

BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NEW MEXICO

OWNER AND CONTRACTOR:
BAKER CONSTRUCTION
8515 CALLE ALAMEDA
ALBUQUERQUE, NEW MEXICO 87113
TELE: (505) 898-0100
FAX: (505) 898-0200

- GENERAL NOTES**
- GENERAL NOTES APPLY TO ALL DRAWINGS.
- INFORMATION ON PLANS IS A GRAPHIC REPRESENTATION.
 - IT IS THE INTENT OF THE DRAWINGS TO SUMMARIZE THE MAJOR SCOPE OF THE WORK, NOT TO EXCLUDE ANY SECONDARY OPERATIONS OR MATERIALS THAT ARE REQUIRED FOR THE COMPLETION OF THE WORK BY THE CONTRACTOR, SUBCONTRACTOR OR SUPPLIERS.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND ESTABLISH QUANTITIES, SIZES, ETC. BASED UPON ACTUAL CONDITIONS.
 - ALL WORK PERFORMED AND MATERIALS INSTALLED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING LANDSCAPING (VEGETATION AND OTHER FEATURES) DURING CONSTRUCTION. DAMAGED ITEMS WILL BE REPLACED AT NO COST TO THE OWNER.
 - THESE DRAWINGS ARE NOT TO BE SCALED.
 - ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALL, UNDERGROUND, ABOVE CEILING, OR IN ARCHITECT-APPROVED UTILITY SPACES IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT.
 - PLUMBING AND ELECTRICAL PLANS ARE DEVELOPED SCHEMATICALLY TO SHOW PIPING AND WIREWAY LOCATIONS. UPON FIELD VERIFICATION, THE LOCATION OF ITEMS MAY BE ADJUSTED CONDITIONALLY UPON SATISFACTORY COMPLIANCE TO ALL OTHER REQUIREMENTS, TO MINIMIZE SAW CUTTING, PATCHING, OR REMOVAL AND REPLACEMENT OF IMPROVEMENTS.
 - SCRIBE WALLS AND PARTITIONS TO IRREGULARITIES OF STRUCTURE AND/OR DECK ABOVE AND SEAL SEAL TIGHTLY AROUND ANY PENETRATIONS.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL AND ELECTRICAL WORK WITH MECHANICAL AND ELECTRICAL SUBCONTRACTOR.
 - NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS IN CONFLICT WITH DRAWINGS.
 - ADDITIONAL GENERAL NOTES ARE LOCATED THROUGHOUT THE DRAWINGS.
 - SLOPE FLOORS MINIMUM OF 1/8" PER FOOT TO FLOOR DRAINS UNLESS NOTED OTHERWISE.
 - PROVIDE 4" HIGH CONCRETE PADS FOR MECHANICAL EQUIPMENT.
 - ROUGH-GRADING AND FINAL CONTOURING SHALL BE VERIFIED IN THE FIELD BY THE ARCHITECT.
 - PLAN DIMENSIONS ARE TO FACE OF FRAMING, OR CONCRETE UNLESS SHOWN OTHERWISE.



AKT ARCHITECTS
PO BOX 3366
ALBUQUERQUE, NM 87190
TELE (505) 281-9560
FAX (505) 286-1055

PROJECT DESCRIPTION:
A 6,390 SF BUILDING FOR TENANT LEASE OR SALE. TENANT SPACE SHALL BE FURTHER SUBDIVIDED INTO OFFICE AND WAREHOUSE. THE BUILDING SHALL BE PRE ENGINEERED STEEL FRAMED WITH METAL ROOF AND WALL PANELS.

CODE AND ZONING DATA
ADDRESS: 8501 PASEO ALAMEDA NE
ALBUQUERQUE, NEW MEXICO
ZONING: SU-2 / IP-EP
SITE AREA: 32,787.6 SF (0.7527 ACRES)
PAVED PARKING AND CIRCULATION: 11,562 SF
NET LOT AREA (32,789 - 6390): 26,399 SF
REQUIRED LANDSCAPING (15% OF 26399 SF): 3960 SF
LANDSCAPED AREA PROVIDED ON SITE: 4740 SF
365 SF IN R.O.W.
9262 SF AT SLOPE TO EDITH ST.
BUILDING AREA: WAREHOUSE (78' x 55') 4,290 SF
OFFICE (30' x 70') 2,100 SF
TOTAL 6,390 SF

REQUIRED PARKING:
OFFICE (2100 SF/200) = 10 SPACES
WAREHOUSE (4,290 SF/2000) = 2 SPACES
TOTAL REQUIRED = 12 SPACES

PARKING PROVIDED: 13

CODE: UNIFORM BUILDING CODE (1997 EDITION)
ADA COMPLIANCE: CABO/ANSI A117.1 (1998 EDITION)
CONSTRUCTION TYPE: II-N
OCCUPANCY TYPE: S-3 (WAREHOUSE)
AND B (OFFICE)

ALLOWABLE BUILDING AREA: 12,000 SF
SEISMIC ZONE: 2B
CONCRETE STRENGTH: 3,000 PSI (28 DAYS)
ALLOWABLE SOIL BEARING: 1,500 PSF (ASSUMED)

- SCHEDULE OF DRAWINGS**
- (DRB) 0 TITLE SHEET/SCHEDULE OF DRAWINGS
CODE AND BUILDING DATA
- (DRB) C-1 DRAINAGE PLAN, CALCULATIONS, NOTES, AND DETAILS
(DRB) C-2 SITE AND UTILITIES PLANS
(DRB) C-3 LANDSCAPE PLAN
(DRB) C-4 SITE DETAILS
(DRB) C-5 DUMPSTER ENCLOSURE
- A-1 BUILDING PLAN
(DRB) A-2 BUILDING ELEVATIONS
A-3 MILLWORK, TOILET RM PLAN AND ELEVATION,
DOOR AND FRAME ELEVATIONS AND DETAILS
A-4 WALL SECTIONS
A-5 WALL SECTIONS
A-6 WALL SECTIONS
A-7 WALL SECTIONS
- S-1 FOUNDATION PLAN AND DETAILS
- M-1 HVAC PLAN AND DETAILS
PLUMBING PLAN, SCHEDULE, AND SCHEMATIC
- E-1 POWER/LIGHTING PLAN, RISER DIAG, AND CALCULATIONS

APPL # 01420-00000-00941

PROJECT CASE NUMBER: ~~1000-624~~

THESE PLANS ARE CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON (DATE):

THE PLANS COMPLY WITH THE FINDINGS AND CONDITIONS SET FORTH IN THE OFFICIAL NOTIFICATION OF DECISION.

SITE DEVELOPMENT PLAN

Richard D. D... 8-01-01
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Adriano E. And... 7/25/01
ARCHITECT AND DEVELOPMENT, DIV. OF Parks & Recreation DATE

Roger A. Sh... 8-1-01
PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION DATE

Paul M... 7/25/01
CITY ENGINEER, ENGINEERING DIVISION/AMAFCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

James E... 8/23/01
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT DATE

PLNZ (10706)

PRD 1000624

STATE OF NEW MEXICO
KENT TRAUERNICHT
1285
REGISTERED ARCHITECT

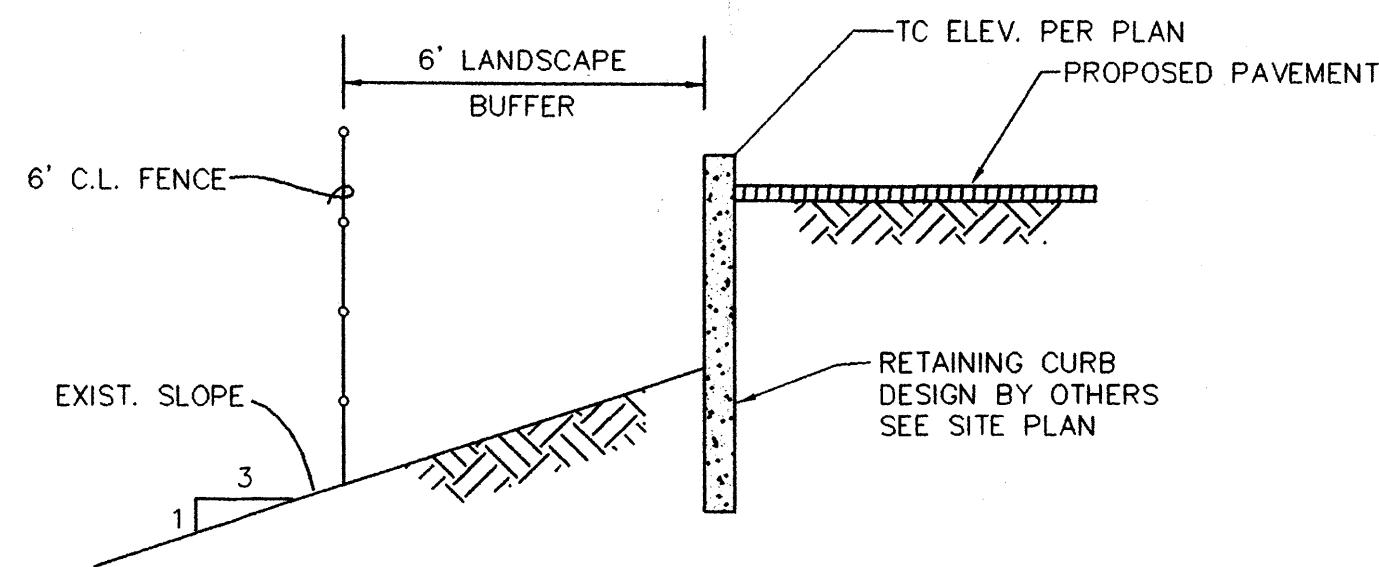
AKT architects
P.O. BOX 3366
ALBUQUERQUE, NEW MEXICO
87190 (505) 281-9560

PROJECT NAME	REVISIONS
NO.	DATE
BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM	

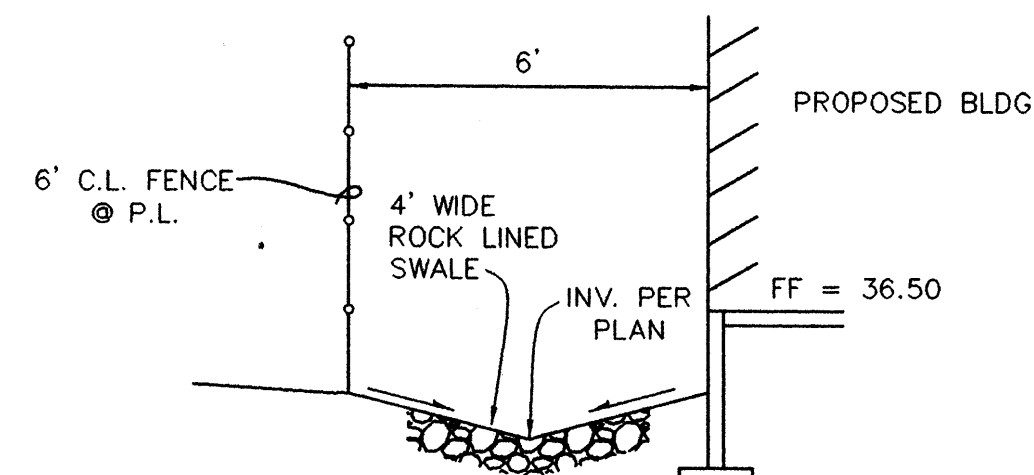
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DRAWING TITLE: _____

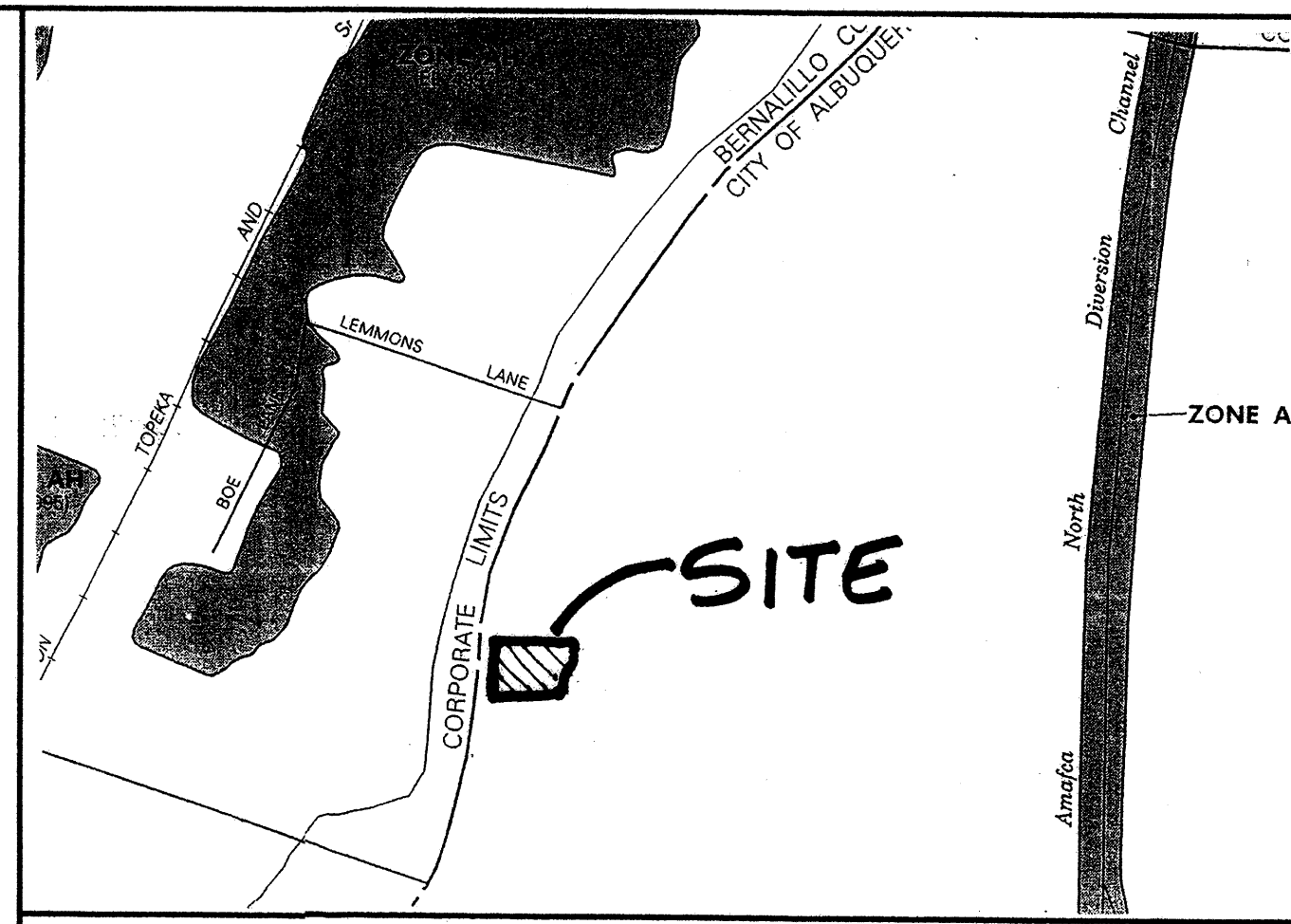
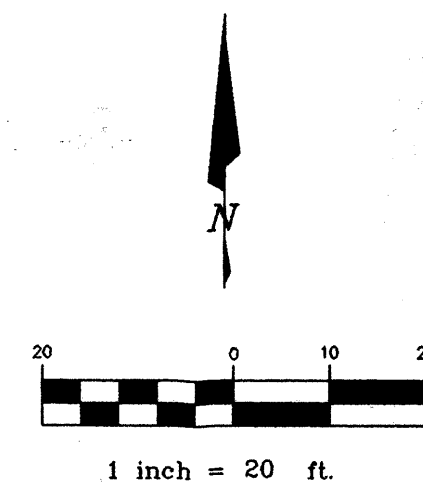
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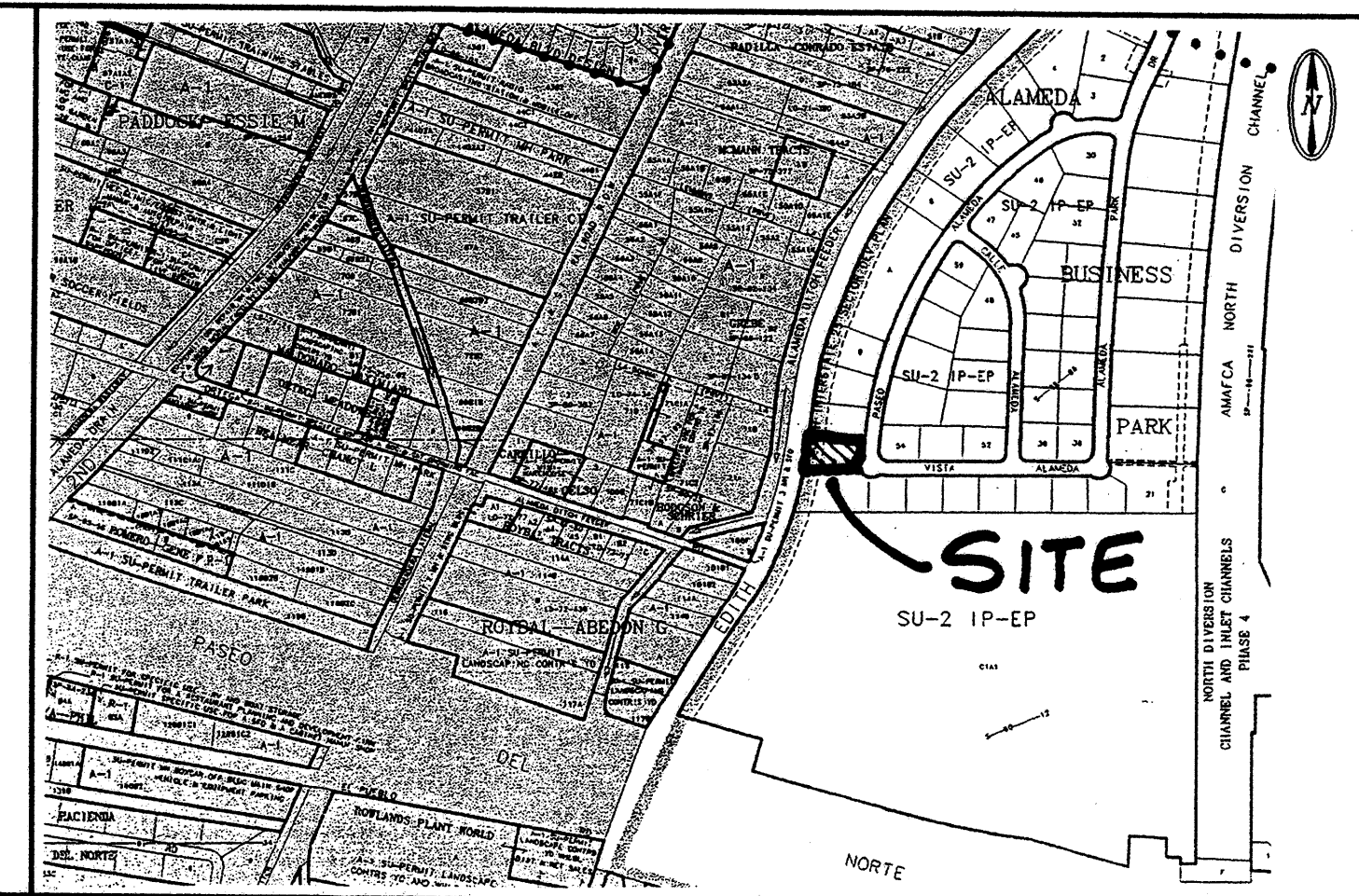
RETAINING CURB SECTION (B) NTS (C-1)



