

KEYED NOTES:

- 1 10'-0" DRAINAGE EASEMENT (EXIST DRAINAGE CHANNEL)
- 2 LANDSCAPED AREA PER LANDSCAPE PLANS
- 3 NEW ASPHALT PAVING PER CIVIL DWGS
- 4 NEW CONG WALK PER CIVIL DWGS
- 5 4" THICK PAINT STRIPING (TYP)
- 6 NEW CONG CURB CUT PER CIVIL DWGS
- 7 NEW TRASH ENCLOSURE PER
- 8 NEW 6'-0" HIGH CMU WALL PER SHT 2
- 9 NOT USED
- 10 NEW CONG APRON PER CIVIL DWGS
- 11 CONG CURB PER CIVIL DWGS
- 12 NEW BUILDING LOCATION, FIN FLOOR PER CIVIL DWGS
- 13 FUTURE 4'-0" WIDE CONG WALK (NIC)
- 14 LINE OF 20'-0" FRONT YARD SET BACK
- 15 LINE OF 10'-0" SIDE AND REAR YARD SETBACK
- 16 LINE OF 10'-0" FRONT YARD LANDSCAPE BUFFER
- 17 LINE OF 6'-0" REAR AND SIDE YARD LANDSCAPE BUFFER
- 18 CURB RAMP WITH 1:12 MIN SLOPE
- 19 28'-0" X 6' HIGH WROUGHT IRON GATE
- 20 6" PIPE BOLLARD AT EACH END OF DOOR
- 21 HANDICAPPED SIGNAGE PER
- 22 CONG SPLASH BLOCK PER (TYP @ ALL DOWNSPOUTS)
- 23 6' HIGH WROUGHT IRON FENCE
- 24 BICYCLE RACK (2 BICYCLE CAPACITY)

SITE DATA:

BUILDING AREA = 5337 S.F.
 LANDSCAPE AREA REQ'D = 3034 S.F.
 LANDSCAPE AREA PROVIDED = 7406 S.F.
 TOTAL LOT AREA = 20225 S.F.
 PARKING REQUIRED 12 SPACES
 PARKING PROVIDED 12 SPACES

APPLICATION NO. 01450-00000-01226

Landfill Disclosure Statement:
 The subject property is located (near, on) a (former, existing) Landfill. Due to the subject property being (on, near), a former landfill certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the "Interim Guidelines for development within 1000 Feet of Landfills" revised August 29, 2000) shall be consulted prior development of this site.

PROJECT NUMBER: 1006624

SOLID WASTE DEPARTMENT	8-28-01
DATE	
LANDFILL DISCLOSURE STATEMENT	
TRAFFIC ENGINEER, Transportation Division	9-13-01
DATE	
Adrienne E. Conchales Parks & General Services Department	9/5/01
DATE	
Nancy S. Drennon Public Works, Water Utilities Division	9/05/01
DATE	
Brady D. Bingham City Engineer, Engineering Division/AMAFCA	9/5/01
DATE	
APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo	9/11/01
DATE	

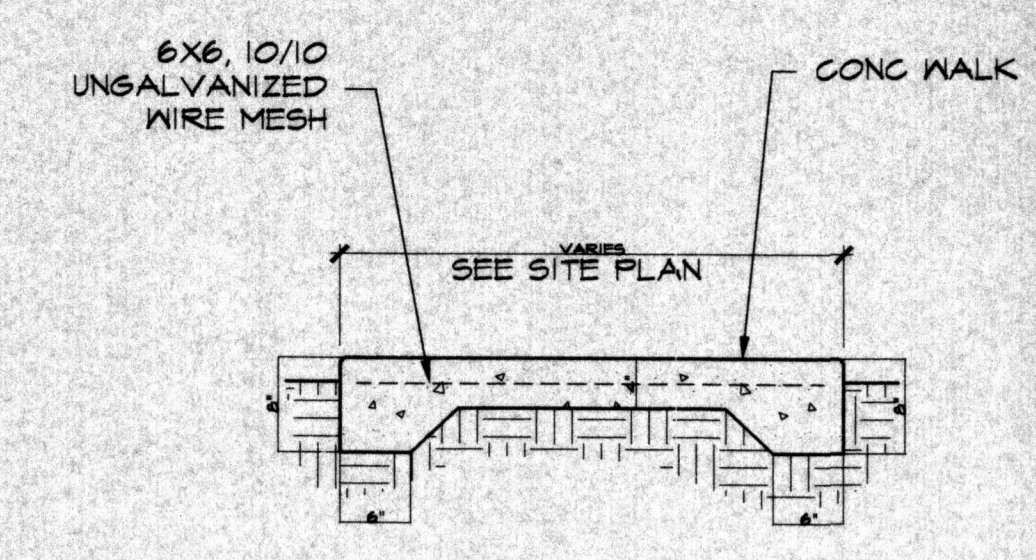
APPLICATION CASE # 01450-00000-01226

JEFFREY HOWELL & ASSOCIATES
 ARCHITECTURE
 6815 FOREST HILLS DRIVE, NE ALBUQUERQUE, NM 87109
 TELEPHONE (505) 797-5266 FAX (505) 797-5269

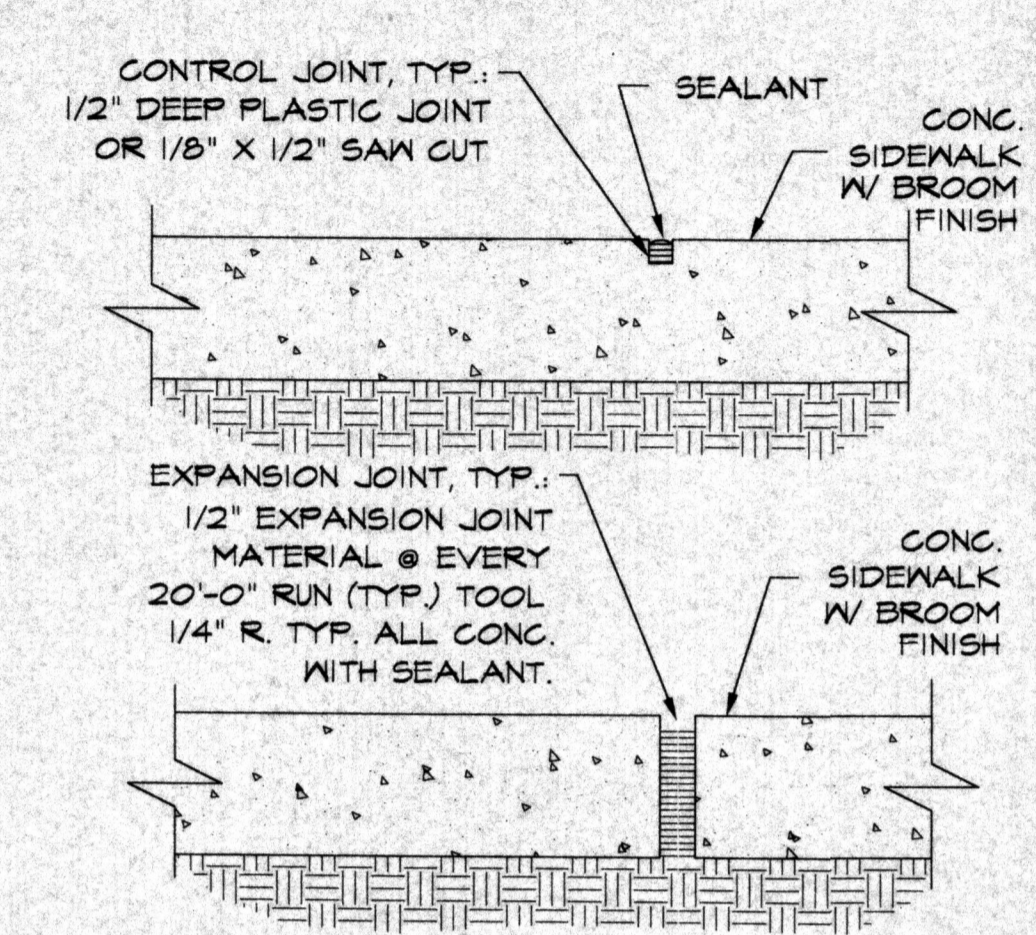
A TESTING FACILITY FOR GEOTEST INC.
 A Project for: Enterprise Builders, inc.
 ALBUQUERQUE, NEW MEXICO

SHEET TITLE
 LOT #44
 SITE DEVELOPMENT PLAN FOR ALEMEDA BUSINESS PARK

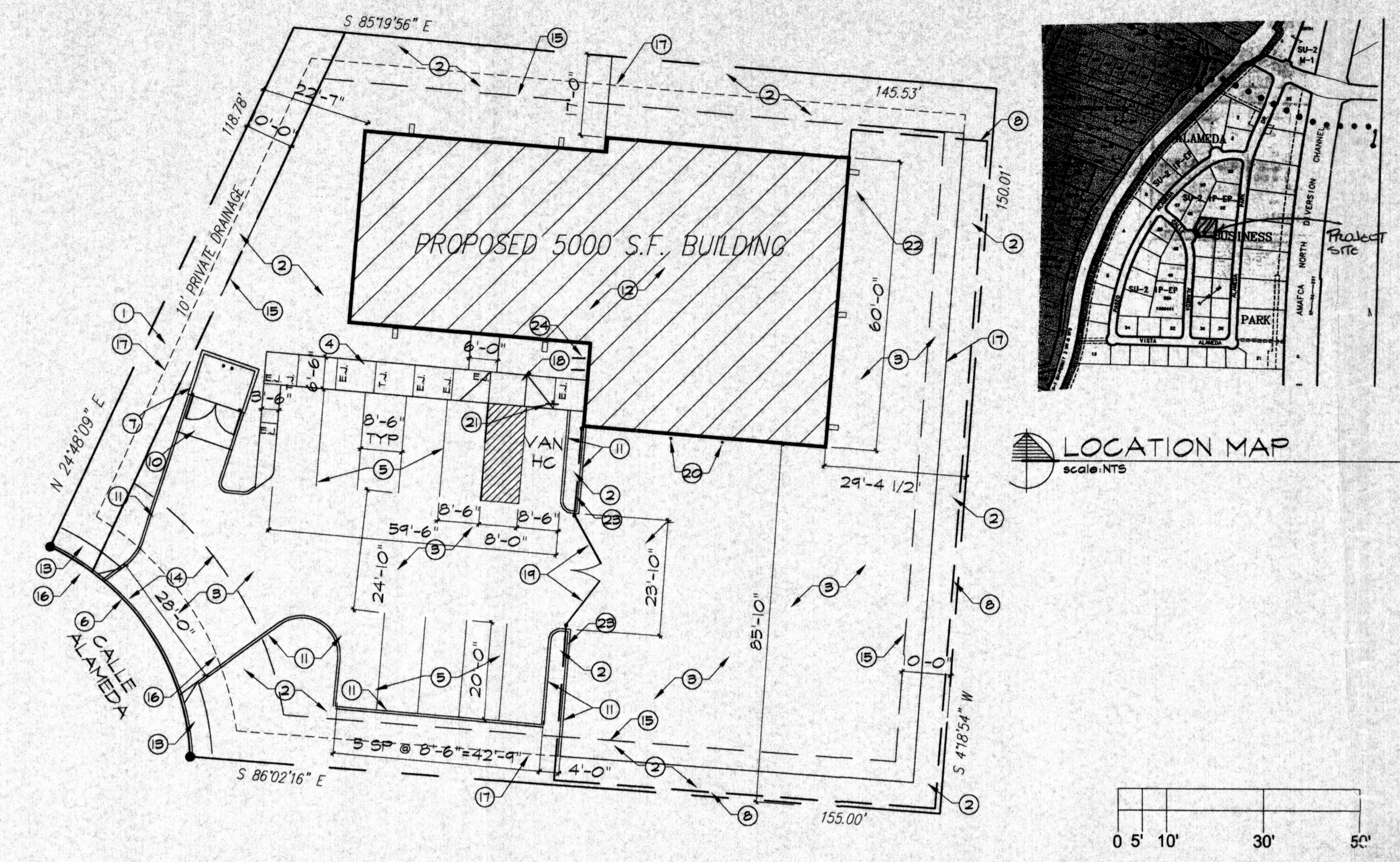
	DATE	SHEET NO.
	08/15/01	1



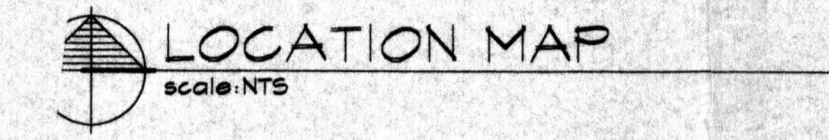
1 SIDEWALK
 AS-1 3/8"=1'-0"



