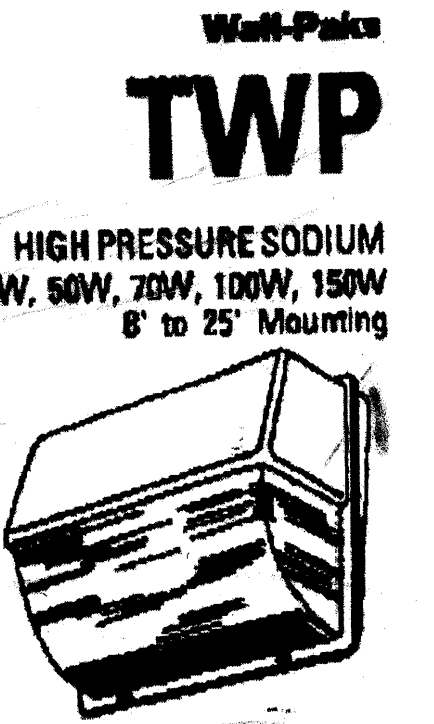


TYPICAL WALL MOUNTED SITE LIGHT

FEATURES

- HOUSING** — Rear housing is rugged, corrosion-resistant, die-cast aluminum. Corrosion-resistant external hardware includes slotted hex-head and tamper-proof fasteners. Finish is dark bronze thermoset polyester powder, electrostatically applied.
- BALLAST** — High-resistance, high power factor. Encased-and-potted solid-state ignitors. Ballast is copper wound and 100% factory tested. Meets ANSI standards and is UL listed. Electrical components are mounted on back housing. (For 50 hertz availability, consult factory).
- OPTICS** — Reflector is finished in white thermoset polyester powder, electrostatically applied. Front housing and reflector are one-piece, injection-molded, UV-stabilized polycarbonate. Standard finish on opaque portion of front cover and back housing is dark bronze polyester enamel. Reflector is sealed and gasketed to inhibit the entrance of outside contaminants.
- INSTALLATION** — Top 3/4" threaded wiring access. Back access through removable 3/4" knockout. Feed-thru wiring can be achieved by using a conduit tee. Mount on any flat vertical surface.
- SOCKET** — Porcelain, horizontally-oriented, medium-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 660V, 600V and 4KV pulse rated.
- LISTING** — UL listed suitable for wet locations. Listed and labeled to comply with Canadian and Mexican Standards (see Options). IP64 rated in accordance with IEC Standard 529.



Height: 15-7/16" (39.2cm)  
Width: 18-1/8" (41cm)  
Depth: 7-3/4" (19.7cm)  
Weight: 14 to 15 lbs. (6 to 7 kg)

