

#1000627

# S Squire Office

Lot 41, Alameda Business Park

## Drawing Index

SHT. No.	DRAWING TITLES
1	COVER SHEET
2	MASTER DEVELOPMENT PLAN
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5	SITE UTILITY PLAN
6	GRADING AND DRAINAGE PLAN
7	LANDSCAPING PLAN
8	EXTERIOR ELEVATIONS

DRB SUBMITTAL  
May 15, 2001

### Design Build:

Reid & Associates Inc.  
333 Rio Rancho Blvd. NE  
Rio Rancho, New Mexico 87124  
(505) 891-2528

### Architectural

Dekker/Perich/Sabatini, Ltd.  
6801 Jefferson NE, Suite 100  
Albuquerque, New Mexico 87109  
(505) 761-9700

### Civil:

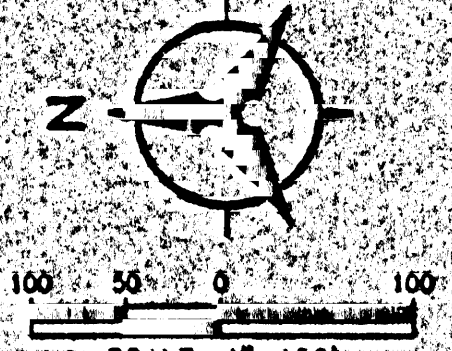
Huitt-Zollars, Inc.  
333 Rio Rancho Dr. Ste. 101  
Rio Rancho, New Mexico 87124  
(505) 891-2528

