

# BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NEW MEXICO

OWNER AND CONTRACTOR:  
BAKER CONSTRUCTION  
8515 CALLE ALAMEDA  
ALBUQUERQUE, NEW MEXICO 87113  
TELE: (505) 898-0100  
FAX: (505) 898-0200

## GENERAL NOTES

GENERAL NOTES APPLY TO ALL DRAWINGS.

- INFORMATION ON PLANS IS A GRAPHIC REPRESENTATION.
- IT IS THE INTENT OF THE DRAWINGS TO SUMMARIZE THE MAJOR SCOPE OF THE WORK, NOT TO EXCLUDE ANY SECONDARY OPERATIONS OR MATERIALS THAT ARE REQUIRED FOR THE COMPLETION OF THE WORK BY THE CONTRACTOR, SUBCONTRACTOR OR SUPPLIERS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND ESTABLISH QUANTITIES, SIZES, ETC. BASED UPON ACTUAL CONDITIONS.
- ALL WORK PERFORMED AND MATERIALS INSTALLED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING LANDSCAPING (VEGETATION AND OTHER FEATURES) DURING CONSTRUCTION. DAMAGED ITEMS WILL BE REPLACED AT NO COST TO THE OWNER.
- THESE DRAWINGS ARE NOT TO BE SCALED.
- ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALL, UNDERGROUND, ABOVE CEILING, OR IN ARCHITECT-APPROVED UTILITY SPACES IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT.
- PLUMBING AND ELECTRICAL PLANS ARE DEVELOPED SCHEMATICALLY TO SHOW PIPING AND WIREWAY LOCATIONS. UPON FIELD VERIFICATION, THE LOCATION OF ITEMS MAY BE ADJUSTED CONDITIONALLY UPON SATISFACTORY COMPLIANCE TO ALL OTHER REQUIREMENTS, TO MINIMIZE SAW CUTTING, PATCHING, OR REMOVAL AND REPLACEMENT OF IMPROVEMENTS.
- SCRIBE WALLS AND PARTITIONS TO IRREGULARITIES OF STRUCTURE AND/OR DECK ABOVE AND SEAL. SEAL TIGHTLY AROUND ANY PENETRATIONS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL AND ELECTRICAL WORK WITH MECHANICAL AND ELECTRICAL SUBCONTRACTOR.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS IN CONFLICT WITH DRAWINGS.
- ADDITIONAL GENERAL NOTES ARE LOCATED THROUGHOUT THE DRAWINGS.
- SLOPE FLOORS MINIMUM OF 1/8" PER FOOT TO FLOOR DRAINS UNLESS NOTED OTHERWISE.
- PROVIDE 4" HIGH CONCRETE PADS FOR MECHANICAL EQUIPMENT.
- ROUGH-GRADING AND FINAL CONTOURING SHALL BE VERIFIED IN THE FIELD BY THE ARCHITECT.
- PLAN DIMENSIONS ARE TO FACE OF FRAMING, OR CONCRETE UNLESS SHOWN OTHERWISE.

**akt architects**

AKT ARCHITECTS  
PO BOX 3366  
ALBUQUERQUE, NM 87190  
TELE (505) 281-9560  
FAX (505) 286-1055

App # 01420-00000-00941

**PROJECT GASE NUMBER: 1000624**

THESE PLANS ARE CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON (DATE):

THE PLANS COMPLY WITH THE FINDINGS AND CONDITIONS SET FORTH IN THE OFFICIAL NOTIFICATION OF DECISION.

**SITE DEVELOPMENT PLAN**

<i>Richard D. D...</i>	8-01-01
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Adriano E. Andel...</i>	7/25/01
DESIGN AND DEVELOPMENT, CIVIL ENGINEER, RECREATION DIVISION	DATE
<i>Roger A. Sh...</i>	8-1-01
PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION	DATE
<i>James L. Me...</i>	7/25/01
CITY ENGINEER, ENGINEERING DIVISION/AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	
<i>James L. Me...</i>	8/23/01
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT	DATE
PLNZ (10706)	

PR01 1000624

**PROJECT DESCRIPTION:**  
A 6,390 SF BUILDING FOR TENANT LEASE OR SALE. TENANT SPACE SHALL BE FURTHER SUBDIVIDED INTO OFFICE AND WAREHOUSE. THE BUILDING SHALL BE PRE-ENGINEERED STEEL FRAMED WITH METAL ROOF AND WALL PANELS.

**CODE AND ZONING DATA**  
ADDRESS: 8501 PASEO ALAMEDA NE  
ALBUQUERQUE, NEW MEXICO  
ZONING: SU-2 / IP-EP  
SITE AREA: 32,787.6 SF (0.7527 ACRES)  
PAVED PARKING AND CIRCULATION: 11,562 SF  
NET LOT AREA (32,789 - 6,390): 26,399 SF  
REQUIRED LANDSCAPING (15% OF 26,399 SF): 3,960 SF  
LANDSCAPED AREA PROVIDED ON SITE: 4,740 SF  
365 SF IN R.O.W.  
9,262 SF AT SLOPE TO EDITH ST.  
BUILDING AREA: WAREHOUSE (78' x 55') 4,290 SF  
OFFICE (30' x 70') 2,100 SF  
TOTAL 6,390 SF

**REQUIRED PARKING:**  
OFFICE (2,100 SF/200) = 10 SPACES  
WAREHOUSE (4,290 SF/2000) = 2 SPACES  
TOTAL REQUIRED = 12 SPACES

**PARKING PROVIDED:** 13

CODE: UNIFORM BUILDING CODE (1997 EDITION)  
ADA COMPLIANCE: CABO/ANSI A117.1 (1998 EDITION)  
CONSTRUCTION TYPE: II-N  
OCCUPANCY TYPE: S-3 (WAREHOUSE) AND B (OFFICE)

ALLOWABLE BUILDING AREA: 12,000 SF  
SEISMIC ZONE: 2B  
CONCRETE STRENGTH: 3,000 PSI (28 DAYS)  
ALLOWABLE SOIL BEARING: 1,500 PSF (ASSUMED)

**SCHEDULE OF DRAWINGS**

(DRB) 0	TITLE SHEET/SCHEDULE OF DRAWINGS CODE AND BUILDING DATA
(DRB) C-1	DRAINAGE PLAN, CALCULATIONS, NOTES, AND DETAILS
(DRB) C-2	SITE AND UTILITIES PLANS
(DRB) C-3	LANDSCAPE PLAN
(DRB) C-4	SITE DETAILS
(DRB) C-5	DUMPSTER ENCLOSURE
A-1	BUILDING PLAN
(DRB) A-2	BUILDING ELEVATIONS
A-3	MILLWORK, TOILET RM PLAN AND ELEVATION, DOOR AND FRAME ELEVATIONS AND DETAILS
A-4	WALL SECTIONS
A-5	WALL SECTIONS
A-6	WALL SECTIONS
A-7	WALL SECTIONS
S-1	FOUNDATION PLAN AND DETAILS
M-1	HVAC PLAN AND DETAILS
P-1	PLUMBING PLAN, SCHEDULE, AND SCHEMATIC
E-1	POWER/LIGHTING PLAN, RISER DIAG, AND CALCULATIONS

*Klaus...*

STATE OF NEW MEXICO  
KENT TRAUERNICHT  
1285  
8/19/01  
REGISTERED ARCHITECT

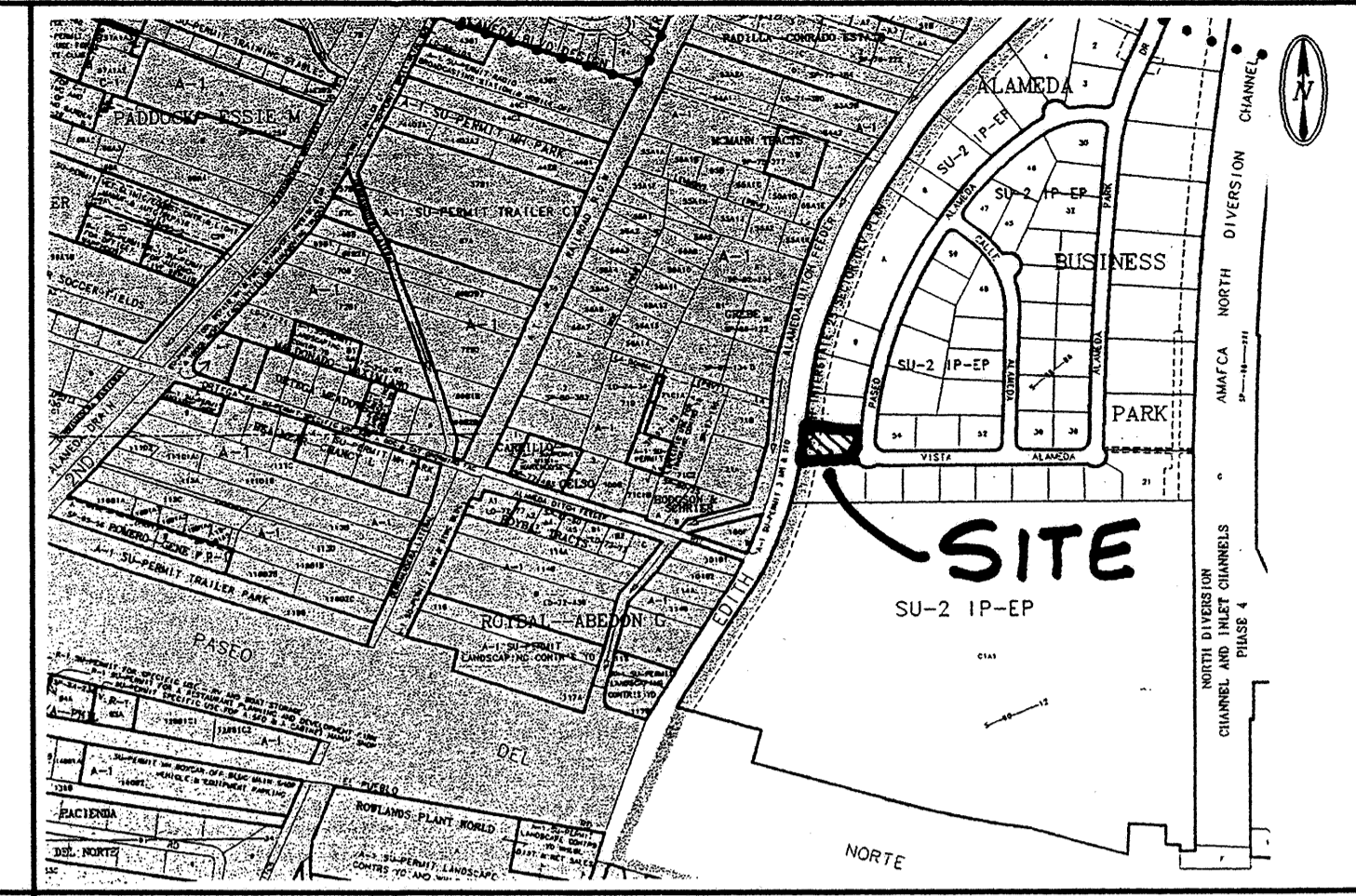
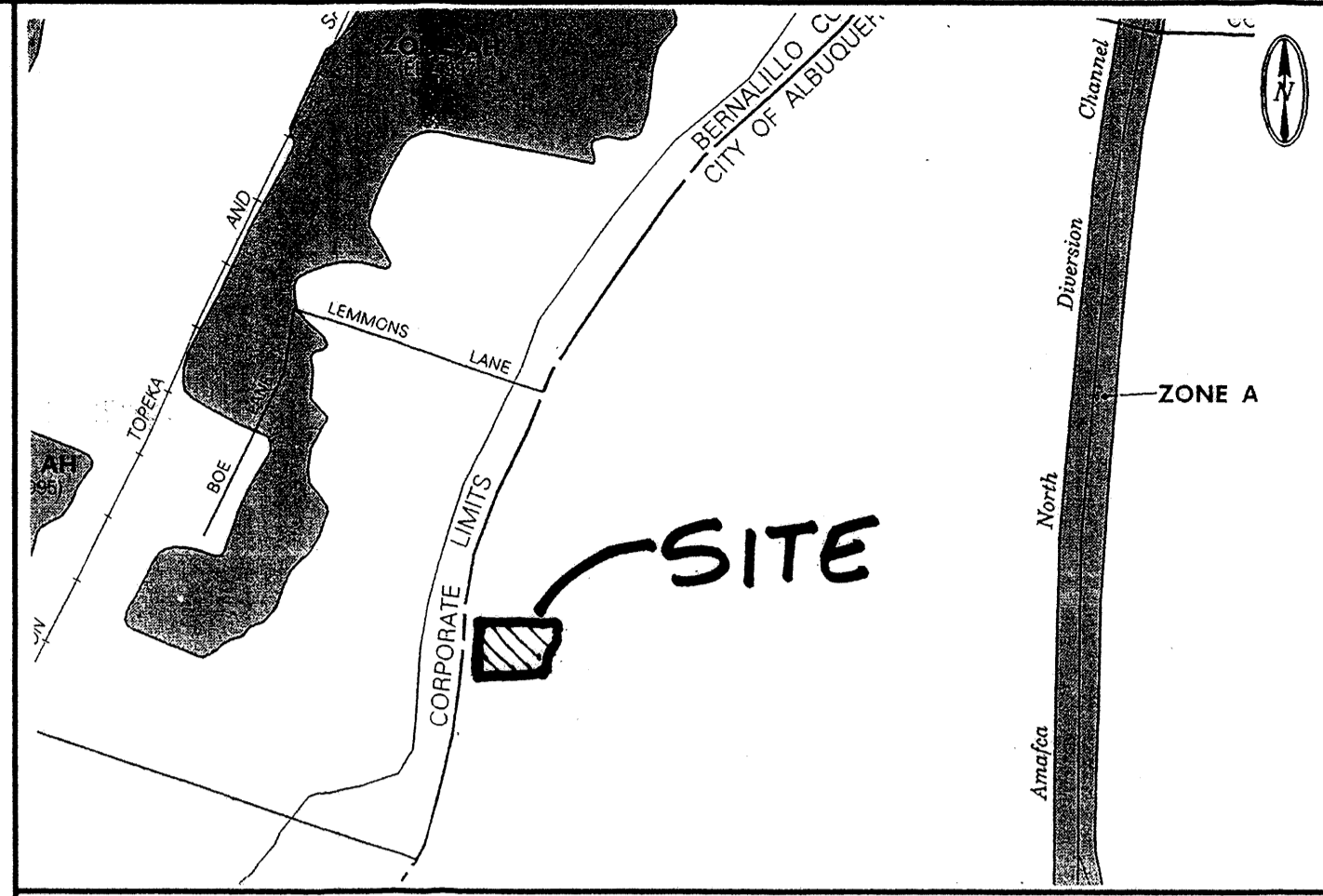
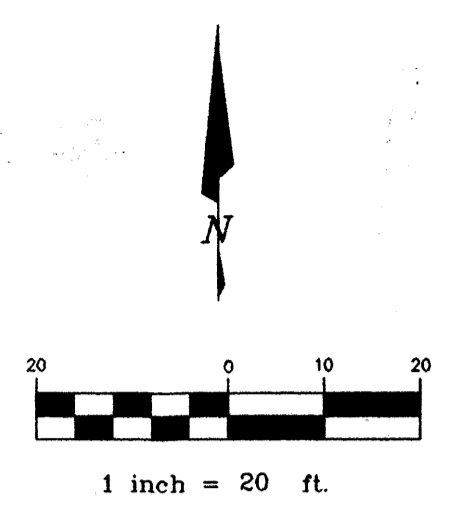
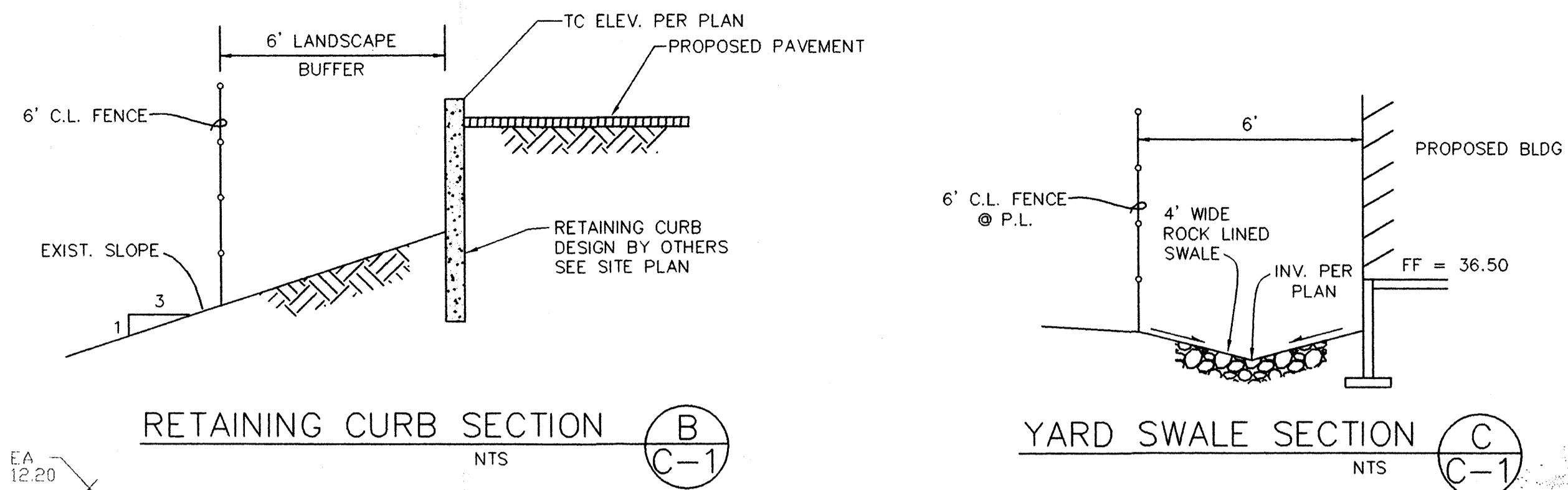
**akt architects**