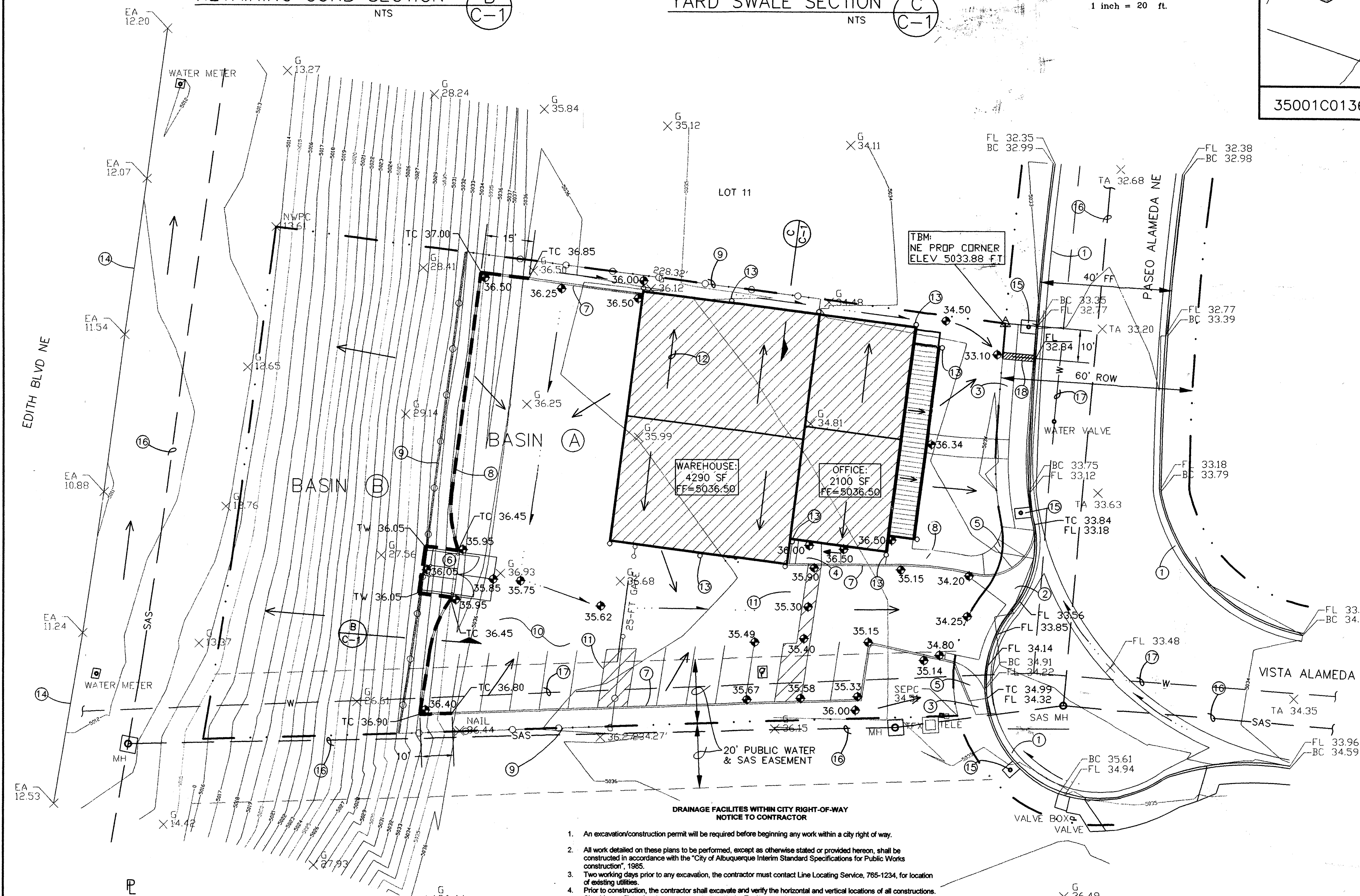
YARD SWALE SECTION (C) NTS (C-1)



35001C0136 FIRM PANEL 1" = 50'



C-16 LOCATION MAP 1" = 800'



GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Baker Office/Warehouse located at 8501 Paseo Alameda NE. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS

The project site is approximately 0.76 acres in size and is located at 8501 Paseo Alameda NE, just north of Vista Alameda. The project site is particularly described as Lot 12, Alameda Business Park. The site is bounded by industrial properties on the north and south, Paseo Alameda on the east, and Edith Blvd on the west. Site topography slopes east and west from a ridgeline located on the rear portion of the property. The eastern portion (Basin A) slopes eastward to Paseo Alameda. The western portion (Basin B) is a 3:1 fill slope that slopes to the west. All on-site runoff drains to improvements provided by Alameda Business Park. Masterplan drainage improvements constructed for the development convey all runoff to an existing retention pond located to the north on Tract A. The retention pond drains by a sump pump to the AMAFCA North Diversion Channel.

As shown by the attached FIRM Panel, this site is not impacted by a Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of the Baker Office/Warehouse with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions. The drainage criteria for the site was established by the Drainage Masterplan for Alameda Business Park, prepared by Bohannon Huston, dated February 19, 1999.

All drainage flows will be managed on-site and discharge to the Masterplan drainage improvements that convey all runoff to an existing retention pond located to the north. Basin A flows east to Paseo Alameda, which drains north to a series of inlets that outfall at the pond. Basin B drains west to Edith Blvd where a roadside swale conveys flows north to inlets that outfall to the pond.

EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of earthen berms or silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets. As an additional erosion control measure, the contractor shall place an earthen berm at the top of the 3:1 fill slope to prevent Basin A flows from draining westward down the slope. It is the Contractor's responsibility to properly maintain these facilities during the construction phase of the project.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB	---	==
STD CURB & GUTTER	---	==
DROP INLET	---	---
OVERHEAD ELEC.	---	---
UNDERGROUND ELEC. GAS, TEL, TV	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	X 16.7	X 16.7
SEWER SERVICE	---	---
POWER POLE (GUYED)	---	---
CENTERLINE	---	---
RETAINING WALL	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT		*
DIRECTION OF FLOW		→
BASIN BOUNDARY		---
RETAINING CURB		---
WATER BLOCK		---
DRAINAGE SWALE		---

PROPERTY ADDRESS

8501 Paseo Alameda NE

LEGAL DESCRIPTION

Lot 12, Alameda Business Park

SURVEY

Topographic and Field Measurements by Brasher & Lorenz Dated July, 2001

PROJECT BENCHMARK

TBM, Northeast Property Corner of Lot 12, Alameda Business Park ELEV = 5033.88 FT MSLD

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

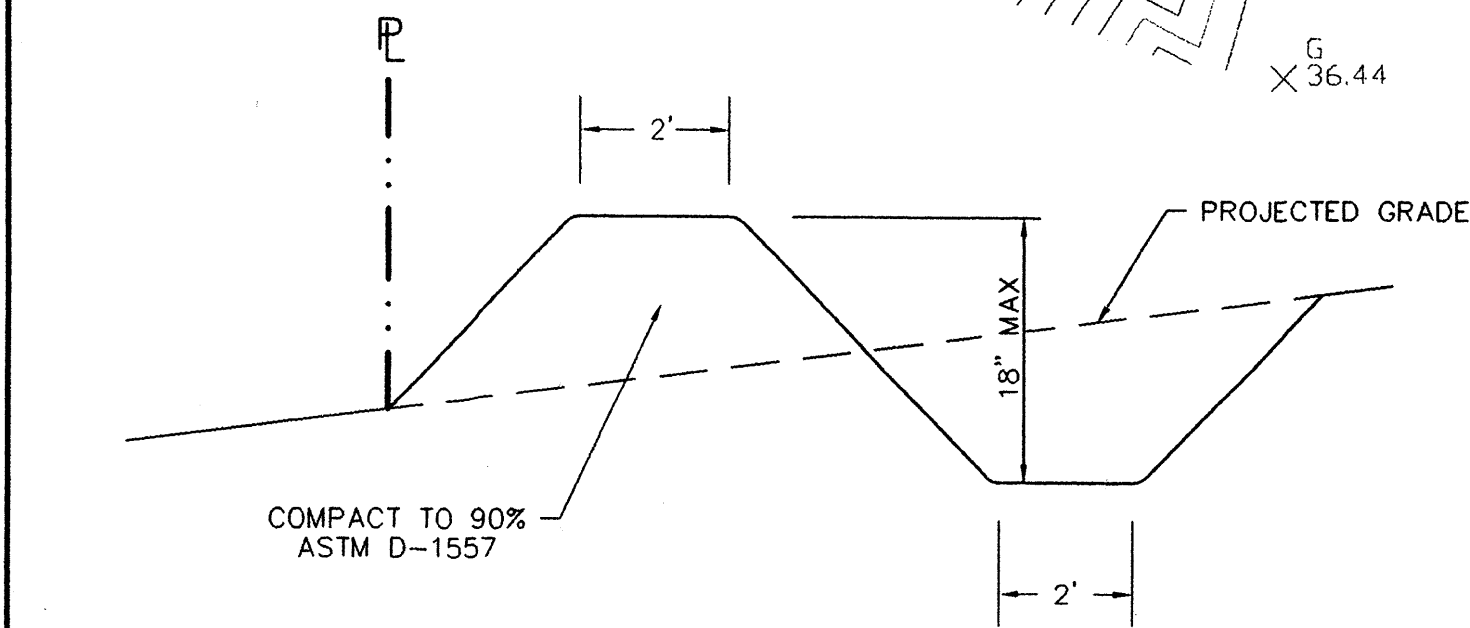
KEYED NOTES

- EXISTING STD CURB & GUTTER
- REMOVE EX STD C & G. CONSTRUCT VALLEY GUTTER PER COA STD DWG 2420
- CONSTRUCT 4' SIDEWALK
- CONSTRUCT HANDICAP RAMP. SEE SITE PLAN
- CONSTRUCT HANDICAP RAMP PER COA STD DWG 2426
- CONSTRUCT REFUSE ENCLOSURE. SEE SITE PLAN
- CONSTRUCT 6" CONCRETE CURB
- CONSTRUCT RETAINING CURB. SEE SITE PLAN
- INSTALL 6' HIGH CHAIN LINK FENCE
- CONSTRUCT ASPHALT PAVEMENT. SEE SITE PLAN
- PAINTED STRIPING PER COA CRITERIA
- DIRECTION OF ROOF DRAINAGE
- ROOF DRAINS
- EXISTING EDGE OF PAVEMENT
- EXISTING WATER SERVICE
- EXISTING PUBLIC SANITARY SEWER
- EXISTING PUBLIC WATER
- CONSTRUCT 1 - 12" SIDEWALK CULVERT PER COA STD DWG 2236

- An excavation/construction permit will be required before beginning any work within a city right of way.
- All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with the "City of Albuquerque Interim Standard Specifications for Public Works Construction", 1985.
- Two working days prior to any excavation, the contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
INSPECTOR		

HYDROLOGY - HYMO						
Precipitation Zone 2 P360 = 2.35 in						
Basin	Basin area (Ac)	Land Treatment	(acre)	Ew	V100	Q100
		A	B	C	D	(in) (cf)
Existing Conditions						
SITE	0.76	0	0	0.76	0	1.13 0.0716 2.4
A	0.53	0	0	0.53	0	1.13 0.0499 1.7
B	0.23	0	0	0.23	0	1.13 0.0217 0.7
Developed Conditions						
SITE	0.76	0	0.04	0.27	0.45	1.29 0.0818 3.0
A	0.53	0	0.04	0.45	0.45	1.36 0.0601 2.3
B	0.23	0	0	0.23	0	1.13 0.0217 0.7