### Landscape:

The Hilltop  
7909 Edith NE  
Albuquerque, New Mexico 87184  
(505) 898-9690



EXISTING TRACT C, LANDS OF  
SPRINGER BUILDING MATERIALS CORP.  
(OLD BALLOON TIRE PARK)  
ZONED SU-2, PARK



MT INVESTMENT  
ZONED SU-2  
M-1

TRACT A  
MT INVESTMENT  
ZONED SU-2  
IP-EP

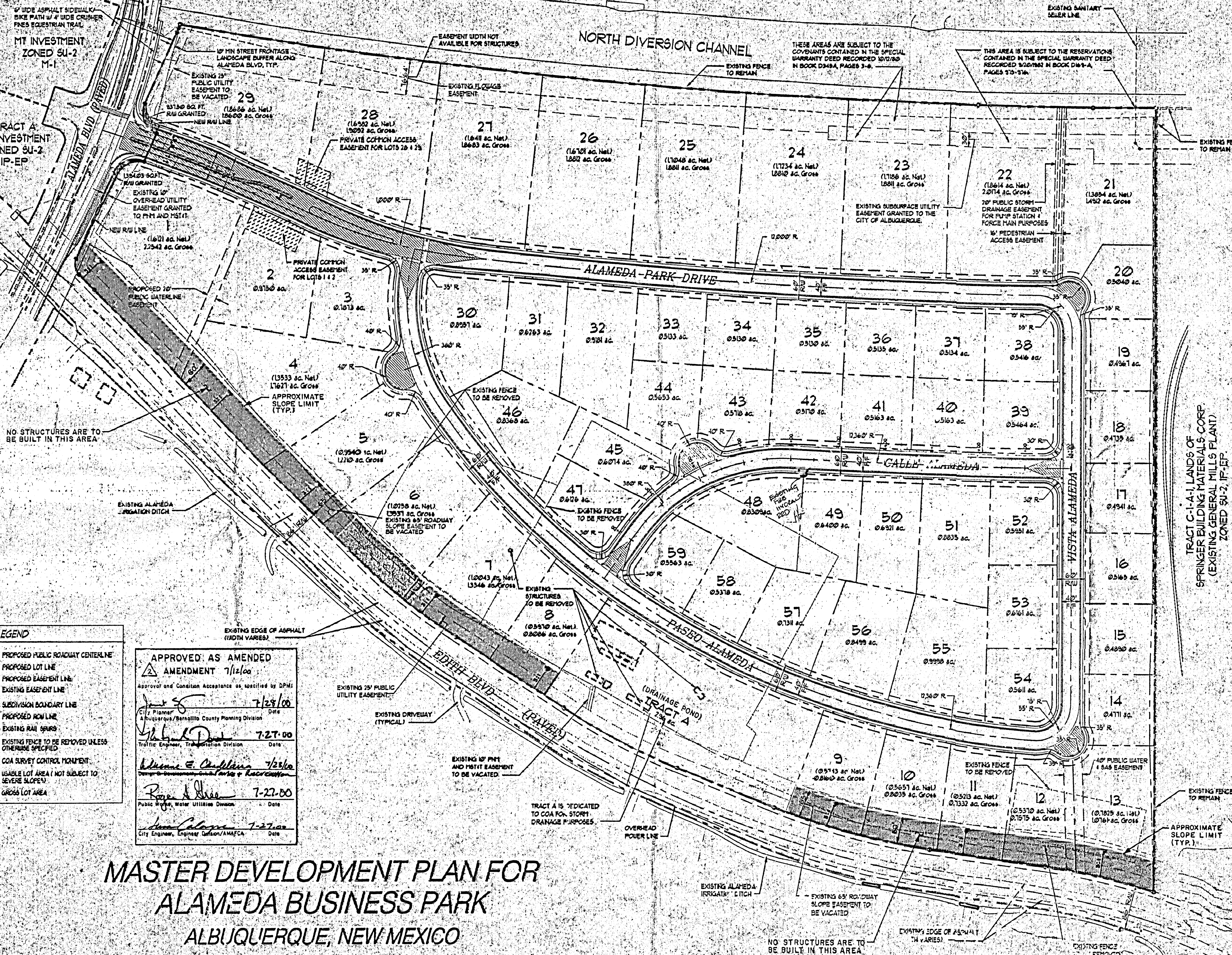
NORTH DIVERSION CHANNEL

ALAMEDA PARK DRIVE

PASO ALAMEDA

EDRISH BLVD

VISTA ALAMEDA



**LEGEND**

- PROPOSED PUBLIC ROADWAY CENTERLINE
- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- SUBDIVISION BOUNDARY LINE
- PROPOSED ROW LINE
- EXISTING RAIL SPURS
- EXISTING FENCE TO BE REMOVED UNLESS OTHERWISE SPECIFIED
- COA SURVEY CONTROL MONUMENT (1/8" = 1' AC)
- USABLE LOT AREA (NOT SUBJECT TO SEVERE SLOPE)
- GROSS LOT AREA

**APPROVED AS AMENDED**  
**AMENDMENT 7/12/00**

Approval and Condition Acceptance as specified by DPML

*[Signature]* 7/28/00  
City Planner  
Albuquerque/Bernalillo County Planning Division

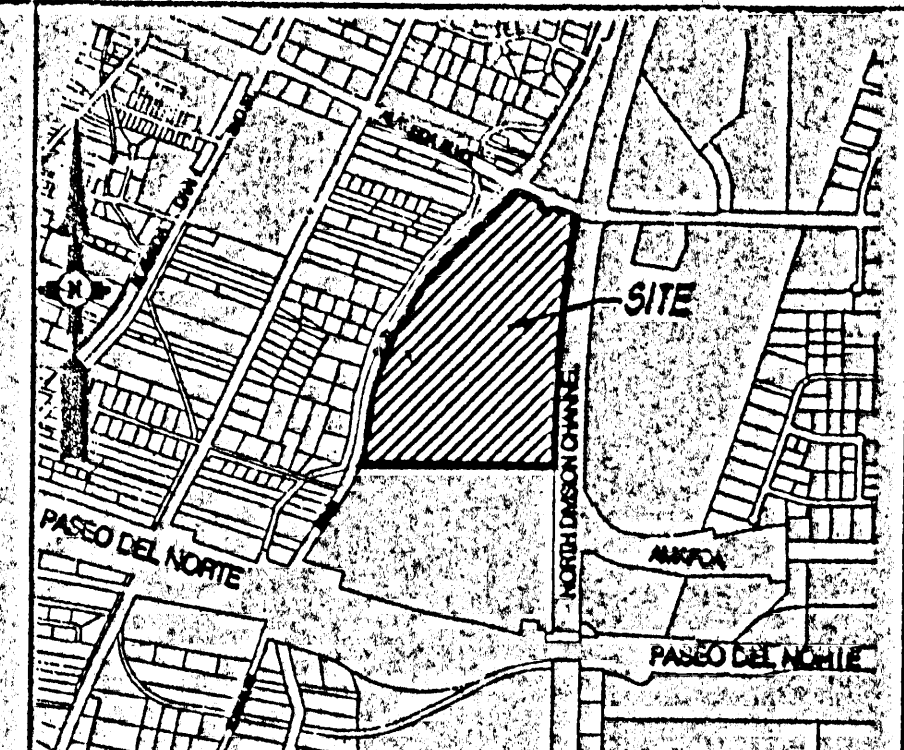
*[Signature]* 7-27-00  
Traffic Engineer, Transportation Division

