

# NEW OFFICE/MANUFACTURING BUILDING FOR ROMAN FOUNTAINS

PASEO ALAMEDA NE, (LOT 47, ALAMEDA BUSINESS PARK)  
ALBUQUERQUE, NEW MEXICO

**SADLER SOUTHWEST LTD.**

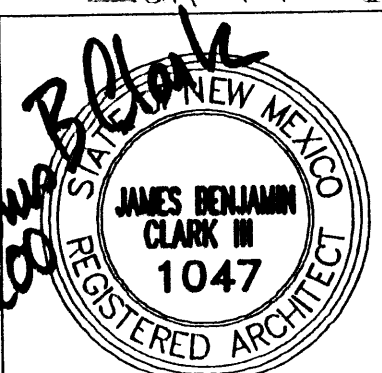
Real Estate, Development, Construction  
Albuquerque, NM (505) 856-7939

PROJECT NUMBER: 1000624  
Z-87-571 #01450-00000-00140

SEE LETTER ON FILE  
ENVIRONMENTAL HEALTH DATE  
Rachel D... 2-07-01  
TRAFFIC ENGINEER, TRANSPORTATION DIV. DATE  
Wesley E. Cardenas 2-07-01  
PLANS & SPECIFICATIONS DEPARTMENT DATE  
Ronald R... 2/15/01  
PUBLIC WORKS, WATER UTILITIES DIVISION DATE  
Johnnie O. Miller 2/7/01  
CITY ENGINEER, ENGINEERING DIVISION/AMTCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.  
Johnnie O. Miller 2/21/01  
CITY ENGINEER, ENGINEERING DIVISION/AMTCA DATE