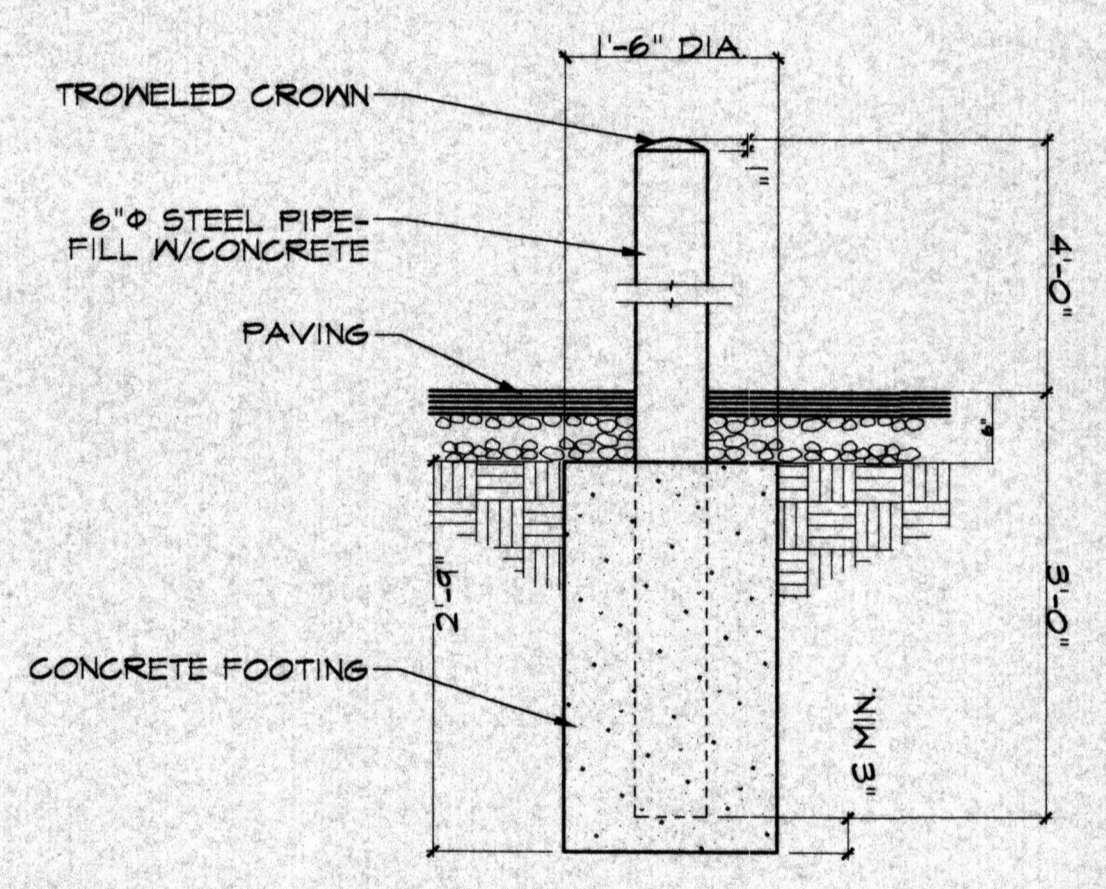
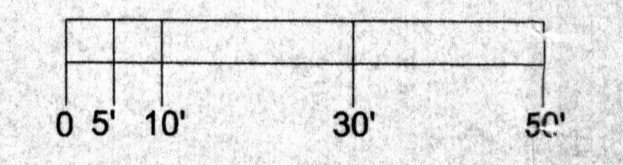
2 CONCRETE JOINTS
 AS-1 1 1/2"=1'-0"



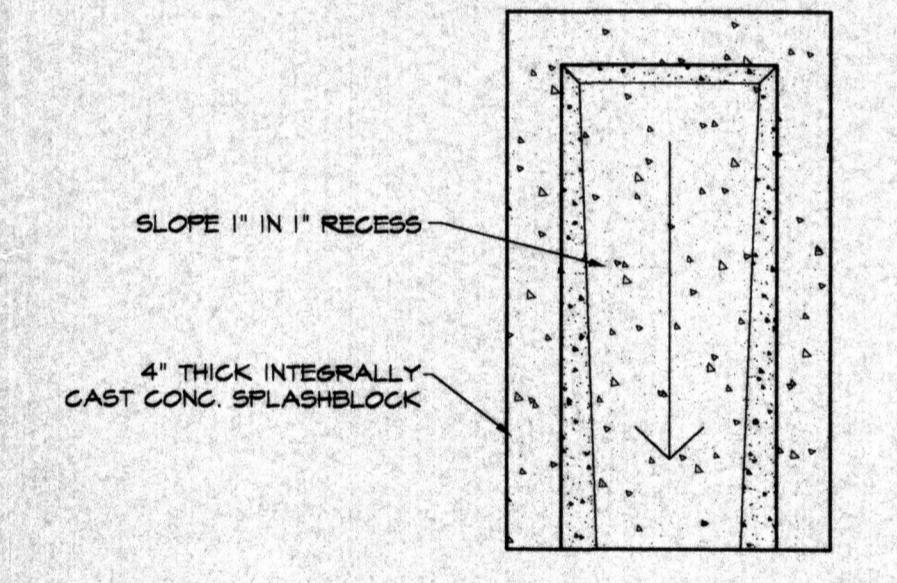
ARCHITECTURAL SITE PLAN
 Scale: 1"=20'-0"



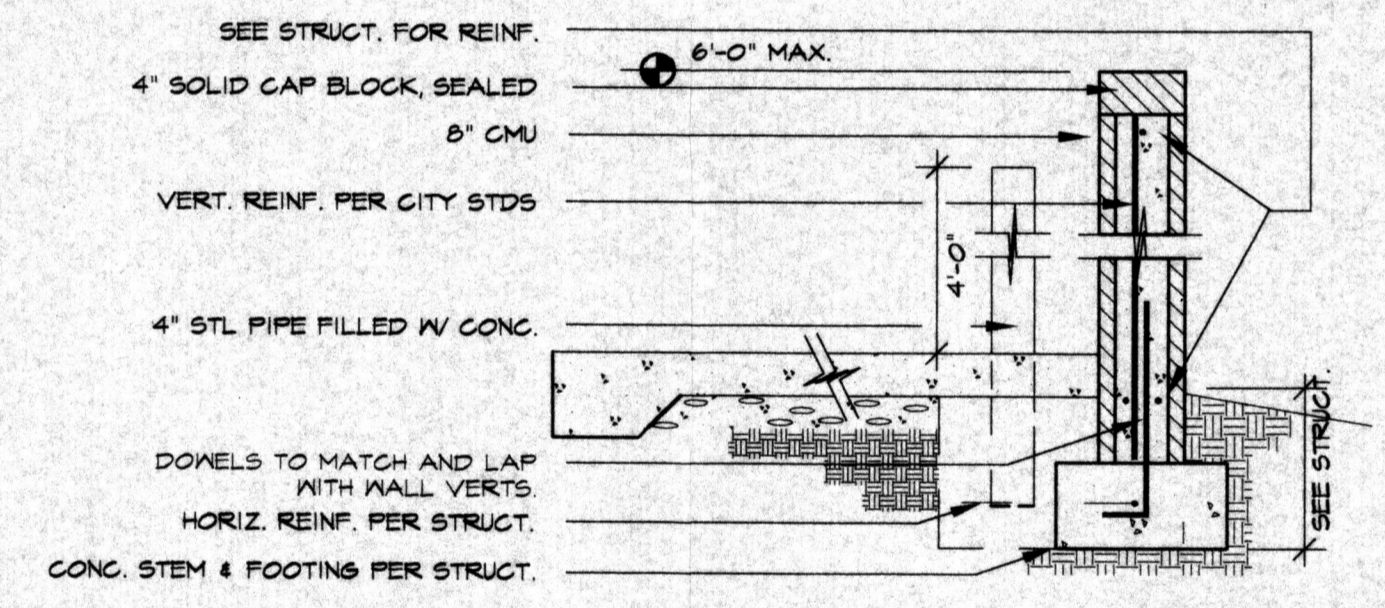
LOCATION MAP
 Scale: NTS



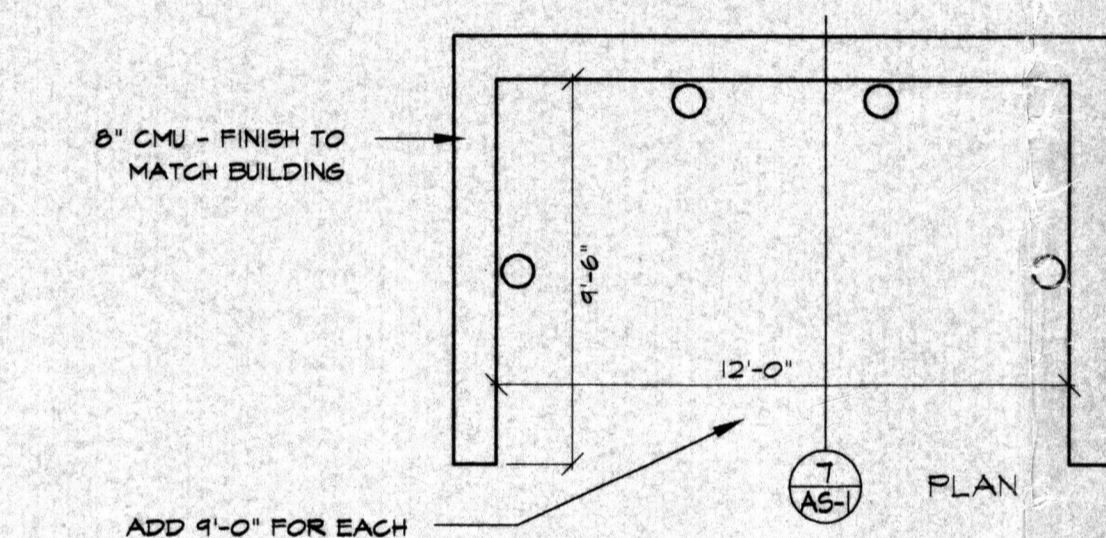
3 GUARD POST
 AS-1 3/4"=1'-0"