P.O. BOX 3366  
ALBUQUERQUE, NEW MEXICO 87190 (505)281-9560

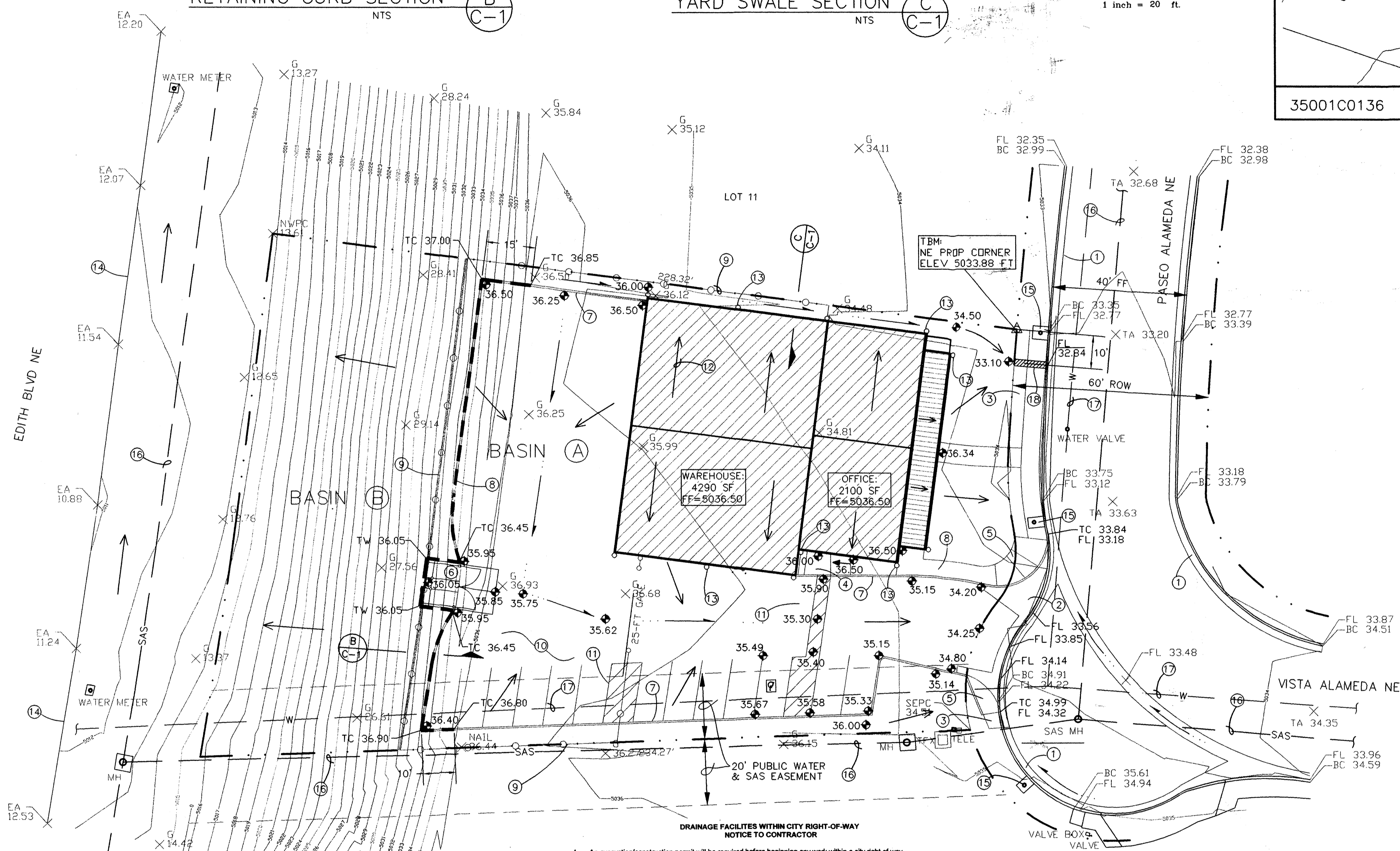
<b>PROJECT NAME</b>	BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM
<b>PROJECT NUMBER</b>	
<b>DRAWING TITLE</b>	TITLE/CODE

REVISIONS  
NO. DATE

DATE



35001C0136 FIRM PANEL 1" = 500' C-16 LOCATION MAP 1" = 800'



**GRADING AND DRAINAGE PLAN**

**PURPOSE AND SCOPE**

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Baker Office/Warehouse located at 8501 Paseo Alameda NE. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

**EXISTING CONDITIONS**

The project site is approximately 0.76 acres in size and is located at 8501 Paseo Alameda NE, just north of Vista Alameda. The project site is particularly described as Lot 12, Alameda Business Park. The site is bounded by industrial properties on the north and south, Paseo Alameda on the east, and Edith Blvd on the west. Site topography slopes east and west from a ridgeline located on the rear portion of the property. The eastern portion (Basin A) slopes eastward to Paseo Alameda. The western portion (Basin B) is a 3:1 fill slope that slopes to the west. All on-site runoff drains to improvements provided by Alameda Business Park. Masterplan drainage improvements constructed for the development convey all runoff to an existing retention pond located to the north on Tract A. The retention pond drains by a sump pump to the AMAFCA North Diversion Channel.

As shown by the attached FIRM Panel, this site is not impacted by a Flood Hazard Zone.

**PROPOSED CONDITIONS**

As shown by the Plan, the project consists of the construction of the Baker Office/Warehouse with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions. The drainage criteria for the site was established by the Drainage Masterplan for Alameda Business Park, prepared by Bohannon Huston, dated February 19, 1999.

All drainage flows will be managed on-site and discharge to the Masterplan drainage improvements that convey all runoff to an existing retention pond located to the north. Basin A flows east to Paseo Alameda, which drains north to a series of inlets that outfall at the pond. Basin B drains west to Edith Blvd where a roadside swale conveys flows north to inlets that outfall to the pond.

**EROSION CONTROL**

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of earthen berms or silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets. As an additional erosion control measure, the contractor shall place an earthen berm at the top of the 3:1 fill slope to prevent Basin A flows from draining westward down the slope. It is the Contractor's responsibility to properly maintain these facilities during the construction phase of the project.

**CALCULATIONS**

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

**LEGEND**

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB	---	---
STD CURB & GUTTER	---	---
DROP INLET	---	---
OVERHEAD ELEC.	OHU	---
UNDERGROUND ELEC. GAS, TEL, TV	UGT	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	X 16.7	16.7
SEWER SERVICE	---	---
POWER POLE (GUYPED)	PP	---
CENTERLINE	---	---
RETAINING WALL	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT	---	☆
DIRECTION OF FLOW	---	---
BASIN BOUNDARY	---	---
RETAINING CURB	---	---
WATER BLOCK	---	---
DRAINAGE SWALE	---	---

**PROPERTY ADDRESS**

8501 Paseo Alameda NE

**LEGAL DESCRIPTION**

Lot 12, Alameda Business Park

**SURVEY**

Topographic and Field Measurements by  
Brosher & Lorenz  
Dated July, 2001

**PROJECT BENCHMARK**

TBM, Northeast Property Corner  
of Lot 12, Alameda Business Park  
ELEV = 5033.88 FT MSLD

- An excavation/construction permit will be required before beginning any work within a city right of way.
- All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with the "City of Albuquerque Interim Standard Specifications for Public Works Construction", 1985.
- Two working days prior to any excavation, the contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to trafficstreet use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
INSPECTOR		

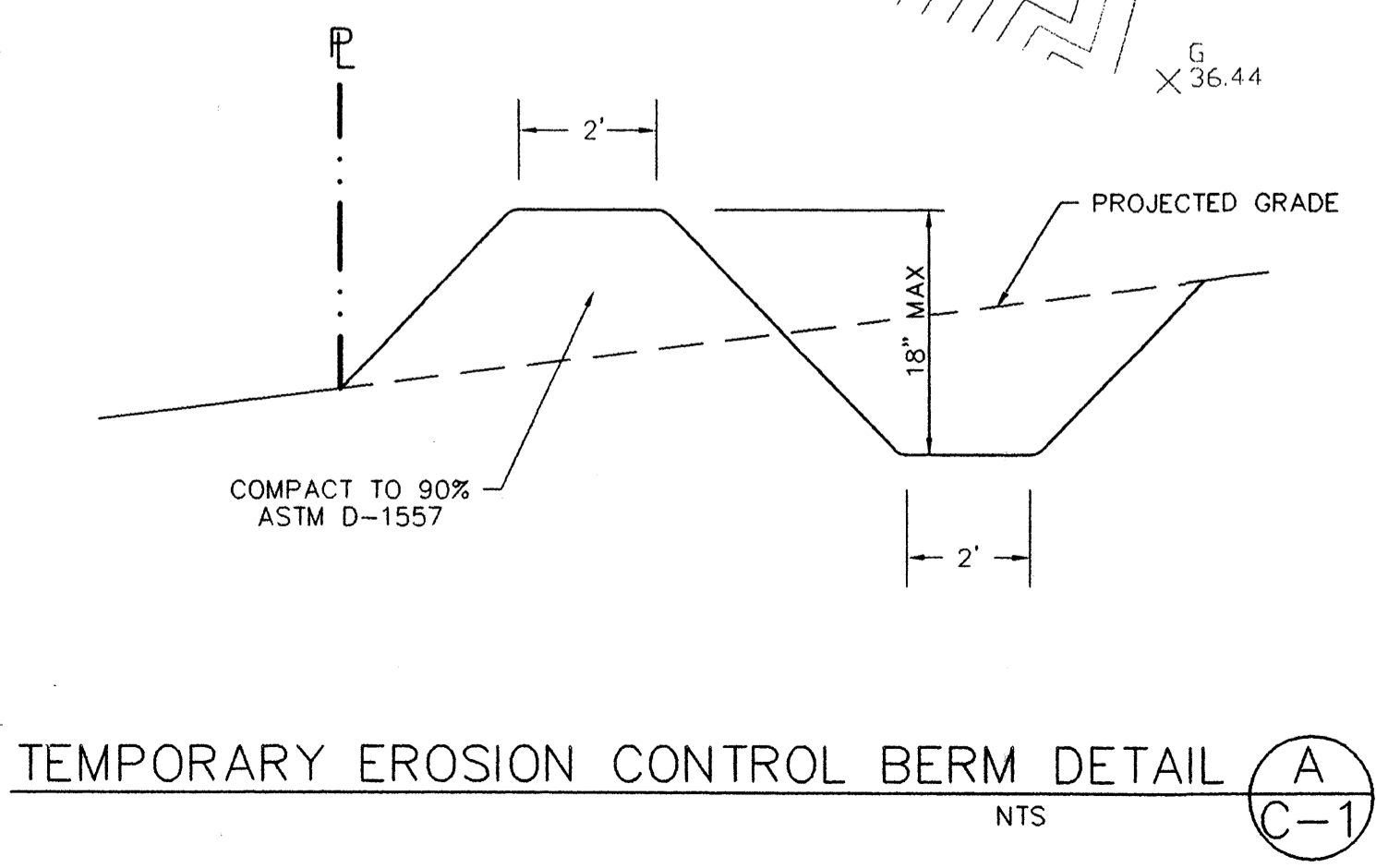
HYDROLOGY - HYMO							
Precipitation Zone 2 P360 = 2.35 in							
Basin	Basin area (Ac)	Land Treatment (acre)	Ew (in)	V100 (af)	Q100 (cfs)		
<b>Existing Conditions</b>							
SITE	0.76	0	0	0.76	0	1.13	0.0716
A	0.53	0	0	0.53	0	1.13	0.0499
B	0.23	0	0	0.23	0	1.13	0.0217
<b>Developed Conditions</b>							
SITE	0.76	0	0.04	0.27	0.45	1.29	0.0818
A	0.53	0	0.04	0.04	0.45	1.36	0.0601
B	0.23	0	0	0.23	0	1.13	0.0217