ATD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
SIGNATURE & DATE



FILE # 0051 TITLE  
13 DEC 00

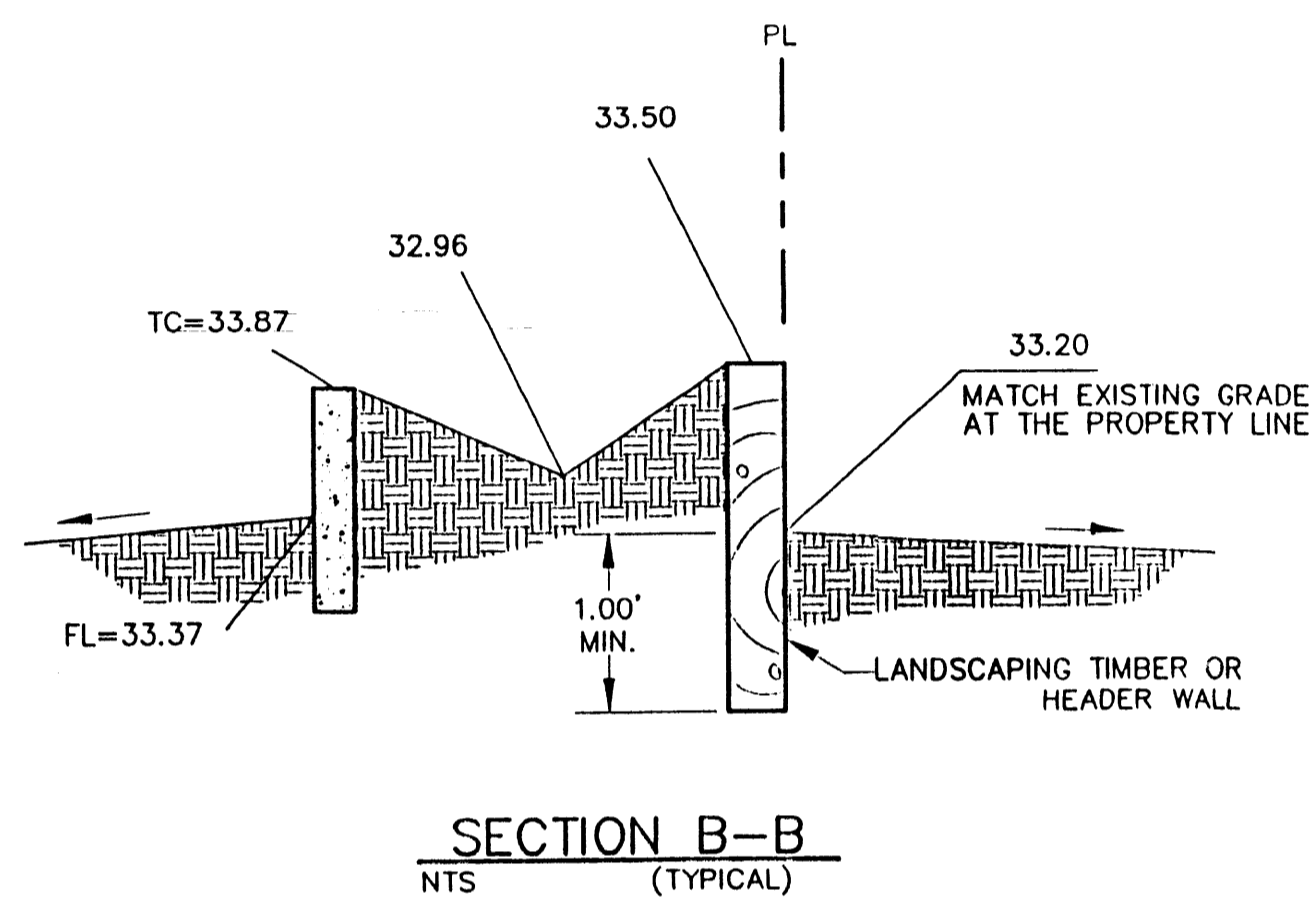
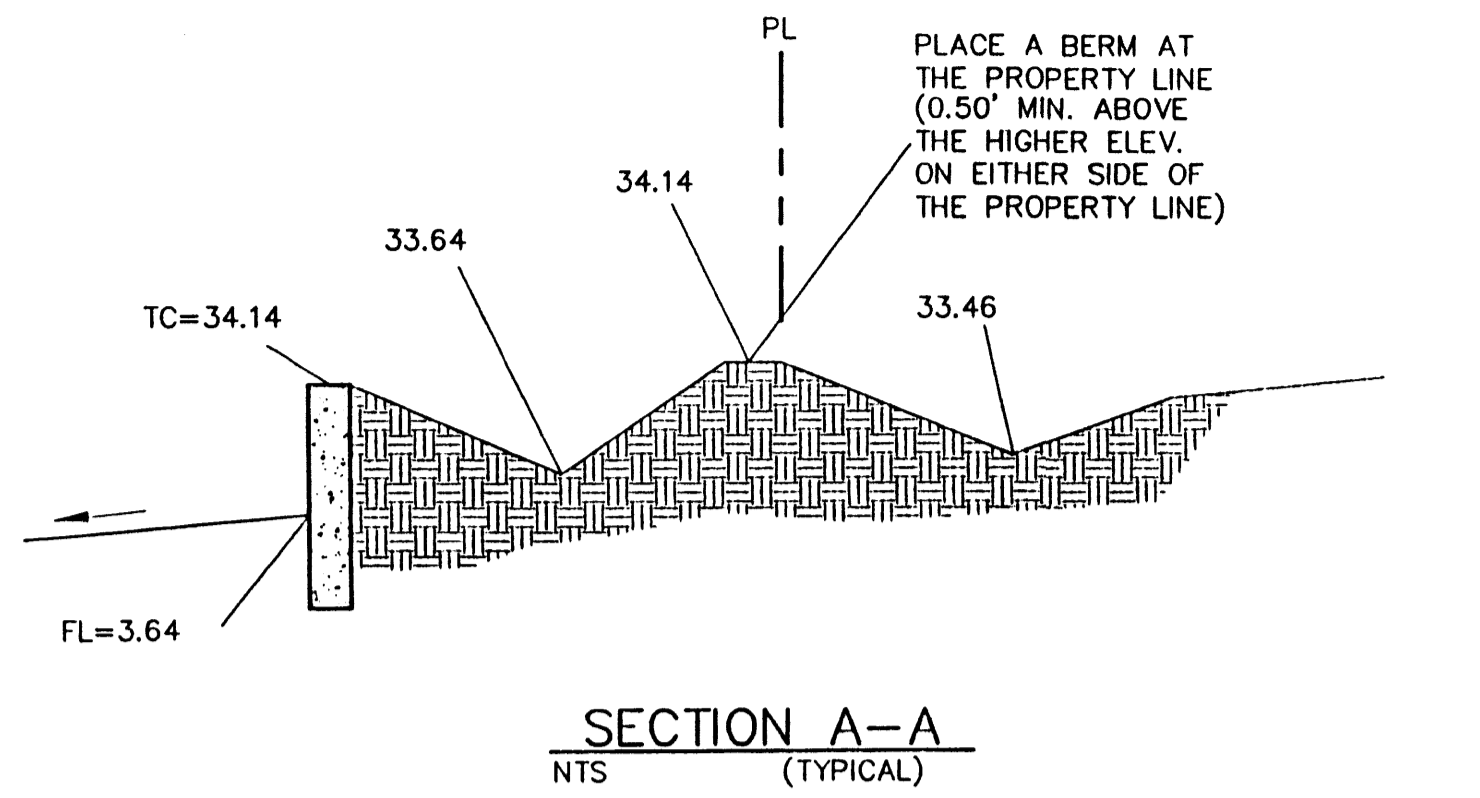
PLUMBING FIXTURES							
	OCCUPANT LOAD FACTOR (TABLE A-29-A)	FLOOR AREA	OCCUPANT LOAD	MINIMUM PLUMBING FIXTURES (50% MALE + 50% FEMALE)		TOTAL PROVIDED	
				MALE (WCS/LAVS)	FEMALE (WCS/LAVS)	MALE (WCS/LAVS)	FEMALE (WCS/LAVS)
SHOP	2,000 SF/PERSON	3,415.35 SF	2 OCCUPANTS	-	-	-	-
OFFICE	200 SF/PERSON	2,473.15 SF	13 OCCUPANTS	-	-	-	-
TOTAL		5,888.50SF	15 OCCUPANTS	1/1	1/1	1/1	1/1

LANDSCAPE CALCULATIONS:		PARKING CALCULATIONS:	
REQUIRED LANDSCAPED AREA:		REQUIRED FOR	
GROSS LOT AREA:	27,190.15 SF ( 0.6242 AC )	OFFICES	2,473 GSF / 200 GSF 13 SPACES
BUILDING FOOTPRINT:	6,000.00 GSF	FACTORY	2 SPACES / 3 EMPLOYEES 4 SPACES
NET LOT AREA:	21,190.15 SF x 15 %	TOTAL	17 SPACES
REQUIRED AREA:	3,178.5 GSF	ADA ACCESSIBLE ( VANS INCLUDED )	1 TOTAL ( 1 )
TOTAL PROVIDED	7,006.0 GSF	ACTUAL PROVIDED:	20 SPACES

BUILDING CODE REQUIREMENTS			
OCCUPANCIES:	F-2 LOW HAZARD FACTORY	OCCUPANCY SEPARATION	B - S-1 = NONE
OCCUPANTS:	SHOP 3,415.35 SF= 17 PERSONS @ 1/200 SF, 2 EXITS REQD OVER 30	OFFICE 2,473.15 SF= 25 PERSONS @ 1/100 SF, 2 EXITS REQD OVER 30	
MIXED USE OCCUPANCY:	B	F-2	TOTAL RATIO
ACTUAL SF	2,473.15 SF	3,415.35 SF	= 0.21 + 0.19 = 0.40 <= 1.0
ALLOWABLE SF	12,000 SF	18,000 SF	
CONSTRUCTION TYPE	II-N PRE-ENGINEERED STEEL BUILDING w/ NON-COMBUSTIBLE INTERIOR FRAMING		
BASIC ONE STORY ALLOWABLE AREA	12,000 SQ FT (B OCCUPANCY)	TOTAL ACTUAL AREA	5,888.50 SQ FT
MAX. HEIGHT	2 STORIES (UBC) - 26' (ZONING)	ACTUAL HEIGHT	20'-4"
STRUCTURAL DESIGN CRITERIA:	UBC SEISMIC ZONE 2B WIND: 20.67 PSF (P = Ce Cq qs I) ROOF & SNOW: 20 PSF NON-REDUCEABLE Ce = 1.06, Cq = 1.3 (Method 2), qs = 15.0, I = 1.00 SOIL BEARING: 2,000 PSF WIND SPEED = 75 mph, EXPOSURE C		