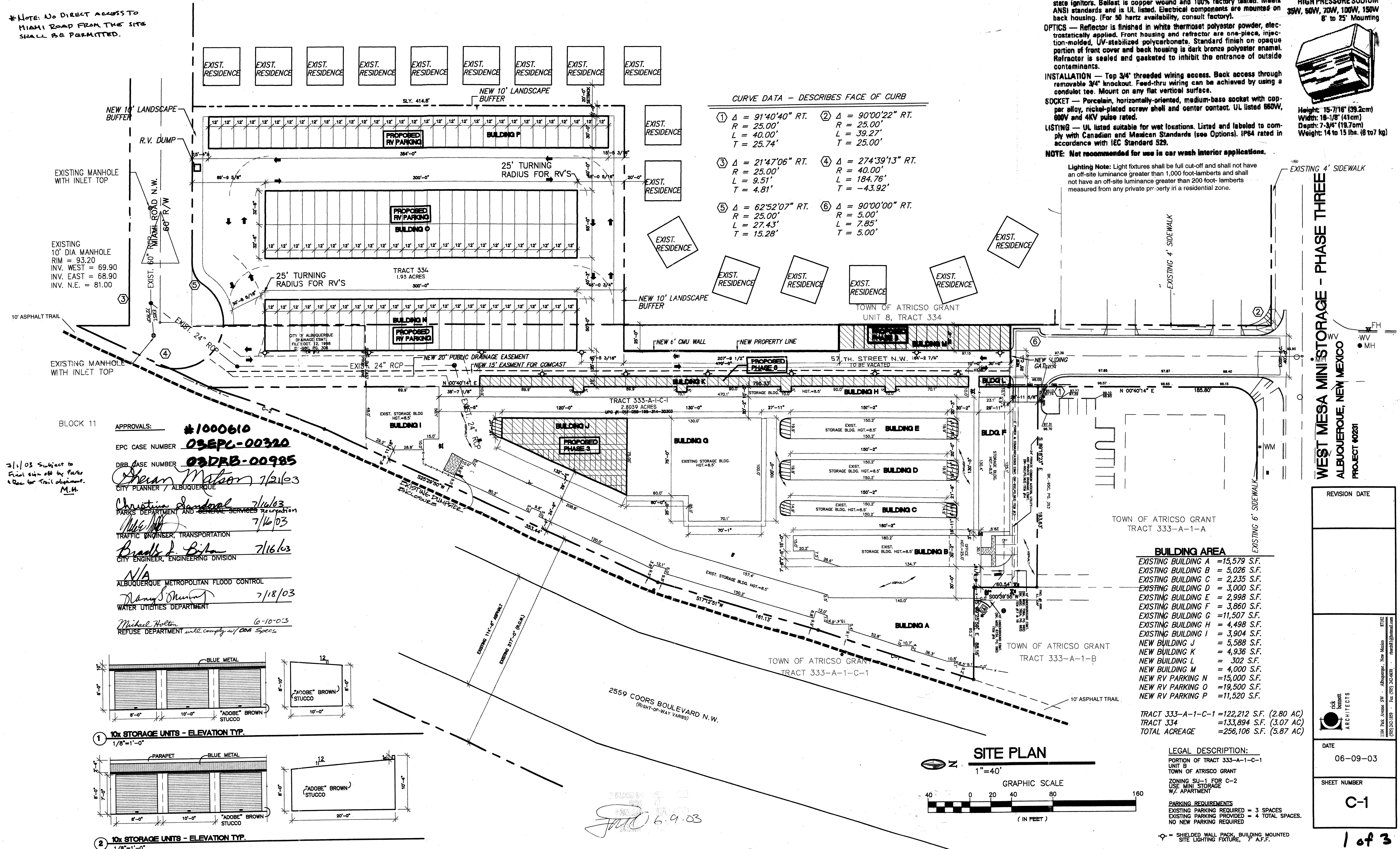
**NOTE:** Not recommended for use in car wash interior applications.

**Lighting Note:** Light fixtures shall be full cut-off and shall not have an off-site luminance greater than 1,000 foot-lamberts and shall not have an off-site luminance greater than 200 foot-lamberts measured from any private property in a residential zone.