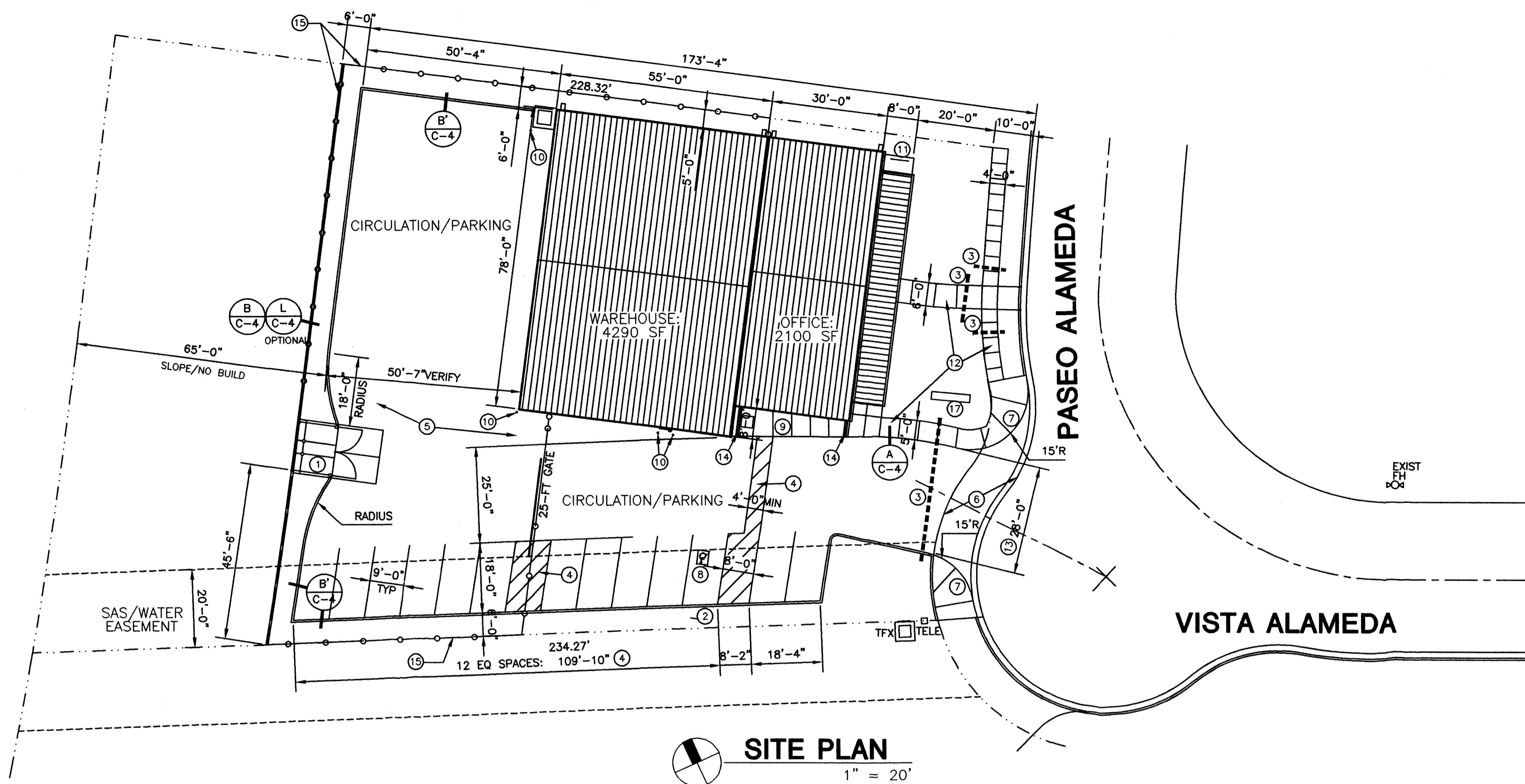
TEMPORARY EROSION CONTROL BERM DETAIL (A) NTS (C-1)

7.2.01

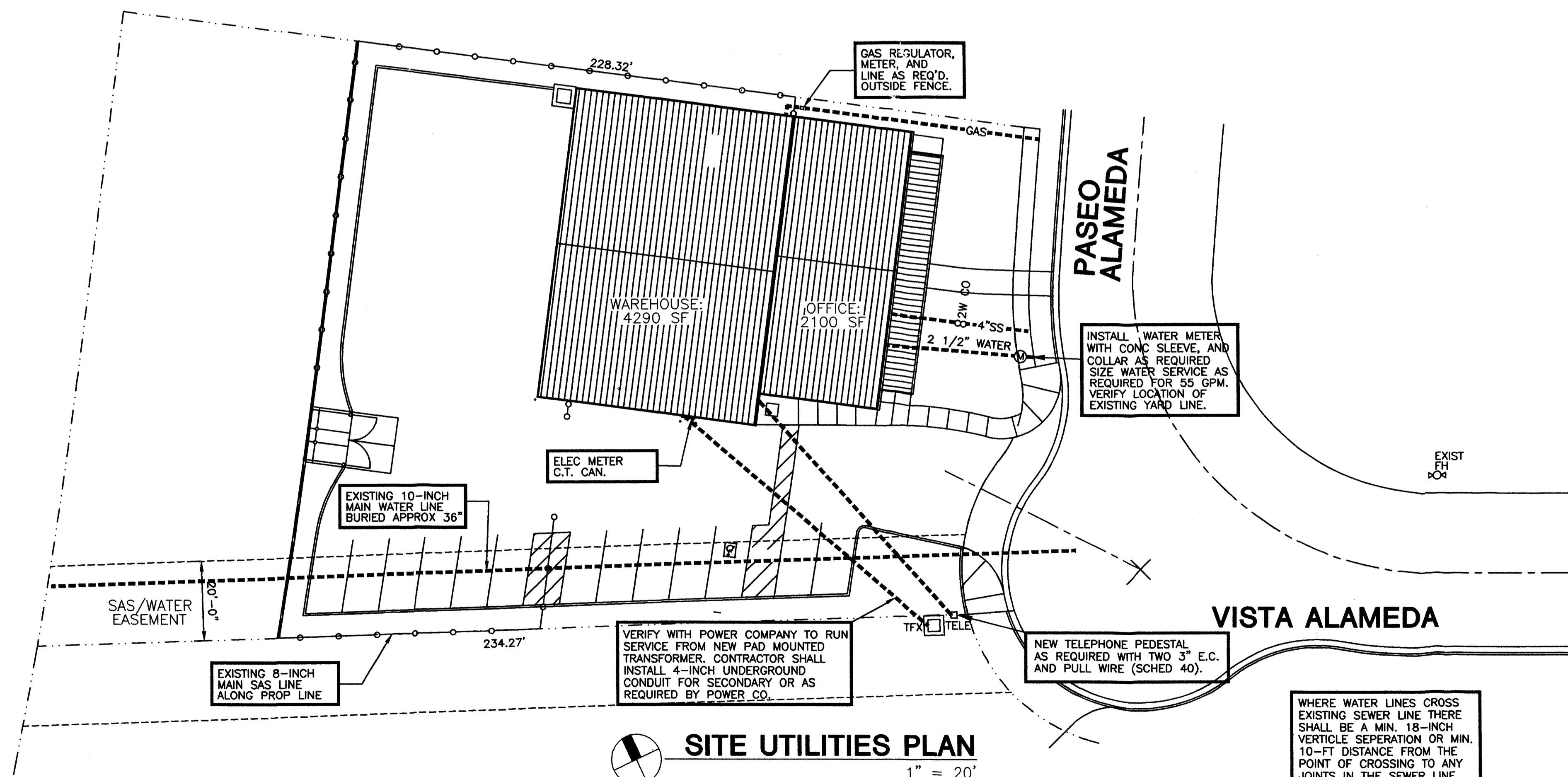
P.O. BOX 3366
ALBUQUERQUE, NM 87190
TELE: (505) 281-9560
FAX: (505) 285-1055
EMAIL: trauernich@eps.edu

PROJECT NAME	REVISIONS	
	NL	DATE
BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM		

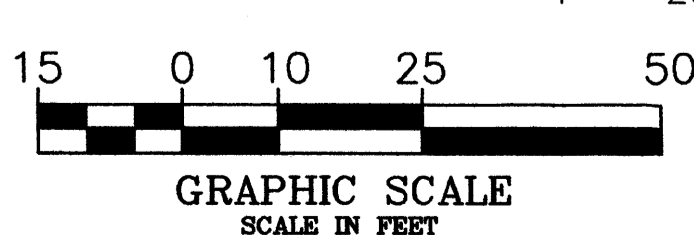
PROJECT NUMBER	DATE: JUNE, 2001
DRAWING TITLE	C-1



SITE PLAN
1" = 20'



SITE UTILITIES PLAN
1" = 20'



NOTE:
FINISH GRADE AT ALL PLANTERS SHALL BE DECREASED AS FOLLOWS.
PLANTERS.....3-INCHES

GENERAL NOTES

1. Provide cuts in curbing and landscape drainage swales as required by the grading and drainage plan.
2. All earthwork and site preparation shall comply with the GRADING AND DRAINAGE PLAN.
3. Contractor shall remove all existing site improvements, utilities, excavated and plant materials, and shall dispose of them as required by the plans and specs.
4. All exterior concrete shall be 3000 PSI @ 28 days.

LANDSCAPE NOTES:

1. ALL LANDSCAPE MATERIAL SHALL BE IRRIGATED. TREES AND SHRUBS SHALL BE IRRIGATED WITH DRIP EMITTERS.
2. ALL LANDSCAPE EDGING SHALL STEEL PREFINISHED GREEN, 1/8" X 4" WITH ACCESSORIES AS REQ'D.
3. ALL PLANTERS OR PLANTED AREAS SHALL BE FILLED SO THAT THE ROCK MULCH IS FLUSH WITH THE TOP OF ADJACENT CURB OR CONCRETE WALK.
4. SEE DETAIL H/C-4 FOR TREE PLANTING.
5. SEE DETAIL I/C-4 FOR SHRUB PLANTING.
6. WEED BARRIER FABRIC SHALL BE BY DAWITT (800) 888-9669. POLYPROPYLENE, 4 OZ, BLACK WITH GREEN STRIPE, 27 MILS THICK

NOTE: INSTALL IRRIGATION CONTROLLER AS DIRECTED BY THE OWNER.
NOTE: INSTALL IRRIGATION SYSTEM AS SPECIFIED. MUELLER/IRRI IRRIGATION CO., RAIN BIRD SPRINKLER MFG. CORP., THE TORO CO., IRRIGATION DIV., OR WEATHER-MATIC DIV/ TELSO INDUSTRIES.
IRRIGATION SHALL BE INSTALLED AS REQUIRED BY PLANT MATERIAL TYPE AND LOCATION. COVERAGE SHALL BE 95% AT TURF AND 85% AT BEDDED PLANTS.

Shawn De Baca 8-20-01
JM Quint AFD (FND) 8-20-01

- SITE PLAN KEYED NOTES**
1. Refuse enclosure, see details on sheet C-5.
 2. Handicapped parking sign, see detail E/C-4.
 3. 3" PVC pipe under pavement for installing irrigation lines.
 4. Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
 5. 3-inch asphalt paving on compacted, (95%) subgrade.
 6. Install concrete apron per City Specifications. Cut and remove existing curb and gutter as required.
 7. Unidirectional handicapped ramp at both sides all curb cuts as shown on site plan, and per city specifications.
 8. Handicapped parking symbol, see detail D/C-4.
 9. Handicap ramp, see detail F/C-4. All ramps shall comply with ADA requirements, 60-inch min. width, 1:12 max slope, 1:10 max slope at side flares. The full width and depth of all ramps shall be scored per ADA for detectable warning surfacing.
 10. Pipe bumper guards see plan for other locations. See detail J/C-4.
 11. Bicycle rack.
 12. Reinforced concrete walk as shown, 4-inch thick with 6 x 6 - 10 x 10 WWF. Concrete shall be stained brick red.
 13. Cut and remove existing curb and gutter as required by the new curb cuts. All work shall be per City specifications and requirements.
 14. Trench drain with cover at down spouts. See elevations and detail G/C-4.
 15. Chain link fence around yard as shown on site plan, see elevations and coordinate with building supplier.
 16. Precast concrete splash blocks at each down spout, building elevations and coordinate with building supplier.
 17. Future monument sign, see elevation M/C-4. Stub up 3/4" conduit from panel for future sign.

SITE DATA

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9262 SF AT SLOPE TO EDITH ST.

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PARKING PROVIDED: 12

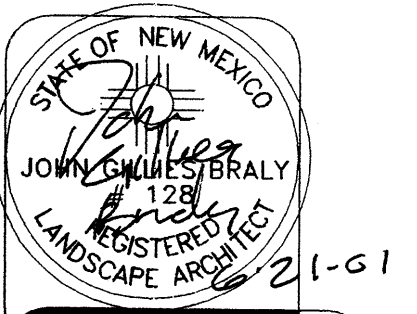
- UTILITY PLAN GENERAL NOTES:**
- A. UTILITY LINES AND SERVICE LOCATIONS ARE SHOWN RELATIVE TO SURVEY INFORMATION. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR ALL UTILITY INSTALLATIONS. ALL UTILITIES SHALL BE COORDINATED AND INSTALLED PER CITY AND UTILITY COMPANY REQUIREMENTS.
 - B. ANY UTILITIES INSTALLED IN STATE OR CITY RIGHT OF WAYS SHALL BE COORDINATED WITH AND INSTALLED PER THEIR SPECIFICATIONS AND REQUIREMENTS.
 - C. UTILITY PLACEMENT SHALL BE IN ACCORDANCE WITH AREA FREEZE DEPTH AND SERVICE ACCESSIBILITY.
 - D. INSTALLATION SHALL BE COMPLETE AND SHALL INCLUDE ALL EQUIPMENT AND LABOR, PIPE OR CONDUIT, METERS, BOXES, VALVES, DISCONNECTS, CONCRETE PADS, BOLLARDS, CUTTING OF EXISTING PAVING, WALKS, AND CURBS, TRENCHING, BACKFILL, COMPACTION, AND PATCHING OF EXISTING CONDITIONS. ALL TESTING IN ASSOCIATION WITH UTILITY INSTALLATION SHALL BE INCLUDED IN THE CONTRACT.
 - E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS AND FEES REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW OR EXTEND AND UPGRADE EXISTING SERVICES. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY WITH EACH RESPECTIVE UTILITY COMPANY, EXISTING UTILITY SERVICES AND EQUIPMENT AND PROPOSED LOCATIONS OF ALL NEW UTILITY SERVICES AND EQUIPMENT.
 - F. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE LOCAL CODE ENFORCEMENT OFFICERS AND THE LOCAL FIRE MARSHAL. ALL UTILITY INSTALLATIONS SHALL COMPLY WITH THE CODES AND INTERPRETATIONS SET FORTH BY THE GOVERNING LOCAL AUTHORITIES.
 - G. ALL UNUSED AND ABANDONED UTILITIES SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED, SEE SURVEY FOR LOCATIONS OF EXISTING SERVICES.