**KEYED NOTES**

- EXISTING STD CURB & GUTTER
- REMOVE EX STD C & G. CONSTRUCT VALLEY GUTTER PER COA STD DWG 2420
- CONSTRUCT 4" SIDEWALK
- CONSTRUCT HANDICAP RAMP. SEE SITE PLAN
- CONSTRUCT HANDICAP RAMP PER COA STD DWG 2426
- CONSTRUCT REFUSE ENCLOSURE. SEE SITE PLAN
- CONSTRUCT 6" CONCRETE CURB
- CONSTRUCT RETAINING CURB. SEE SITE PLAN
- INSTALL 6" HIGH CHAIN LINK FENCE
- CONSTRUCT ASPHALT PAVEMENT. SEE SITE PLAN
- PAINTED STRIPING PER COA CRITERIA
- DIRECTION OF ROOF DRAINAGE
- ROOF DRAINS
- EXISTING EDGE OF PAVEMENT
- EXISTING WATER SERVICE
- EXISTING PUBLIC SANITARY SEWER
- EXISTING PUBLIC WATER
- CONSTRUCT 1 - 12" SIDEWALK CULVERT PER COA STD DWG 2236

**DRAINAGE PLAN NOTES**

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.



TEMPORARY EROSION CONTROL BERM DETAIL (A) C-1

DENNIS A. LORENZ  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF NEW MEXICO  
NO. 9647

Baker  
architects

P. O. BOX 33366  
ALBUQUERQUE, NM 87190  
TELE: (505) 281-9560  
FAX: (505) 285-1055  
EMAIL: traurnich@ops.edu

PROJECT NAME	REVISIONS
NO.	DATE
BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM	
PROJECT NUMBER	DATE: JUNE, 2001
DRAWING TITLE	
GRADING & DRAINAGE PLAN	C-1





scale  
1" = 20'-0"

date  
6/20/01  
revisions

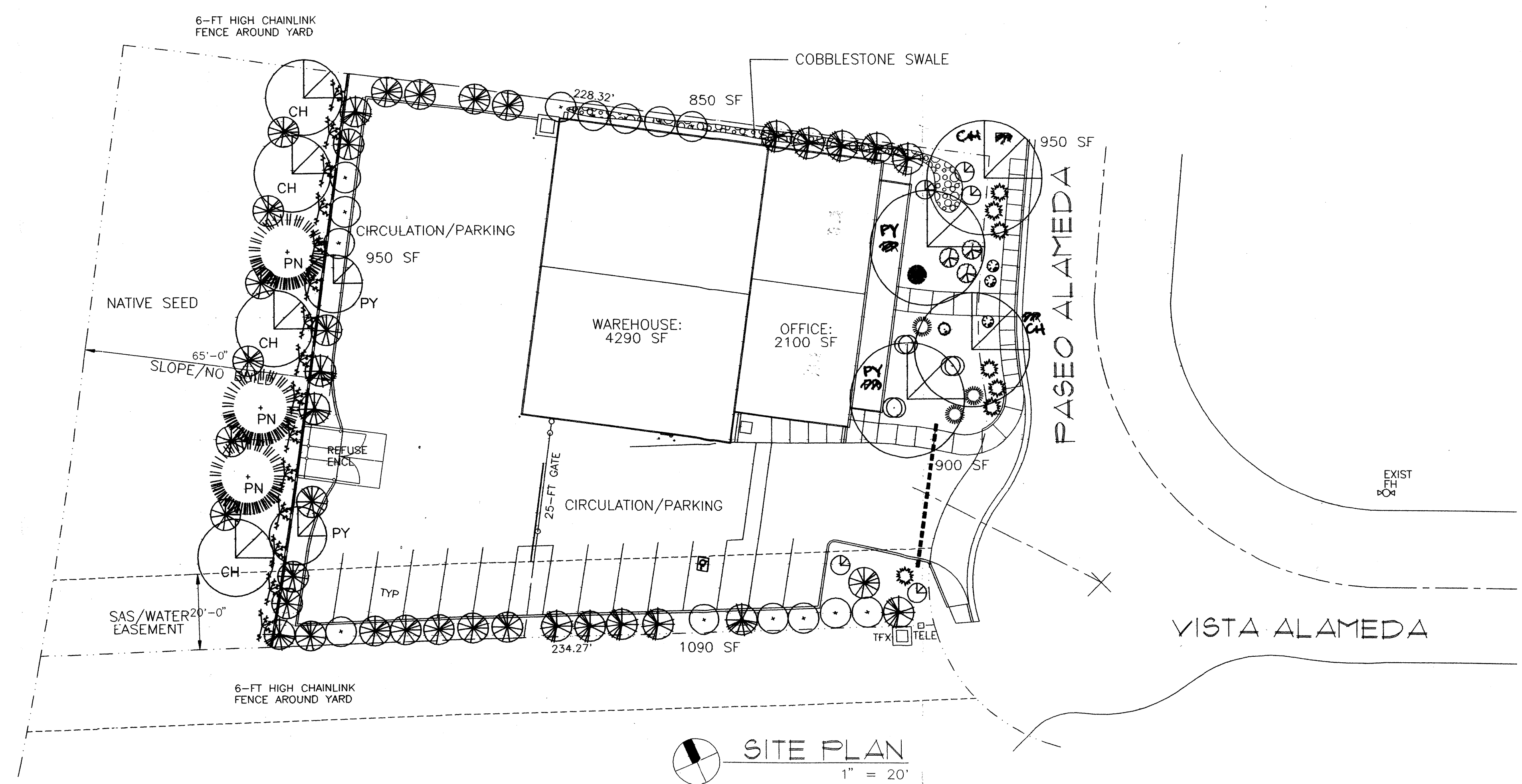
**Heads Up!**  
LANDSCAPE CONTRACTORS  
7525 SECOND ST. NW  
ALBUQUERQUE, NM  
85705-9951  
LICENSE 16890

LANDSCAPE PLAN

BAKER CON. OFFICE/WAREHOUSE  
ALAMEDA BUSINESS PARK  
8501 PASEO ALAMEDA NE  
ALB., NEW MEXICO

sheet

C3



### SITE DATA

GROSS LOT AREA	32,787 SF
LESS BUILDING	6390 SF
NET LOT AREA	26,399 SF
REQUIRED LANDSCAPE	3960 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	4740 SF
PERCENT OF NET LOT AREA	17%
REQUIRED STREET TREES	
PROVIDED AT MIN. 30' O.C. SPACING ALONG STREET FRONTAGE	
REQUIRED PARKING LOT TREES	
MIN. ONE PER 10 SPACES	

### NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

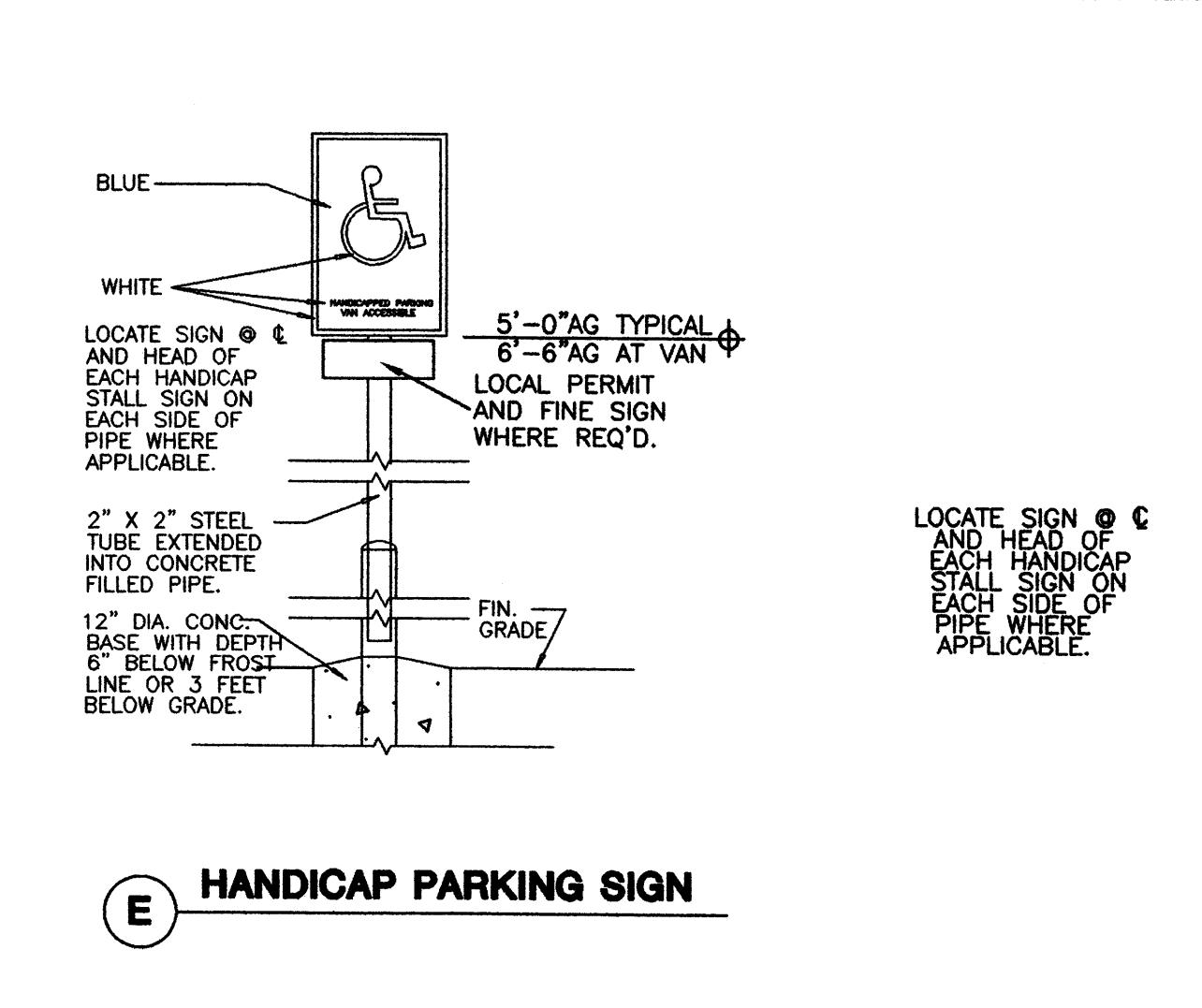
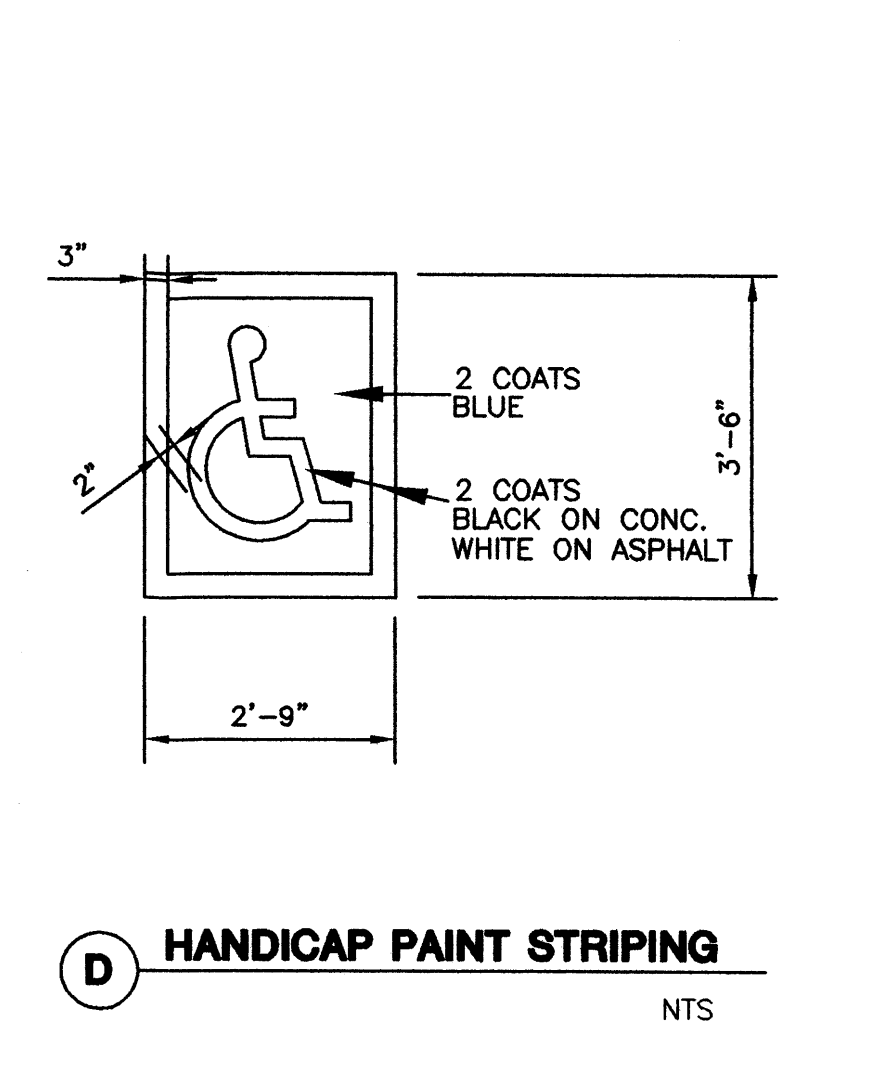
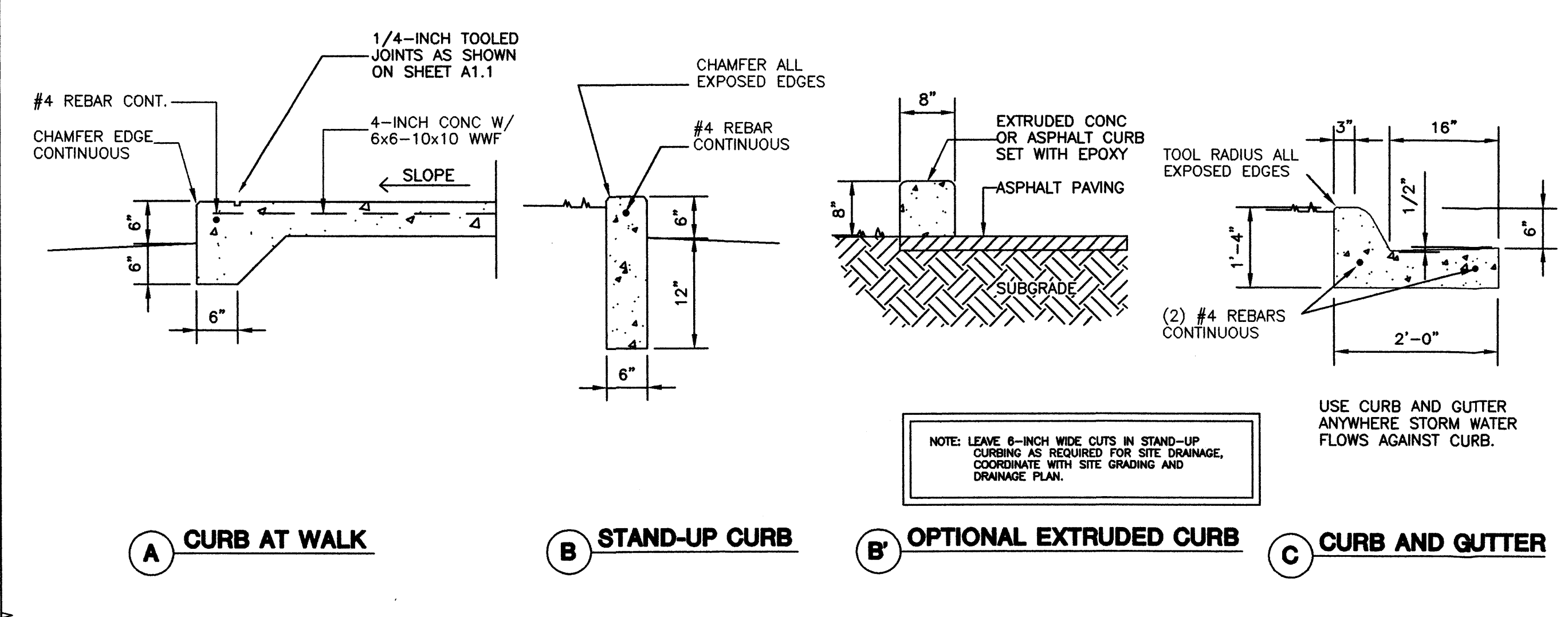
NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE.