EXISTING 4' SIDEWALK

WEST MESA MINI STORAGE - PHASE THREE  
ALBUQUERQUE, NEW MEXICO  
PROJECT #0231

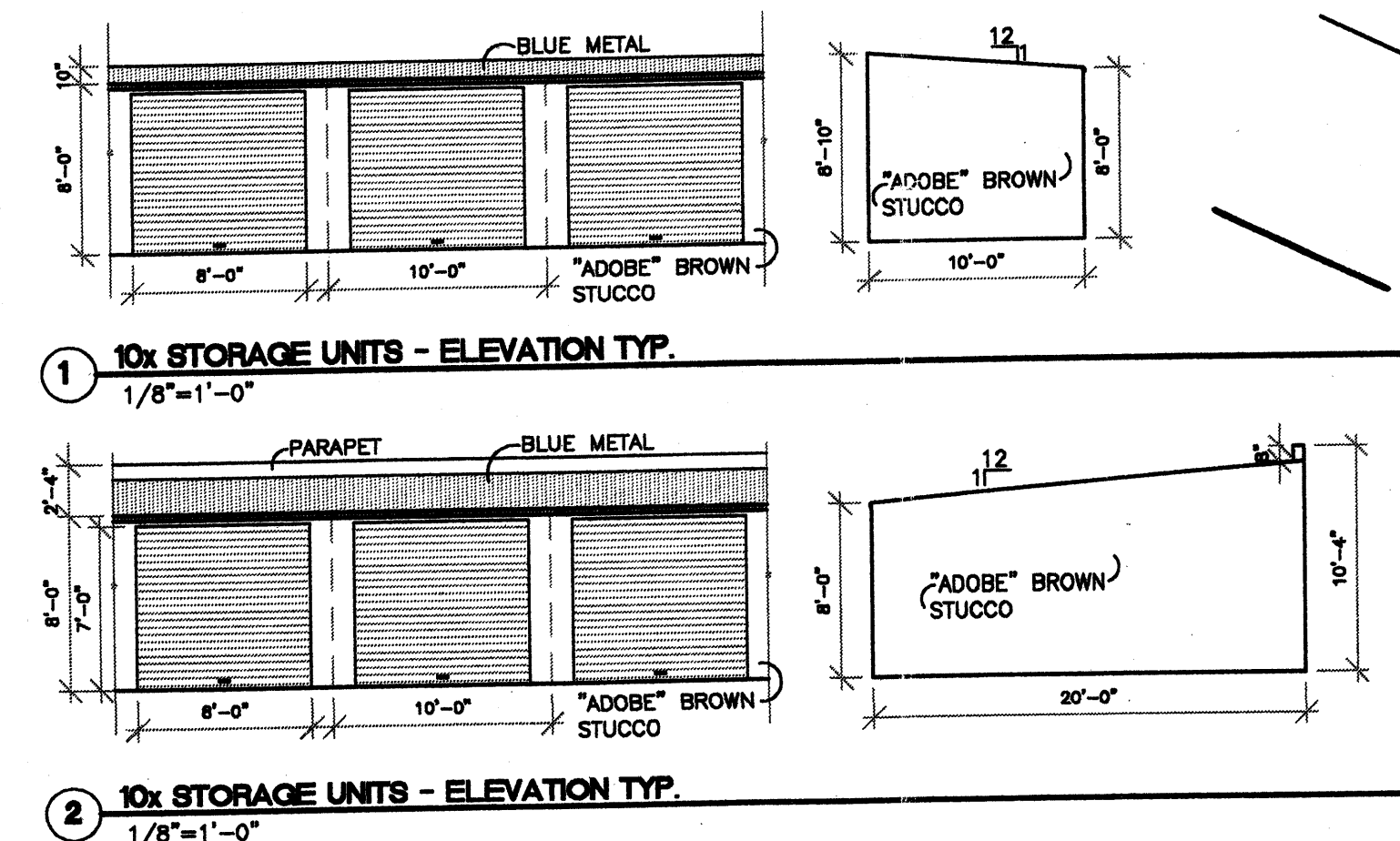
\*NOTE: NO DIRECT ACCESS TO MIAMI ROAD FROM THE SITE SHALL BE PERMITTED.



CURVE DATA - DESCRIBES FACE OF CURB

- ① Δ = 91°40'40" RT. R = 25.00', L = 40.00', T = 25.74'
- ② Δ = 90°00'22" RT. R = 25.00', L = 39.27', T = 25.00'
- ③ Δ = 21°47'06" RT. R = 25.00', L = 9.51', T = 4.81'
- ④ Δ = 274°39'13" RT. R = 40.00', L = 184.76', T = -43.92'
- ⑤ Δ = 62°52'07" RT. R = 25.00', L = 27.43', T = 15.28'
- ⑥ Δ = 90°00'00" RT. R = 5.00', L = 7.85', T = 5.00'

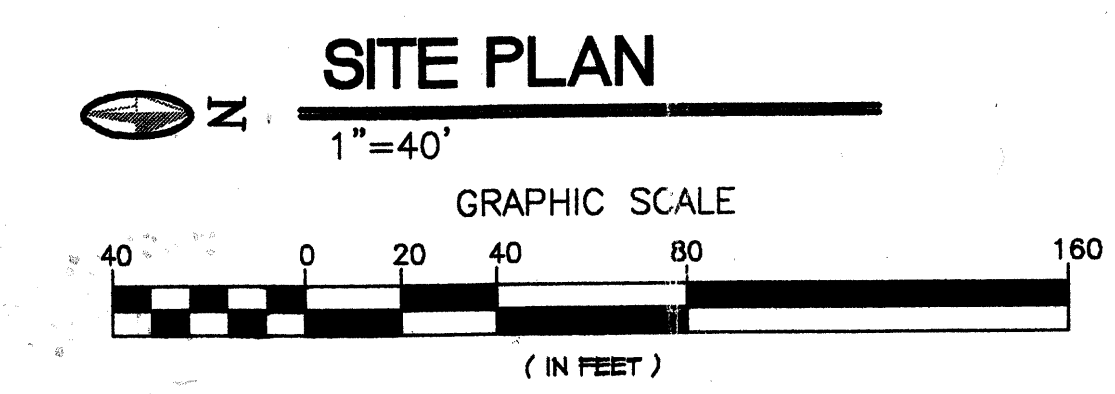
APPROVALS: #1000610  
EPC CASE NUMBER 03EPL-00320  
DBB CASE NUMBER 03DAB-00985  
Sharon Matson 7/2/03  
Christina Sandoval 7/16/03  
Bradley B. B. 7/16/03  
7/18/03  
Michael Helton 6-10-03