*[Signature]* 7/28/00  
Director of Development, Parks & Recreation

*[Signature]* 7-27-00  
Public Works, Water Utilities Division

*[Signature]* 7-27-00  
City Engineer, Engineering/AMFCA

**MASTER DEVELOPMENT PLAN FOR  
ALAMEDA BUSINESS PARK**  
ALBUQUERQUE, NEW MEXICO  
REVISED MARCH 3, 1999  
REVISED JULY 2, 1999  
REVISED 7/12/00



VICINITY MAP  
ZONE ATLAS MAP NO. C-16  
AMENDED 8/1/01

- SITE DEVELOPMENT PLAN NOTES:**
- PROPOSED DEVELOPMENT PLAN MUST CONFORM TO THE REQUIREMENTS OF THE NORTH-28 SECTOR DEVELOPMENT PLAN, THE ALAMEDA CENTRAL OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE INDUSTRIAL PARK ZONE.
  - SITE DEVELOPMENT PLANS AND LANDSCAPE PLANS ARE REQUIRED FOR PERMISSIBLE USES ON ALL LOTS 13, 14, AND 16-36. SMALLER LOTS SHALL BE APPROVED BY THE PLANNING DIRECTOR. LOTS 1-12, AND 37-38 SHALL BE APPROVED BY THE PLANNING DIRECTOR. NOTIFICATION OF AND OPPORTUNITY FOR REVIEW BY THE ALAMEDA NORTH VALLEY NEIGHBORHOOD ASSOCIATION.
  - ALL WASTE COLLECTION AND OUTDOOR STORAGE AREAS SHALL BE VISUALLY SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT PROPERTY LINES. SCREENING SHALL CONSIST OF OPAQUE MATERIALS, SOLID WALLS OR PROPERTY FENCES SHALL BE AT LEAST SIX FEET HIGH AND BE CONSTRUCTED OF MATERIALS HARMONIZED WITH THE ARCHITECTURAL STYLE OF BUILDINGS ON SITE.
  - ALL LOADING AREAS USED FOR THE LOADING AND UNLOADING OF COMMERCIAL VEHICLES SHALL BE SET BACK FROM THE PUBLIC RIGHT-OF-WAY LINE AND FROM ALL PROPERTY LINES TO MAINTAIN THE VISUAL IMPACT OF LARGE COMMERCIAL VEHICLES AND LOADING AREAS.
  - BUILDING SETBACK REQUIREMENTS:  
A) FRONT YARD: NOT LESS THAN 20'  
B) SIDE YARD: NOT LESS THAN 10'  
C) REAR YARD: NOT LESS THAN 10'  
D) LOTS 1 AND 4-13 SHALL HAVE A 5' SETBACK FROM THE TOP OF THE ALLOPED PORTION OF THE LOT, ADJOINING EDITH BLVD.
  - STRUCTURE HEIGHT AND ROOF SHALL FALL WITHIN 15' ANGLE PLAYS DRAIN FROM THE HORIZONTAL AT THE REAR GARAGE ALONG EACH BOUNDARY OF THE PENTHOUSE. BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 10 FEET (EXCEPT AS PARTIALLY DEPENDENT ON THE ZONING CODE).
  - NO MORE THAN 25% OF THE SURFACE OF ANY LOT SHALL BE COVERED WITH BUILDINGS.
  - FOR LANDSCAPE BUFFER REQUIREMENTS SEE LANDSCAPE MANUAL ON SHEET 7 OF 7.
  - SEE SHEET 7 OF 7 FOR SIGNAGE, SITE LIGHTING AND ARCHITECTURAL REQUIREMENTS.

DEB 98-223 Project # 1000424  
APPROVED 4/17/99 DATE  
TRANSPORTATION DEPT. 3-29-99  
CITY ENGINEER AMANDA 8-16-99  
UTILITY DEPT. 8-4-99 DATE  
CIP. 3-1-99 DATE

AMENDED 8/1/01  
APPROVED 7/12/00  
Approval of this site development subdivision plan by the COA Transportation Development Division is based on the Traffic Impact Study (TIS) prepared by Bohannon Huston, Inc. dated December 24, 1998 and Letter Revision dated March 30, 1999. This trip generation was determined assuming an average overall development ratio of 29% office and 75% warehouse/storage yards. Any substantial deviation of this assumption, with respect to the actual development of the site, may require an updated TIS and off-site mitigation requirements.

Bohannon Huston  
2 of 8  
County Line 7500 JEFFERSON ALBUQUERQUE, NEW MEXICO 87109



**LANDSCAPE DEVELOPMENT NOTES:**

1. PROPOSED DEVELOPMENT PLAN MUST CONFORM TO THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN AND THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE.