LOCAL-BUFFER REQUIREMENTS INCLUDE: 6' REAR YARD BUFFER WITH A MINIMUM OF 6 NATIVE SHRUBS, TREES 20' O.C. 50% EVERGREEN, AND COMPLETE COVERAGE OF FENCE WITH CLIMBING VINES.

### PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<del>FR</del>	<del>4</del>	<del>FRAXINUS <del>VELUTIS</del></del>	<del>ASH</del>	<del>2" CAL</del>	<del>H</del>
CH	4	PISTACHIA CHINENSIS	CHINESE PISTACHE	2" CAL	M
PY	2	PYRUS	FLOWERING PEAR	1-1/2" CAL	H
PN	3	PINUS NIGRA	AUSTRIAN PINE	6-8" B&B	M
	14	COTONEASTER LACTEUS	CLUSTERBERRY	1 GAL	M
	22	CHRYSOTHAMNUS	CHAMISA	1 GAL	L
	15	BUDDLEIA	BUTTERFLY BUSH	1 GAL	M
	5	RAPHIOLEPIS	INDIA HAWTHORN	1 GAL	M
	3	PINUS MUGO	MUGO PINE	1 GAL	H
	3	ROSEMARINUS	ROSEMARY	1 GAL	M
	1	MISCANTHUS	MAIDEN GRASS	1 GAL	M
	7	JUNIPERUS SABINA	BUFFALO JUNIPER	1 GAL	M
	1	SALVIA GREGGII	CHERRY SAGE	1 GAL	M
	3	CARYOPTERIS	BLUE MIST	1 GAL	M
	3	LAVANDULA	LAVENDER	1 GAL	M
	15	LONICERA	HONEYSUCKLE	1 GAL	M