**BUILDING AREA**

EXISTING BUILDING A	= 15,579 S.F.
EXISTING BUILDING B	= 5,026 S.F.
EXISTING BUILDING C	= 2,235 S.F.
EXISTING BUILDING D	= 3,000 S.F.
EXISTING BUILDING E	= 2,998 S.F.
EXISTING BUILDING F	= 3,860 S.F.
EXISTING BUILDING G	= 11,507 S.F.
EXISTING BUILDING H	= 4,498 S.F.
EXISTING BUILDING I	= 3,904 S.F.
NEW BUILDING J	= 5,588 S.F.
NEW BUILDING K	= 4,936 S.F.
NEW BUILDING L	= 302 S.F.
NEW BUILDING M	= 4,000 S.F.
NEW RV PARKING N	= 15,000 S.F.
NEW RV PARKING O	= 19,500 S.F.
NEW RV PARKING P	= 11,520 S.F.

TRACT 333-A-1-C-1 = 122,212 S.F. (2.80 AC)  
TRACT 334 = 133,894 S.F. (3.07 AC)  
TOTAL ACREAGE = 256,106 S.F. (5.87 AC)



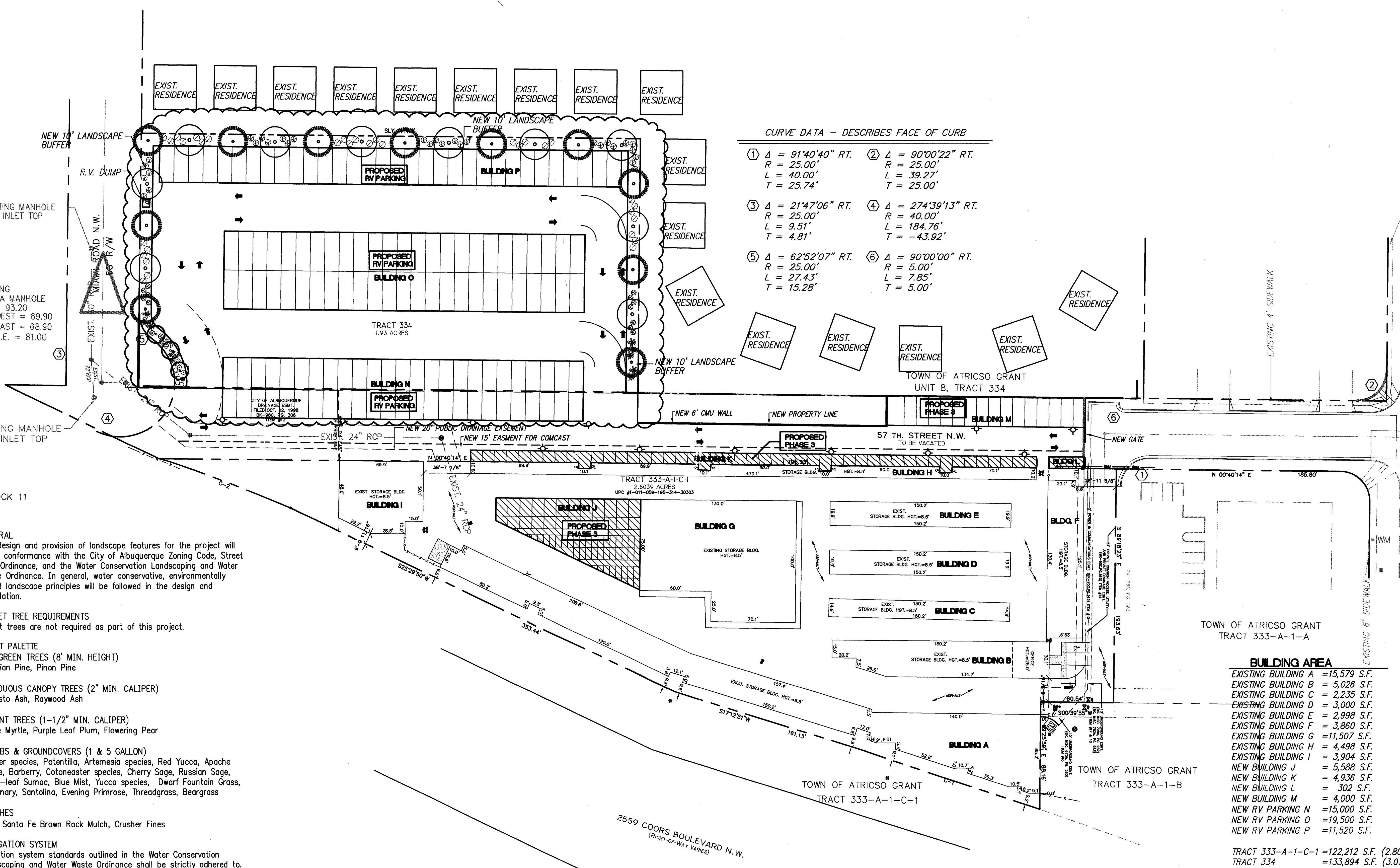
**LEGAL DESCRIPTION:**  
PORTION OF TRACT 333-A-1-C-1  
UNIT B  
TOWN OF ATRISCO GRANT  
ZONING SU-1 FOR C-2  
USE MINI STORAGE  
W/ APARTMENT  
**PARKING REQUIREMENTS**  
EXISTING PARKING REQUIRED = 3 SPACES  
EXISTING PARKING PROVIDED = 4 TOTAL SPACES.  
NO NEW PARKING REQUIRED