2. LANDSCAPING BUFFER AREAS SHALL BE REQUIRED ON EACH LOT.

- A. FRONT YARD: 10 FT LANDSCAPING BUFFER
- B. SIDE YARD: 6 FT MIN LANDSCAPING BUFFER, EXCEPT AS FOLLOWS:
  - 1) LOTS WITH SIDE YARDS ABUTTING ALAMEDA BLVD. SHALL HAVE A 10 FT SIDE YARD LANDSCAPING BUFFER REQUIRED ON THE ABUTTING SIDE.
- C. REAR YARD: 6' REAR LANDSCAPING BUFFER IS REQUIRED, EXCEPT AS FOLLOWS:
  - 1) LOTS WITH REAR YARDS ABUTTING ALAMEDA BLVD. SHALL HAVE A 10 FT REAR YARD LANDSCAPING BUFFER REQUIRED ON THE ABUTTING SIDE.

2) NOT REQUIRED BY COA ZONING ENFORCEMENT STATE THIS BUFFER SHALL NOT BE REQUIRED.

3) LOTS 1 AND 4-13 SHALL HAVE A 6' REAR YARD LANDSCAPING BUFFER AT THE TOP OF THE SLOPE. NO ADDITIONAL REAR YARD LANDSCAPING BUFFER SHALL BE REQUIRED AT THE REAR PROPERTY LINE (EDITH BLVD); HOWEVER, EACH LOT SHALL BE REQUIRED TO PLANT, IRRIGATE, UNTIL SELF SUSTAINING, AND MAINTAIN A MINIMUM OF SIX (6) NATIVE PLANT SHRUBS ON THE SIXTY FOOT (60') WIDE SLOPED AREA OF THE LOT (ABUTTING EDITH BLVD); THE NATIVE SHRUBS SHALL BE SELECTED FROM THE FOLLOWING SPECIES:

- |                         |                    |
|-------------------------|--------------------|
| CHRYSOTHAMNUS NAUSEOSUS | CHAMISA            |
| ATRIPLEX CANESCENS      | FOUR WING SALTBUSH |
| FALLUGIA PARADOXA       | APACHE PLUME       |
| RHUS TRILOBATA          | THREE LEAF SUMAC   |

THESE PLANTS SHALL BE RANDOMLY PLANTED ON THE HILL, AND SPACED A MINIMUM OF 10' O.C. FROM OTHER PLANTS.

3. SLOPED PORTIONS OF LOTS ADJACENT TO EDITH BLVD. SHALL BE SEEDED PER COA SPECS. NO BUILDING SHALL BE CONSTRUCTED WITHIN THIS SIXTY FOOT (60') WIDE SLOPED AREA.

4. LOTS ABUTTING ALAMEDA BLVD. SHALL PLANT STREET TREES IN ACCORDANCE WITH THE COA STREET TREE ORDINANCE. TREES SHALL BE PLANTED AT TWENTY FEET (20') O.C. AT THE TOP OF THE SLOPED PORTION OF LOTS 1 AND 4-13 ON THE EDITH ABUTTING SIDE, AT LEAST 50% OF WHICH SHALL BE EVERGREEN TREES. THE DECIDUOUS TREES SHALL BE:

- |                     |                    |
|---------------------|--------------------|
| ROBINIA AMBIGUA     | PURPLE ROSE LOCUST |
| PISTACHIA CHINENSIS | CHINESE PISTACHE   |
| CHILOPSIS LINEARIS  | DESERT WILLOW      |
| FRAXINUS VELLUTINA  | ARIZONA ASH        |
| QUERCUS SHUMARDI    | SHUMARD'S RED OAK  |

THE EVERGREEN TREES SHALL BE:

- |  |                  |
|--|------------------|
| CUPRESSOCYPARIS LEYLANDII                  | LEYLAND CYPRESS  |
| JUNIPERUS MONOSPERMA (FEMALE VARIETY ONLY) | ONE SEED JUNIPER |
| PINUS ELGARICA                             | AFGHAN PINE      |
| PINUS NIGRA                                | AUSTRIAN PINE    |
| PINUS SYLVESTRIS                           | SCOTCH PINE      |

THESE TREES SHALL FORM AN OPAQUE VISUAL BUFFER TO TWENTY FEET (20') IN HEIGHT MINIMUM IN A 10-15 YEAR GROWING PERIOD; NO ADDITIONAL STREET TREE PLANTING WILL BE REQUIRED FOR THESE LOTS, EXCEPT LOT 1, WHICH MUST CONFORM TO THE COA STREET TREE ORDINANCE ON ALAMEDA BLVD.