Shawn De Baca
JM Quint

STATE OF NEW MEXICO
KENT TRAUERNICHT
1285
REGISTERED ARCHITECT

ALBUQUERQUE, NM 87100
TEL: (505) 281-0660
FAX: (505) 281-1066
EMAIL: trauernicht@ops.edu

PROJECT NAME	REVISIONS
BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM	NO. DATE
PROJECT NUMBER	DATE
DRAWING TITLE	
SITE AND SITE UTILITIES PLAN	C-2



scale
1" = 20'-0"

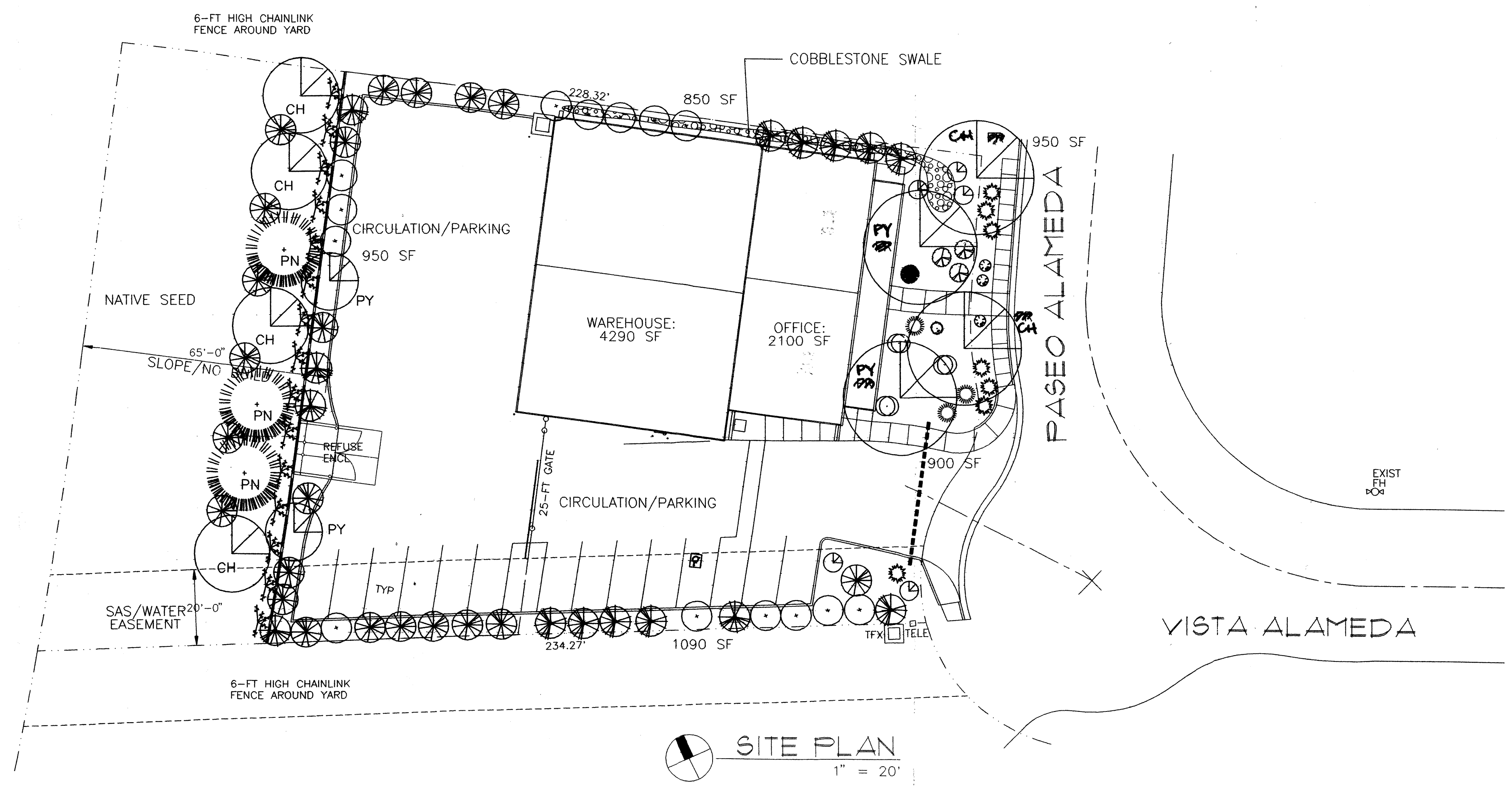
date
6/20/01
revisions

Heads Up
LANDSCAPE CONTRACTORS
ALBANY, NEW MEXICO
(505) 898-9615
LICENSE 18890

LANDSCAPE PLAN

BAKER CON. OFFICE/WAREHOUSE
ALAMEDA BUSINESS PARK
8501 PASEO ALAMEDA NE
ALB., NEW MEXICO

sheet
C3



SITE DATA

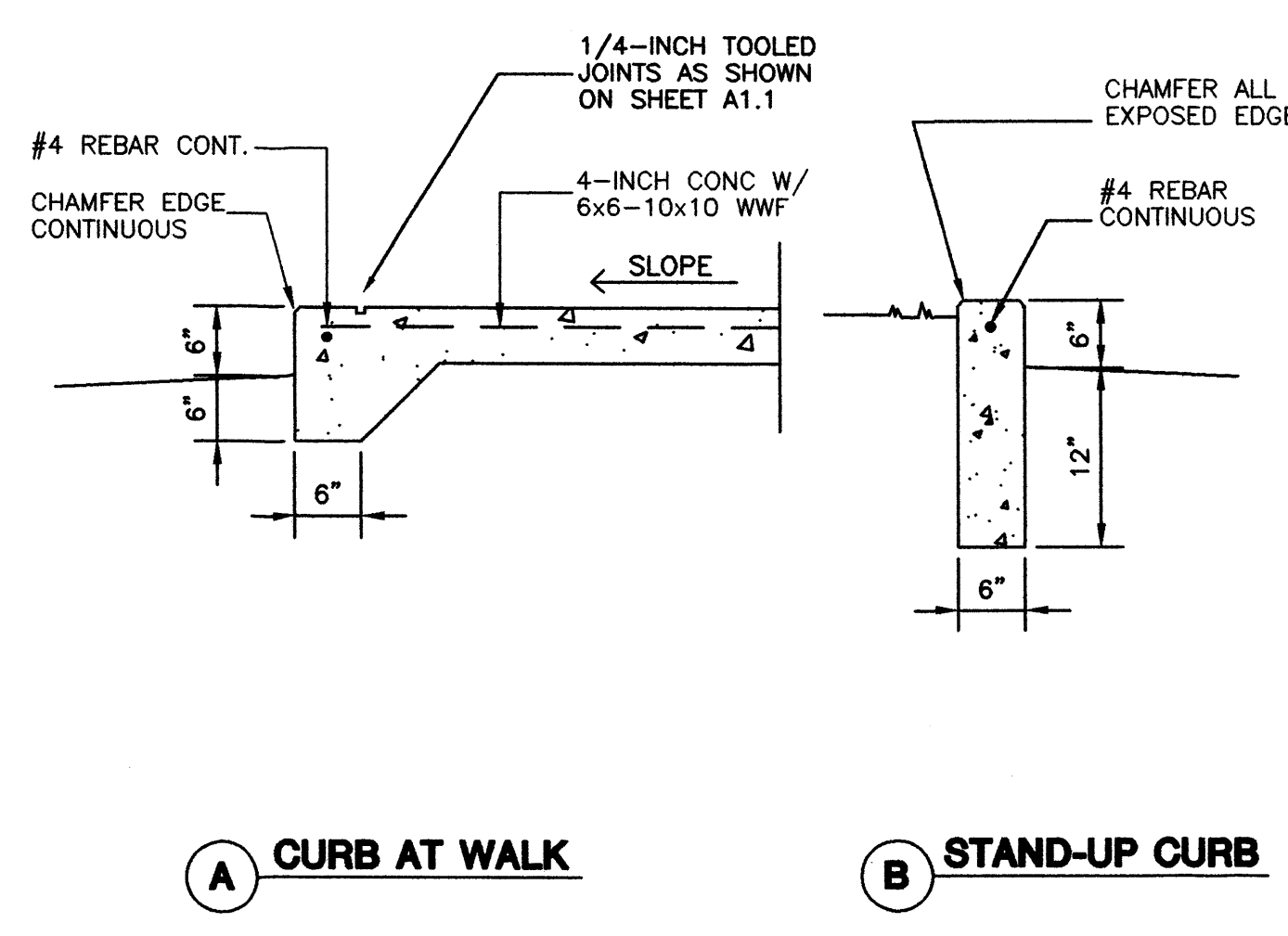
GROSS LOT AREA	32,787 SF
LESS BUILDING	6,390 SF
NET LOT AREA	26,399 SF
REQUIRED LANDSCAPE	3,960 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	4,740 SF
PERCENT OF NET LOT AREA	17%
REQUIRED STREET TREES	
PROVIDED AT MIN. 30' O.C. SPACING ALONG STREET FRONTAGE	
REQUIRED PARKING LOT TREES	
MIN. ONE PER 10 SPACES	

NOTE

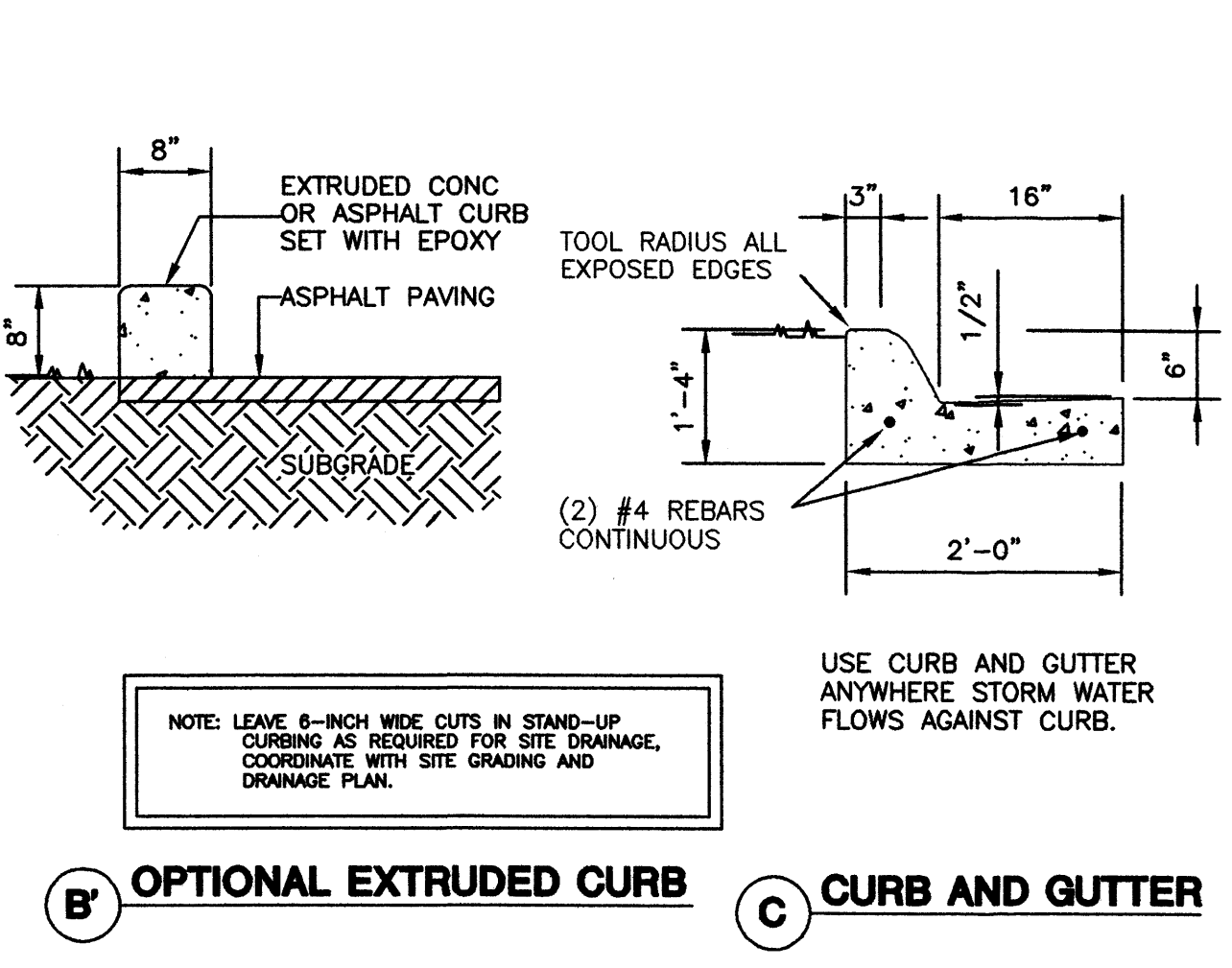
MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE.
 LOCAL BUFFER REQUIREMENTS INCLUDE: 6' REAR YARD BUFFER WITH A MINIMUM OF 6 NATIVE SHRUBS, TREES 20' O.C. 50% EVERGREEN, AND COMPLETE COVERAGE OF FENCE WITH CLIMBING VINES

PLANT LEGEND

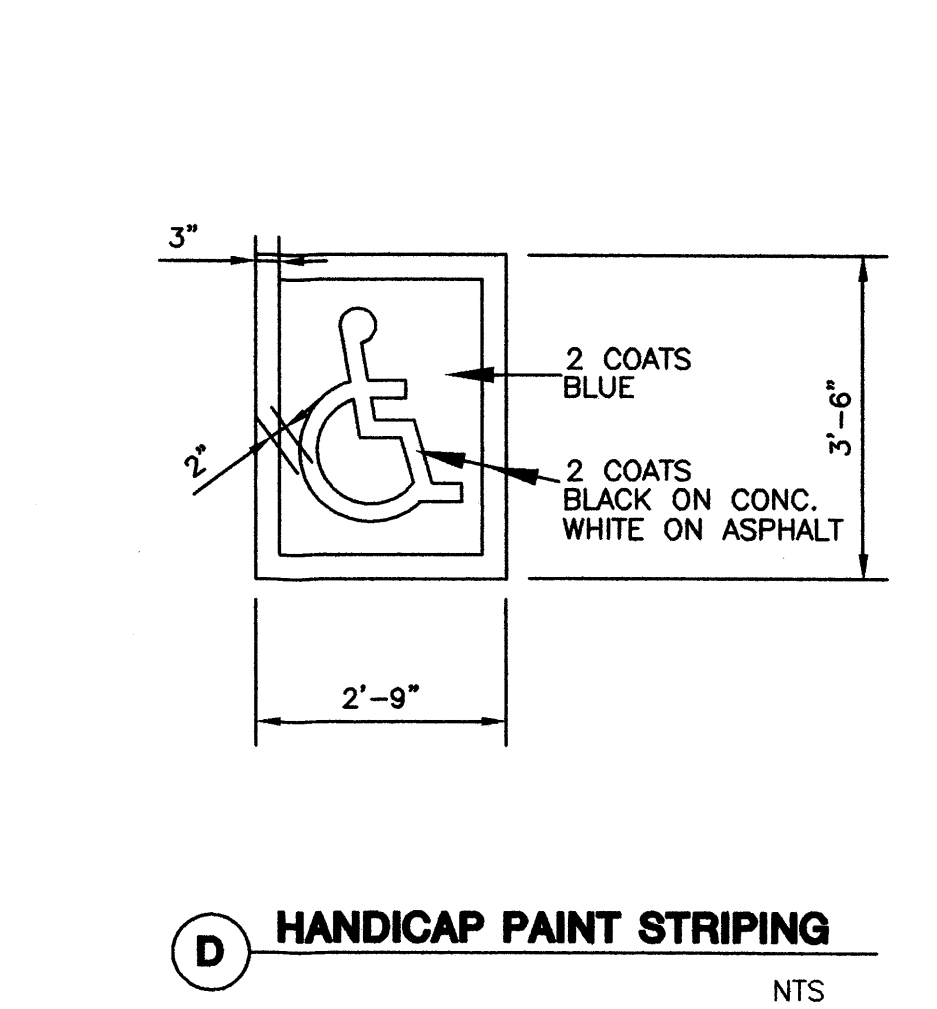
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
FR	4	FRAXINUS VELUTEA	ASH	2" CAL	H
CH	4	PISTACHIA CHINENSIS	CHINESE PISTACHE	2" CAL	M
PY	2	PYRUS	FLOWERING PEAR	1-1/2" CAL	H
PN	3	PINUS NIGRA	AUSTRIAN PINE	6-8' B&B	M
	14	COTONEASTER LACTEUS	CLUSTERBERRY	1 GAL	M
	22	CHRYSOTHAMNUS	CHAMISA	1 GAL	L
	15	BUDDLEIA	BUTTERFLY BUSH	1 GAL	M
	5	RAPIHOLEPIS	INDIA HAWTHORN	1 GAL	M
	3	PINUS MUGO	MUGO PINE	1 GAL	H
	3	ROSEMARINUS	ROSEMARY	1 GAL	M
	1	MISCANTHUS	MAIDEN GRASS	1 GAL	M
	7	JUNIPERUS SABINA	BUFFALO JUNIPER	1 GAL	M
	1	SALVIA GREGGII	CHERRY SAGE	1 GAL	M
	3	CARYOPTERIS	BLUE MIST	1 GAL	M
	3	LAVANDULA	LAVENDER	1 GAL	M
	15	LONICERA	HONEYSUCKLE	1 GAL	M