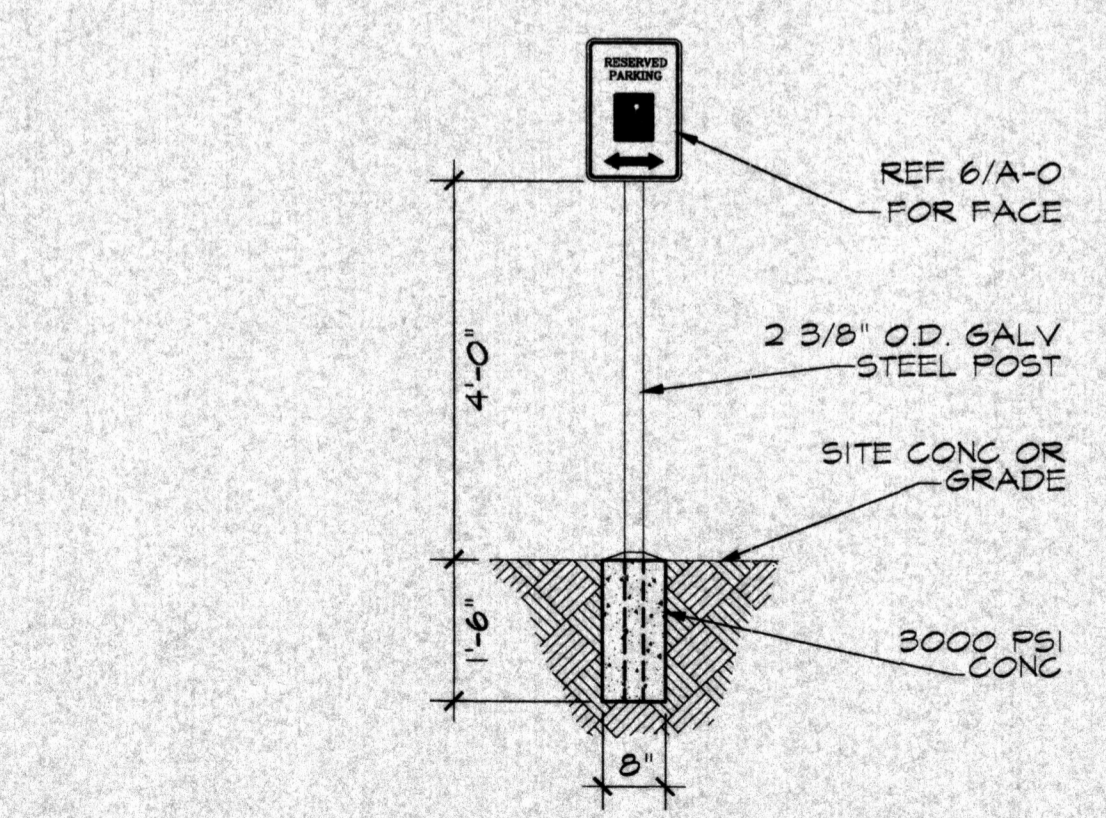
5 TYPICAL SPLASH BLOCK
 AS-1 NTS



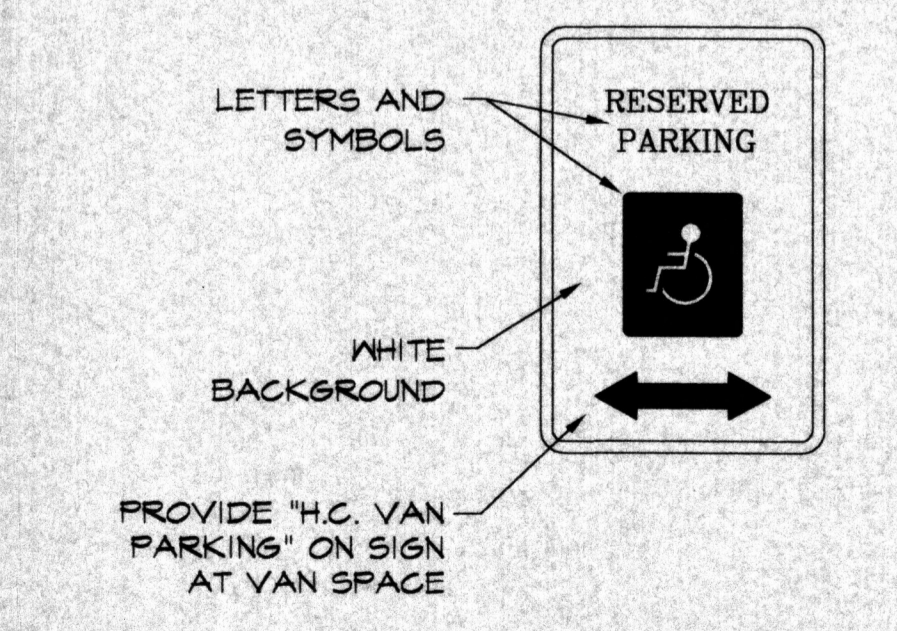
7 TYP TRASH ENCLOSURE SECTION
 AS-1 NTS



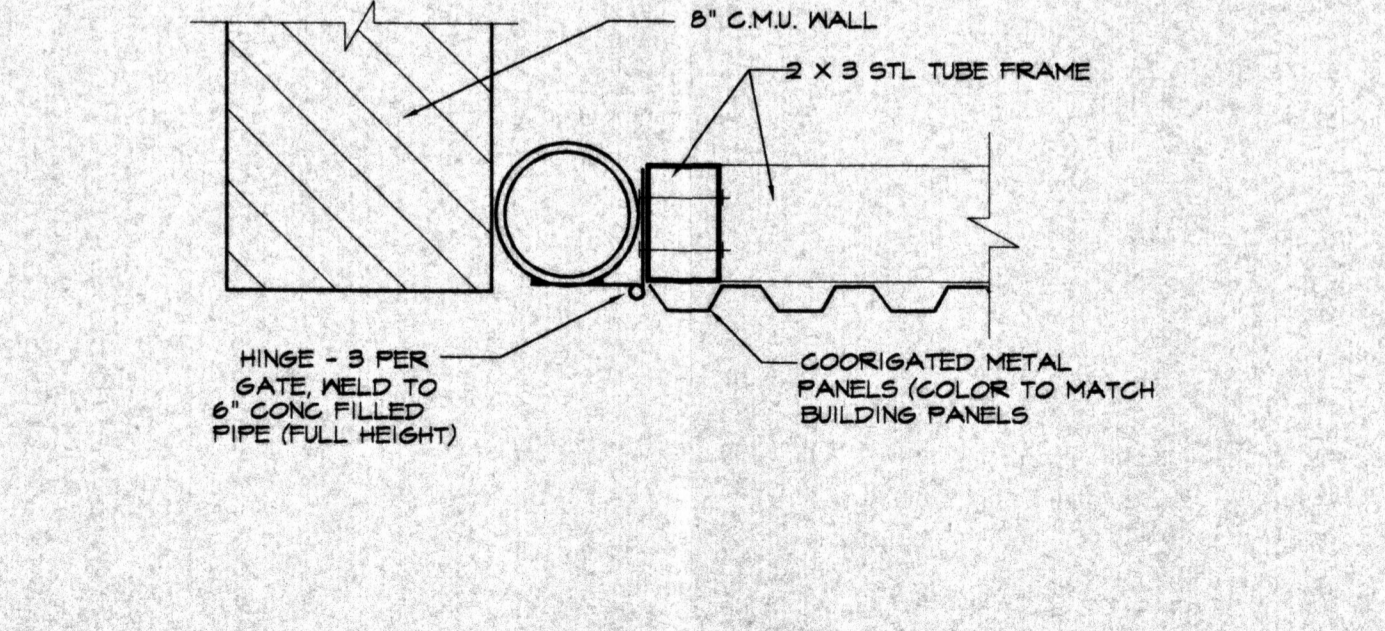
9 TYP TRASH ENCL. PLAN
 AS-1 NTS



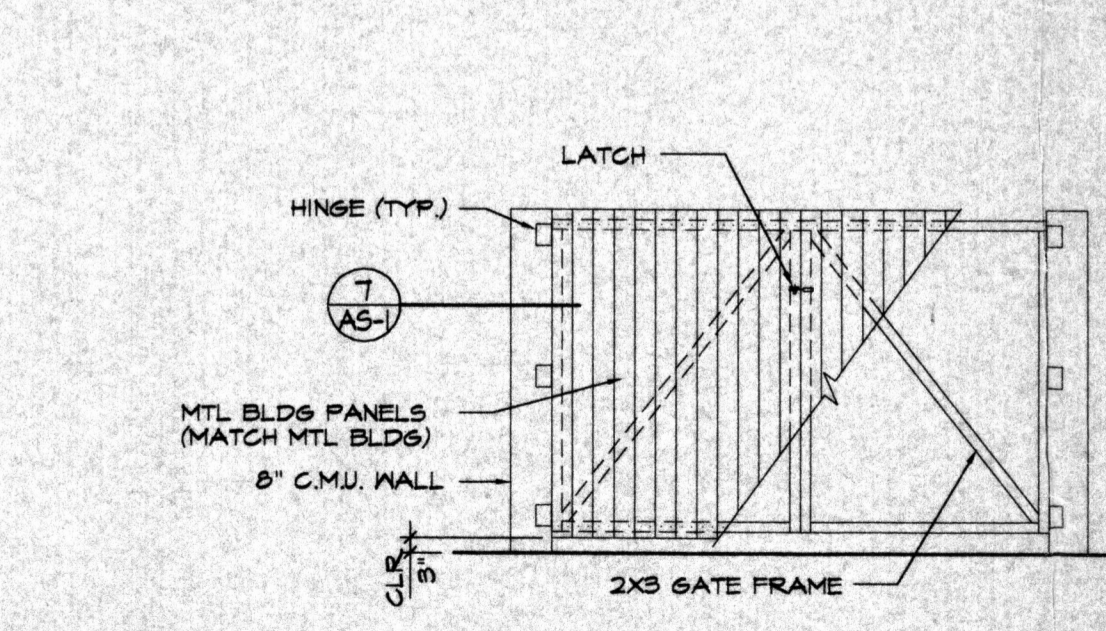
4 HANDICAP SIGN
 AS-1 1/2"=1'-0"



6 HANDICAP SIGN
 AS-1 NTS



8 TRASH ENCLOSURE GATE
 AS-1 NTS



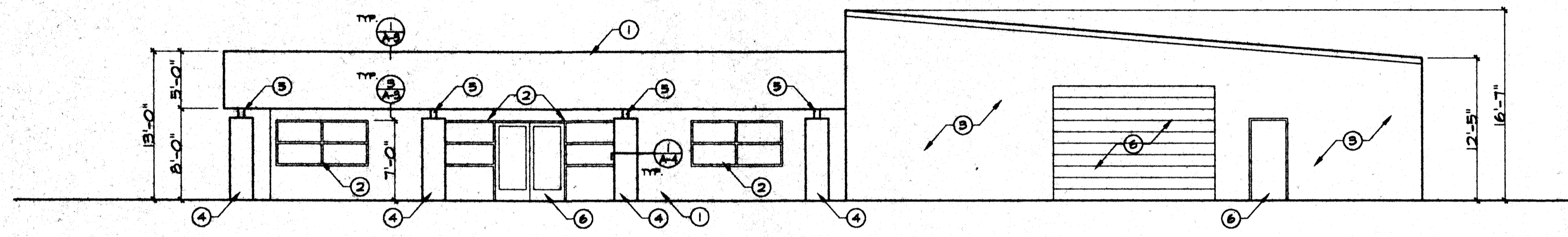
10 TYP TRASH ENCL. ELEV
 AS-1 NTS

PROJ 1000624

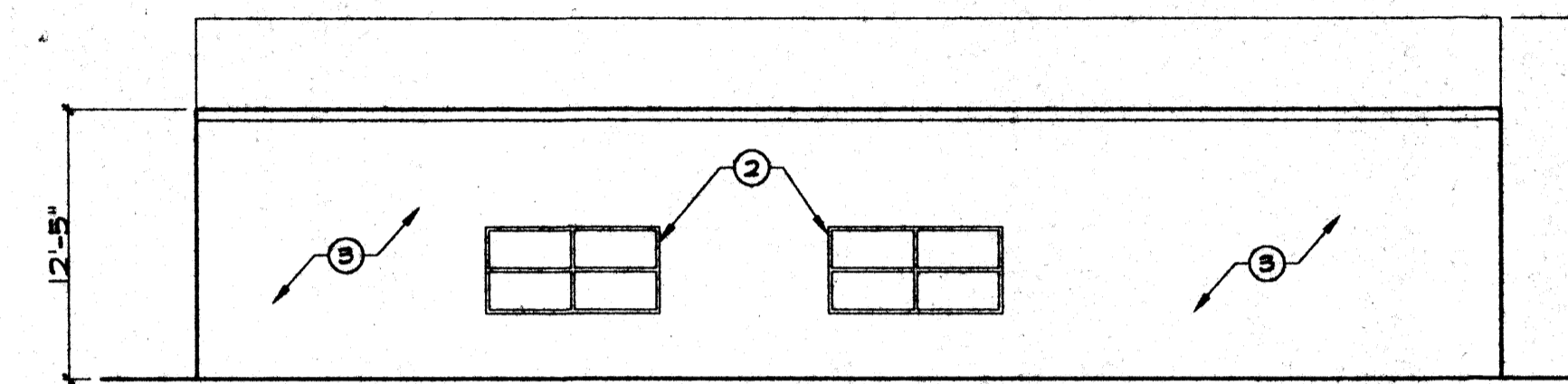
APPROVED FOR THE CITY OF ALBUQUERQUE
 R.C. Dancy 8-28-01

KEYED NOTES:

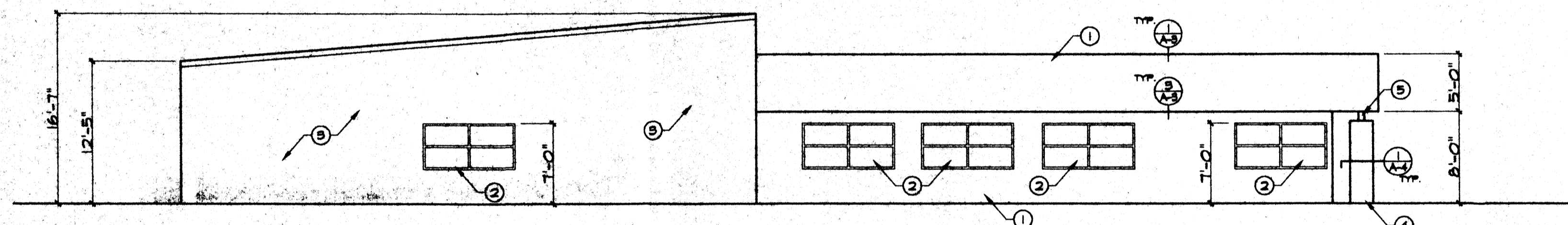
- 1. 2 COAT STUCCO SYSTEM FINISH (COLOR: SAND)
- 2. ALUM STOREFRONT (COLOR: ANTIQUE BRONZE)
- 3. PRE-ENGINEERED METAL BUILDING PANEL (COLOR: DESERT SAND)
- 4. STUCCO COLUMN (FINISH TO MATCH SMOOTH STUCCO COLUMN PANEL)
- 5. PAINTED STL TUBE COLUMN (COLOR: TAN)
- 6. DOOR PER SCHEDULE COLOR: TRIM TAN



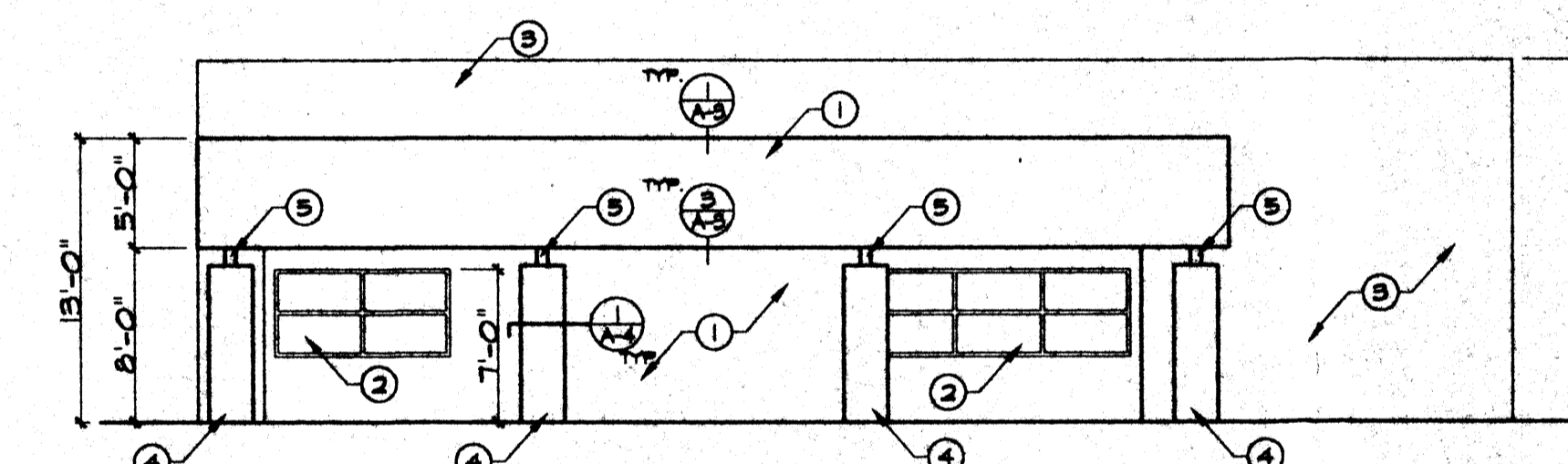
SOUTH ELEVATION
scale: 1/8"=1'-0"



EAST ELEVATION
scale: 1/8"=1'-0"

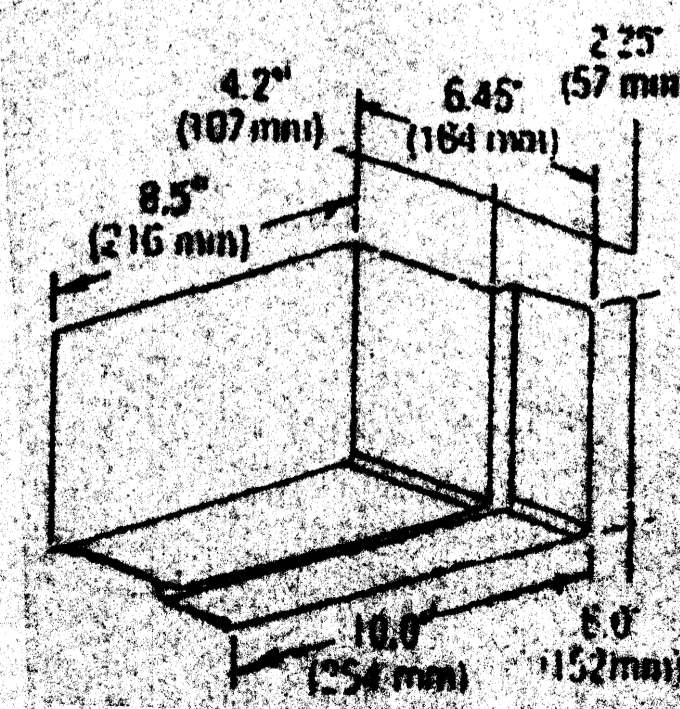


NORTH ELEVATION
scale: 1/8"=1'-0"

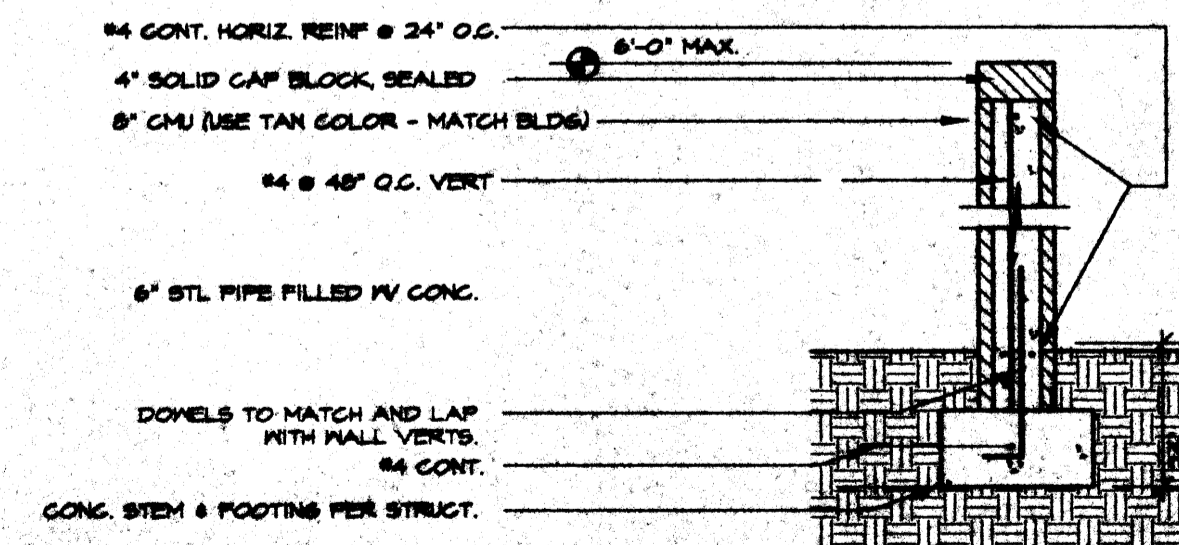


WEST ELEVATION
scale: 1/8"=1'-0"

Isocandela plot of one 70W HPS
E4 Projection Cutoff Light at 15' (4.6 m)
mounting height (plan view)



WALL MOUNTED LIGHT
scale: NTS



CMU WALL
scale: NTS



JEFFREY HOWELL & ASSOCIATES
ARCHITECTURE
6515 FOREST HILLS DRIVE, NE ALBUQUERQUE, NM 87109
TELEPHONE (505) 757-4500 FAX (505) 757-5500

A TESTING FACILITY FOR GEOTEST INC. FOR ENTERPRISE BUILDERS ALBUQUERQUE, NEW MEXICO

SHEET TITLE

DATE: 08/15/01

2

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Public Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

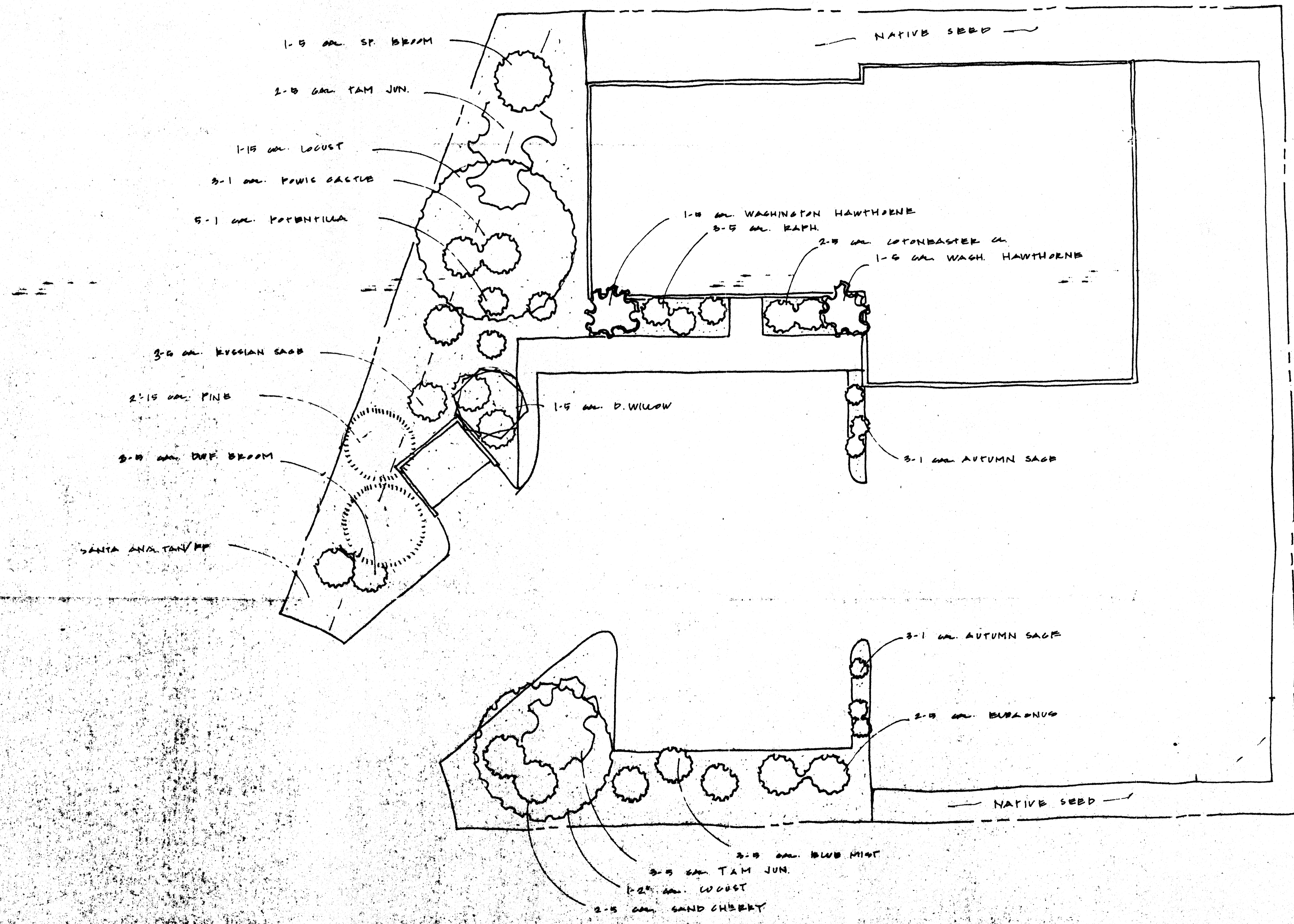
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