5. ALL AREAS USED FOR OFF-STREET PARKING SHALL BE DESIGNED AND LANDSCAPED TO REDUCE THE VISUAL IMPACT OF PARKED CARS. LANDSCAPING SHALL BE IN ACCORDANCE WITH THE OFF-STREET PARKING LANDSCAPING REGULATIONS OF THE COA, COMPREHENSIVE ZONING CODE, WITH THE FOLLOWING EXCEPTIONS:

- A. ALL AREAS OF PARKING LOTS NOT USED FOR PARKING OR AUTO CIRCULATION MUST BE LANDSCAPED.
- B. NO PARKING SPACE MAY BE MORE THAN 50 FT FROM A TREE.

6. TREES, SHRUBS, AND VEGETATIVE GROUND COVER SHALL BE SELECTED FROM PLANT LEGEND ON THIS PAGE.

7. PLANTINGS SHALL BE PLACED ON SITE TO PROVIDE SHADE FOR ALL PEDESTRIAN AREAS AND BUILDINGS DURING SUMMER MONTHS.

8. LANDSCAPING SHALL CONFORM TO TO COA'S WATER CONSERVATION POLICIES.

3. PLANTINGS SHALL BE LOCATED WITH RESPECT TO THE CLEAR SIGHT TRIANGLE REQUIREMENTS.

10. TREES SHALL NOT BE PLANTED IN PUBLIC UTILITY EASEMENTS.

11. ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF 1-1/2" SANTA ANA TAN GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5, 20 MIL. FILTER FABRIC OR APPROVED EQUAL. EXCLUDE FILTER FABRIC IN GROUND COVER AND PERENNIAL AREAS.

12. RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE LOT OWNER.

13. AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. GRASS AREAS SHALL BE SPRAY IRRIGATED, TREES SHALL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM. SHRUBS AND GROUND COVERS SHALL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

14. LOTS 1 AND 4-13 SHALL CONSTRUCT A SIX FOOT (6') HIGH FENCE CAPABLE OF SUPPORTING A CLIMBING VINE VEGETATIVE SCREENING AT THE TOP OF THE SLOPED AREA OF THE LOT ABUTTING EDITH BLVD. CLIMBING VINES SHALL BE PLANTED AT A SPACING WHICH WILL RESULT IN COMPLETE COVERAGE OF THE FENCE; AND SHALL BE SELECTED FROM THE FOLLOWING:

- |                             |                    |
|-----------------------------|--------------------|
| CAMPIS RADICANS             | TRUMPET VINE       |
| LONGICERA JAPONICA HALLIANA | HALL'S HONEYSUCKLE |
| LONGICERA SEMPERVIRENS      | CORAL HONEYSUCKLE  |
| PARTHENOCISSUS INSERTA      | WOODBINE           |
| ROSA BANKSIANAE             | ROSE LADY BANKS    |

2) Fencing and landscaping along Edith Blvd. shall be maintained in perpetuity.

15. PLANTS AND TREES WHICH ARE PERMITTED INCLUDE ALL SPECIES ALLOWED BY THE CITY OF ALBUQUERQUE'S WATER CONSERVATION AND POLLEN ORDINANCES, AND MUST BE PLANTED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING CODE, THE NORTH I-25 SECTOR DEVELOPMENT PLAN, AND OTHER REGULATIONS CONTAINED IN THIS DOCUMENT.

**DEVELOPMENT REQUIREMENTS**

**Site Signage**

1. Signage on each lot shall comply with the City of Albuquerque Comprehensive Zoning Code and the following:

- A. Lot developments shall be allowed the following:
  - 1) A maximum of one building mounted sign per tenant. Total building mounted signage area per building shall not exceed 15% of the area of the facade.
  - 2) A maximum of one site monument sign.
  - 3) Building mounted signage area will not exceed 15% of the area of the facade on which it is mounted.

2. Projecting signs and roof signs are not allowed.

**Site Lighting**

1. In addition to lighting regulations in the Zoning Code, and the Alameda Design Overlay Zone, the following shall apply:

- A. Site lighting of parking lots, drives, plazas and entries will be provided to insure adequate lighting for both vehicular and pedestrian traffic after dark.
- B. Site parking lot lighting fixtures will not exceed 24'-0" in height. For lots 1 and 4-13 on the side abutting Edith Blvd, site and building mounted lighting shall be no higher than sixteen feet (16') when located between the west side of the building and the top of the sloped area of the site. Pole mounted lighting shall be placed a minimum distance of thirty feet (30') from the top of the sloped area of the lot.
- C. Light fixtures for walkways and plazas will be located between 8'-0" and 16'-0" in height.
- D. All parking lot lighting will be high pressure sodium type fixtures.
- E. Site and exterior area lighting pole mounted fixtures will be of the "shoobox" type with full cut-off features to avoid lights from interfering with local or adjacent traffic and nearby residential development. Finish of poles and fixtures are to be consistent with the colors of the building.
- F. The use of landscape and building exterior lighting is encouraged to accent building features, and highlight site and landscape areas.