**KEYED NOTES**



**A CURB AT WALK**

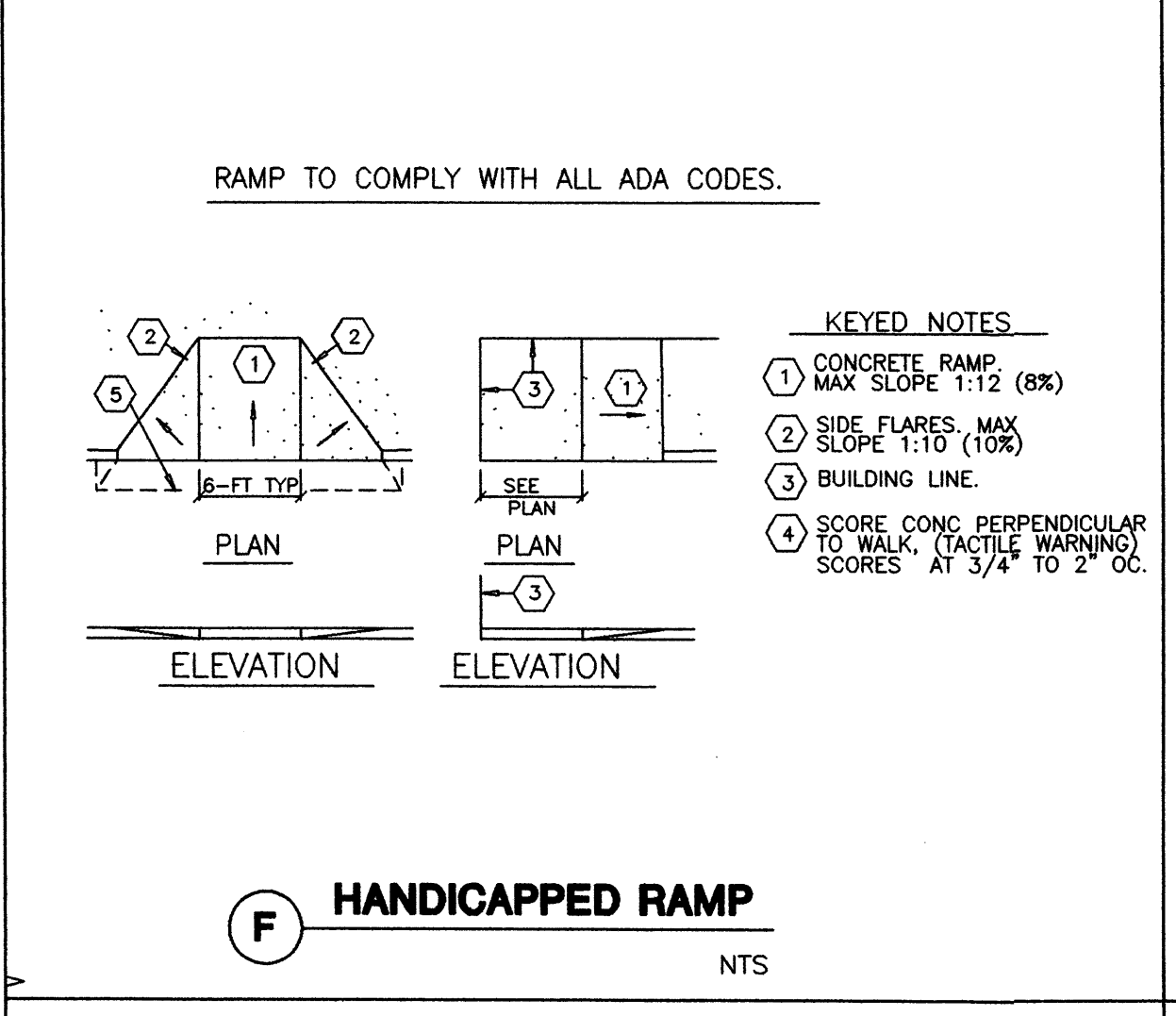
**B STAND-UP CURB**

**B' OPTIONAL EXTRUDED CURB**

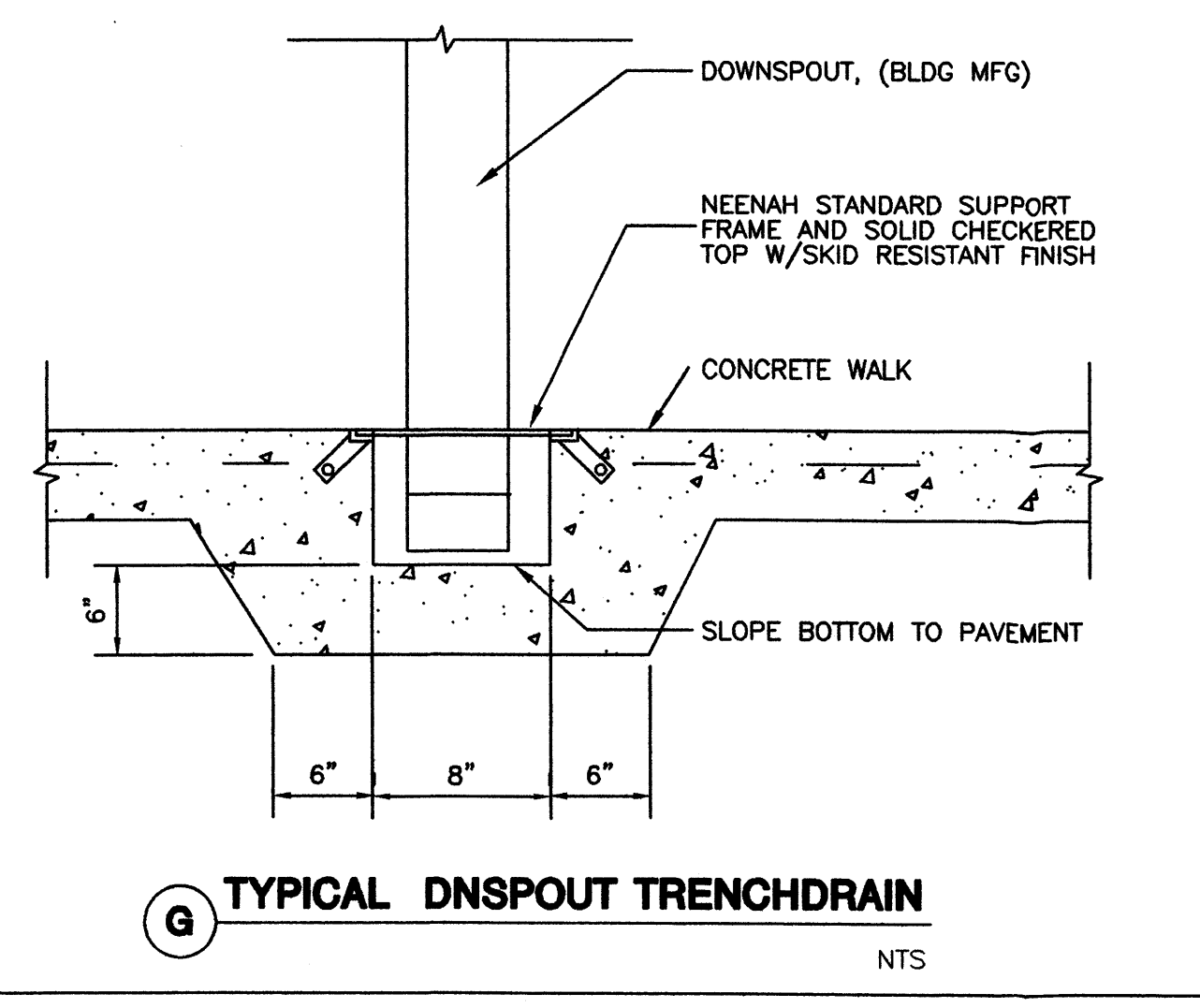
**C CURB AND GUTTER**

**D HANDICAP PAINT STRIPING**  
NTS

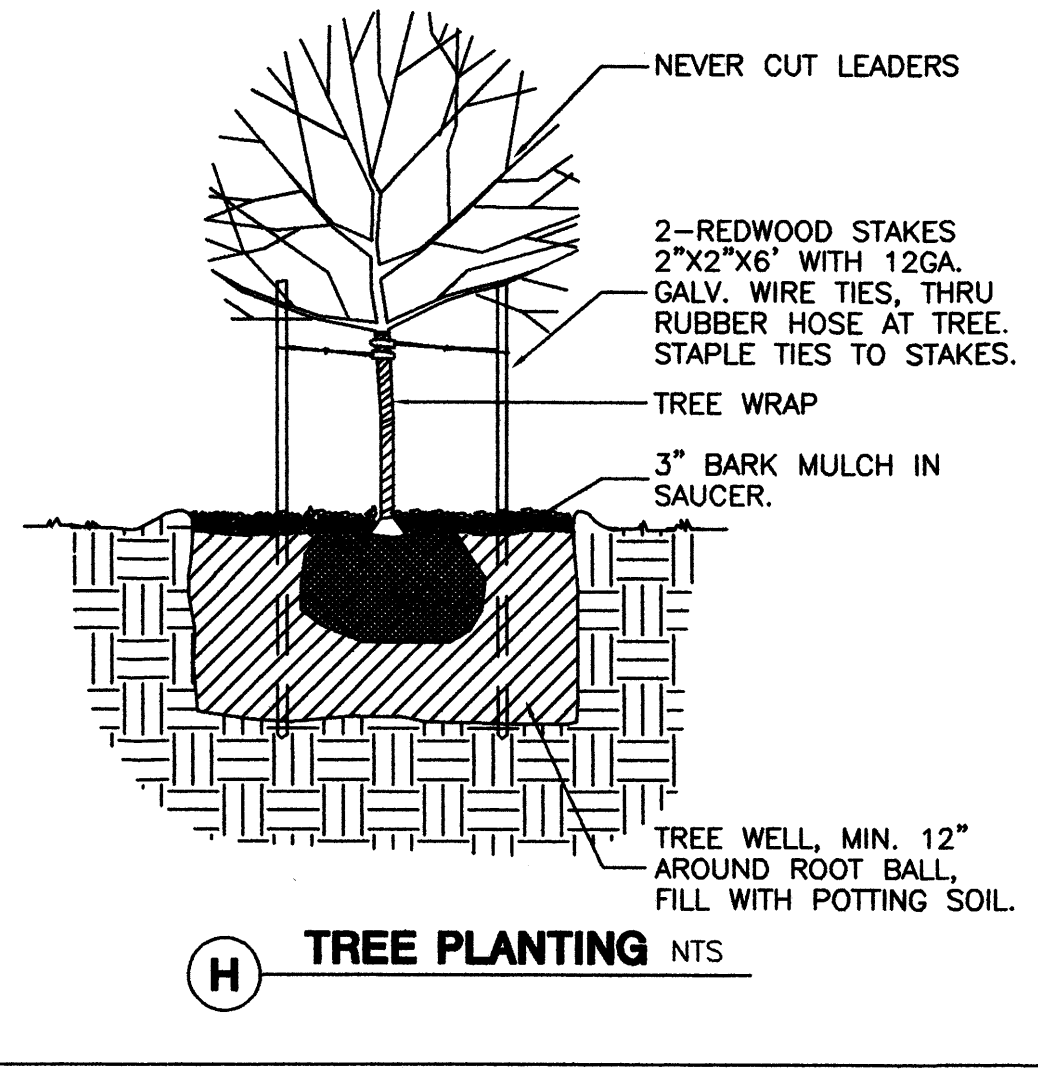
**E HANDICAP PARKING SIGN**



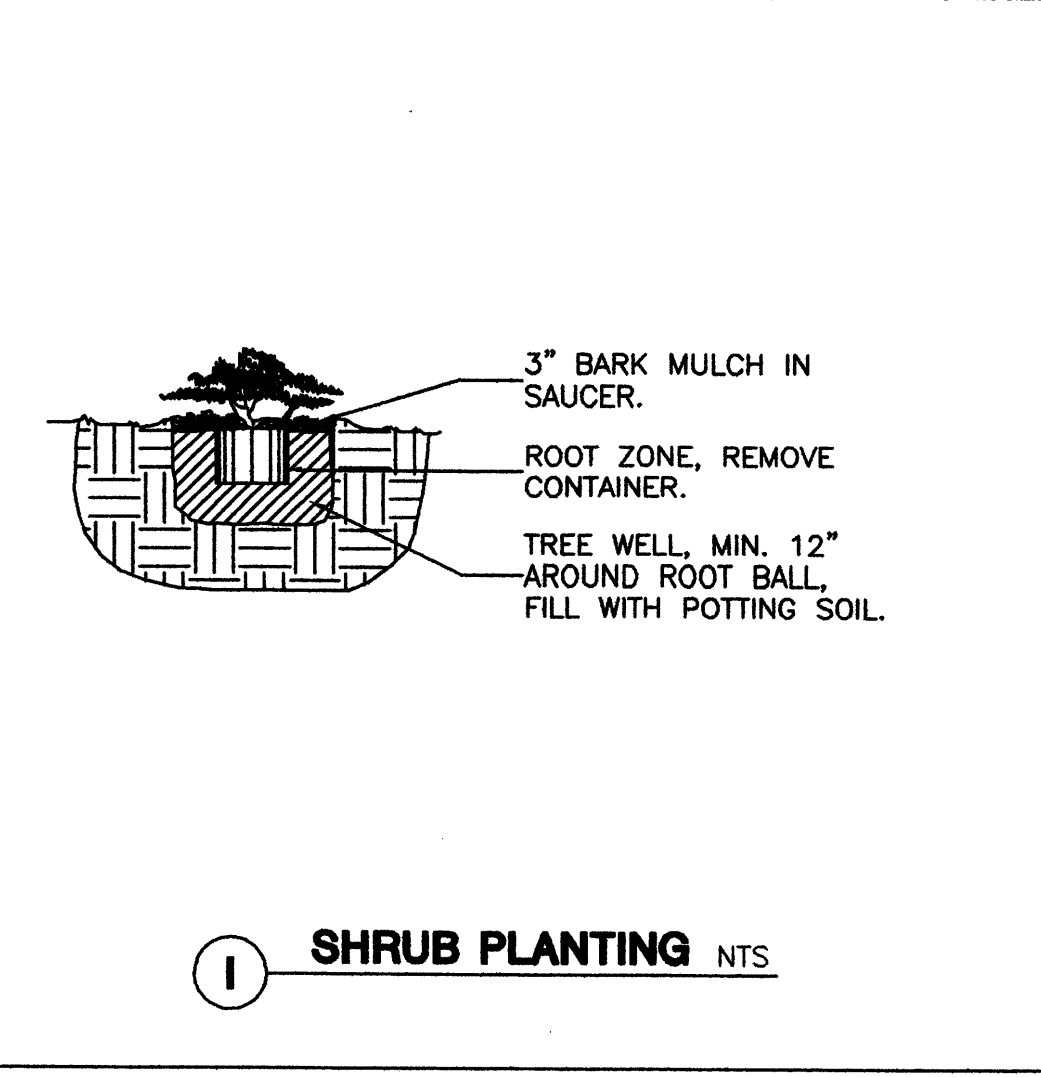
**F HANDICAPPED RAMP**  
NTS



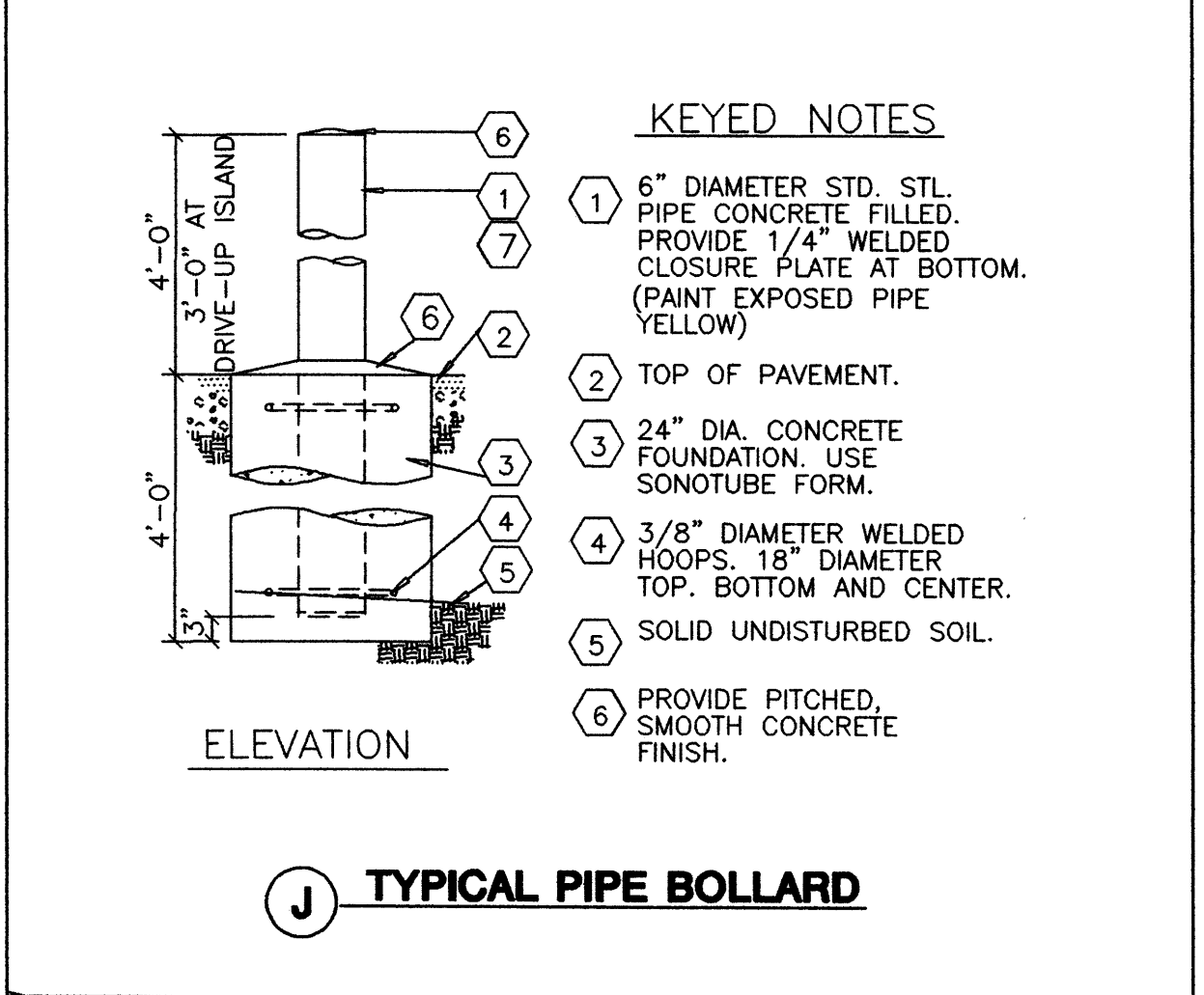
**G TYPICAL DOWNSPOUT TRENCHDRAIN**  
NTS