PROJ 1000624



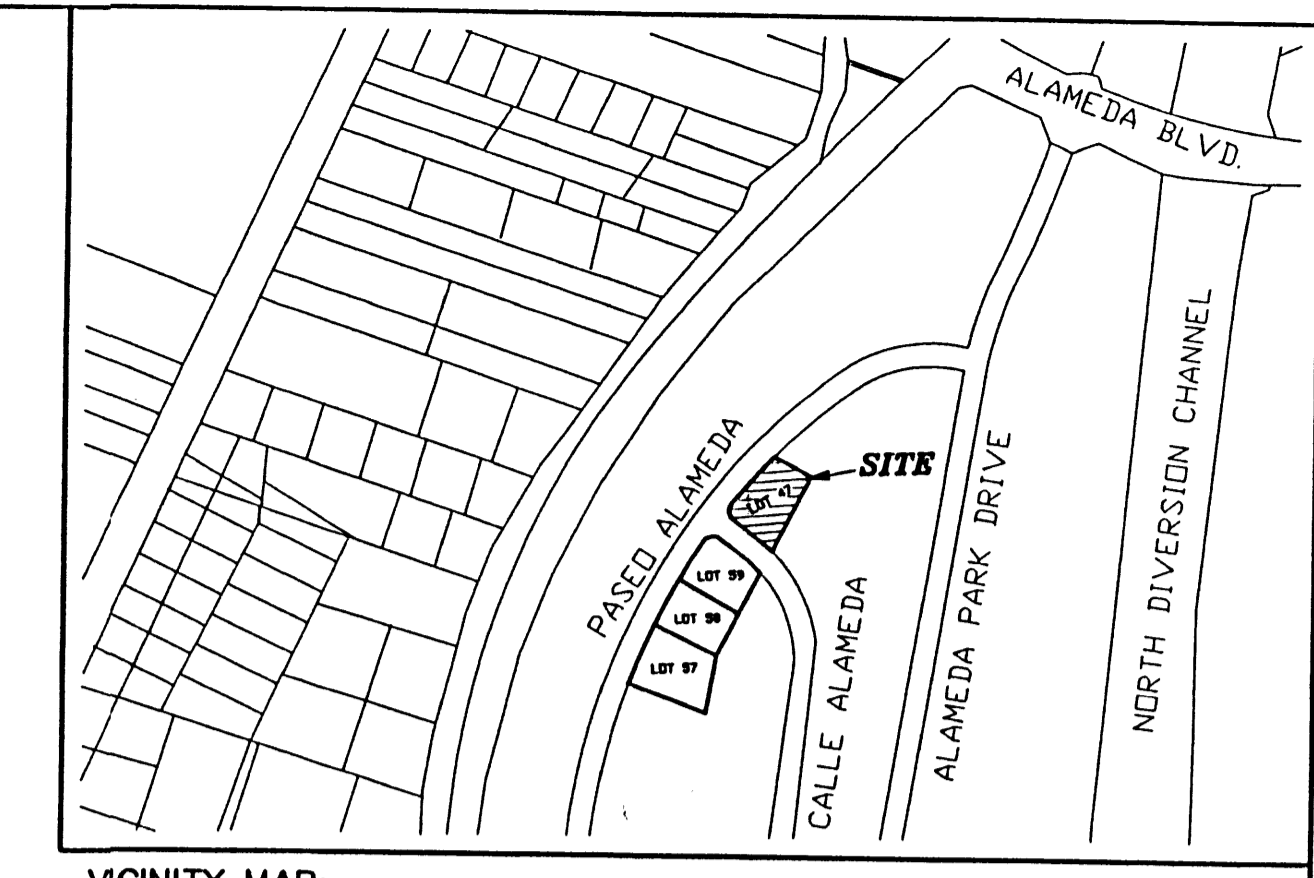
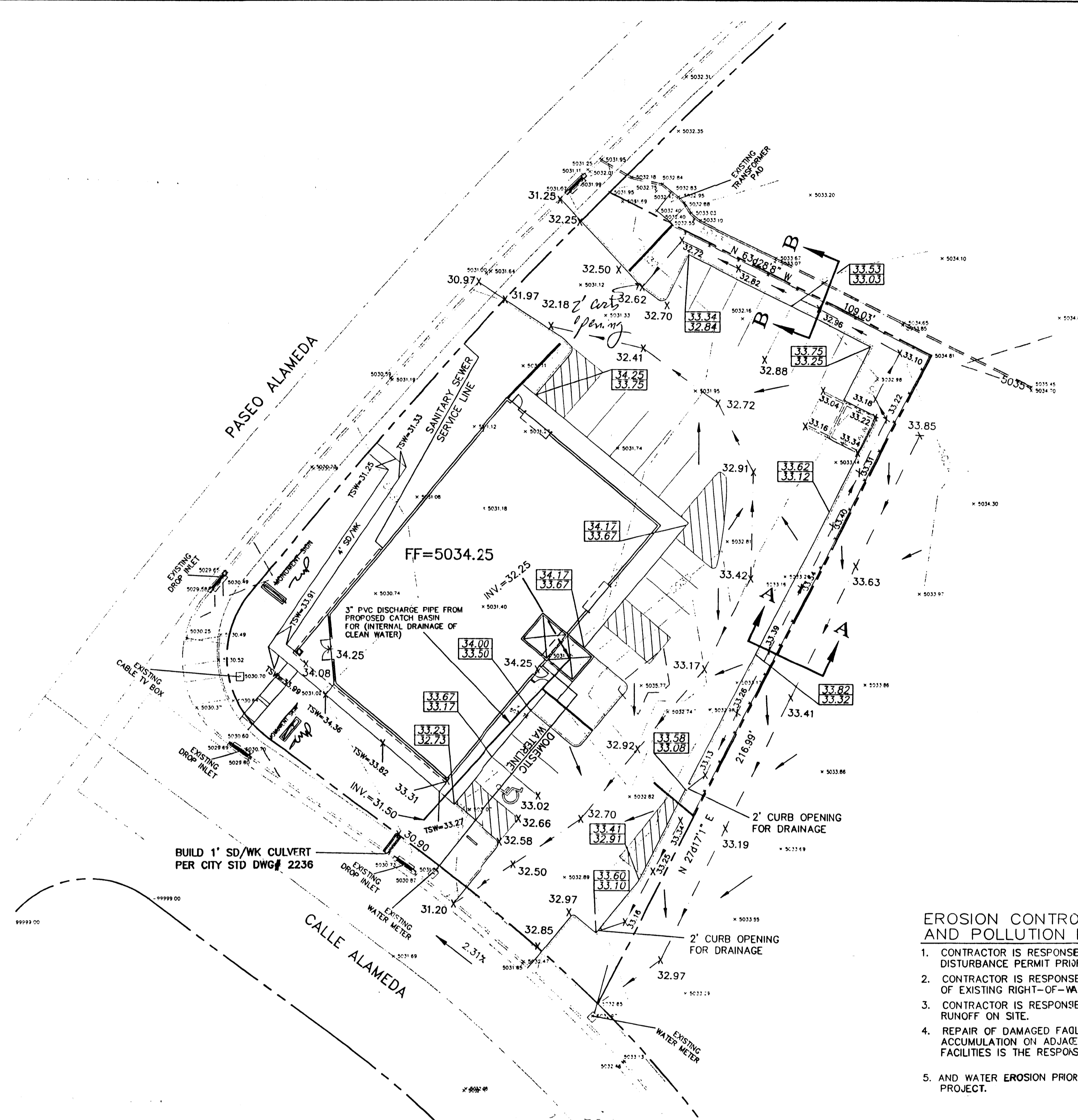
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
INSPECTOR		