**Architectural Design Criteria**

**1. General**

A. Architectural Design Criteria are established to promote a visual and esthetic consistency within the development and to avoid incompatible design schemes and elements harmful to the overall and individual developments.

**2. Building Heights**

A. Structure height and width shall fall within a 45-degree angle drawn from the horizontal at the mean grade along each boundary of the premises, but a structure shall not exceed 120 feet, except as further defined in the Zoning Code, and clarified for specific lots as follows:  
 1) On the eastern side of the lot, in no case however, shall structure height on these lots exceed 26' and its width and height shall fall within a 45 degree angle drawn from the horizontal at the mean grade along the north, south and east property lines and the top of the sloped area of the lot.

3. Opaque exterior building materials used will be consistent with commonly used materials in Albuquerque and New Mexico. These include stucco, exterior finish and insulation system (EIFS) with synthetic stucco finishes, brick and stone masonry or veneer, concrete masonry with architectural exterior treatment, and pre-cast architectural concrete. Materials not allowed as the predominant facade finishes include smooth face concrete masonry, metal paneling, ceramic tile veneer, reflective glass.

Windows and storefronts are to have tinted glass and are to be in anodized aluminum or pre-finished metal frames. Glass colors are to be compatible with the overall color scheme of the building. Glass curtain walls are limited to building entries and should not exceed 25% of the area of the building facade of which they are part. Glass curtain walls may have reflective glass of a color compatible with the glass used in windows and storefronts. Glass installed on the westerly facing facade shall be of a type which reduces light reflectance. Mirrored glass and/or highly reflective glass shall not be installed in westerly facing facades.

Accent walls or accent elements introduced to the building design to give it detailing may utilize any of the allowable materials above as well as painted or pre-finished metal, stainless steel, ceramic tile veneer or colored concrete.

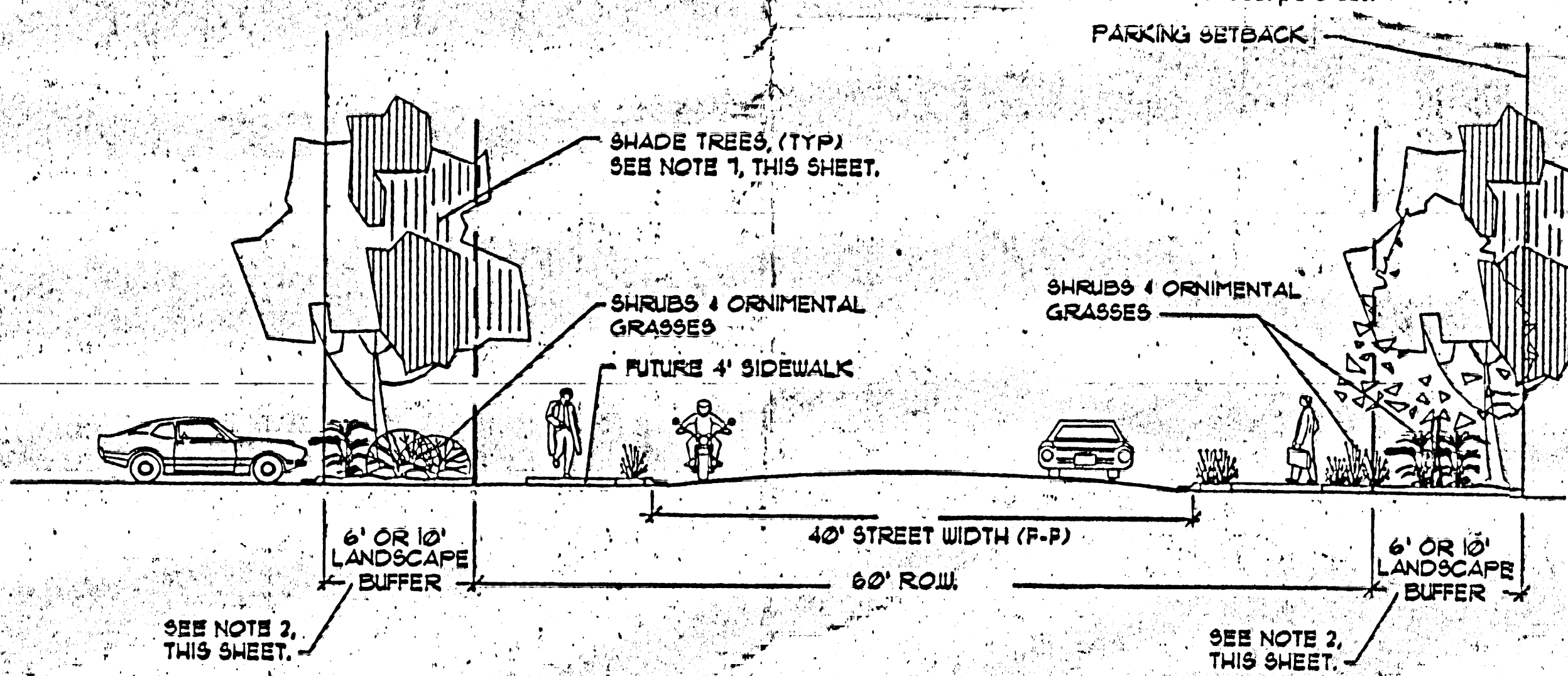
4. Building Colors of major facades are to be muted or pastel rather than bright or brilliant. The use of primary colors for major building walls is prohibited. Architectural accent walls, detached entry walls of colonnades or attached accent elements (entry canopies, window shading devices, maddallons, window transoms) may be primary of bright colors.