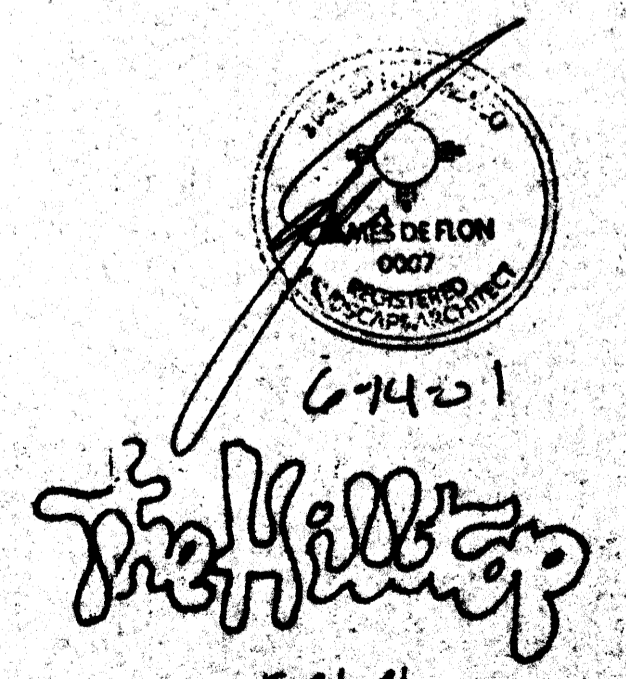
Irrigation maintenance shall be the responsibility of the Property Owner.



LANDSCAPE CALCULATIONS:

TOTAL LOT AREA:	25502
TAXAS BUILDING AREA:	5337
NBT LOT AREA:	20225
LANDSCAPE REQUIRED:	3034
LANDSCAPE PROVIDED:	7400

CED TEST



15.21.01
 2.14.01
 9.07.01

UTILITY
SITE PLAN

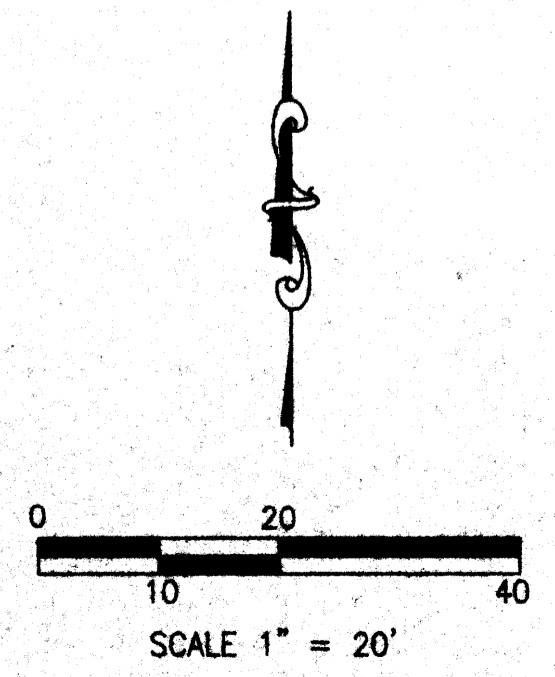
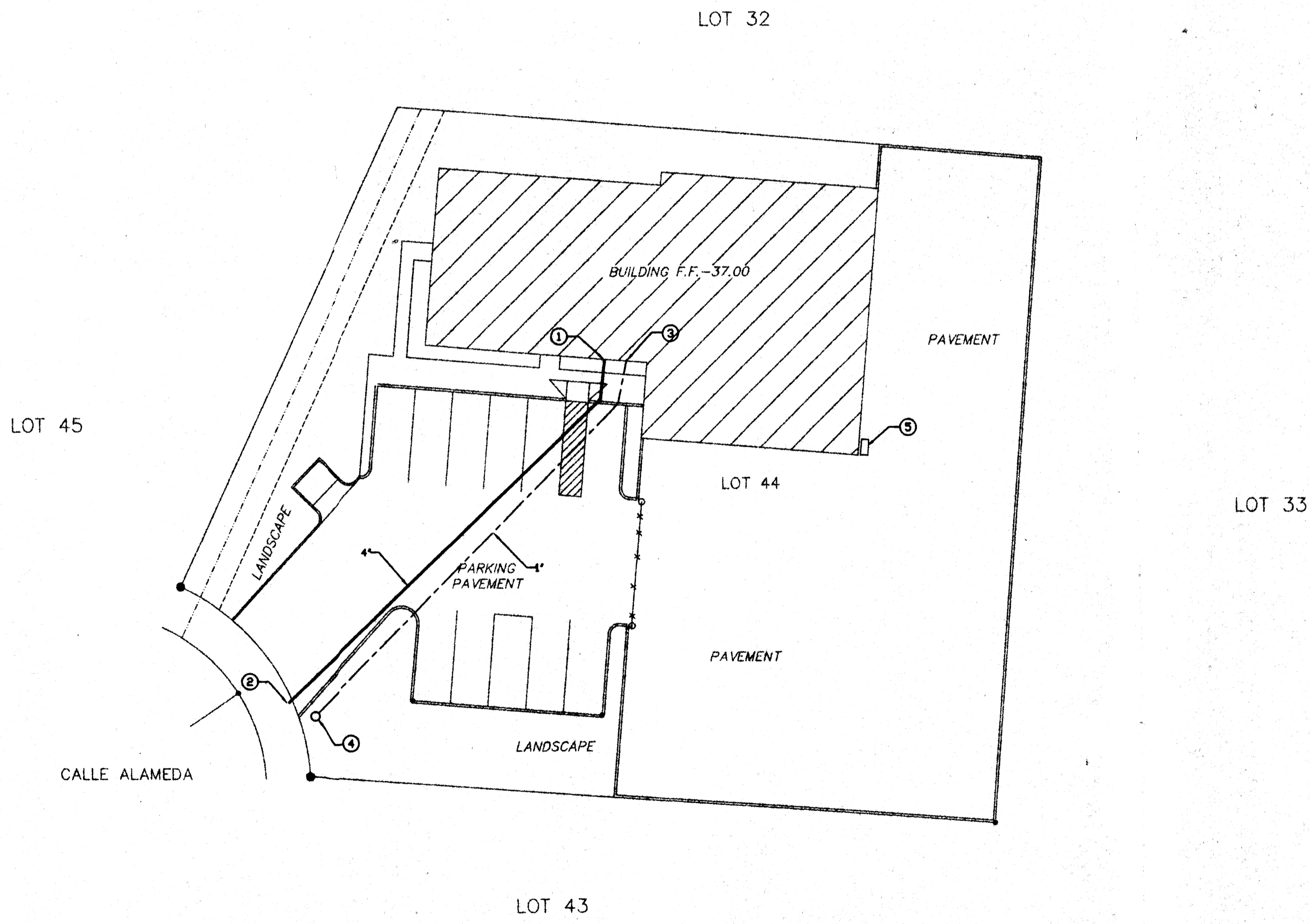
GEO-TEST, INC.
LOT 44, ALEMEDA BUSINESS PARK
ALBUQUERQUE, NM

DATE
8/27/01
REVISIONS
DRAWN BY
TLV

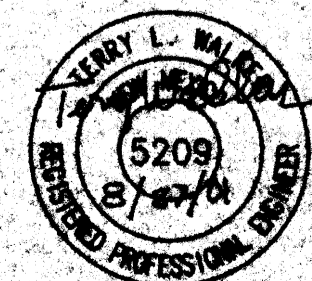
WALKER CONSULTING ENGINEERS
1175 LAUREL LOOP NE
ALBUQUERQUE, NM 87122
OFFICE - (505) 856-1783
FAX - (505) 856-1783

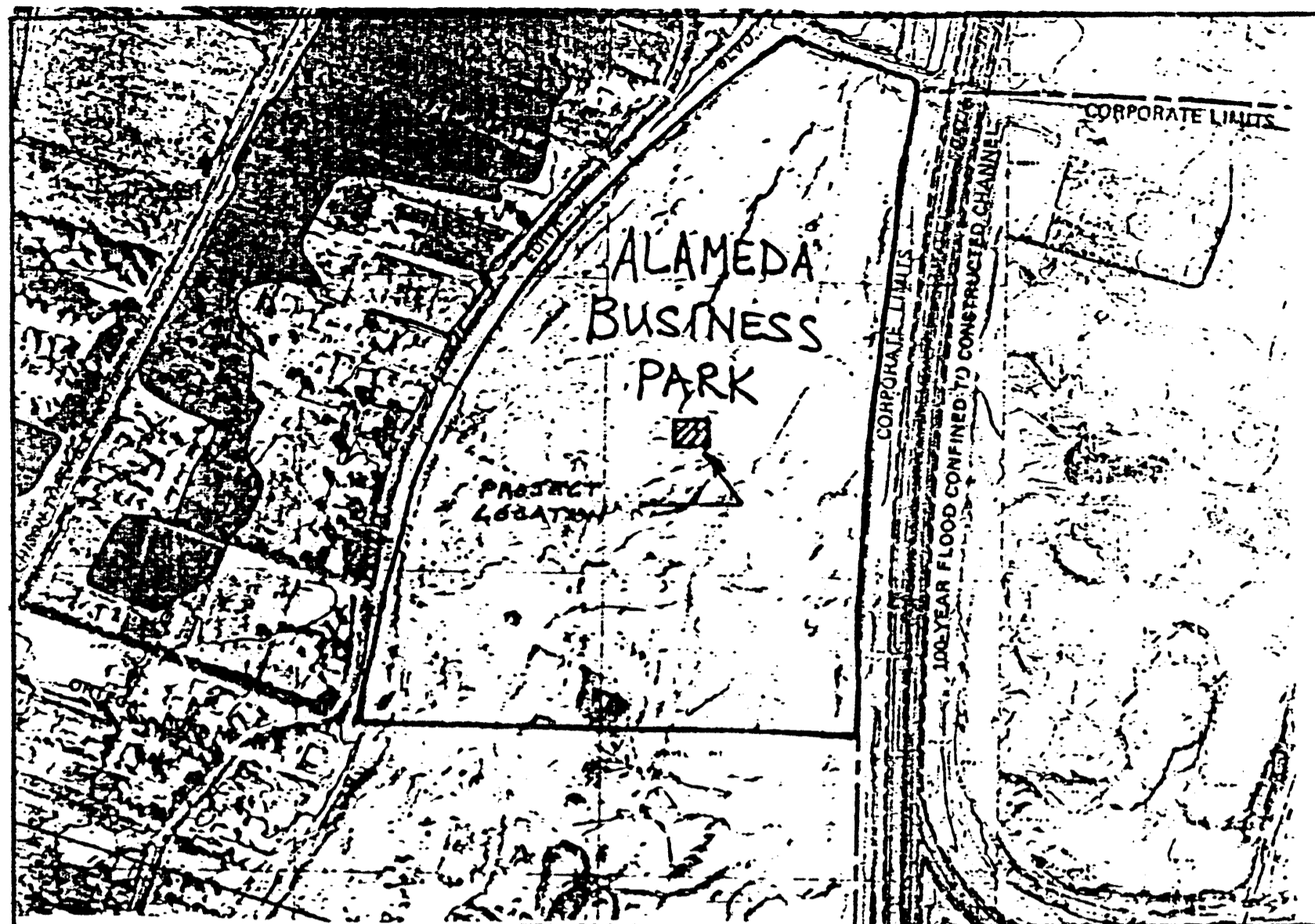
51

- SPECIFIC NOTES
- ① 4" WASTE LINE FROM BUILDING. SEE SHEET P1 FOR CONTINUATION.
 - ② 4" WASTE LINE TO SEWER IN STREET AND CONNECT. VERIFY LOCATION.
 - ③ 1" CW TO BUILDING. SEE SHEET P-1 FOR CONTINUATION.
 - ④ 3/4" ~~WASTE~~ ^{WATER} METER AT STREET PER CITY OF ALBUQUERQUE STANDARDS. COORDINATE EXACT LOCATION WITH CITY.
 - ⑤ GAS METER BY UTILITY CO.