**GENERAL NOTES:**

- 1: ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
- 2: CONTOUR INTERVAL IS ONE (1) FOOT.
- 3: ELEVATIONS ARE BASED ON THE AMAFCA BRASS TABLET "NDC-7" HAVING AN ELEVATION OF 5062.60 FEET ABOVE SEA LEVEL.
- 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 6: SLOPES ARE AT 3:1 MAXIMUM.



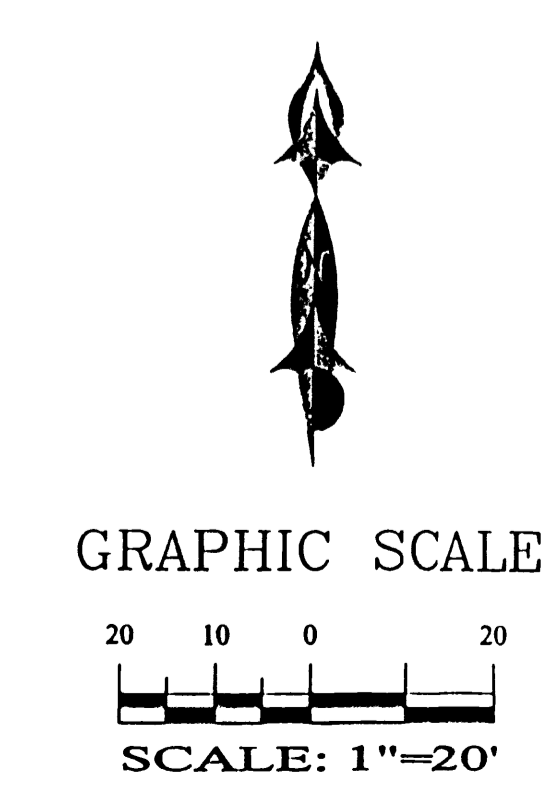
LEGAL DESCRIPTION:  
LOT 47, ALAMEDA BUSINESS PARK

**LEGEND**

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE

**EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**ADVANCED ENGINEERING and CONSULTING, LLC**

SHAHAB BLAZAR  
P.E. #13479

10205 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)899-5570

**ROMAN FOUNTAINS**

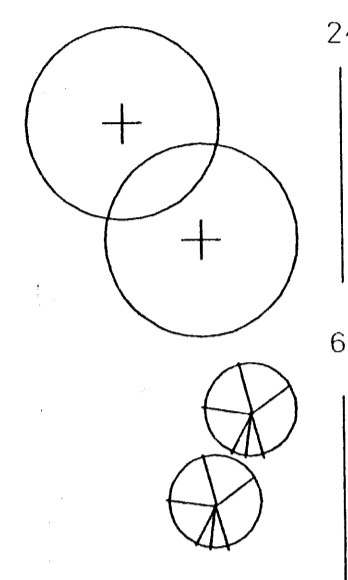
LOT 47, ALAMEDA BUSINESS PARK  
GRADING AND DRAINAGE PLAN