5. Roofs may be either flat or pitched. Flat roofs shall have a perimeter parapet which at no point will be lower than any portion of the roof it surrounds. Pitched roofs are to be of either concrete tiles, clay tiles or pre-finished ribbed metal. Tile and metal roof colors are to be consistent with the building colors. Roofs are not to have a highly reflective surface. Metal roofs are not to have a highly reflective surface. Metal roofs may not be bright, shiny colors or reflective metal finishes. Metal roofs may be painted, stained, green, blue, non-reflective white, or black. Roof equipment screens are to be screened from public view as much as practical. Roof equipment screens are to be at least as high as the highest part of the equipment. Roof screens are to be architecturally compatible with the building.

6. Mechanical equipment on roofs is to be screened from public view as much as practical. Roof equipment screens are to be at least as high as the highest part of the equipment. Roof screens are to be architecturally compatible with the building.

7. Building mounted signage will conform to the zoning ordinance and the following:

- A. Dimensional height of any portion of the sign shall not exceed 3'-6".
- B. No portion of the sign shall protrude more than 6" from the building face on which it is mounted.
- C. Direct lot access to Edith Blvd. and/or Alameda Blvd. is not permitted.



**STREETSCAPE TYPICAL SECTION**

**LANDSCAPING DEVELOPMENT REQUIREMENTS FOR ALAMEDA BUSINESS PARK**

**ALBUQUERQUE, NEW MEXICO**

REVISED MARCH 3, 1999

REVISED JULY 2, 1999

REVISED 7/12/00

Approved 7/12/00  
 Approved 8/1/00  
 2 of 8  
 Continental Division  
 Courtyard One, 7500 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAPHERS SURVEYORS SOFTWARE DEVELOPERS

P:\98144\CDP\General\98144\STREET.DWG 2/3/99



**General Notes**

- BUILDING MOUNTED SIGNAGE SHALL BE NO MORE THAN 15% MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED NEON. ONLY ONE BUILDING MOUNTED SIGN PER TENANT IS ALLOWED.

**Keyed Notes**

- 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARD. REFER TO DETAIL D1/1001. *EXTERIOR FINISH TO MATCH THAT OF SQUIRE BUILDING.*
- NOT USED
- 10' PUE
- 3" WIDE PAINTED PARKING STALL STRIPING.
- 6" CONCRETE CURB.
- CONCRETE SIDEWALK.
- 10' BUILDING SETBACK.
- ACCESSIBLE SIDEWALK RAMP.
- CONC. CURB RAMP PER C.O.A. D.P.M. REQUIREMENTS, DRAWING 2425.
- CONC. DRIVEPAD PER C.O.A. D.P.M. REQUIREMENTS.
- BICYCLE RACK.
- ASPHALT PAVEMENT.
- LOT 41 PROPERTY LINE.
- DELIVERY ROUTE PER TRUCKS. *USDA 5U-20*