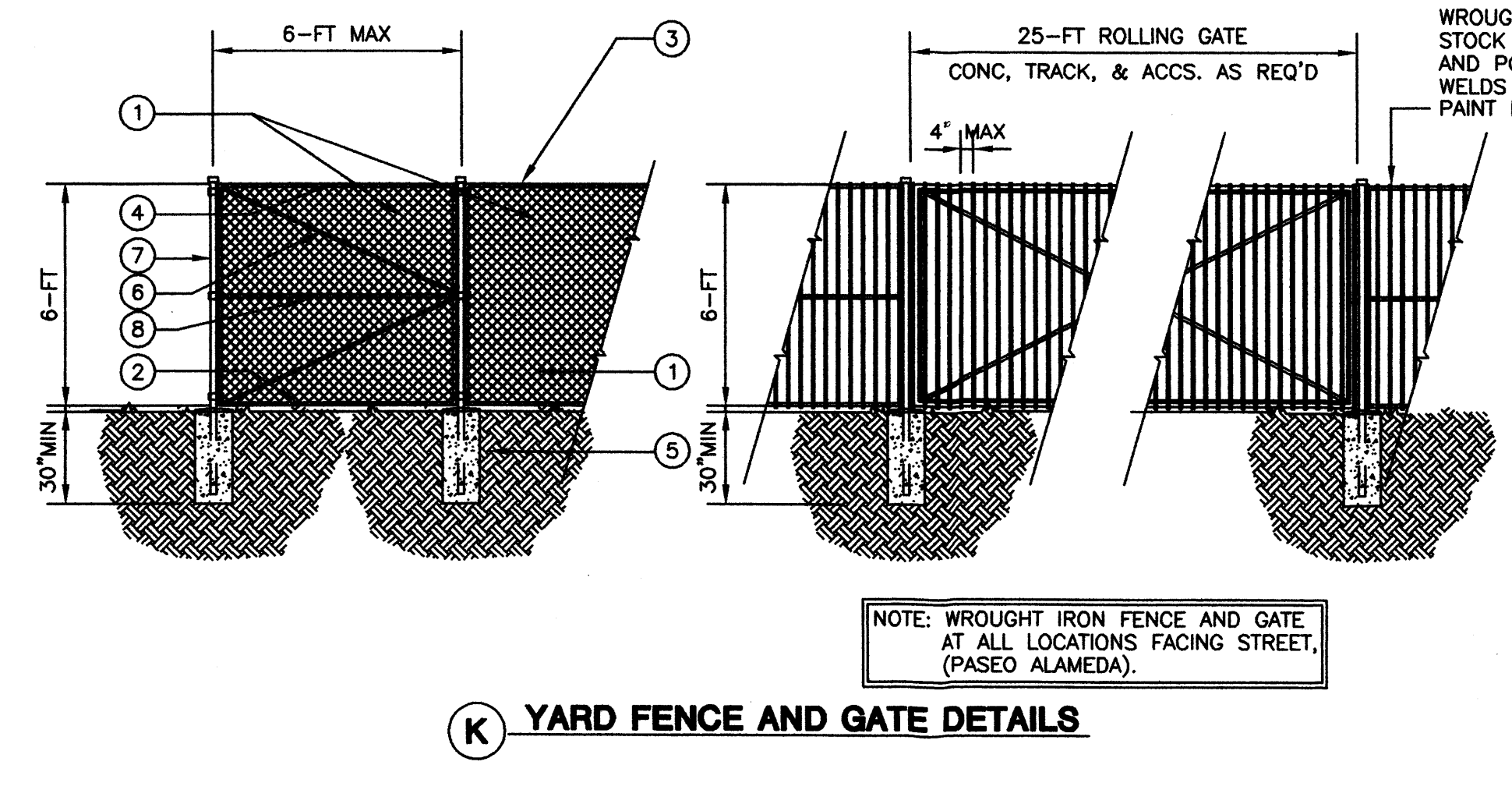
**H TREE PLANTING** NTS



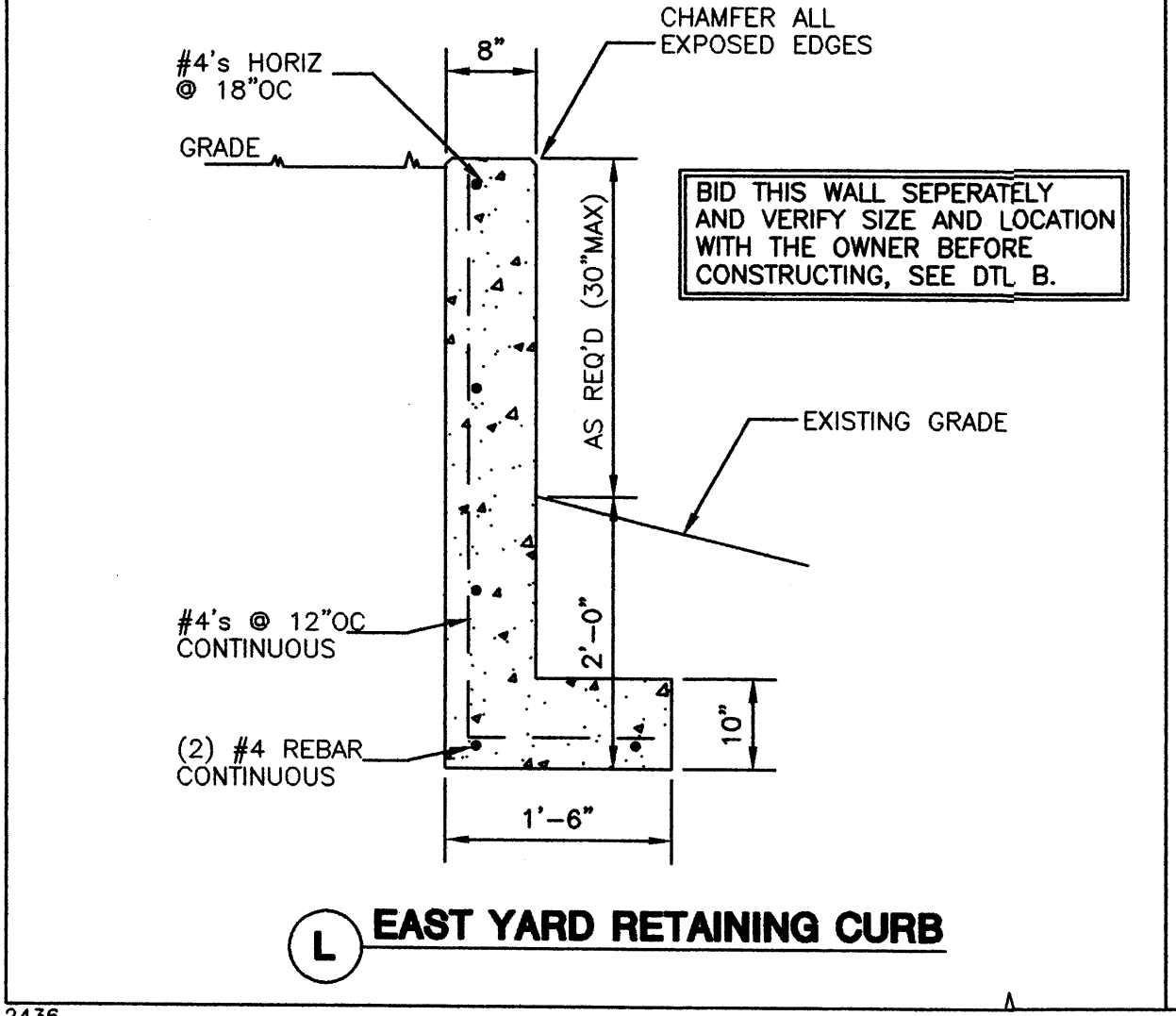
**I SHRUB PLANTING** NTS



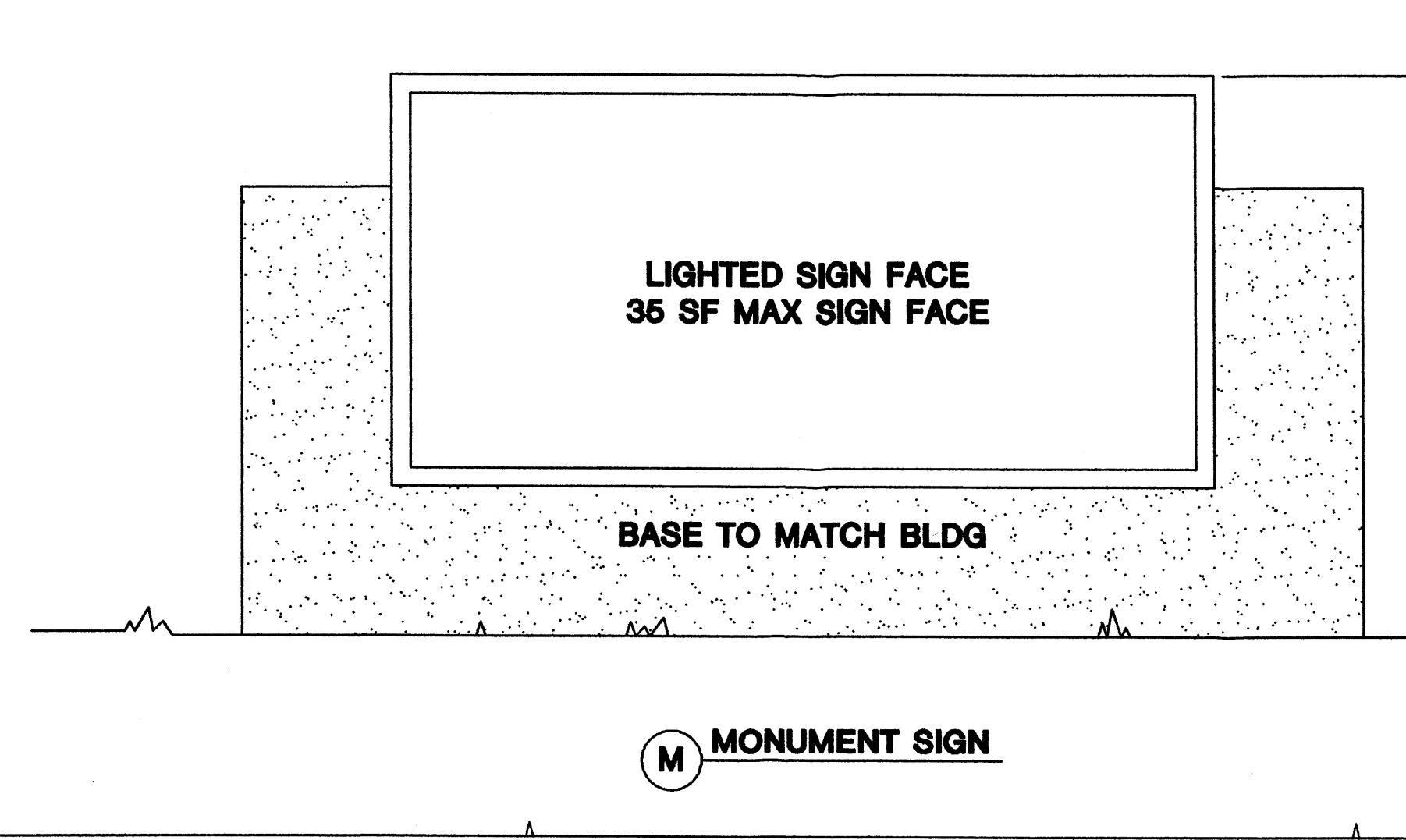
**J TYPICAL PIPE BOLLARD**



**K YARD FENCE AND GATE DETAILS**



**L EAST YARD RETAINING CURB**



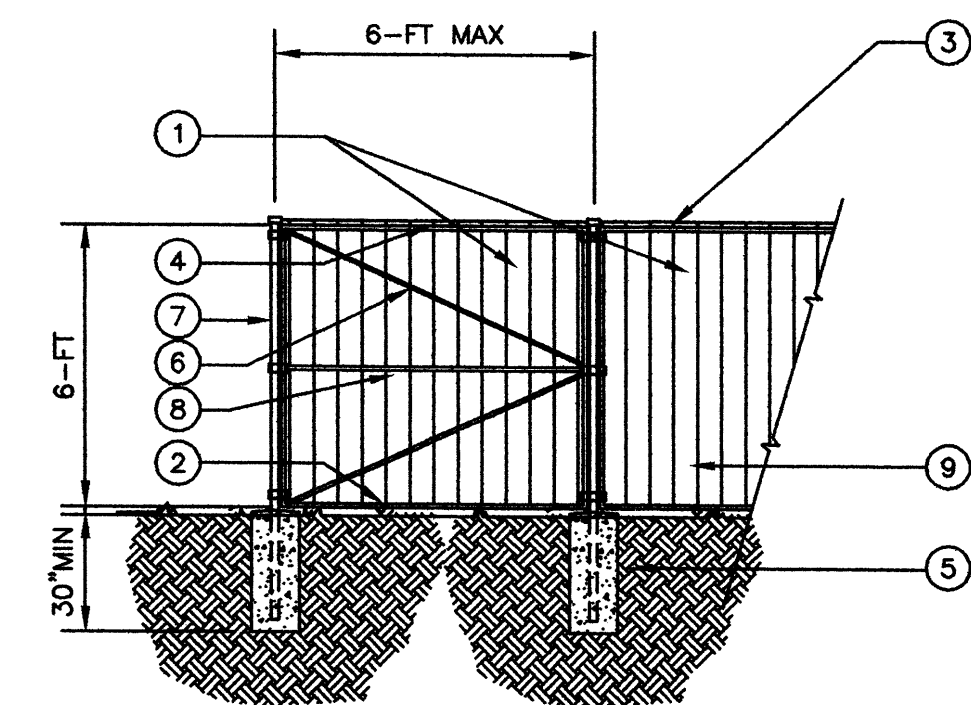
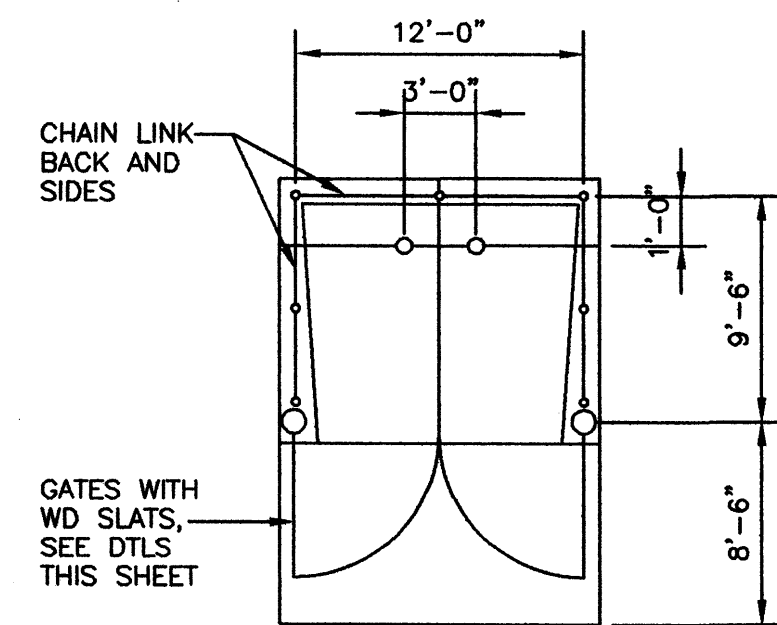
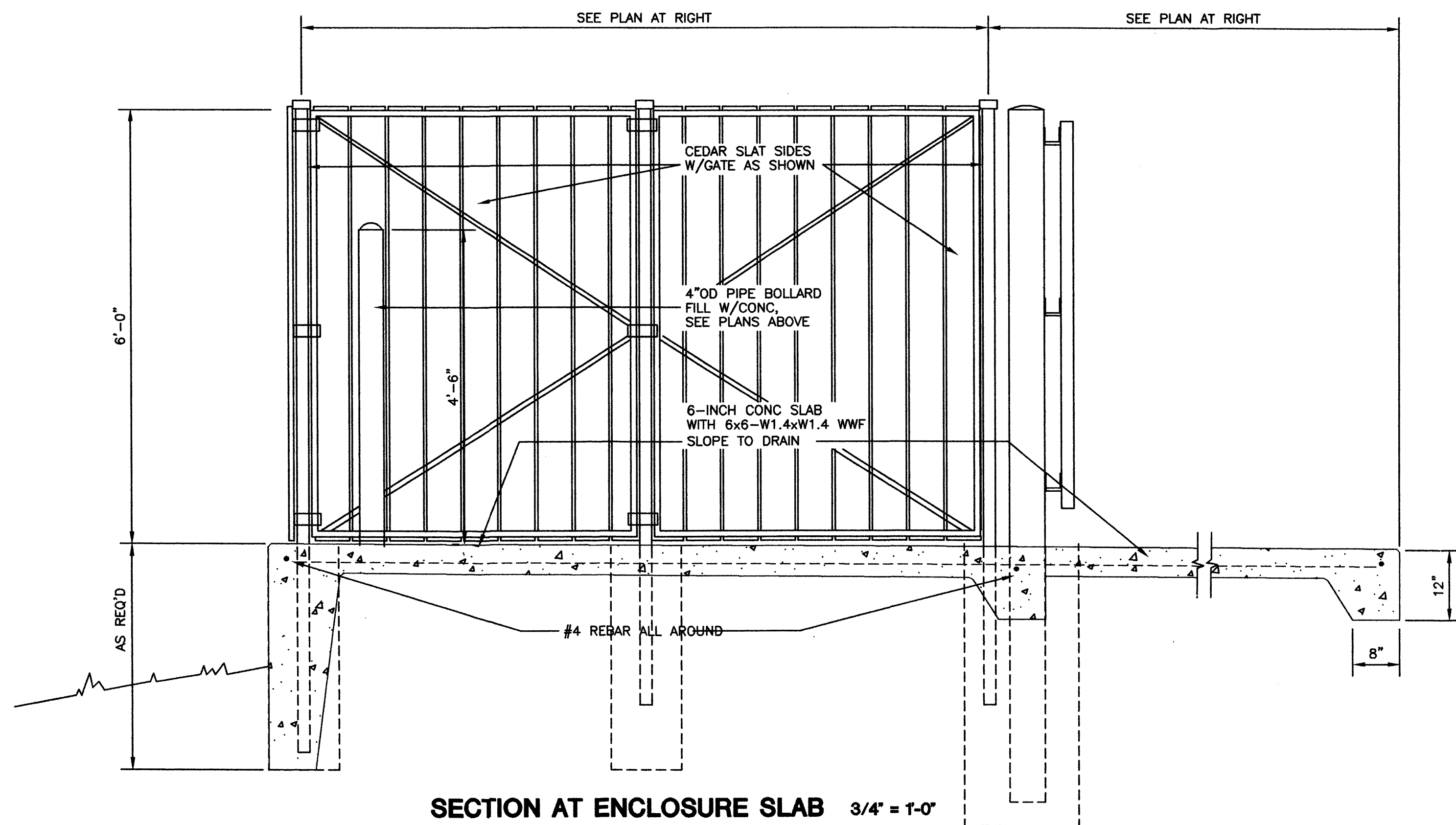
**M MONUMENT SIGN**