DRAWING: 2039-GR.DWG	DRAWN BY: SBB	DATE: 01-05-01	SHEET #
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ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
FR	12	FRAXINUS	ASH	2" CAL	H
+	24	ELAEAGNUS PUNGENS	SILVERBERRY	1 GAL	M
+		JUNIPERUS SABINA	BUFFALO JUNIPER		M
+		RAPHIOLEPIS INDICA	INDIA HAWTHORN		M
+		CHRYSOTHAMNUS NAUSEOSUS	CHAMISA		L
+		BUDDLEIA DAVIDII	BUTTERFLY BUSH		M
+	64	CARYOPTERIS X CLADONENSIS	BLUE MIST		M
+		ROSMARINUS OFFICINALIS	ROSEMARY		M
+		MISCANTHUS SINENSIS	MAIDEN GRASS		M
+		HESPERALOE PARVIFLORA	RED YUCCA		M
+		LAVANDULA	LAVENDER		M



**SITE DATA**

GROSS LOT AREA	27,030 SF
LESS BUILDING	5,900 SF
NET LOT AREA	21,130 SF
REQUIRED LANDSCAPE	3,170 SF
.15% OF NET LOT AREA	
PROPOSED LANDSCAPE	8,855 SF
PERCENT OF NET LOT AREA	42%

REQUIRED STREET TREES  
ONE PER 30 LF OF STREET FRONTAGE

REQUIRED PARKING LOT TREES  
LOCATED NO MORE THAN 50 FROM A PARKING SPACE

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN CRUSHER FINES AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THAN 50' FROM A TREE.

**HeadUp**  
LANDSCAPE CONTRACTORS  
7525 SECOND ST. NW  
ALBUQUERQUE, NM  
(505) 898-9615  
LICENSE 18890  
www.headsuplandscape.com



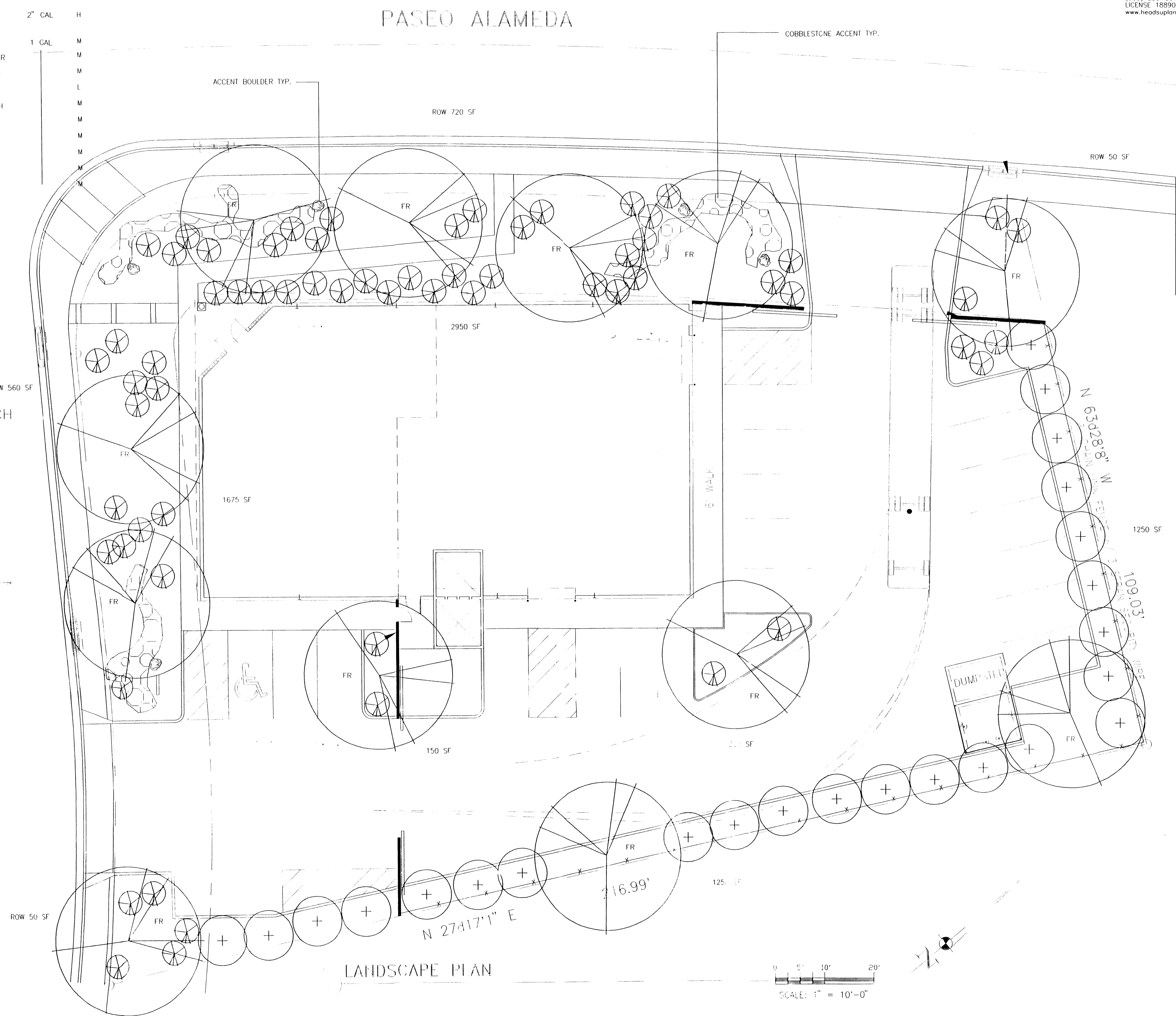
**MASTERWORKS ARCHITECTS, INC.**  
516 ELEVENTH ST. NW 242-1866  
ALBUQUERQUE, NM 87102-1806

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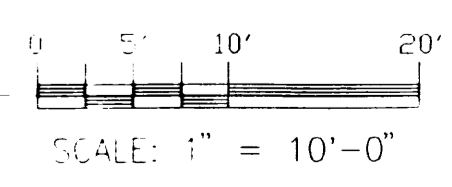
NEW OFFICE MANUFACTURING BUILDING FOR  
**ROMAN FOUNTAINS**  
LOT #7, ALAMEDA BUSINESS PARK  
ALBUQUERQUE, NEW MEXICO