UTILITY SITE PLAN





FIRM MAP, PANEL 350002 0009 @ 1" = 500', 1983

CALCULATIONS

1. DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (OPM) REVISED JANUARY 1993 FOR THE CITY OF ALBUQUERQUE AND ADOPTED BY THE COUNTY OF BERNALILLO. DISCHARGE RATE: $Q = Q_{peak} \times AREA$. PEAK DISCHARGE RATES FOR SMALL WATERSHEDS. VOLUMETRIC DISCHARGE: $VOLUME = E_{weighted} \times AREA$. SOIL TYPE: SILTY SAND, NON-PLASTIC, USC CLASSIFICATION (SM) UNIFIED SOIL CLASSIFICATION P100 = 2.60 INCHES, ZONE 3 DESIGN STORM: 100 YEAR / 6 HOUR, 10-YEAR / 6 HOUR WHERE [] = 10 YEAR VALUES

2. EXISTING CONDITIONS

PROJECT AREA = 0.5653 ACRES, WHERE EXCESS PRECIPITATION 'A' = 0.53 IN [0.13] PEAK DISCHARGE, Q100 = 0.88 cfs [0.22], WHERE UNIT PEAK DISCHARGE 'A' = 1.56 cfs/acre [0.38] THEREFORE: $VOLUME_{100} = 1088 \text{ cf}$ [267]

3. DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE & WEIGHTED EXCESS PRECIPITATION

AREA	LAND TREATMENT	UNIT	PEAK DISCHARGE	E'
UNDEVELOPED	A	1.56	[0.38]	0.53 [0.13]
LANDSCAPING	B	2.28	[0.95]	0.78 [0.28]
GRAVEL & COMPACTED SOIL	C	3.14	[1.71]	1.13 [0.52]
ROOF / PAVEMENT	D	4.70	[3.14]	2.12 [1.34]

E'weighted = 1.93 in [1.19] Q100 = 2.47 cfs, Q10 = 1.60 cfs, VOL100 = 3,960 cf, VOL10 = 2442 cf

FROM MASTER DRAINAGE REPORT, DATED FEB. 17, 1999, BOHANNAN HUSTON

Q100 = 2.45 cfs INCREASED FLOW = 0.02 cfs

4. OFFSITE FLOWS

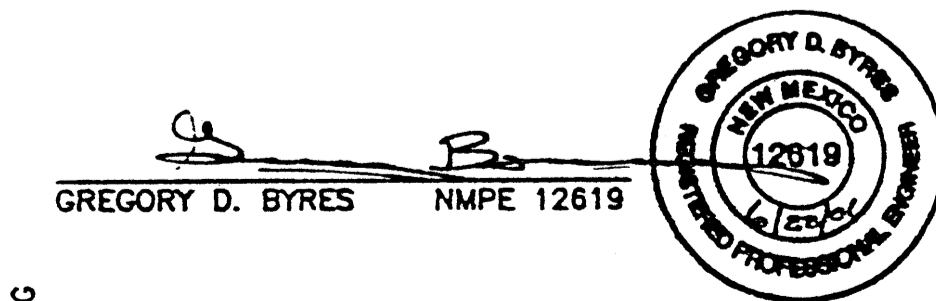
AS PER THE GRADING PLAN FOR THE SUBDIVISION AND THE MASTER DRAINAGE PLAN STORM WATER FLOWS FROM LOT 32 ALONG THE WESTERN PROPERTY LINE OF LOT 44. AN EXISTING SWALE DIRECTS THE OFFSITE FLOW ACROSS LOT 44 TO CALLE ALAMEDA. FLOW IS THEN DISRECT TO THE STORM SEWER SYSTEM. PLEASE REFER TO THE MASTER DRAINAGE REPORT FOR FURTHER INFORMATION.

DEVELOPED PEAK FLOW FROM LOT 32 = 3.98 cfs
WIDTH OF V DITCH SWALE = 3.42 ft
DEPTH OF V DITCH SWALE = 0.57 ft
SLOPE OF V DITCH SWALE = 1.27%

SURVEY NOTES:

1. THE BOUNDARY DATA SHOWN ARE TAKEN FROM THE RECORDED PLAT.
2. DATA IN PARENTHESIS AS (FIELD), ARE FIELD MEASUREMENTS.
3. THIS IS NOT A BOUNDARY SURVEY.
4. NO EASEMENT SEARCH WAS PERFORMED OR PROVIDED BY CLIENT.

I, GREGORY D. BYRES, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



GEODRAIN.DWG
JUNE, 2001

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 0.5653 ACRES AND IS LOCATED WITHIN THE ALAMEDA BUSINESS PARK. THE SITE IS SOUTH OF ALAMEDA BLVD. AND WEST OF THE AMAFCA NORTH DIVERSION CHANNEL.

THE LOT TOPOGRAPHY SLOPES FROM EAST TO WEST.

MINIMAL VEGETATION IS CURRENTLY PRESENT ALONG THE SURFACE.

THE SUBDIVISION IS CURRENTLY DEVELOPED WITH CITY INFRASTRUCTURE, AND SEVERAL LOTS ARE BEING DEVELOPED OR HAVE ALREADY BEEN DEVELOPED.

ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 35002 0009D, DATED SEPTEMBER 15, 1983, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN.

THIS PLAN INDICATES:

1. EXISTING AND NEW CONTOURS WITH SPOT ELEVATIONS.
2. PROPOSED IMPROVEMENTS: BUILDING ENVELOPE, DRIVES, GRADING, AND UTILITIES.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUN-OFF GENERATED BY THE PROPOSED IMPROVEMENTS, ESSENTIALLY FOLLOWING THE REQUIREMENTS OF THE PREVIOUSLY PREPARED MASTER GRADING AND DRAINAGE PLAN. THIS PLAN DETERMINES THE RUN-OFF RESULTING FROM THE 100-YEAR/6-HOUR DURATION STORMS FOR BOTH THE EXISTING AND DEVELOPED CONDITIONS. THE MASTER GRADING PLAN WAS PREPARED BY BOHANNAN HUSTON AND TITLED, REVISED DRAINAGE REPORT FOR ALAMEDA BUSINESS PARK (TRACT B-1-A-1), DATED FEBRUARY 17, 1999.

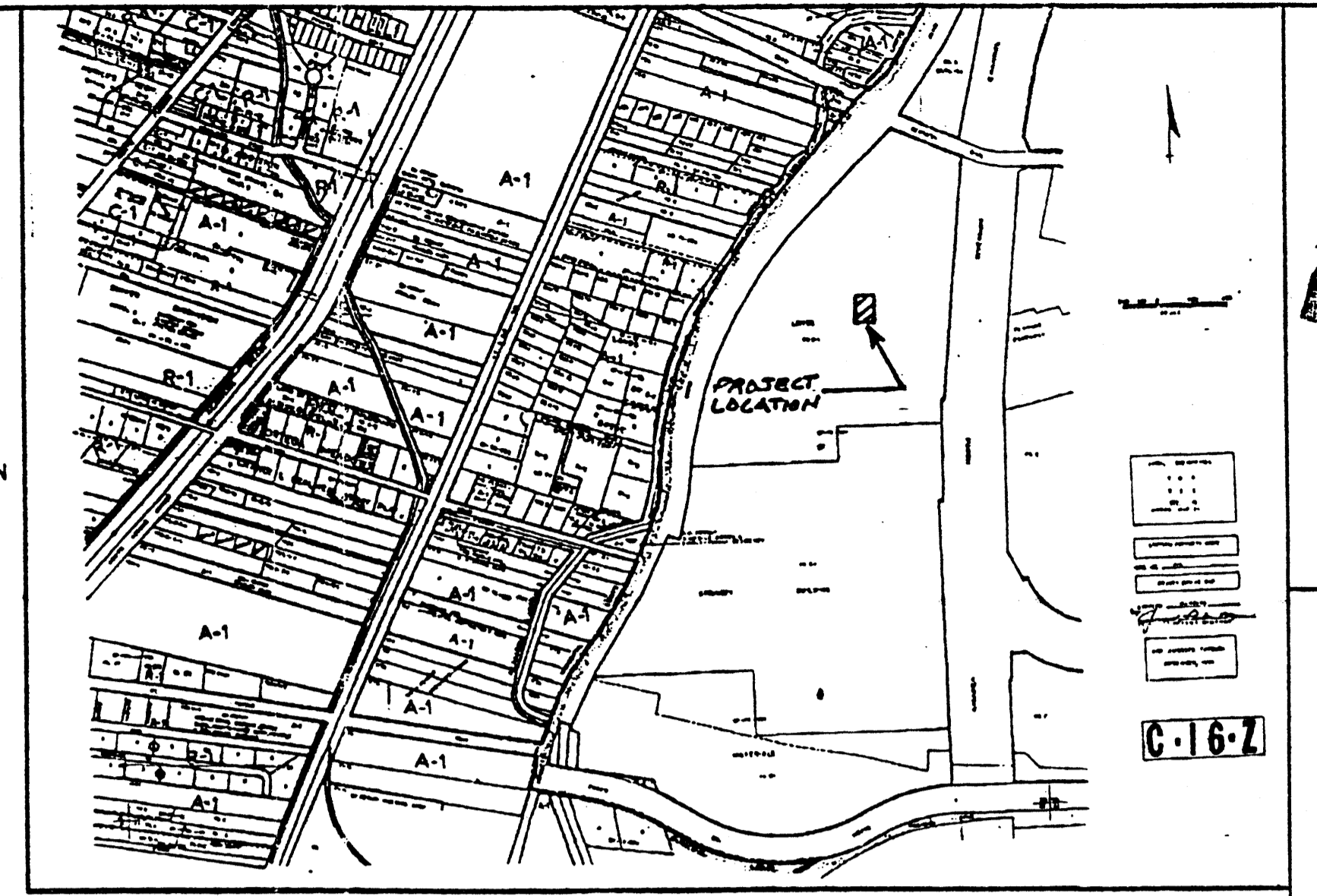
PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF THE DEVELOPMENT OF A SINGLE COMMERCIAL STRUCTURE. THE PLAN SHOWS THE PROPOSED ELEVATIONS REQUIRED TO PROPERLY GRADE THE PROPOSED IMPROVEMENTS. THE DRIVEWAY AND PARKING AREA WILL BE PAVED.

ALL DRAINAGE FLOWS WILL BE MANAGED ONSITE AND ALLOWED TO DRAIN ALONG DRAINAGE PATHS ESTABLISHED BY THE MASTER GRADING PLAN.