*Kent Trauernicht*  
 STATE OF NEW MEXICO  
 KENT TRAUERNICHT  
 1285  
 8/19/01  
 REGISTERED ARCHITECT

**akt architects**

P.O. BOX 3386  
 ALBUQUERQUE, NEW MEXICO  
 87100 (505)281-9560

PROJECT NAME	BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM	REVISIONS NO. DATE
PROJECT NUMBER		
DRAWING TITLE	SITE DETAILS	C-4



ENCLOSURE PLANS 1/8" = 1'-0"

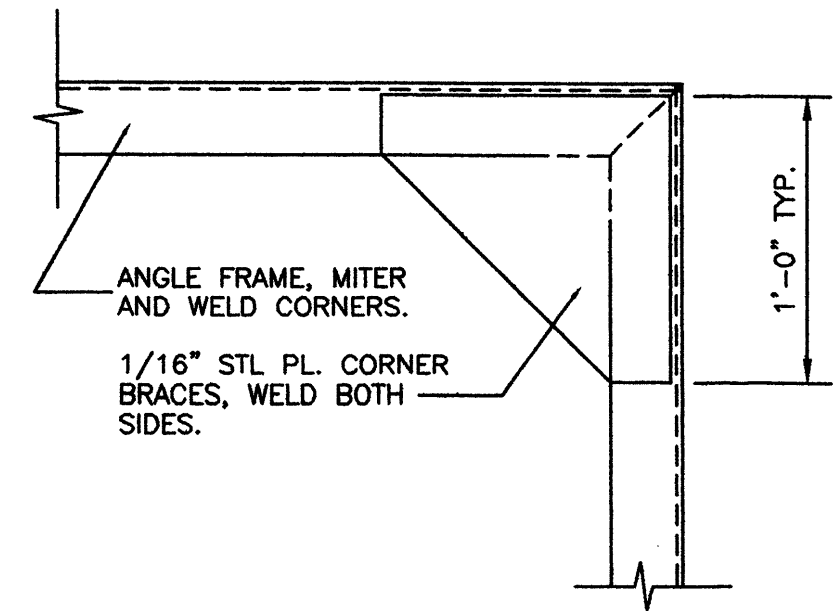
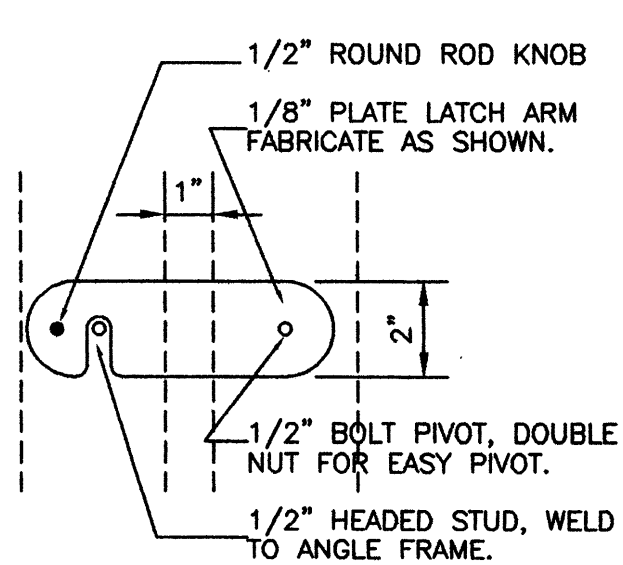
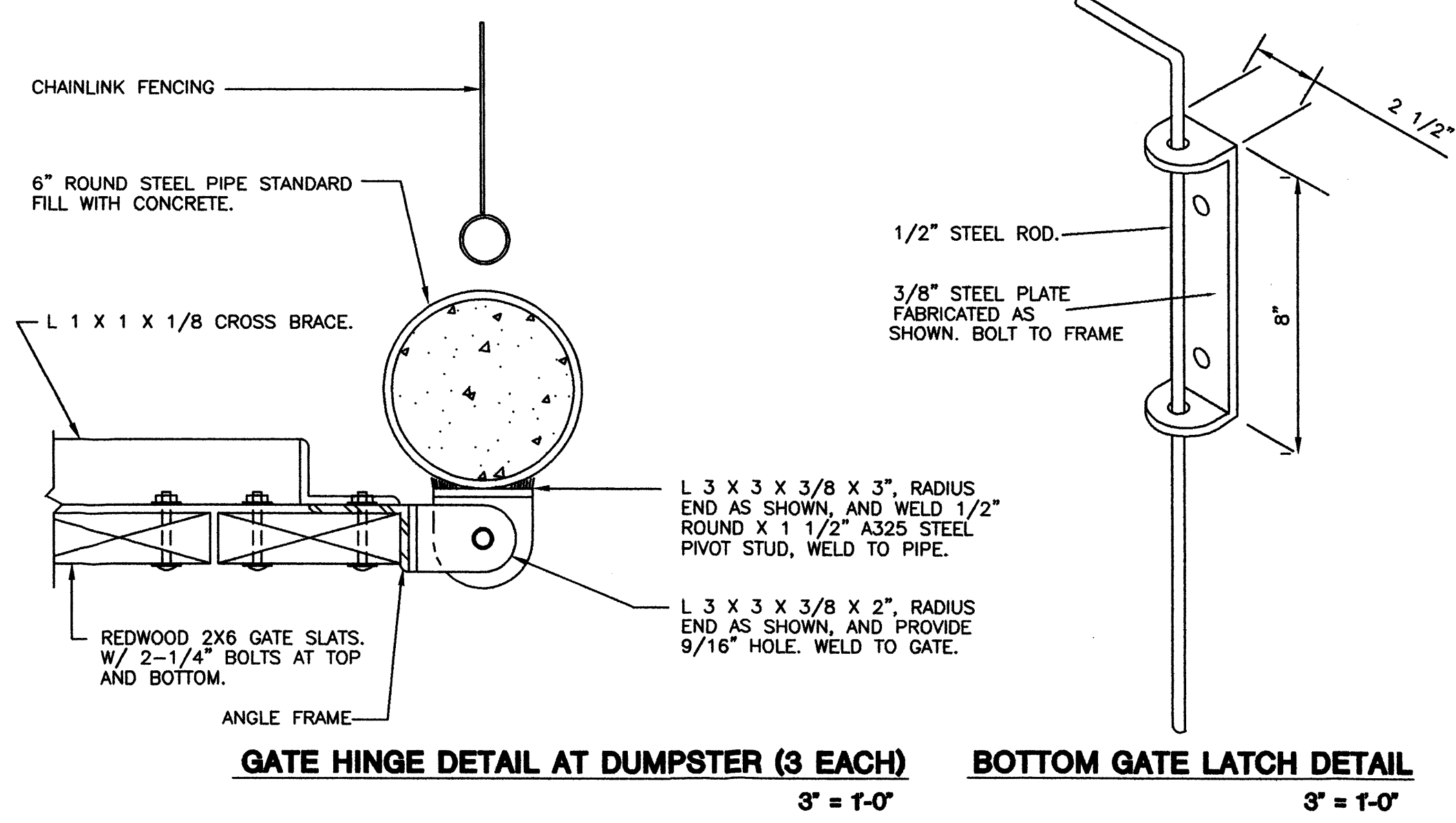
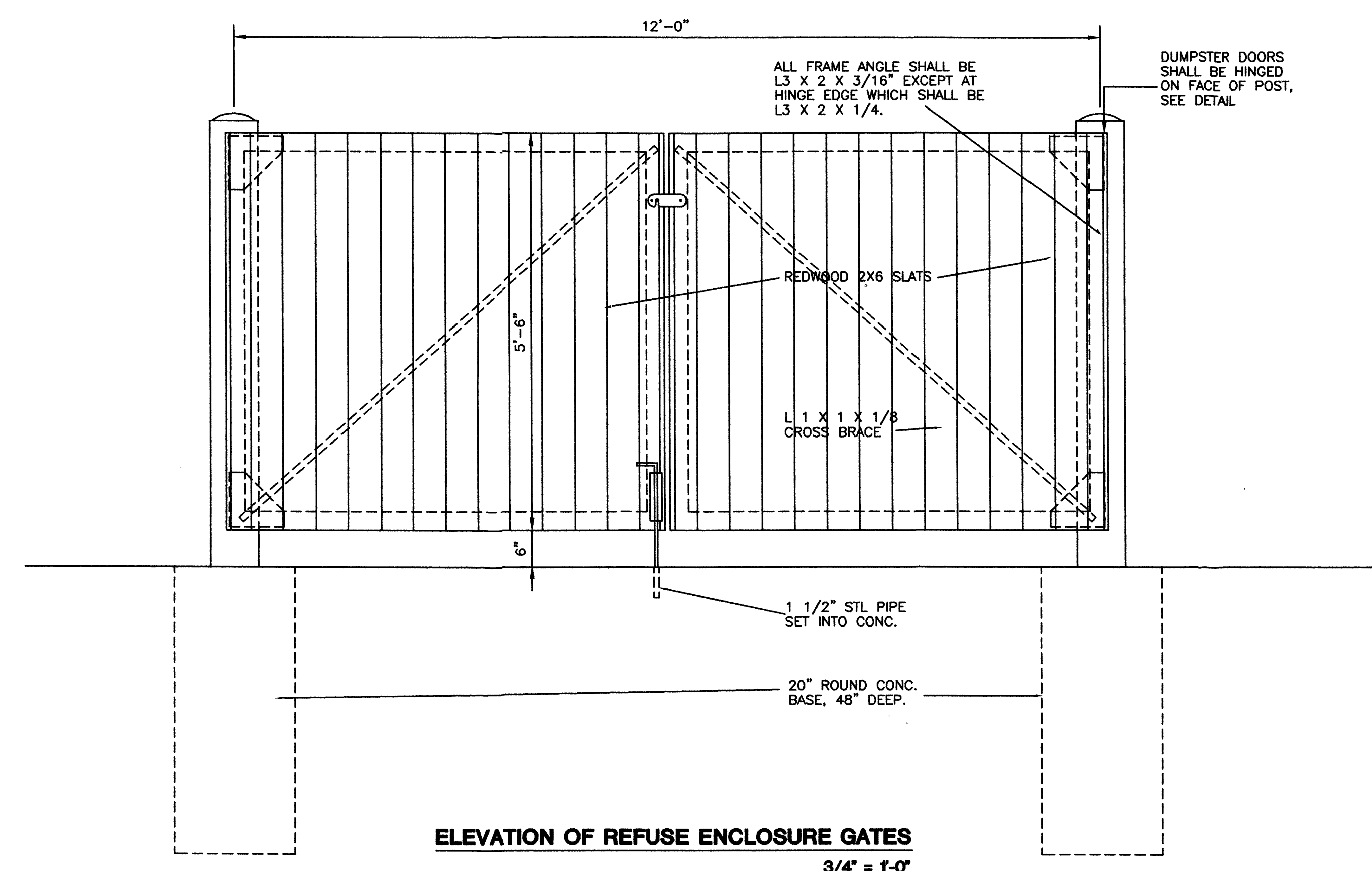
GENERAL NOTES

- 1 POST AND FENCE PIPE SIZES ARE FENCE INDUSTRY STANDARDS. ALL PIPE TO BE GALV.; HOT-DIP, ASTM A-153 GRADE "A" STL. CROSS BRACE ALL POSTS EXCEPT INTERMEDIATES.