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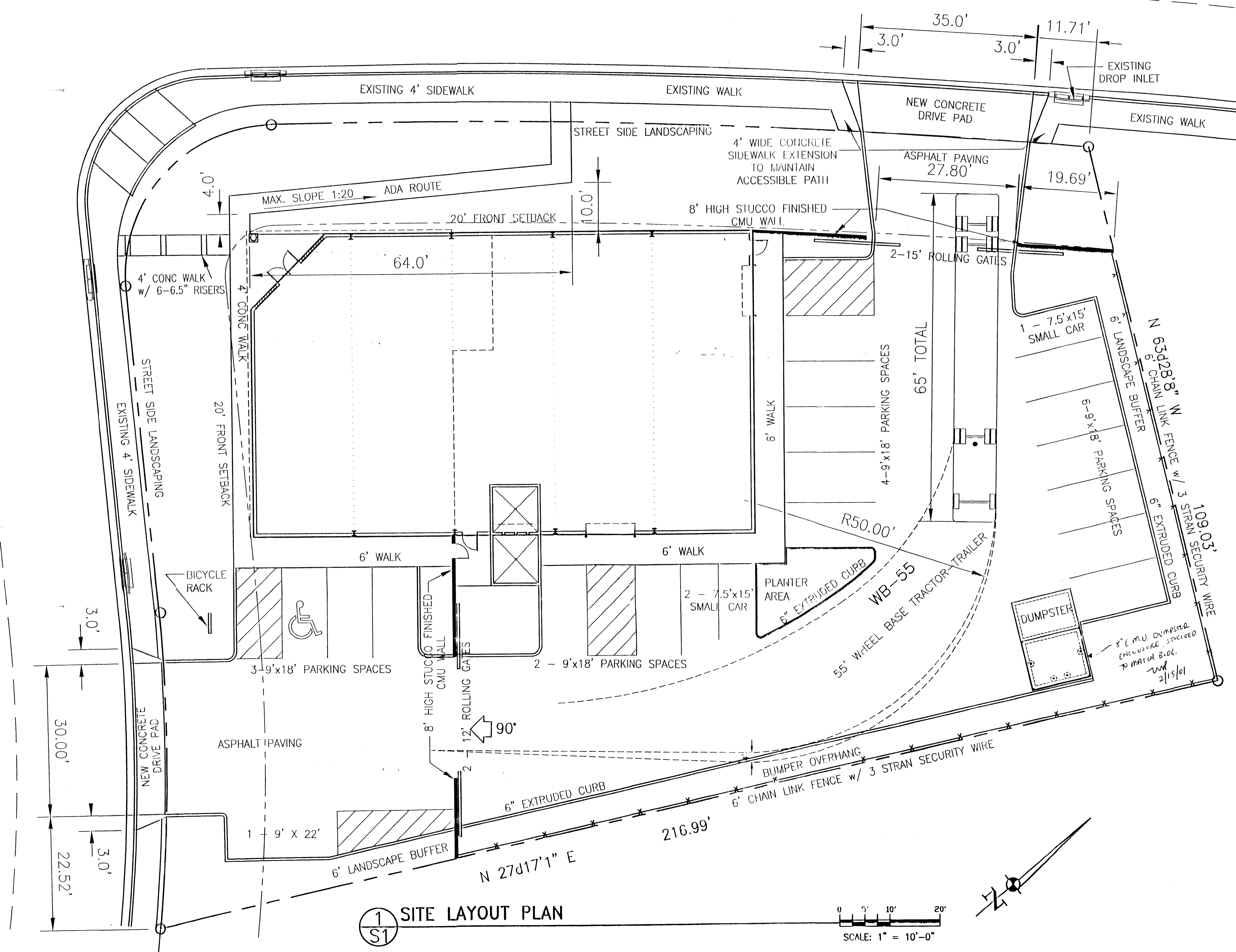


**LANDSCAPE PLAN**

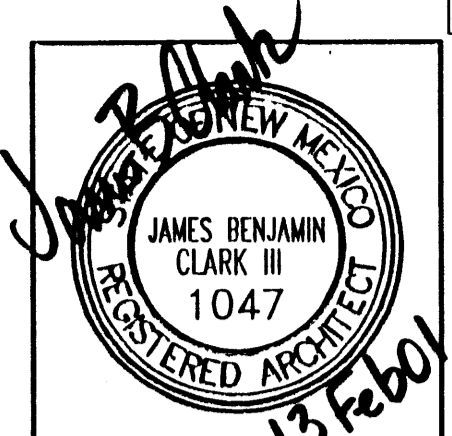
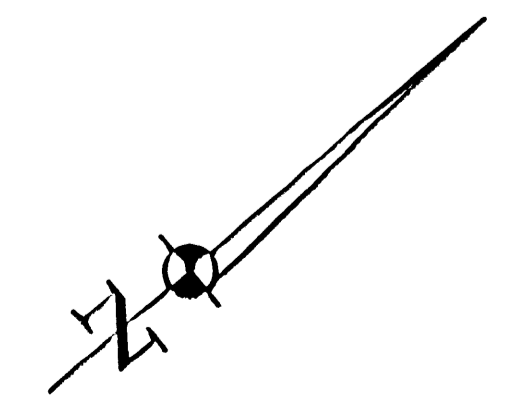
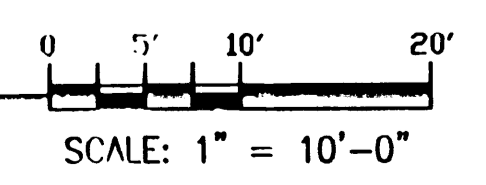