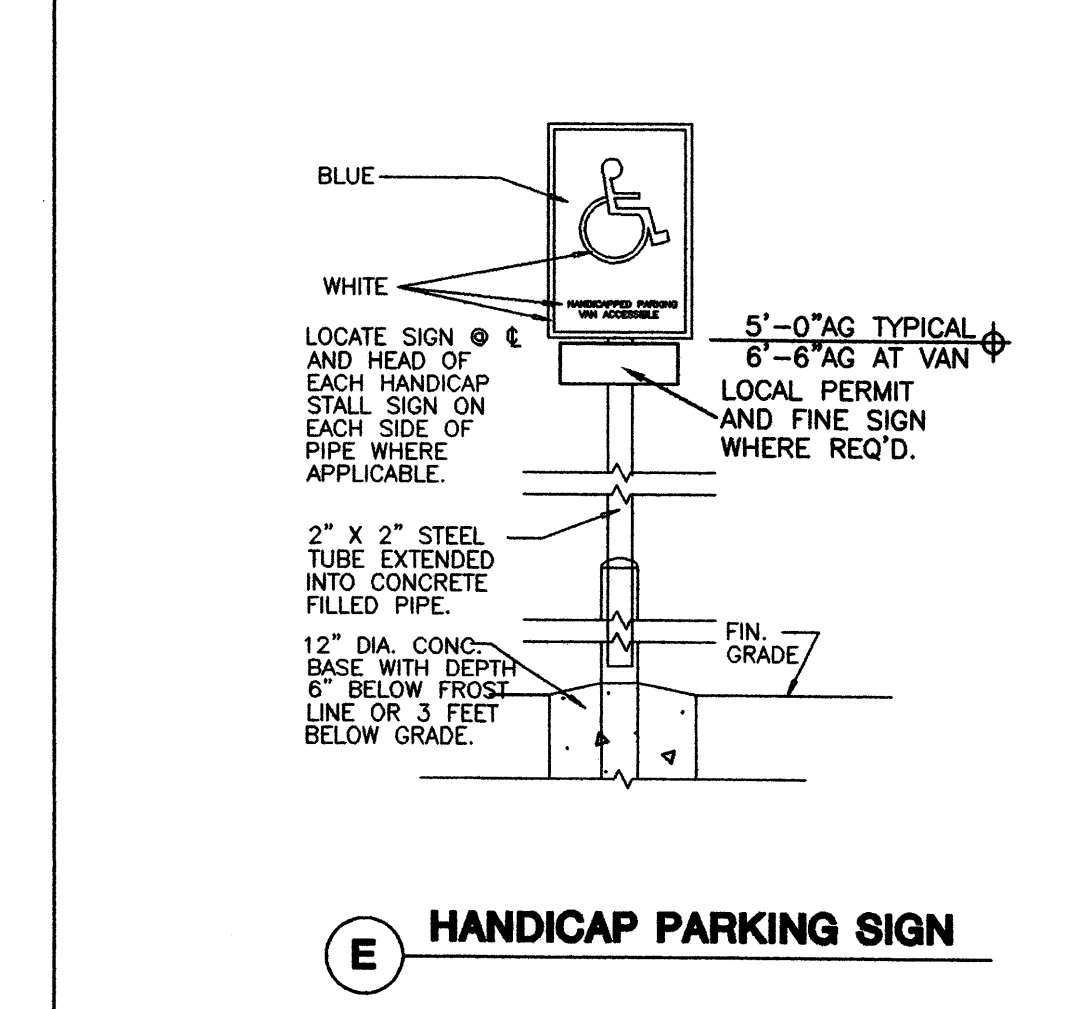
A CURB AT WALK



B STAND-UP CURB



C CURB AND GUTTER



D HANDICAP PAINT STRIPING
NTS

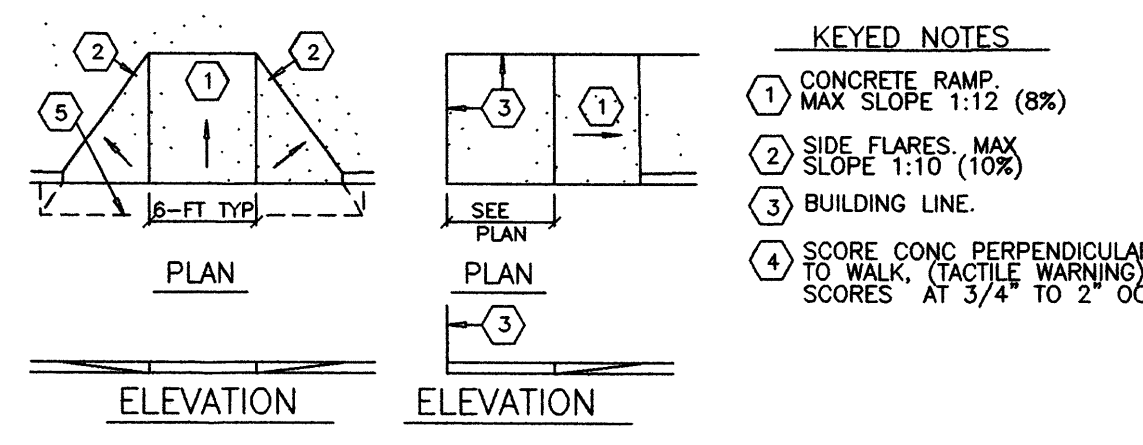


E HANDICAP PARKING SIGN

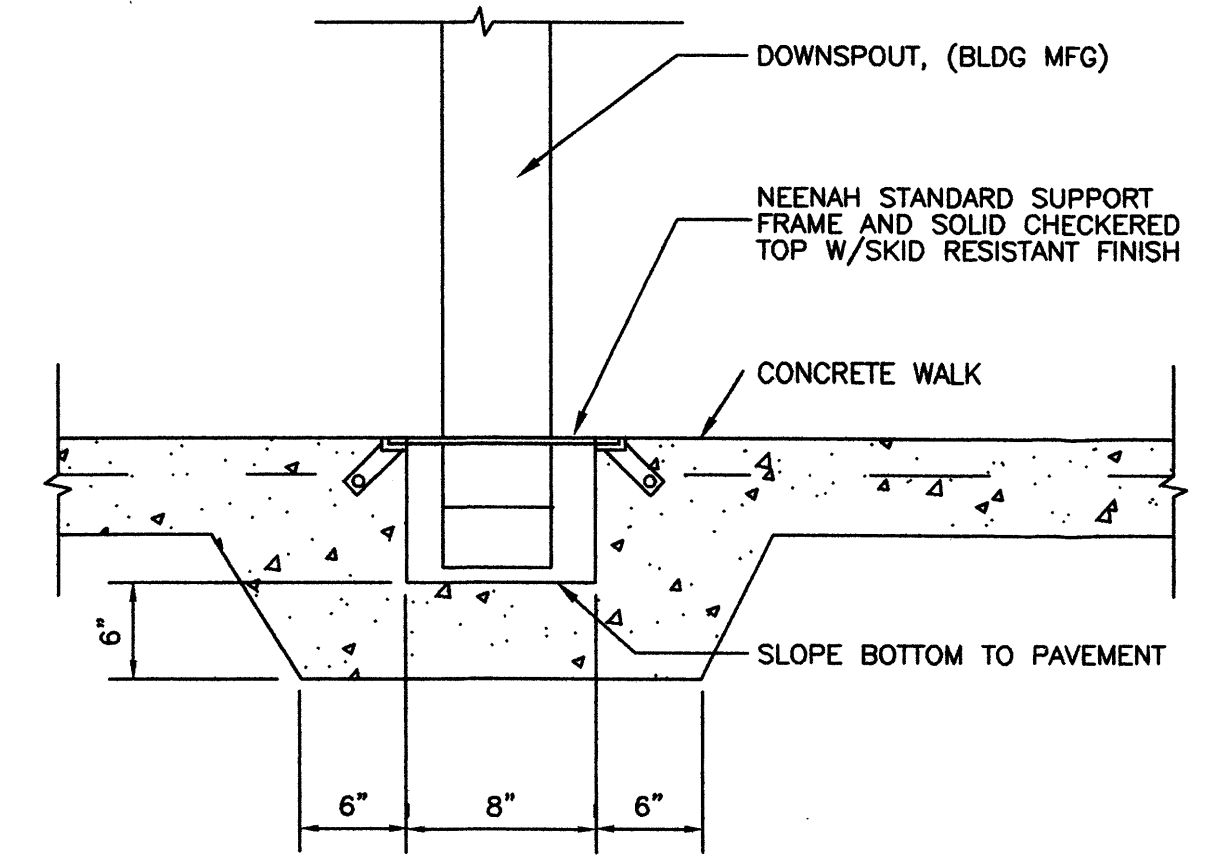
NOTE: LEAVE 6-INCH WIDE GUTS IN STAND-UP CURBING AS REQUIRED FOR SITE DRAINAGE, COORDINATE WITH SITE GRADING AND DRAINAGE PLAN.

USE CURB AND GUTTER ANYWHERE STORM WATER FLOWS AGAINST CURB.

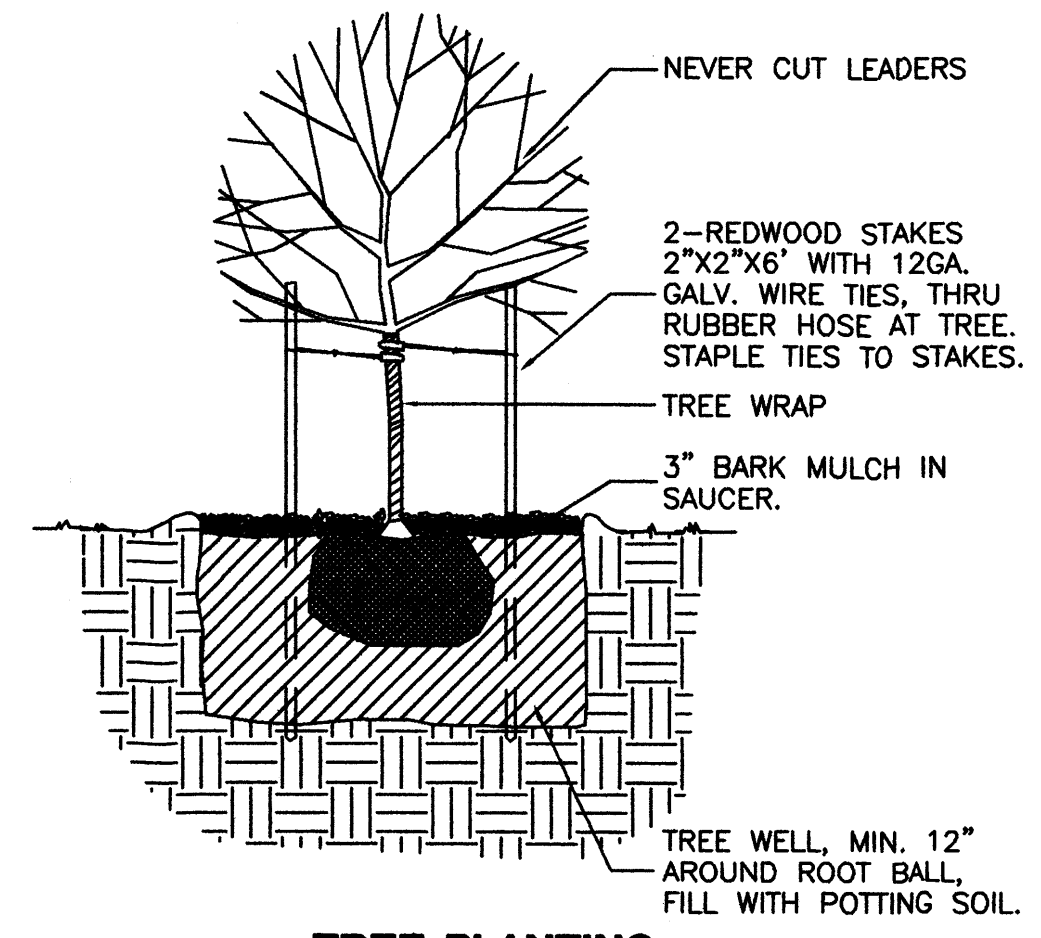
RAMP TO COMPLY WITH ALL ADA CODES.