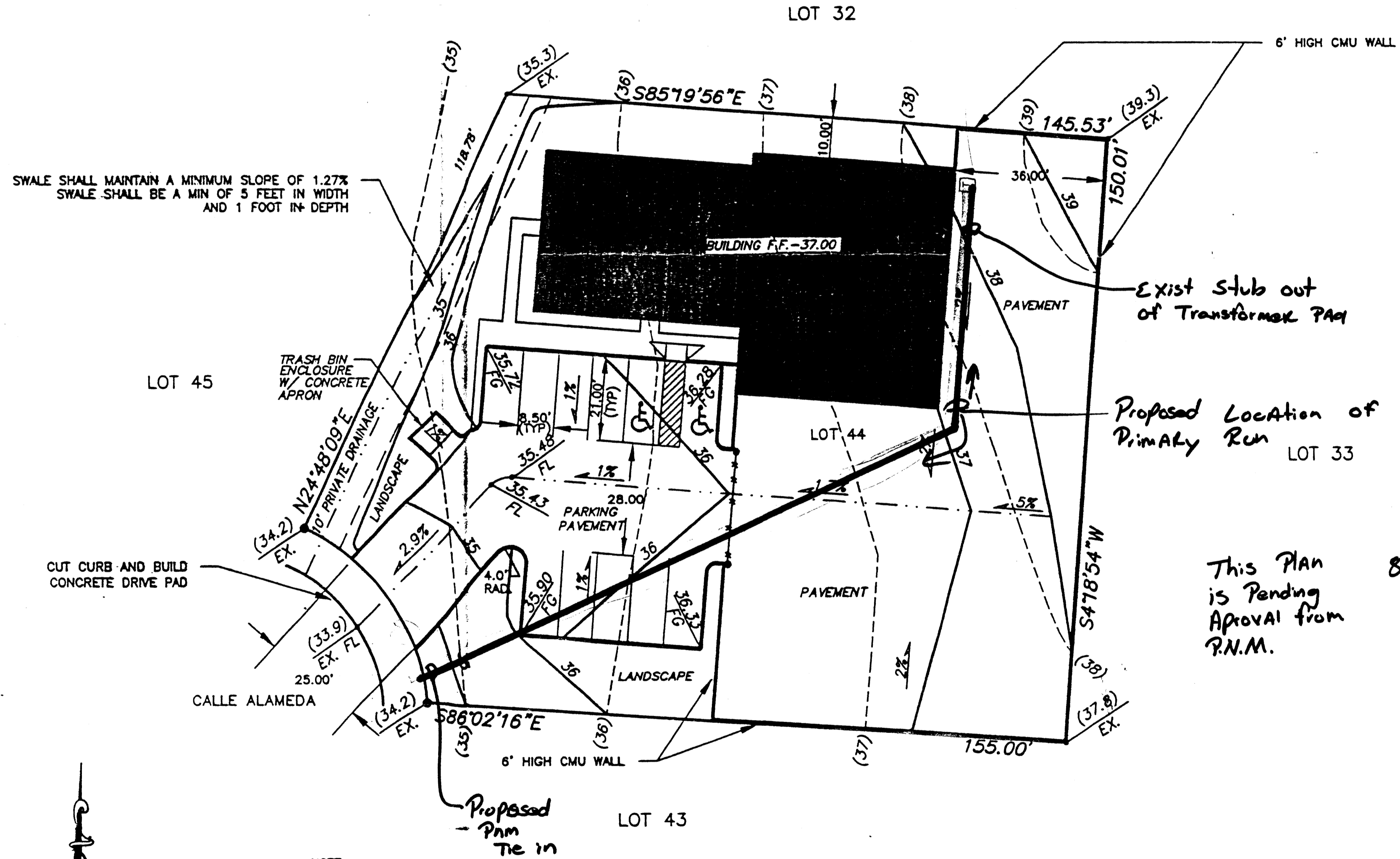
CONSTRUCTION NOTES:

1. ALL EMBANKMENT SHALL BE PLACED IN ACCORDANCE WITH BERNALILLO COUNTY REQUIREMENTS. IN NO INSTANCE SHALL FILL MATERIAL BE PLACED AT LESS THAN 95 PERCENT COMPACTION IN ACCORDANCE WITH ASTM D1557.
2. FINISH GRADING OF PADS SHALL ALLOW FOR A FREE DRAINING SURFACE WITH NO PONDING NEAR STRUCTURES.
3. THIS IS NOT A BOUNDARY SURVEY, BEARING AND DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
4. ALL CONCRETE CURB SHALL BE 8" x 12" STAND-UP CONCRETE CURB, CONSTRUCTED OF 3000 PSI CONCRETE.
5. ALL HANDICAP PAVEMENT MARKINGS SHALL BE FEDERAL BLUE, ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE.
6. HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1.5%.
7. ALL LANDSCAPING SHALL CONFORM TO CITY OF ALBUQUERQUE, RECOMMENDED LOW WATER USE REQUIREMENTS.
8. ALL PAVEMENT SHALL BE 2 INCH PMBP MEETING CITY OF ALBUQUERQUE "B" RESIDENTIAL REQUIREMENTS.
9. SITE UTILITIES ARE NOT INDICATED ON THIS PLAN. ALL UTILITIES SHALL BE PLACED UNDERGROUND, IN ACCORDANCE WITH CITY OF ALBUQUERQUE CRITERIA. ALL BACKFILL SHALL BE PLACED IN 8 INCH LIFTS AND COMPACTED TO 95% DENSITY.
10. ALL CURB RADII ARE 2.5 FEET TO FC, UNLESS NOTED.



VICINITY MAP, ZONE C-16 @ 1" = 400'

T 11 N, R 3 E, SECTION 15, BERNALILLO COUNTY, NEW MEXICO

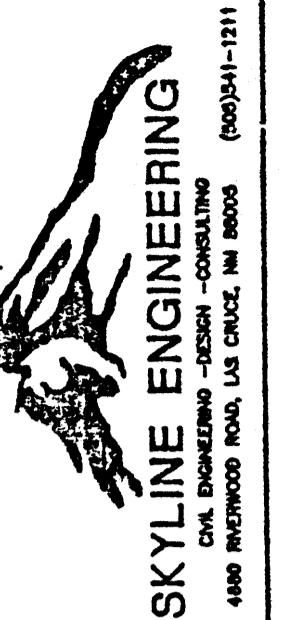
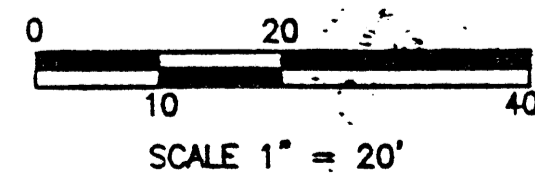


This Plan is Pending Approval from R.N.M. 8-27-01

NOTE:

ALL DRIVE PADS AND CURB CUTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE DETAILS AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

GRADING AND DRAINAGE PLAN

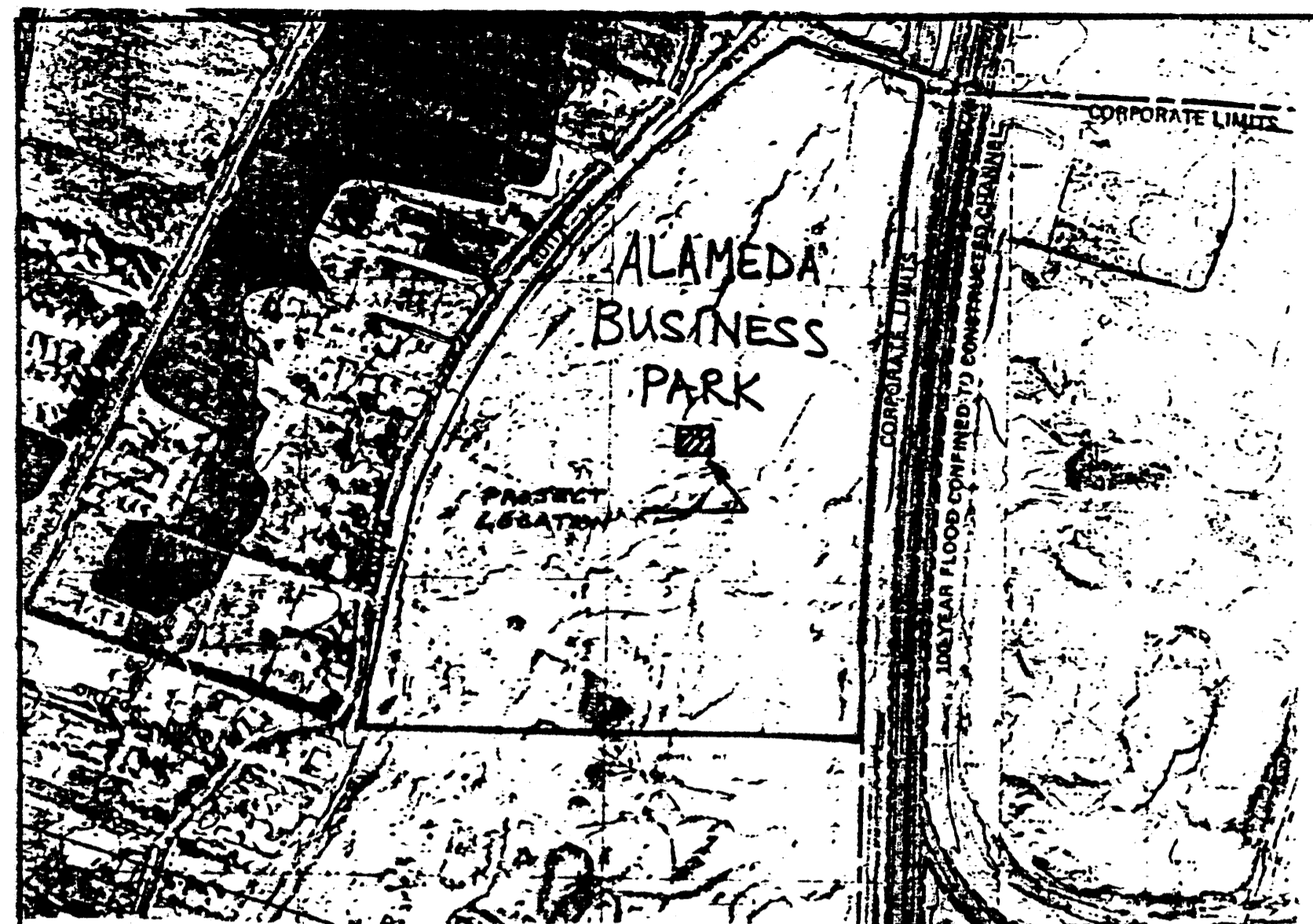


GEO-TEST, INC.
LOT 44, ALAMEDA BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
GRADING AND DRAINAGE PLAN

DESIGNED BY: GDB
DRAWN BY: GDB
DATE: JUNE, 2001
REVISIONS:

SHEET: 1

OF: 1



FIRM MAP, PANEL 350002 0009 @ 1" = 500', 1983

CALCULATIONS

1. DESIGN CRITERIA

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Eweighted = 1.93 in [1.19]
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FROM MASTER DRAINAGE REPORT, DATED FEB. 17, 1999, BOHANNAN HUSTON

Q100 = 2.45 cfs

INCREASED FLOW = 0.02 cfs

4. OFFSITE FLOWS

AS PER THE GRADING PLAN FOR THE SUBDIVISION AND THE MASTER DRAINAGE PLAN STORM WATER FLOWS FROM LOT 32 ALONG THE WESTERN PROPERTY LINE OF LOT 44, AN EXISTING SWALE DIRECTS THE OFFSITE FLOW ACROSS LOT 44 TO CALLE ALAMEDA. FLOW IS THEN DIRECT TO THE STORM SEWER SYSTEM. PLEASE REFER TO THE MASTER DRAINAGE REPORT FOR FURTHER INFORMATION.

DEVELOPED PEAK FLOW FROM LOT 32 = 3.98 cfs

WIDTH OF V DITCH SWALE = 3.42 ft

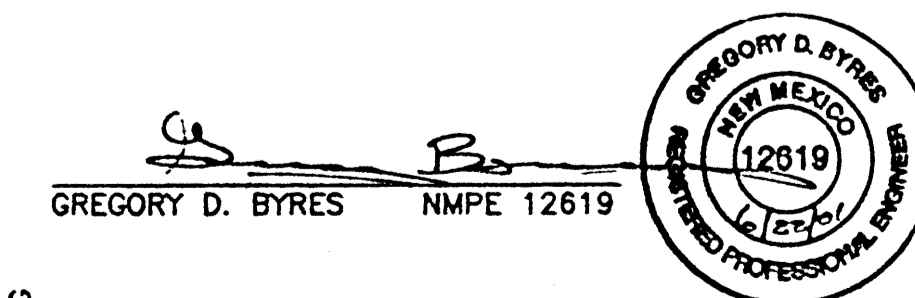
DEPTH OF V DITCH SWALE = 0.57 ft

SLOPE OF V DITCH SWALE = 1.27%

SURVEY NOTES:

1. THE BOUNDARY DATA SHOWN ARE TAKEN FROM THE RECORDED PLAT.
2. DATA IN PARENTHESIS AS (FIELD), ARE FIELD MEASUREMENTS.
3. THIS IS NOT A BOUNDARY SURVEY.
4. NO EASEMENT SEARCH WAS PERFORMED OR PROVIDED BY CLIENT.

I, GREGORY D. BYRES, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



GREGORY D. BYRES NMPE 12619

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 0.5653 ACRES AND IS LOCATED WITHIN THE ALAMEDA BUSINESS PARK. THE SITE IS SOUTH OF ALAMEDA BLVD. AND WEST OF THE AMAFCA NORTH DIVERSION CHANNEL.

THE LOT TOPOGRAPHY SLOPES FROM EAST TO WEST.