REVISION DATE
DATE
06-09-03
SHEET NUMBER
C-1

PROJECT 1000610

6-9-03





**CURVE DATA - DESCRIBES FACE OF CURB**

① Δ = 91°40'40" RT. R = 25.00' L = 40.00' T = 25.74'	② Δ = 90°00'22" RT. R = 25.00' L = 39.27' T = 25.00'
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**GENERAL**  
The design and provision of landscape features for the project will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.

**STREET TREE REQUIREMENTS**  
Street trees are not required as part of this project.

**PLANT PALETTE**  
**EVERGREEN TREES (8" MIN. HEIGHT)**  
Austrian Pine, Pinon Pine

**DECIDUOUS CANOPY TREES (2" MIN. CALIPER)**  
Modesto Ash, Raywood Ash

**ACCENT TREES (1-1/2" MIN. CALIPER)**  
Crape Myrtle, Purple Leaf Plum, Flowering Pear

**SHRUBS & GROUNDCOVERS (1 & 5 GALLON)**  
Juniper species, Potentilla, Artemisia species, Red Yucca, Apache Plume, Barberry, Cotoneaster species, Cherry Sage, Russian Sage, Three-leaf Sumac, Blue Mist, Yucca species, Dwarf Fountain Grass, Rosemary, Santolina, Evening Primrose, Threadgrass, Beargrass