CALLE ALAMEDA

PASEO ALAMEDA



1 SITE LAYOUT PLAN



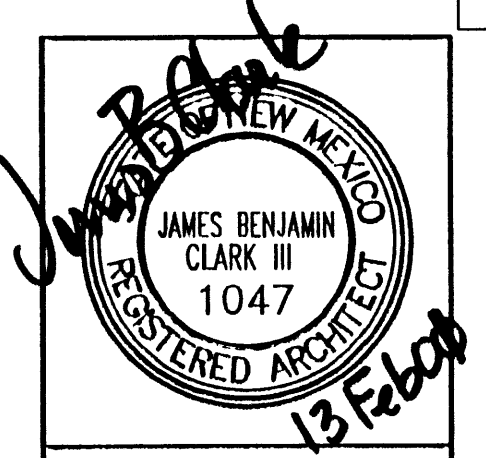
**MASTERWORKS ARCHITECTS, INC**  
 516 ELEVENTH ST. NW 242-1866  
 ALBUQUERQUE, NM 87102-1806

FILE # 0051bSITE  
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 8 FEB 01

NEW OFFICE/MANUFACTURING BUILDING FOR  
**ROMAN FOUNTAINS**  
 LOT 47, ALAMEDA BUSINESS PARK  
 ALBUQUERQUE, NEW MEXICO

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 Real Estate, Development, Construction  
 Albuquerque, NM (505) 856-7939

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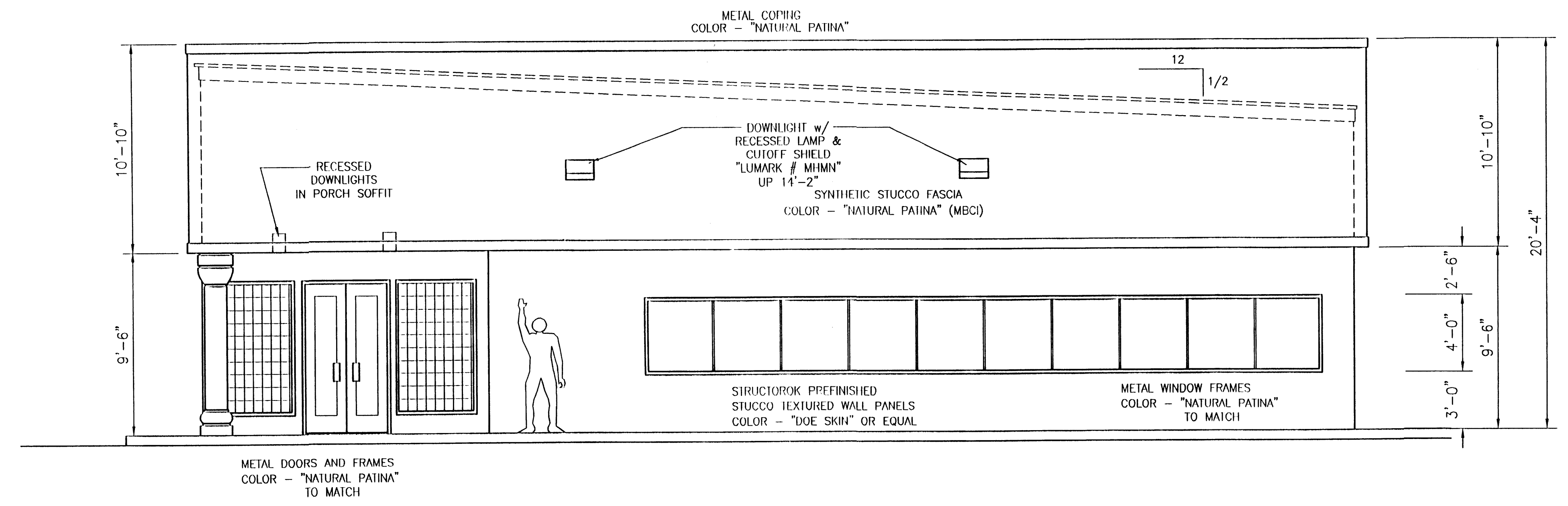
NEW OFFICE/MANUFACTURING BUILDING FOR  
**ROMAN FOUNTAINS**  
 LOT 47, ALAMEDA BUSINESS PARK  
 ALBUQUERQUE, NEW MEXICO

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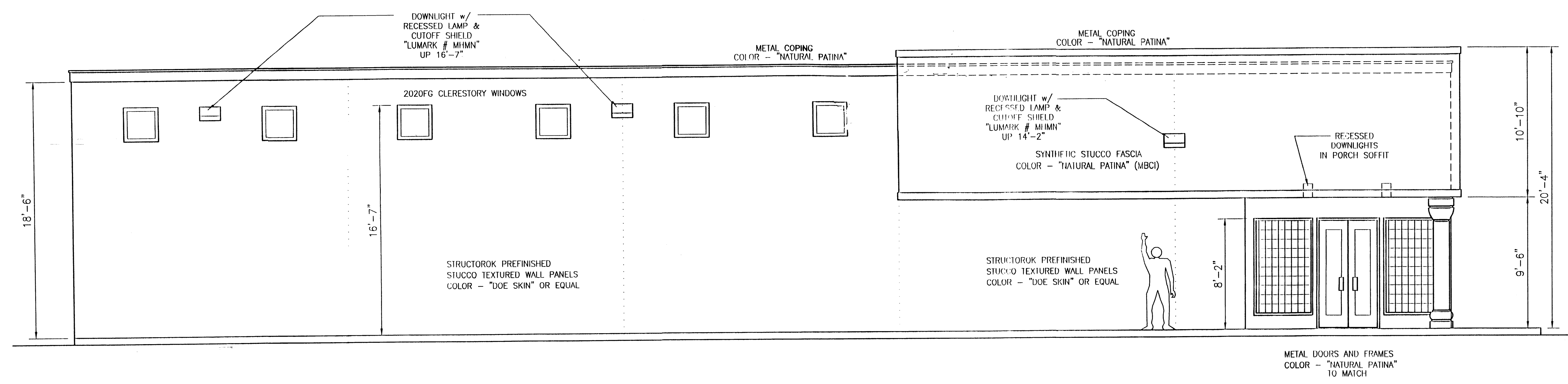
**OTHER EXTERIOR FINISHES:**