MINIMAL VEGETATION IS CURRENTLY PRESENT ALONG THE SURFACE.

THE SUBDIVISION IS CURRENTLY DEVELOPED WITH CITY INFRASTRUCTURE, AND SEVERAL LOTS ARE BEING DEVELOPED OR HAVE ALREADY BEEN DEVELOPED.

ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 35002 0009D, DATED SEPTEMBER 15, 1983, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN.

THIS PLAN INDICATES:

1. EXISTING AND NEW CONTOURS WITH SPOT ELEVATIONS.
2. PROPOSED IMPROVEMENTS: BUILDING ENVELOPE, DRIVES, GRADING, AND UTILITIES.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUN-OFF GENERATED BY THE PROPOSED IMPROVEMENTS, ESSENTIALLY FOLLOWING THE REQUIREMENTS OF THE PREVIOUSLY PREPARED MASTER GRADING AND DRAINAGE PLAN. THIS PLAN DETERMINES THE RUN-OFF RESULTING FROM THE 100-YEAR/6-HOUR DURATION STORMS FOR BOTH THE EXISTING AND DEVELOPED CONDITIONS. THE MASTER GRADING PLAN WAS PREPARED BY BOHANNAN HUSTON AND TITLED, REVISED DRAINAGE REPORT FOR ALAMEDA BUSINESS PARK (TRACT B-1-A-1), DATED FEBRUARY 17, 1999.

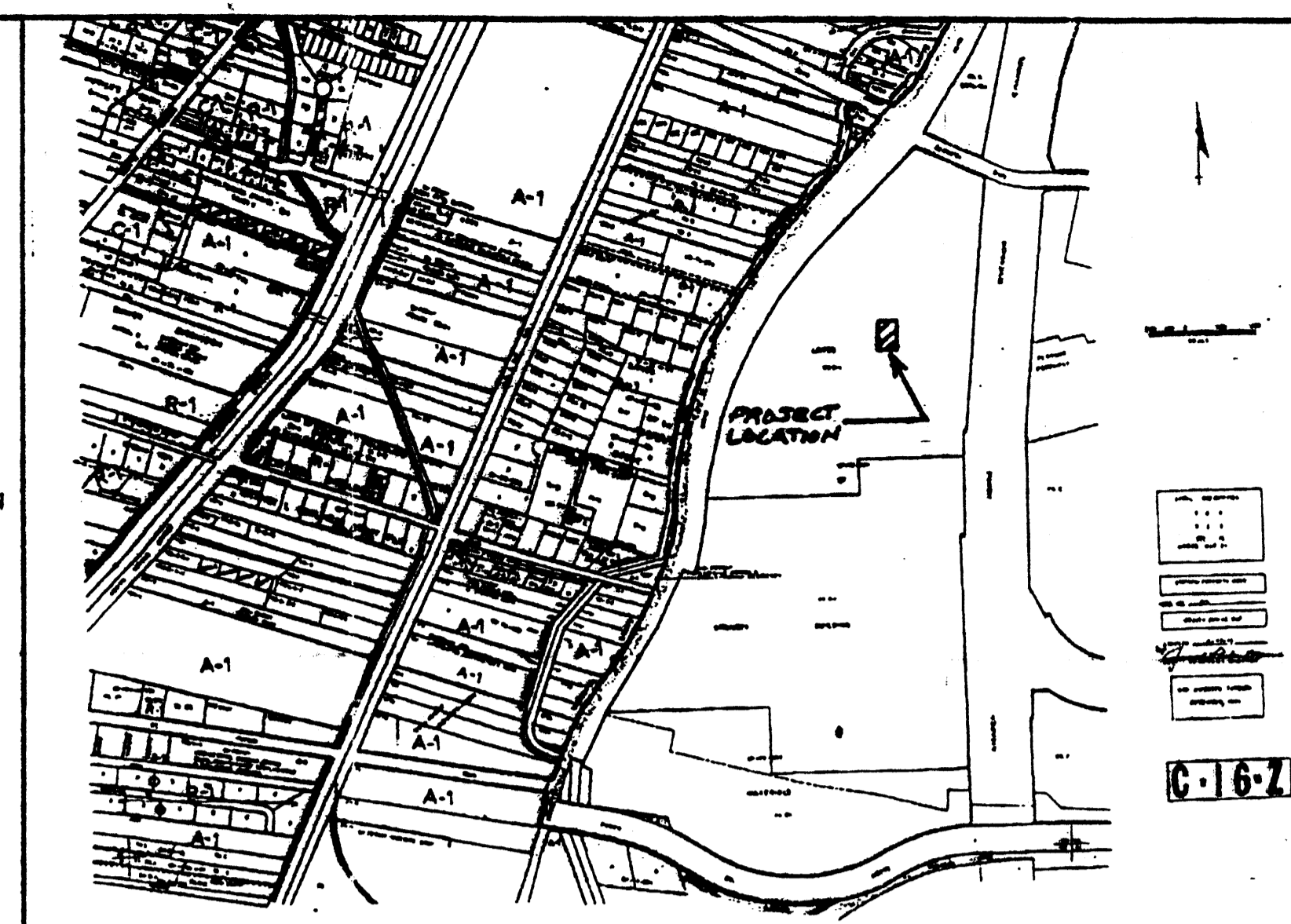
PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF THE DEVELOPMENT OF A SINGLE COMMERCIAL STRUCTURE. THE PLAN SHOWS THE PROPOSED ELEVATIONS REQUIRED TO PROPERLY GRADE THE PROPOSED IMPROVEMENTS. THE DRIVEWAY AND PARKING AREA WILL BE PAVED.

ALL DRAINAGE FLOWS WILL BE MANAGED ONSITE AND ALLOWED TO DRAIN ALONG DRAINAGE PATHS ESTABLISHED BY THE MASTER GRADING PLAN.

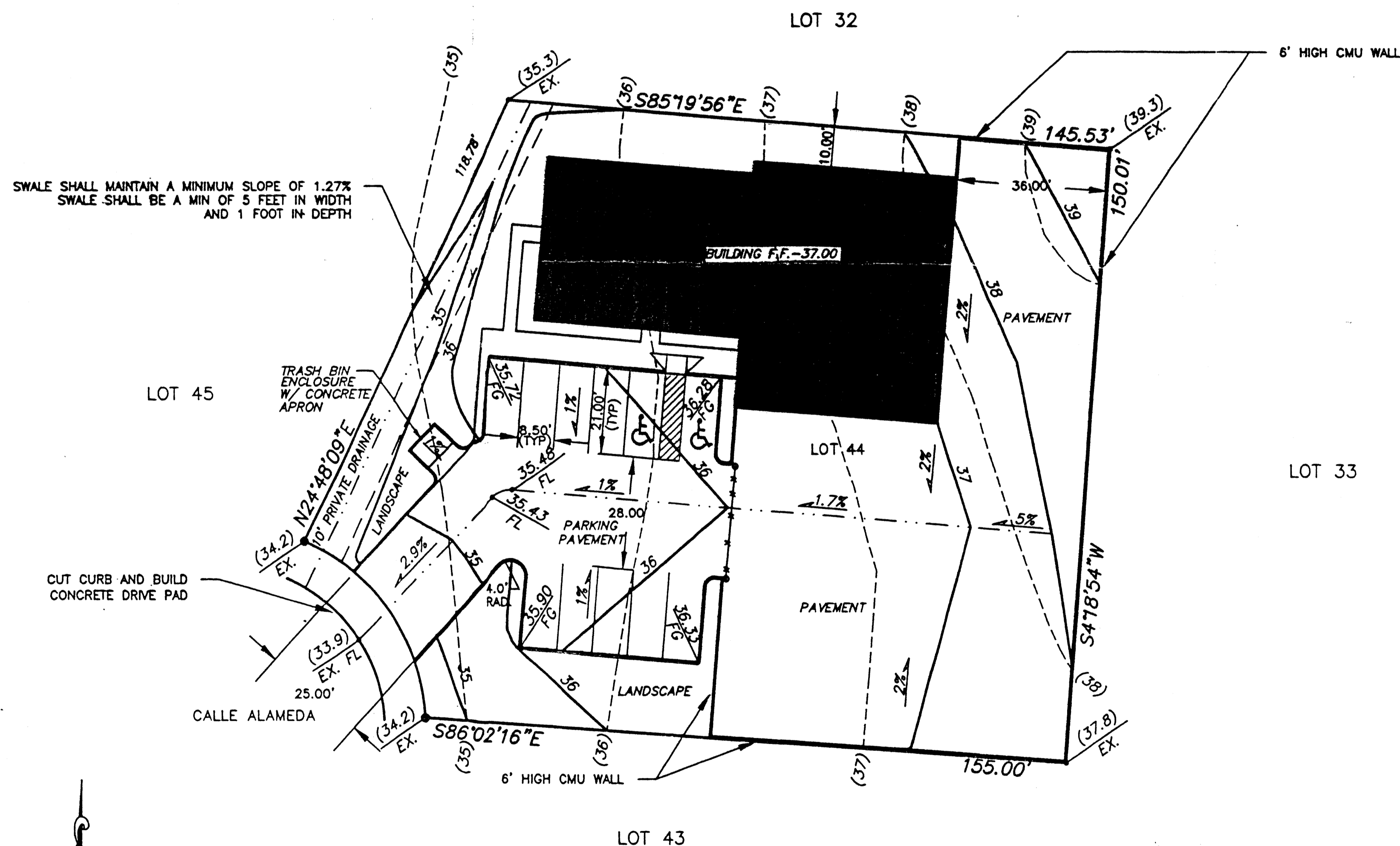
CONSTRUCTION NOTES:

1. ALL EMBANKMENT SHALL BE PLACED IN ACCORDANCE WITH BERNALILLO COUNTY REQUIREMENTS. IN NO INSTANCE SHALL FILL MATERIAL BE PLACED AT LESS THAN 95 PERCENT COMPACTION IN ACCORDANCE WITH ASTM D1557.
2. FINISH GRADING OF PADS SHALL ALLOW FOR A FREE DRAINING SURFACE WITH NO PONDING NEAR STRUCTURES.
3. THIS IS NOT A BOUNDARY SURVEY. BEARING AND DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
4. ALL CONCRETE CURB SHALL BE 8" x 12" STAND-UP CONCRETE CURB, CONSTRUCTED OF 3000 PSI CONCRETE.
5. ALL HANDICAP PAVEMENT MARKINGS SHALL BE FEDERAL BLUE, ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE.
6. HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1.5%.
7. ALL LANDSCAPING SHALL CONFORM TO CITY OF ALBUQUERQUE, RECOMMENDED LOW WATER USE REQUIREMENTS.
8. ALL PAVEMENT SHALL BE 2 INCH PMBP MEETING CITY OF ALBUQUERQUE "B" RESIDENTIAL REQUIREMENTS.
9. SITE UTILITIES ARE NOT INDICATED ON THIS PLAN. ALL UTILITIES SHALL BE PLACED UNDERGROUND, IN ACCORDANCE WITH CITY OF ALBUQUERQUE CRITERIA. ALL BACKFILL SHALL BE PLACED IN 8 INCH LIFTS AND COMPACTED TO 95% DENSITY.
10. ALL CURB RADII ARE 2.5 FEET TO FC, UNLESS NOTED.



VICINITY MAP, ZONE C-16 @ 1" = 400'

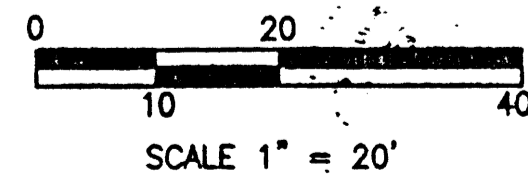
T 11 N, R 3 E, SECTION 15, BERNALILLO COUNTY, NEW MEXICO



NOTE:

ALL DRIVE PADS AND CURB CUTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE DETAILS AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

GRADING AND DRAINAGE PLAN



GEO-TEST, INC.
 LOT 44, ALAMEDA BUSINESS PARK
 ALBUQUERQUE, NEW MEXICO
 GRADING AND DRAINAGE PLAN

DESIGNED BY: GDB
 DRAWN BY: GDB
 DATE: JUNE, 2001
 REVISIONS:

SHEET: 1

OF: 1