**MULCHES**  
3/4" Santa Fe Brown Rock Mulch, Crusher Fines

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

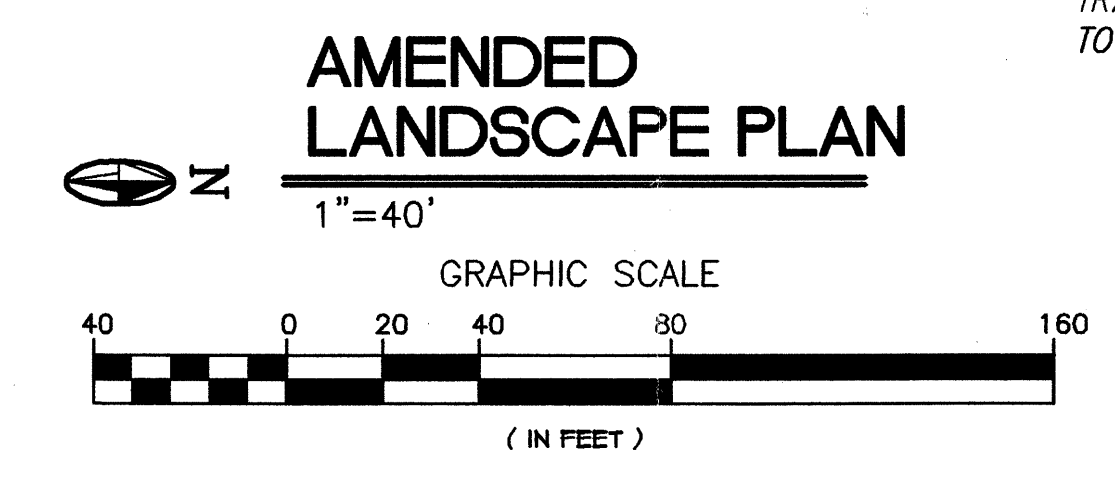
**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within public R.O.W., shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**  
The Landscape Plan for this project shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

**LANDSCAPE REQUIREMENTS**

	New	Total
Site Area	86,112 SF	208,180 SF
Building Footprint	- 39,360 SF	- 94,966 SF
Total Area	46,752 SF	113,214 SF
Required Landscape %	x .15	x .15
Landscape Area Required	7,013 SF	16,982 SF
Landscape Area Provided	8,250 SF	37,766 SF

**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com



**BUILDING AREA**

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EXISTING BUILDING B	= 5,026 S.F.
EXISTING BUILDING C	= 2,235 S.F.
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W/ APARTMENT

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EXISTING PARKING PROVIDED = 4 TOTAL SPACES.  
NO NEW PARKING REQUIRED