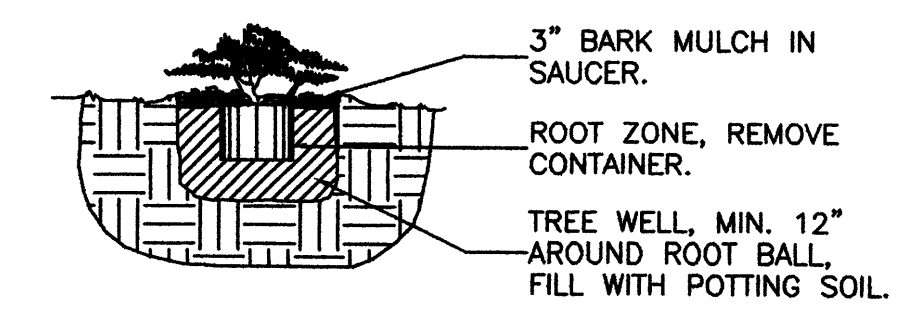
F HANDICAPPED RAMP
NTS



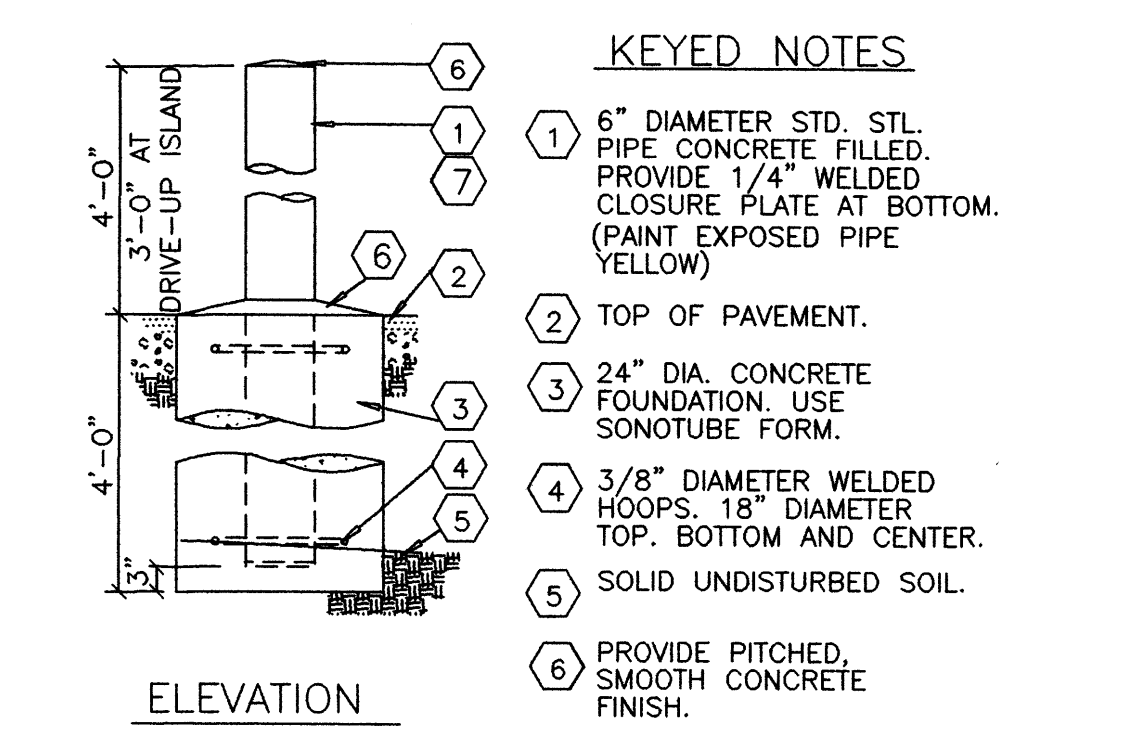
G TYPICAL DNSPOUT TRENCHDRAIN
NTS



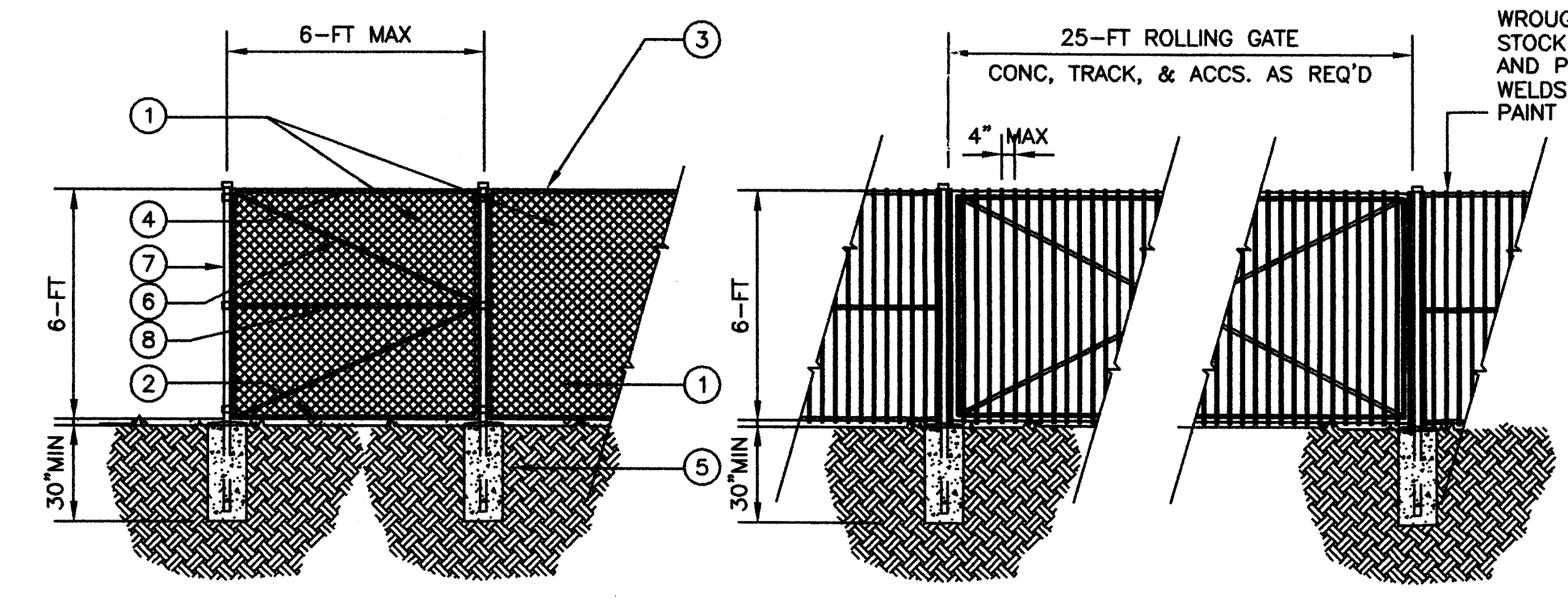
H TREE PLANTING NTS



I SHRUB PLANTING NTS



J TYPICAL PIPE BOLLARD

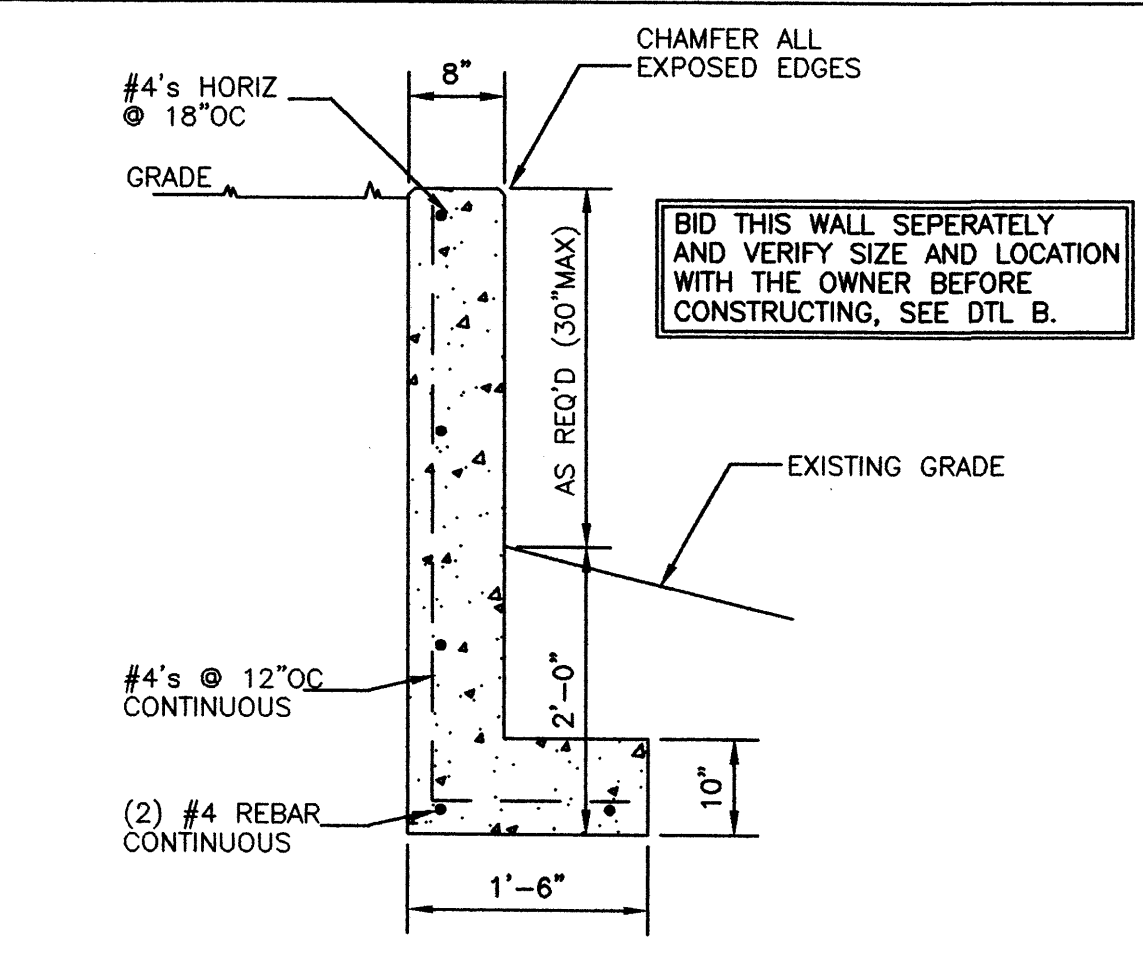


K YARD FENCE AND GATE DETAILS

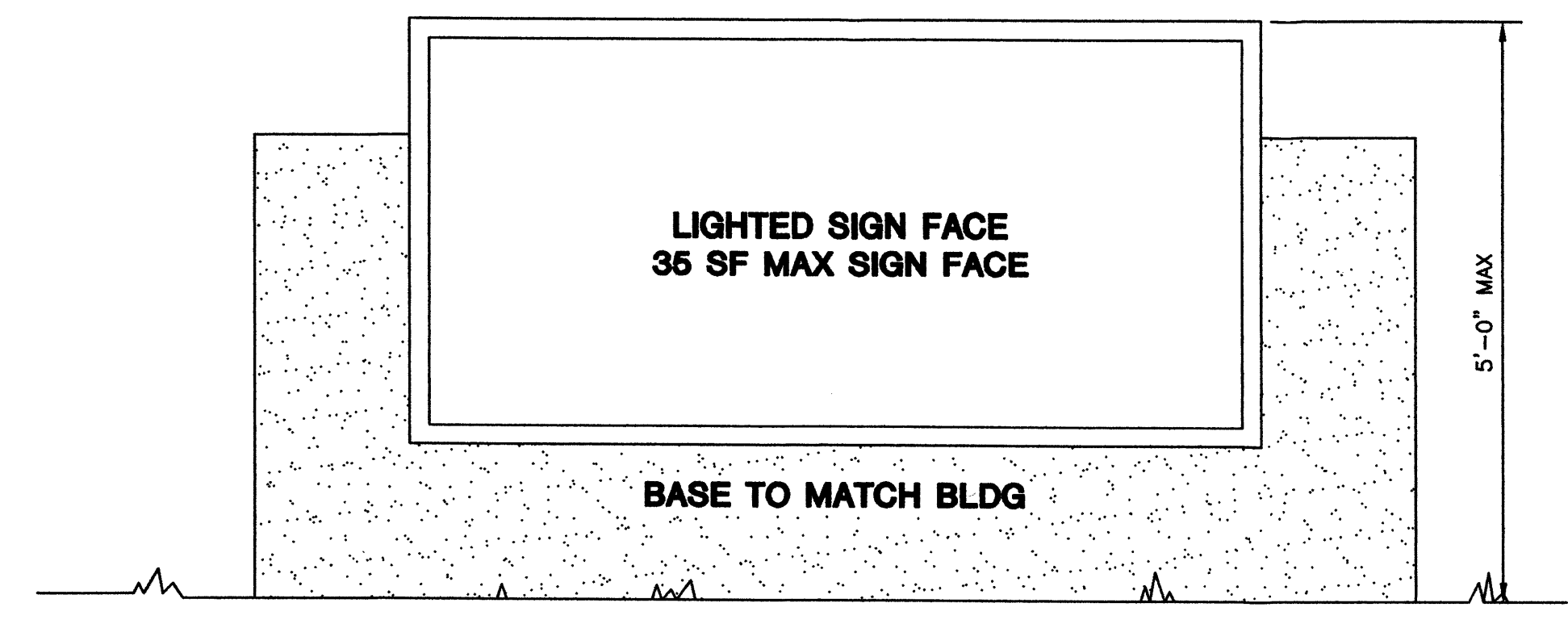
- GENERAL NOTES**
- FABRIC (#4) SHALL BE TACK WELDED (2) PLACES TO EACH TENSION BAR, (3) PLACES TO EACH TOP AND BOTTOM BRACE (#6), AND (3) PLACES TO EACH GATE FRAME (#7), AT GATE ONLY.
 - POST AND FENCE PIPE SIZES ARE FENCE INDUSTRY STANDARDS. ALL PIPE TO BE GALV.; HOT-DIP, ASTM A-153 GRADE "A" STL. CROSS BRACE ALL POSTS EXCEPT INTERMEDIATES.
 - FILL ALL CHAIN LINK WITH OPAQUE METAL SLATS PREFINISHED DARK GREEN OR AS DIRECTED BY THE OWNER.

- KEYED NOTES**
- 2-INCH x 9 GA. GALV. CHAIN LINK WIRE FABRIC, ASTM-392, 2.0 OZ PER SF.
 - TENSION WIRE, 7 GA GALV.
 - WIRE TIES, 9 GA GALV STL AT 18" OC MIN. ALL AROUND.
 - TOP RAIL 1-5/8" DIA.
 - 12" DIA DRILLED HOLES, FILLED WITH PORTLAND CEMENT, (MIN 2000 PSI).
 - 1/4" x 3/4" GALV STL TENSION BAR.
 - ALL POSTS: 2 1/2" STANDARD PIPE (0.216" THICK) GALV.
 - POST BRACE, 1-5/8" DIA, AT EACH CORNER, EACH WAY.

NOTE: WROUGHT IRON FENCE AND GATE, AT ALL LOCATIONS FACING STREET, (PASEO ALAMEDA).



L EAST YARD RETAINING CURB



M MONUMENT SIGN

akt architects

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PROJECT NAME

BAKER OFFICE-WAREHOUSE
ALAMEDA BUSINESS PARK
8501 PASEO ALAMEDA NE
ALBUQUERQUE, NM

PROJECT NUMBER

DRAWING TITLE

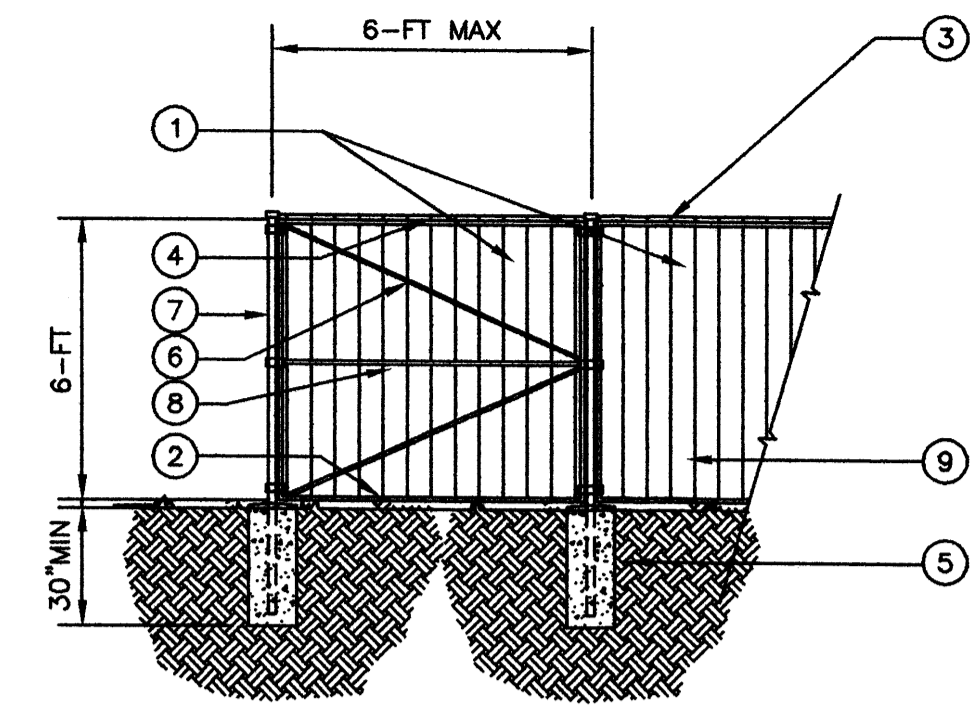
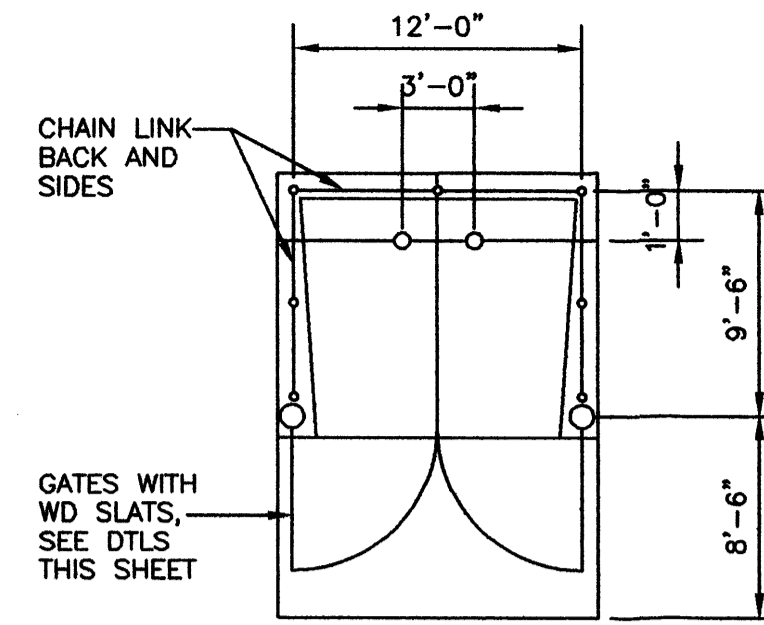
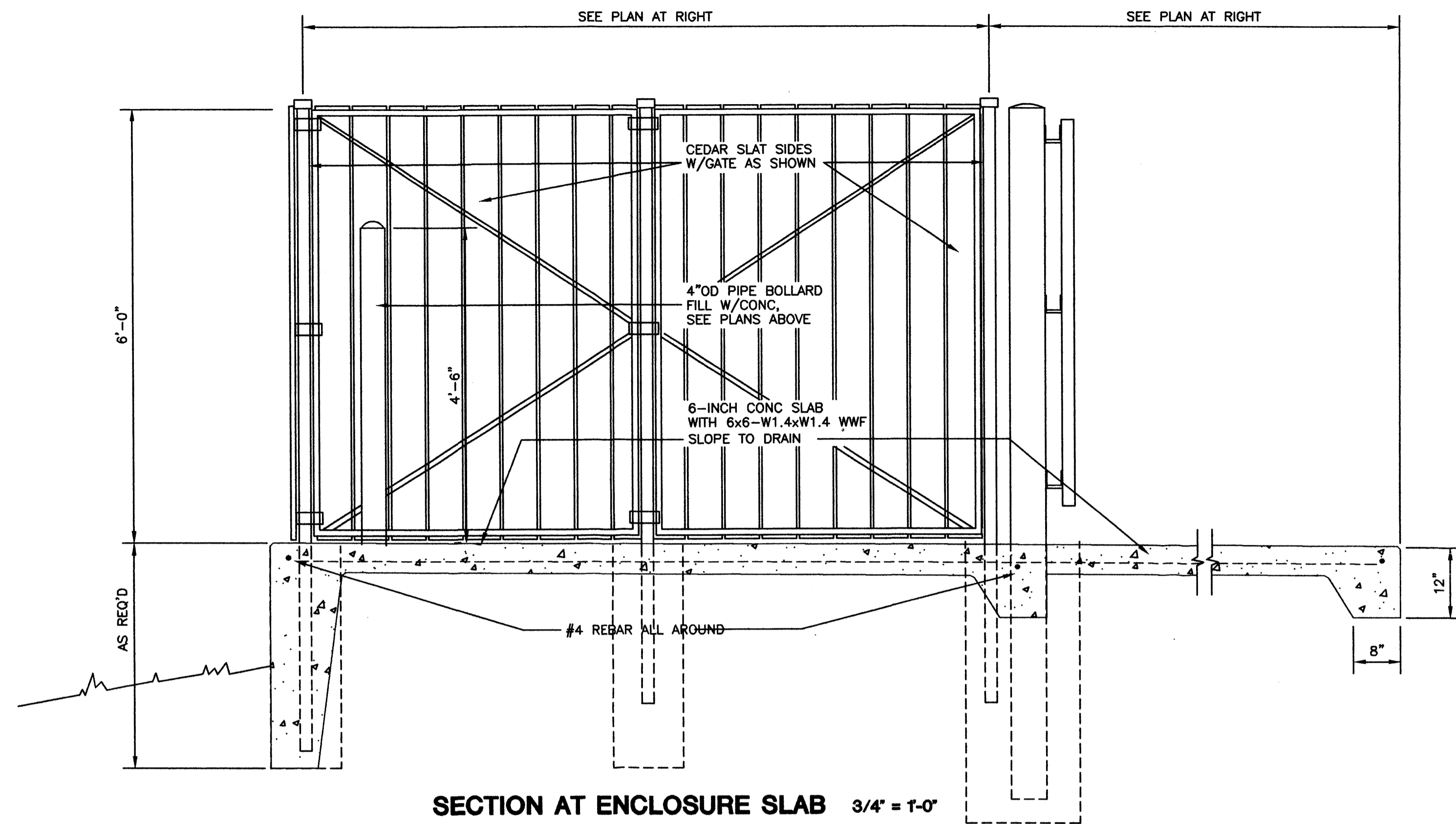
SITE DETAILS