KEYED NOTES

- 1 ATTACH 1x6 CEDAR SLATS TO FENCE FRM.
- 2 TENSION WIRE, 7 GA GALV.
- 3 WIRE TIES, 9 GA GALV STL AT 18" OC MIN, ALL AROUND.
- 4 TOP RAIL, 1-5/8" DIA.
- 5 12" DIA DRILLED HOLES, FILLED WITH PORTLAND CEMENT, (MIN 2000 PSI).
- 6 1/4" x 3/4" GALV STL TENSION BAR.
- 7 ALL POSTS: 2 1/2" STANDARD PIPE (0.216" THICK) GALV.
- 8 POST BRACE, 1-5/8" DIA, AT EACH CORNER, EACH WAY.
- 9 1x6 CEDAR SLATS

DUMPSTER ENCLOSURE 1/4" = 1'-0"



*K. Mansfield*

STATE OF NEW MEXICO  
KENT TRAERNICHT  
1285  
97901  
REGISTERED ARCHITECT

**akt architects**

P.O. BOX 8868  
ALBUQUERQUE, NEW MEXICO  
87160 (505)281-6660

PROJECT NAME	BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM	REVISIONS NO. DATE
PROJECT NUMBER		DATE
DRAWING TITLE	DUMPSTER PLAN AND DETAILS	C-5

**KEYED NOTES**

- ① STUCCO
- ② STUCCO STONE
- ③ METAL BUILDING WALL PANEL
- ④ METAL BUILDING ROOF PANEL
- ⑤ METAL BUILDING TRIM, GUTTER, AND DOWNSPOUTS
- ⑥ ALUMINUM STOREFRONT WINDOWS AND DOORS
- ⑦ ENTRY CANOPY STEEL FRAMING
- ⑧ 9-INCH HIGH WHITISH CERAMIC ADDRESS NUMERALS  
INSTALL WITH STUD MOUNTS SET INTO STUCCO FINISH.
- ⑨ HOLLOW METAL DOOR AND FRAME BY BLDG MANUFACTURER  
COLOR: MATCH METAL BUILDING PANELS
- ⑩ STEEL OVERHEAD DOOR  
COLOR: MATCH METAL BUILDING PANELS
- ⑪ LIGHT FIXTURE, WALL PACK  
MOUNTING HEIGHT SHALL NOT EXCEED 10'-FT ABOVE FINISH FLOOR  
LAMP TYPE SHALL BE HIGH PRESSURE SODIUM. FIXTURE LAMP SHALL  
BE INSTALL WITH SHIELD TO LIMIT LIGHTING ANGLE TO INSIDE PROPERTY
- ⑫ ELECTRICAL SERVICE ENTRANCE AND METER
- ⑬ PIPE BOLLARDS

- STUCCO COLORS**  
STUCCO SHALL BE "EL REY" SEE SECTIONS FOR TYPE
- Ⓐ 103 SAND
- STUCCO STONE**  
STUCCO SHALL BE "CULTURED STONE" SEE SECTIONS  
ALBUQUERQUE BUILDER MATERIALS, 505-247-4294  
UTILITY BLOCK CO. 505-344-2368
- Ⓑ PATTERN: SOUTHERN LEDGESTONE  
COLOR: FAWN #CSV-2026
- BUILDING METAL PANEL FINISHES**  
PREENGINEERED BUILDING MANUFACTURER: METALLIC BUILDING CO.  
BUILDING SUPPLIER: BUILDING CO. (LARRY HILL, TELE: 505-344-9070)
- Ⓒ ROOF PANELS: GALVALUME
  - Ⓓ WALL PANELS: SADDLE TAN
- CANOPY FRAMING COLOR**  
PAINT MANUFACTURER: BENJAMIN MOORE
- Ⓔ ZEBULON #2496D

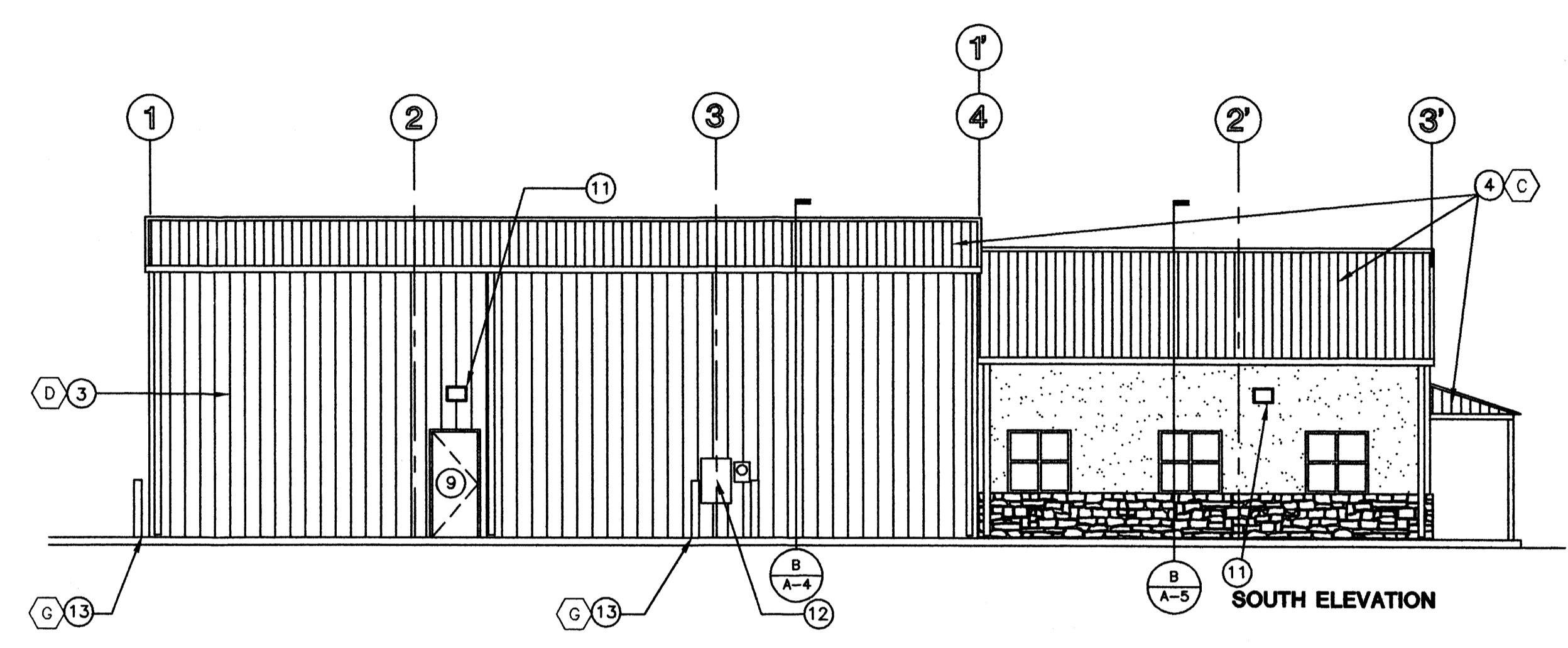
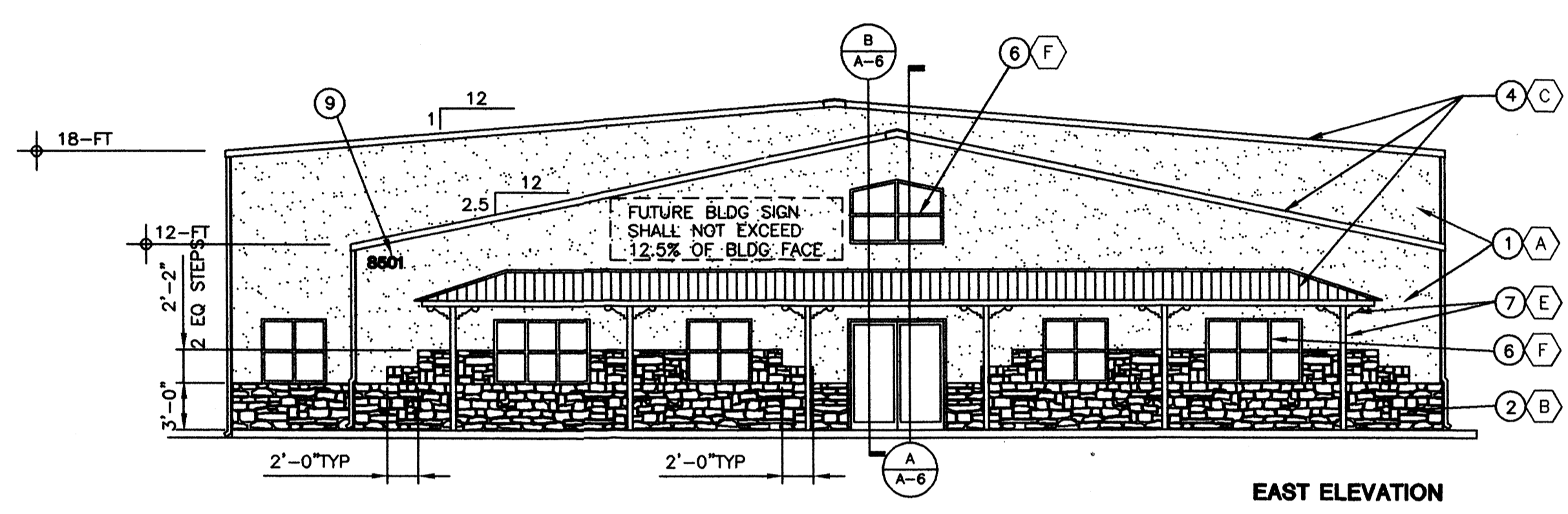
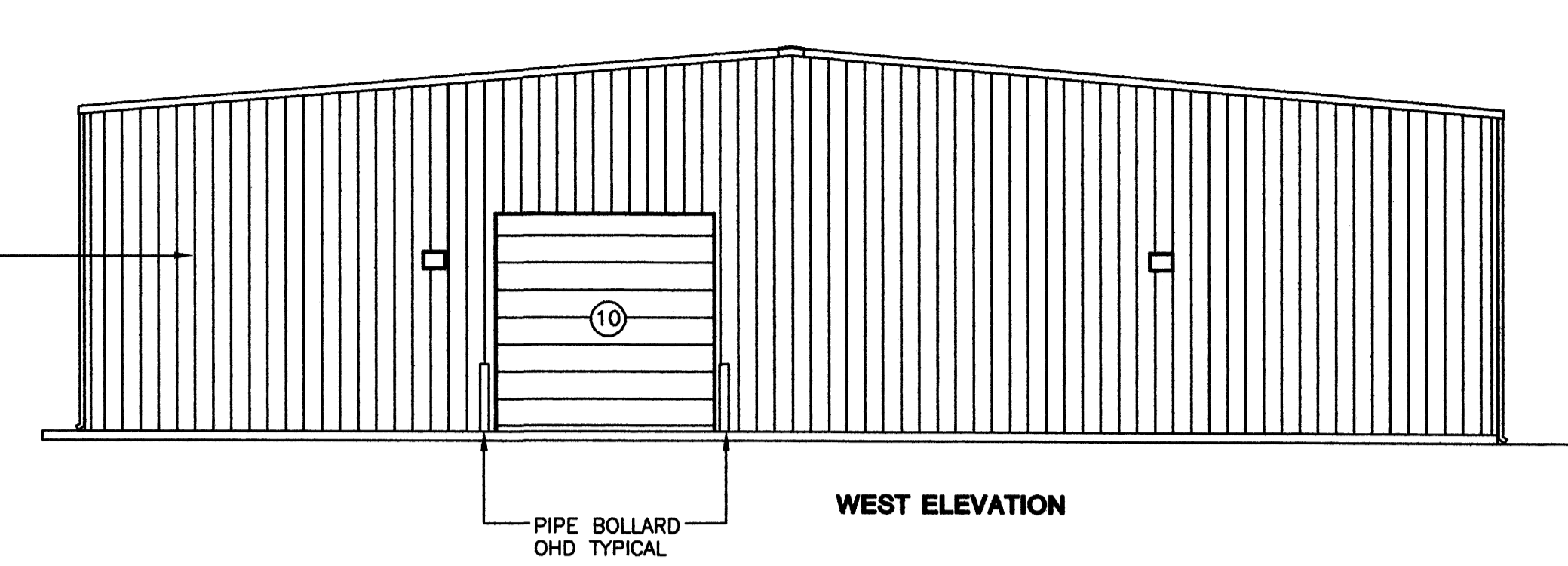
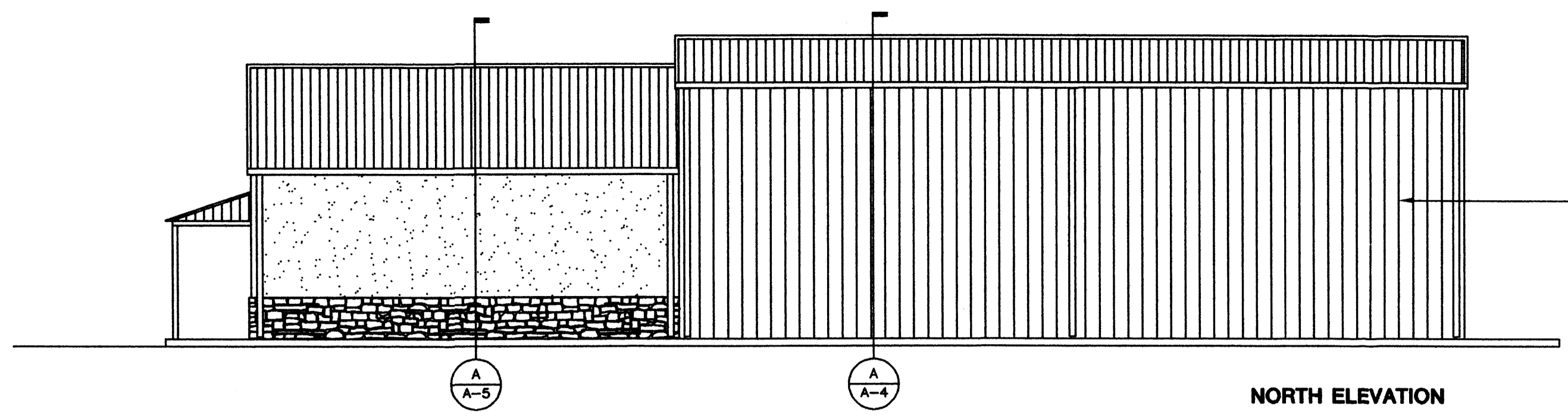
- ALUMINUM STORE FRONT FINISH**
- Ⓕ KYNAR STANDARD COLOR: TROPICAL JADE
- PREENGINEERED BLDG DOOR FRAMES AND MISC. STEEL**
- Ⓖ MATCH ADJACENT BUILDING COLOR

*Kent Trauernicht*

**akt architects**

P.O. BOX 5366  
ALBUQUERQUE, NEW MEXICO  
87190 (505)281-9690

<b>PROJECT NAME</b>	<b>REVISIONS</b>
BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM	NO. DATE
<b>PROJECT NUMBER</b>	<b>DATE</b>
<b>DRAWING TITLE</b>	
PLANS	A-2



**BUILDING ELEVATIONS** 1/8" = 1'-0"