**LEGEND:**  
◻ = SHIELDED WALL PACK, BUILDING MOUNTED  
○ = SITE LIGHTING FIXTURE, 7" A.F.F.

**WEST MESA MINISTORAGE - PHASE THREE**  
ALBUQUERQUE, NEW MEXICO  
PROJECT #

REVISION DATE  
03-27-03  
05-21-03

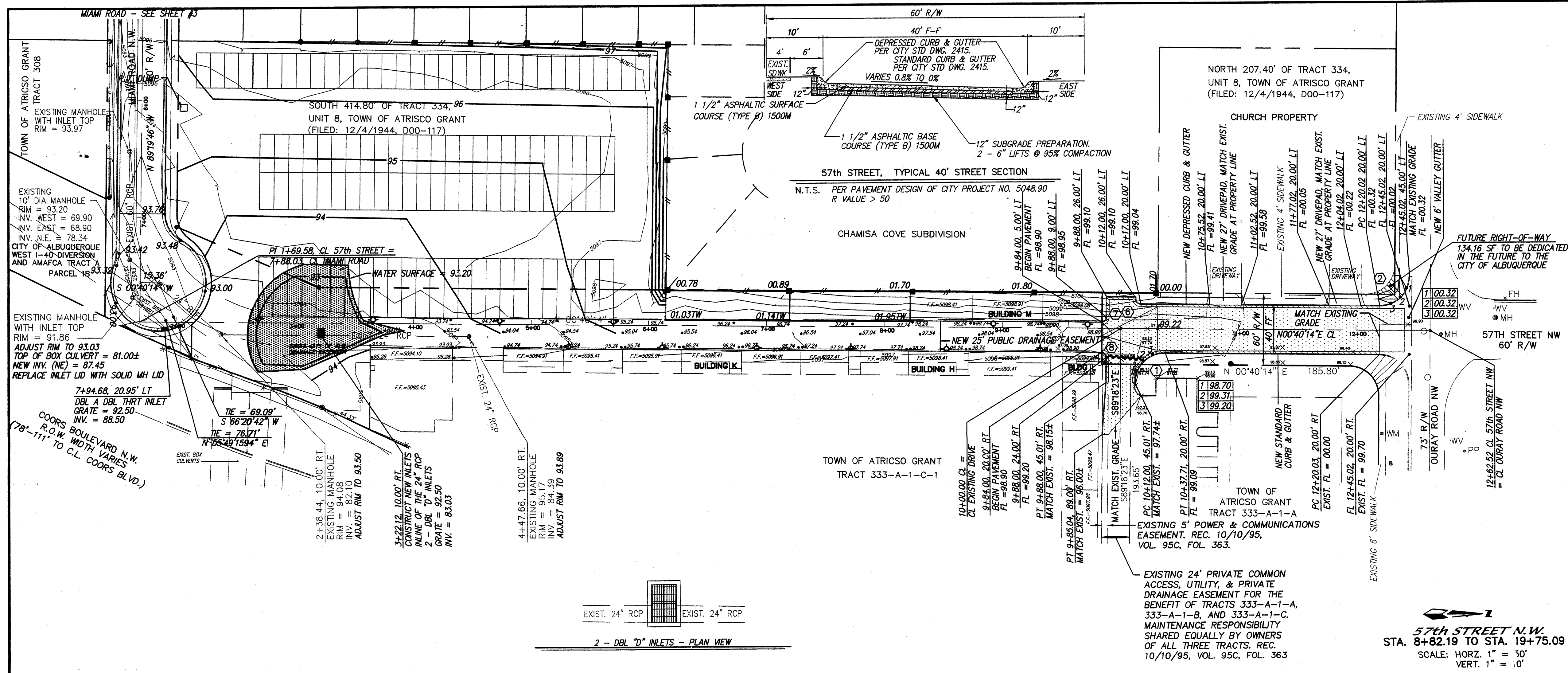
DATE  
05-27-03

SHEET NUMBER  
L-1

DATE  
05-27-03

SHEET NUMBER  
L-1





**NOTES**

1. ALL STATIONING IS CENTERLINE STATIONING.
2. ALL SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2430.
3. ALL 6" VALLEY CURBS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420.
4. ALL HANDICAP RAMPS ARE PER DETAIL ON THIS SHEET.
5. NEW DRIVEWAYS FOR THE CHURCH TO BE PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425.

**CURVE DATA - DESCRIBES FACE OF CURB**

- |  |   |   |  |   |  |  |  |
|--|---|---|--|---|--|--|--|
| ① Δ = 91'40" RT.<br>R = 25.00'<br>L = 40.00'<br>T = 25.74' | ② Δ = 90'00"22" RT.<br>R = 25.00'<br>L = 39.27'<br>T = 25.00' | ③ Δ = 21'47'06" RT.<br>R = 25.00'<br>L = 9.51'<br>T = 4.81' | ④ Δ = 274'39'13" RT.<br>R = 40.00'<br>L = 184.76'<br>T = -43.92' | ⑤ Δ = 62'52'07" RT.<br>R = 25.00'<br>L = 27.43'<br>T = 15.28' | ⑥ Δ = 90'00'00" RT.<br>R = 5.00'<br>L = 7.85'<br>T = 5.00' | ⑦ Δ = 90'00'00" RT.<br>R = 4.00'<br>L = 6.28'<br>T = 4.00' | ⑧ Δ = 90'00'00" RT.<br>R = 4.00'<br>L = 6.28'<br>T = 4.00' |
|--|---|---|--|---|--|--|--|

**LEGEND**

- ASPHALT THIS PROJECT

**LEGEND**

- NEW STANDARD CURB & GUTTER
- TRACT/LOT LINE
- RIGHT OF WAY
- NEW DEPRESSED CURB & GUTTER
- FUTURE RIGHT OF WAY
- CENTERLINE OF ROAD
- EXISTING EASEMENTS
- EXISTING CURB AND GUTTER
- NEW EASEMENTS
- NEW WATER BLOCK

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

TITLE: **WEST MESA MINI STORAGE**  
**GRADING & DRAINAGE PLAN AND**  
**PAVING IMPROVEMENTS**

DESIGN REVIEW COMMITTEE:	CITY ENGINEER APPROVAL:	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. **702981** ZONE MAP NO. **H11** SHEET **11** OF **11**

**AS BUILT INFORMATION**

CONTRACTOR	DATE	CONTRACTOR	DATE

**BENCH MARKS**

STATION	DESCRIPTION	DATE

**FIELD NOTES**

NO.	DATE	BY

**ENGINEER'S SEAL**

DESIGNED BY: **GJK** DATE: **9/98**  
DRAWN BY: **STAFF** DATE: **9/98**  
CHECKED BY: **GJK** DATE: **9/98**