REVISIONS

NO.	DATE

DATE

C-4



ENCLOSURE PLANS 1/8" = 1'-0"

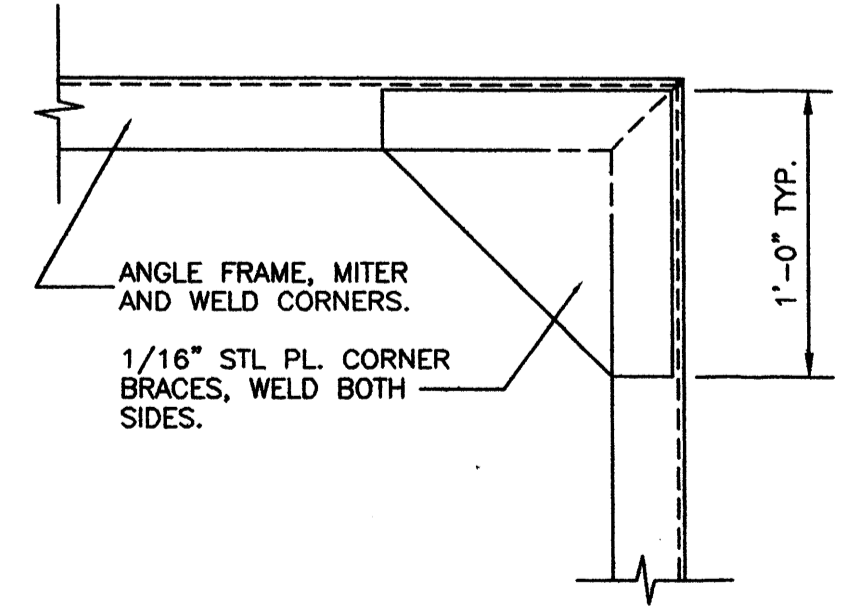
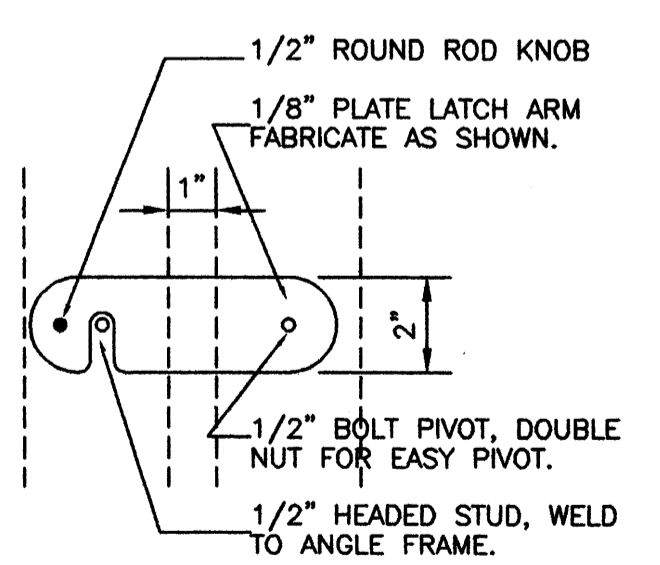
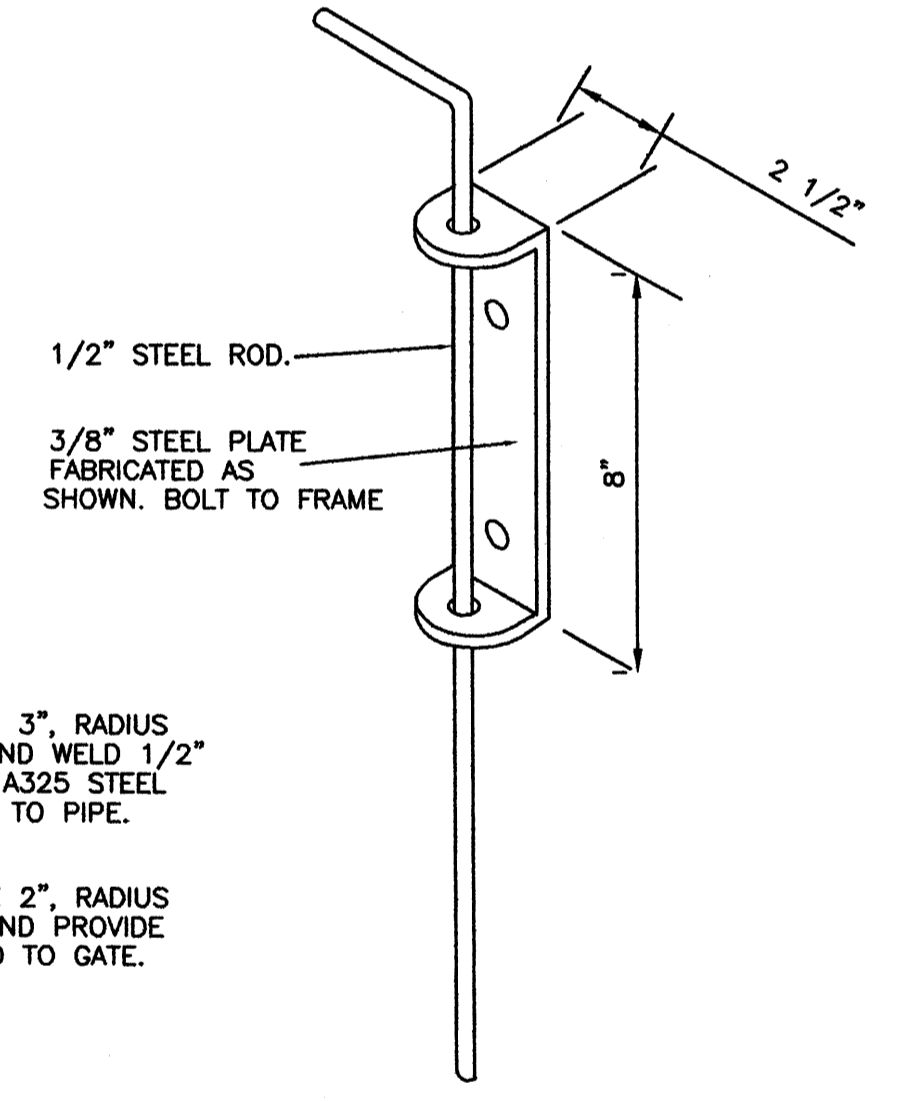
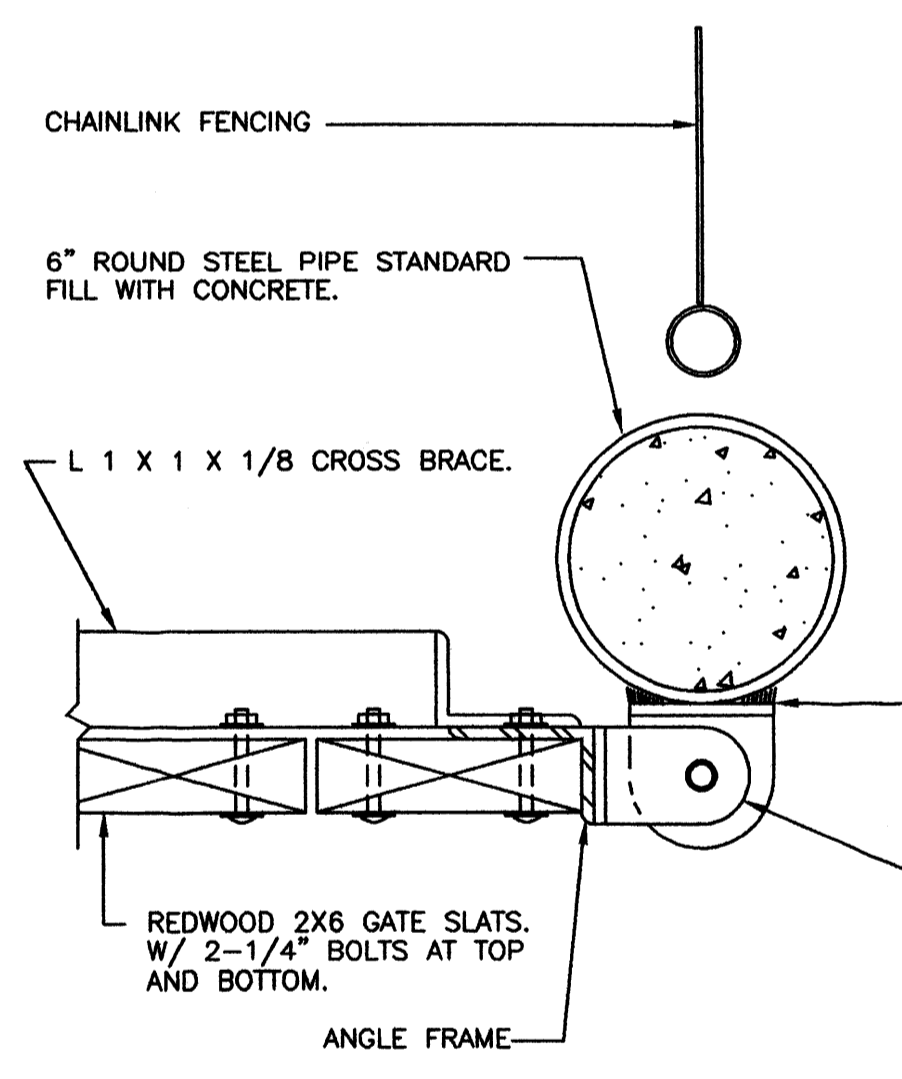
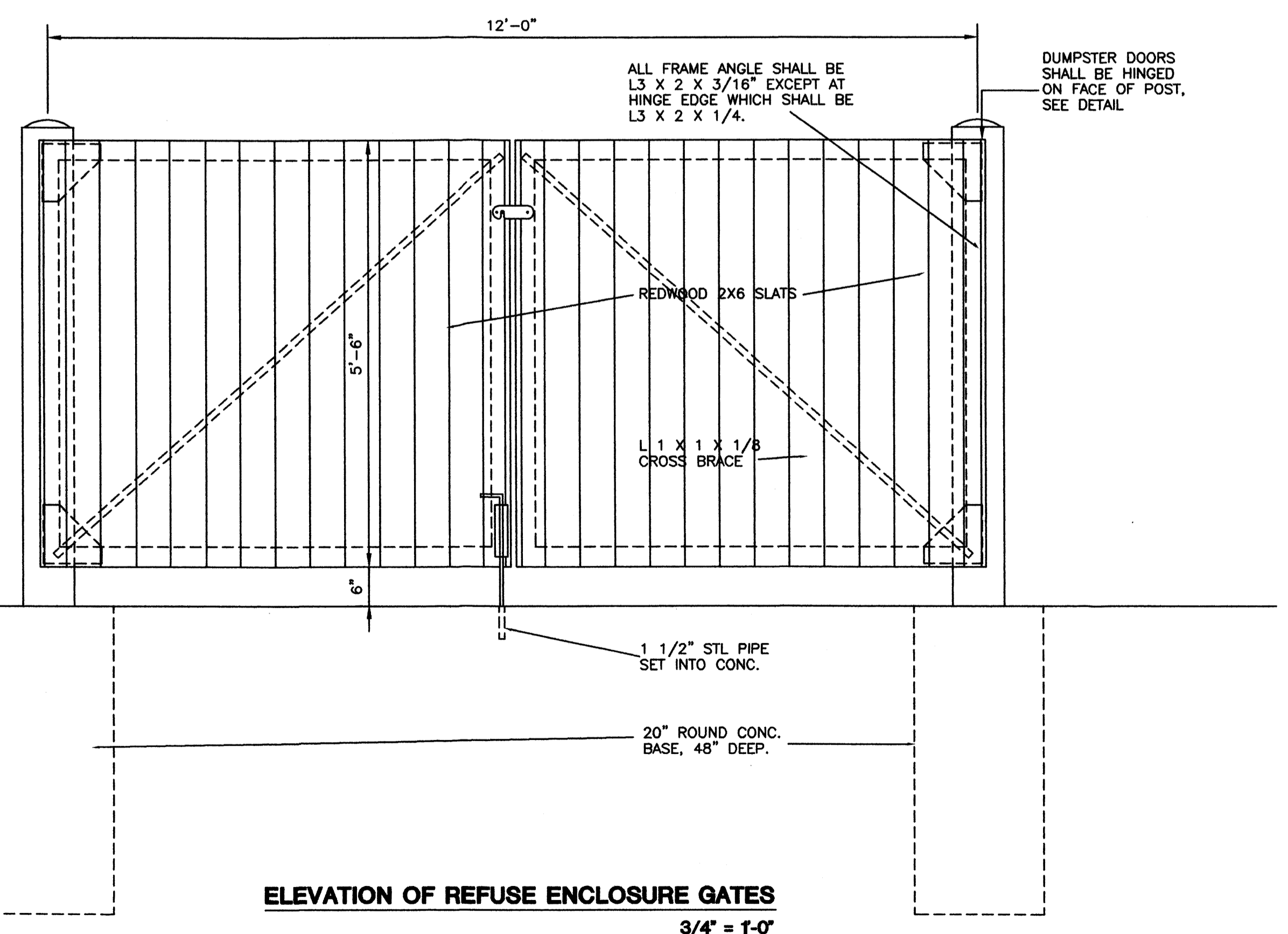
GENERAL NOTES

- 1 POST AND FENCE PIPE SIZES ARE FENCE INDUSTRY STANDARDS. ALL PIPE TO BE GALV.; HOT-DIP, ASTM A-153 GRADE "A" STL. CROSS BRACE ALL POSTS EXCEPT INTERMEDIATES.