- CMU WALLS - STUCCO FINISHED  
 COLOR: "DOESKIN"
- DUMPSTER ENCLOSURE - 7' CMU WALLS  
 STUCCO FINISHED  
 COLOR: "DOESKIN"



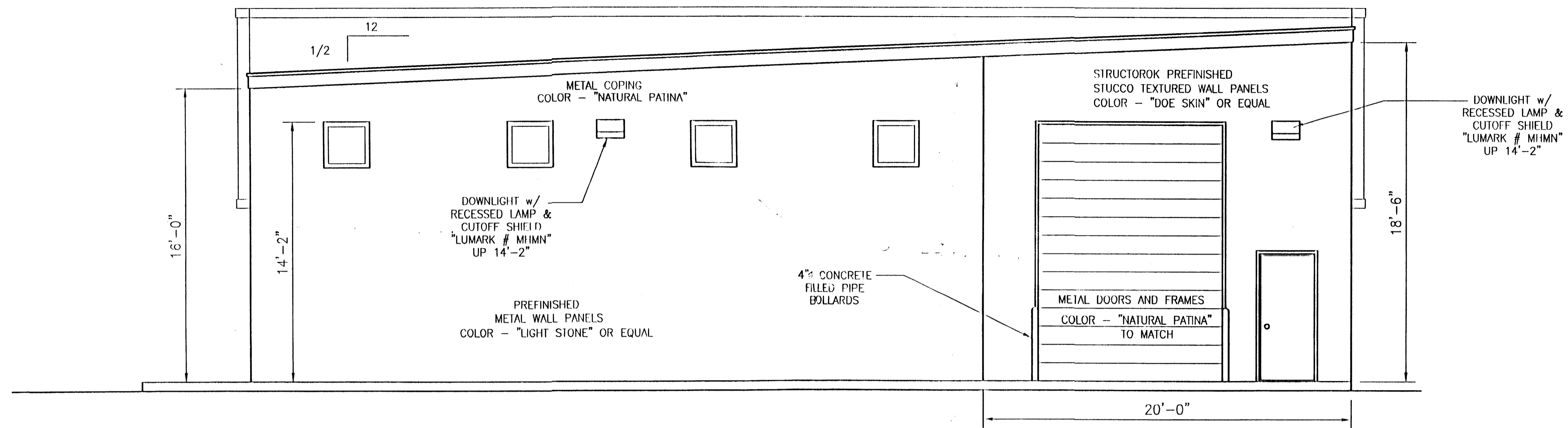
**2 SOUTH ELEVATION - CALLE ALAMEDA**

SCALE: 1/4" = 1'-0"



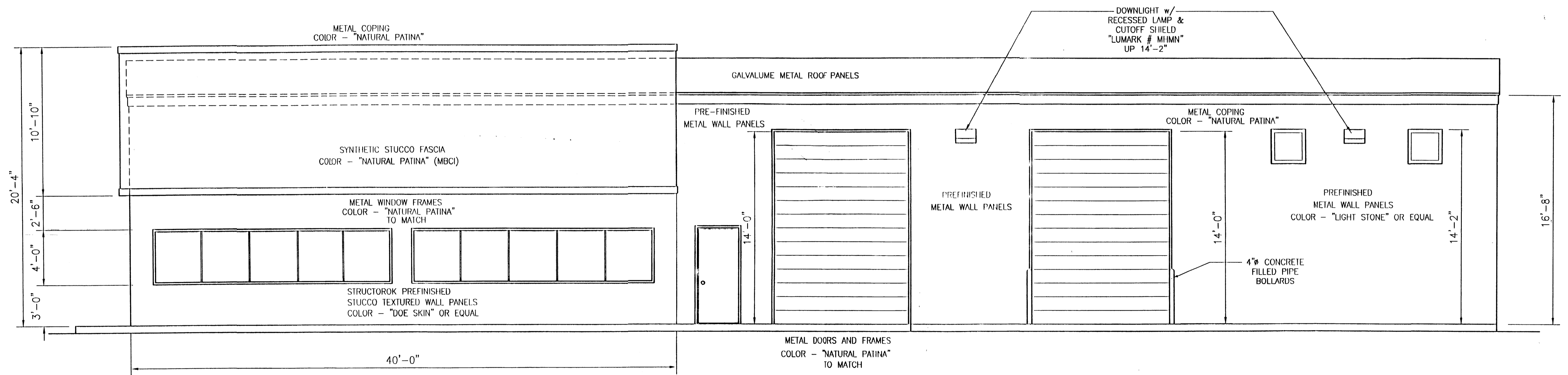
**1 WEST ELEVATION - PASEO ALAMEDA**

SCALE: 1/4" = 1'-0"



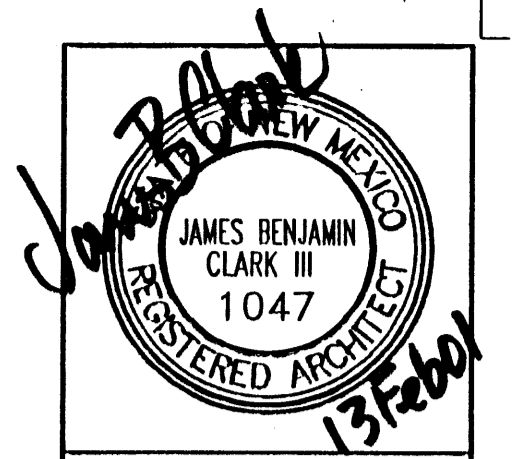
2 NORTH ELEVATION  
A4

SCALE: 1/4" = 1'-0"



1 EAST ELEVATION  
A4

SCALE: 1/4" = 1'-0"



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ALBUQUERQUE, NM 87102-1806

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LOT 47, ALAMEDA BUSINESS PARK  
ALBUQUERQUE, NEW MEXICO

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