUILDING ELEVATIONS**  
1/8" = 1'-0"