KEYED NOTES

- 1 ATTACH 1x6 CEDAR SLATS TO FENCE FRM.
- 2 TENSION WIRE, 7 GA GALV.
- 3 WIRE TIES, 9 GA GALV STL AT 18" OC MIN, ALL AROUND.
- 4 TOP RAIL, 1-5/8" DIA.
- 5 12" DIA DRILLED HOLES, FILLED WITH PORTLAND CEMENT, (MIN 2000 PSI).
- 6 1/4" x 3/4" GALV STL TENSION BAR.
- 7 ALL POSTS: 2 1/2" STANDARD PIPE (0.216" THICK) GALV.
- 8 POST BRACE, 1-5/8" DIA, AT EACH CORNER, EACH WAY.
- 9 1x6 CEDAR SLATS

DUMPSTER ENCLOSURE 1/4" = 1'-0"



ELEVATION OF REFUSE ENCLOSURE GATES 3/4" = 1'-0"

TOP GATE LATCH DETAIL 3" = 1'-0"

GATE FRAME CORNER DTL 3" = 1'-0"

Kent Trauernicht
REGISTERED ARCHITECT

akt
architects

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PROJECT NAME	REVISIONS
BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM	NO. DATE
PROJECT NUMBER	DATE
DRAWING TITLE	C-5
DUMPSTER PLAN AND DETAILS	

KEYED NOTES

- ① STUCCO
- ② STUCCO STONE
- ③ METAL BUILDING WALL PANEL
- ④ METAL BUILDING ROOF PANEL
- ⑤ METAL BUILDING TRIM, GUTTER, AND DOWNSPOUTS
- ⑥ ALUMINUM STOREFRONT WINDOWS AND DOORS
- ⑦ ENTRY CANOPY STEEL FRAMING
- ⑧ 9-INCH HIGH WHITE CERAMIC ADDRESS NUMERALS
INSTALL WITH STUD MOUNTS SET INTO STUCCO FINISH.
- ⑨ HOLLOW METAL DOOR AND FRAME BY BLDG MANUFACTURER
COLOR: MATCH METAL BUILDING PANELS
- ⑩ STEEL OVERHEAD DOOR
COLOR: MATCH METAL BUILDING PANELS
- ⑪ LIGHT FIXTURE, WALL PACK
MOUNTING HEIGHT SHALL NOT EXCEED 10-FT ABOVE FINISH FLOOR.
LAMP TYPE SHALL BE HIGH PRESSURE SODIUM. FIXTURE LAMP SHALL
BE INSTALLED WITH SHIELD TO LIMIT LIGHTING ANGLE TO INSIDE PROPERTY
- ⑫ ELECTRICAL SERVICE ENTRANCE AND METER
- ⑬ PIPE BOLLARDS

STUCCO COLORS

STUCCO SHALL BE "EL REY" SEE SECTIONS FOR TYPE

- Ⓐ 103 SAND

STUCCO STONE

STUCCO SHALL BE "CULTURED STONE" SEE SECTIONS
ALBUQUERQUE BUILDER MATERIALS, 505-247-4294
UTILITY BLOCK CO. 505-344-2368

- Ⓑ PATTERN: SOUTHERN LEDGESTONE
COLOR: FAWN #GSV-2026

BUILDING METAL PANEL FINISHES

PREENGINEERED BUILDING MANUFACTURER: METALLIC BUILDING CO.
BUILDING SUPPLIER: BUILDING CO. (LARRY HILL, TELE: 505-344-9070)

- Ⓒ ROOF PANELS: GALVALUME
- Ⓓ WALL PANELS: SADDLE TAN

CANOPY FRAMING COLOR

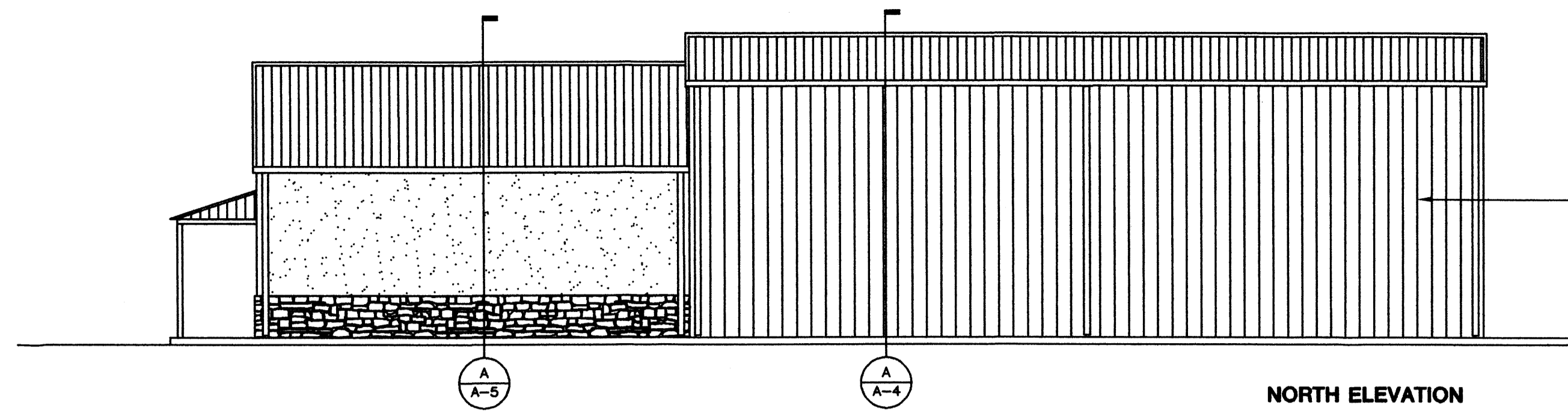
PAINT MANUFACTURER: BENJAMIN MOORE
Ⓔ ZEBULON #2496D

ALUMINUM STORE FRONT FINISH

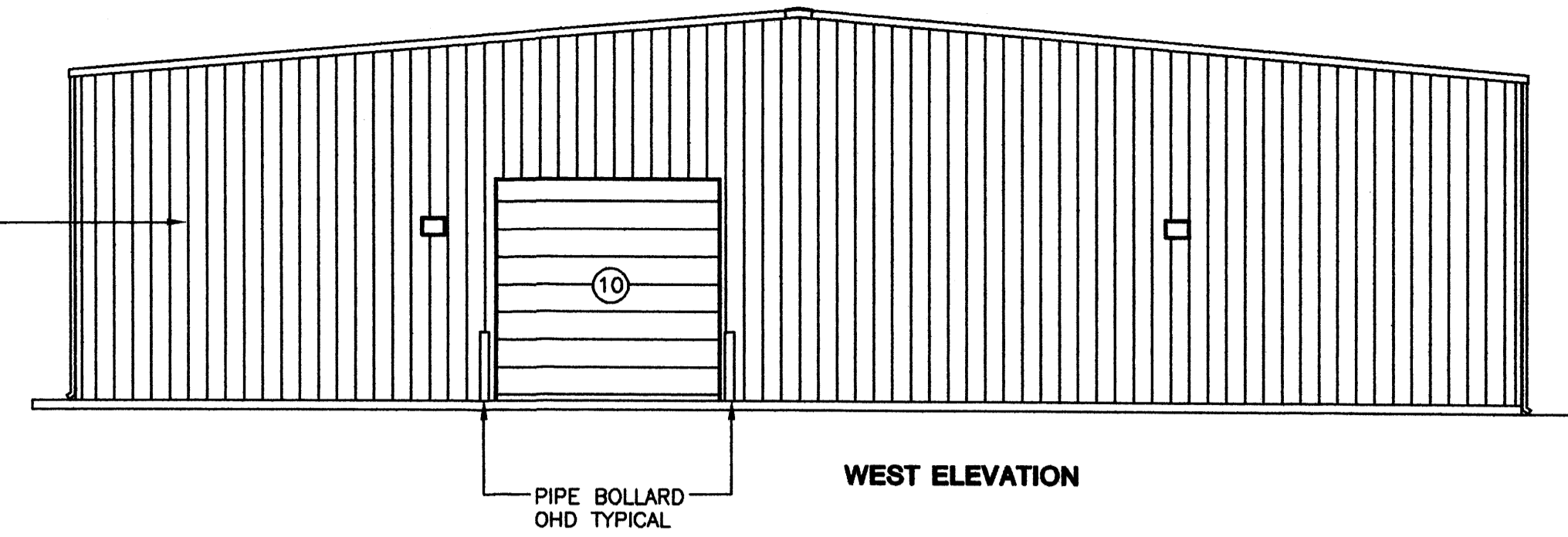
Ⓕ KYNAR STANDARD COLOR: TROPICAL JADE

PREENGINEERED BLDG DOOR FRAMES AND MISC. STEEL

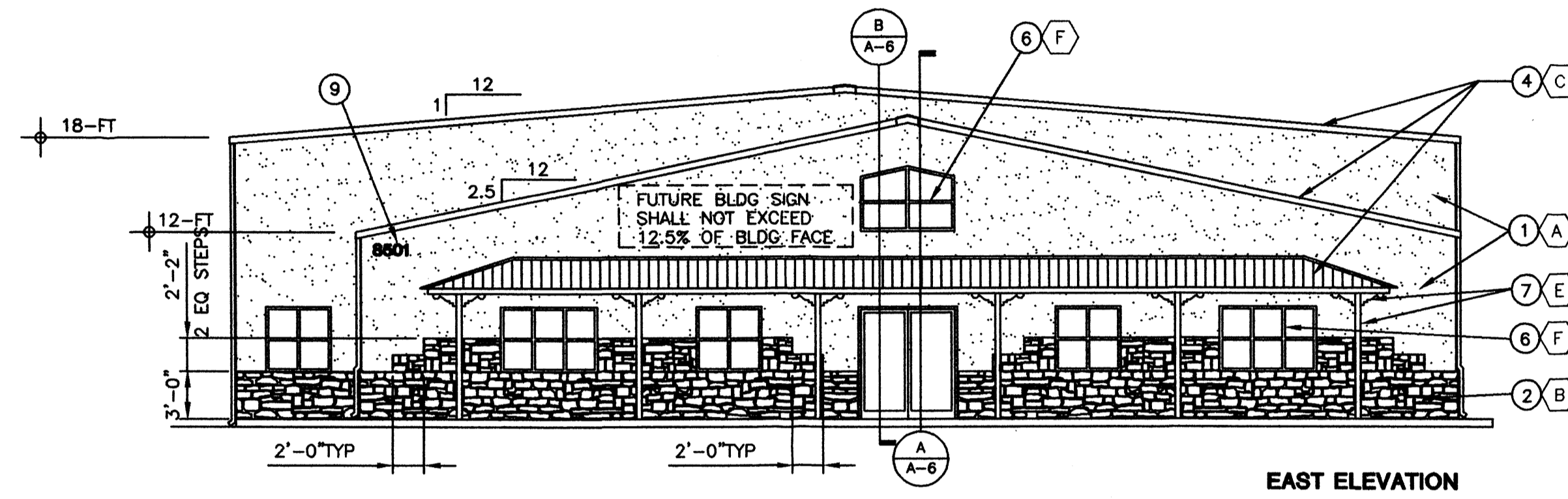
Ⓖ MATCH ADJACENT BUILDING COLOR



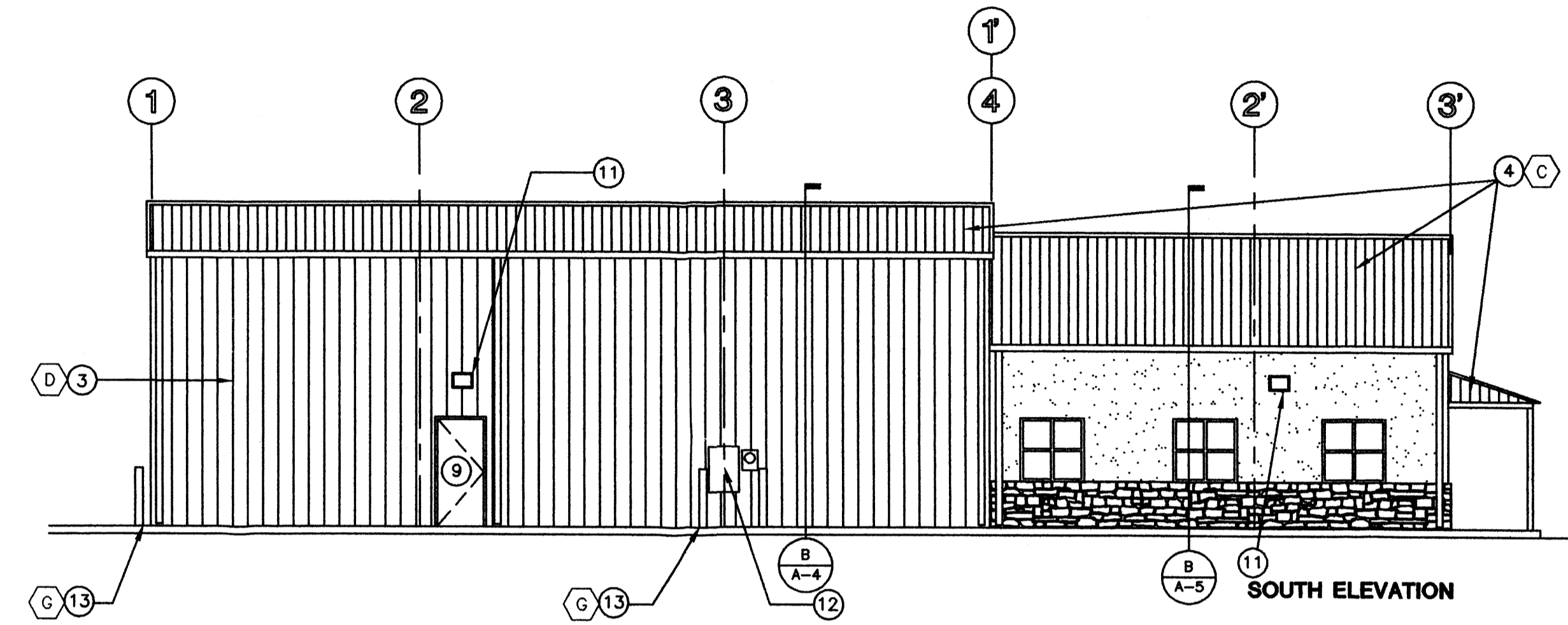
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

BUILDING ELEVATIONS 1/8" = 1'-0"

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PROJECT NAME	REVISIONS
BAKER OFFICE-WAREHOUSE ALAMEDA BUSINESS PARK 8501 PASEO ALAMEDA NE ALBUQUERQUE, NM	NO. DATE
PROJECT NUMBER	DATE
DRAWING TITLE	
PLANS	A-2