**Project Data**

- LEGAL DESCRIPTION  
 LOT 41 OF ALAMEDA BUSINESS PARK.
- ZONING  
 CITY OF ALBUQUERQUE, NEW MEXICO ZONE: SU-2, IPTS7
- AREAS  
 TOTAL TRACT AREA: 22,638 SF  
 BUILDING FOOTPRINT: 5,901 SF 26% F.A.R.
- PROPOSED USES  
 OFFICE/WAREHOUSE  
 OFFICE 2,800 SF, 1000' x 15'  
 WAREHOUSE 3,100 SF, 1000' x 2'
- PARKING  
 PARKING REQUIRED (1 PER 200 NSF): 29.5 SPACES  
 PARKING PROVIDED: 20 SPACES  
 ADA PARKING REQUIRED: 1  
 ADA PARKING PROVIDED: 1  
 BICYCLE PARKING REQUIRED (1:20 OF AUTOS): 1  
 BICYCLE PARKING PROVIDED: 1

Project # 1000634  
 DRB Application # 01450-00000-00714

Lot Lighting to be Provided by Use of Bldg. Mounted Light Fixtures (Wall Packs) Total of 4 Light Fixtures.

THIS PLAN IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON [DATE] AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH:

*Richard D. Davis* 7-24-01  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

*Miriam E. Ornelandia* 6/27/01  
 PARKS AND RECREATION DEPARTMENT DATE

*Roger de la Haza* 7-18-01  
 PUBLIC WORKS, UTILITY DIVISION DATE

*Shawn D. Mc...* 6/27/01  
 CITY ENGINEER, ENGINEERING DIVISION/AM/CA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

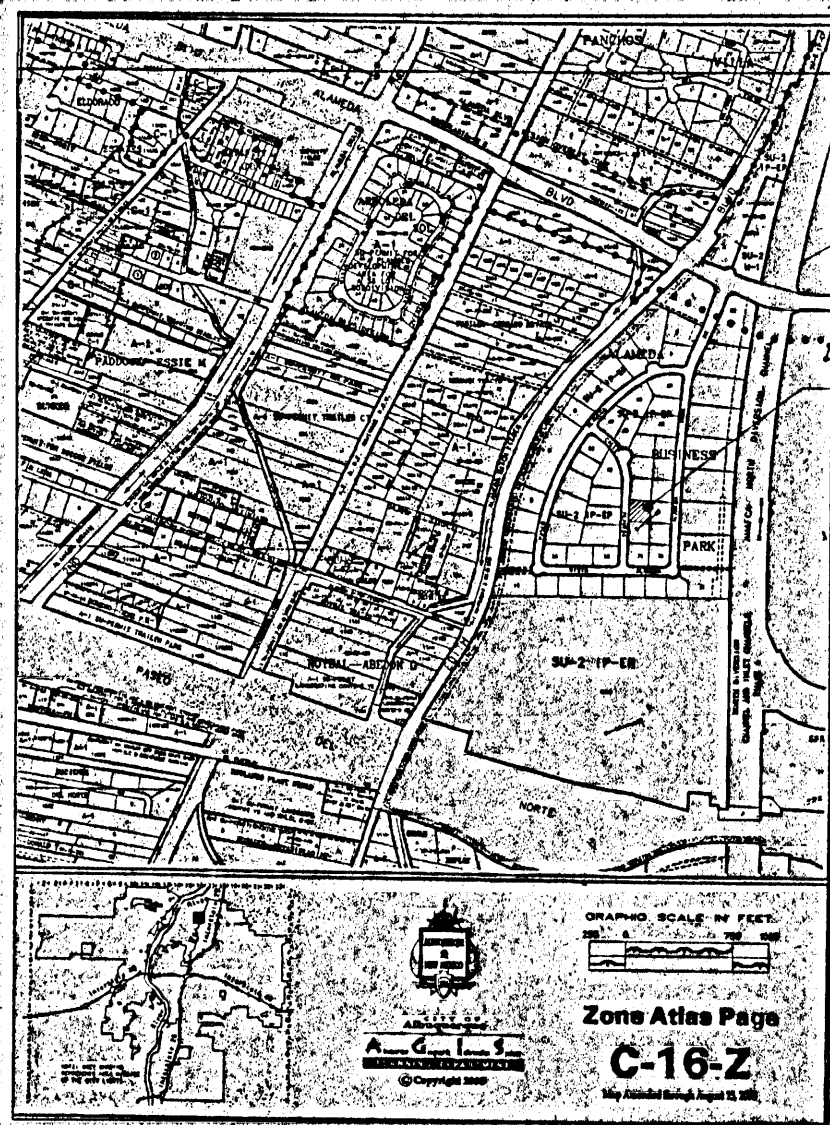
*James S...* 8/3/01  
 PLANNER, ALBUQUERQUE DATE  
 BERNALILLO COUNTY PLANNING DIVISION

*Shawn D. Mc...* 8/15/01  
 SOLID WASTE, ALBUQUERQUE DATE

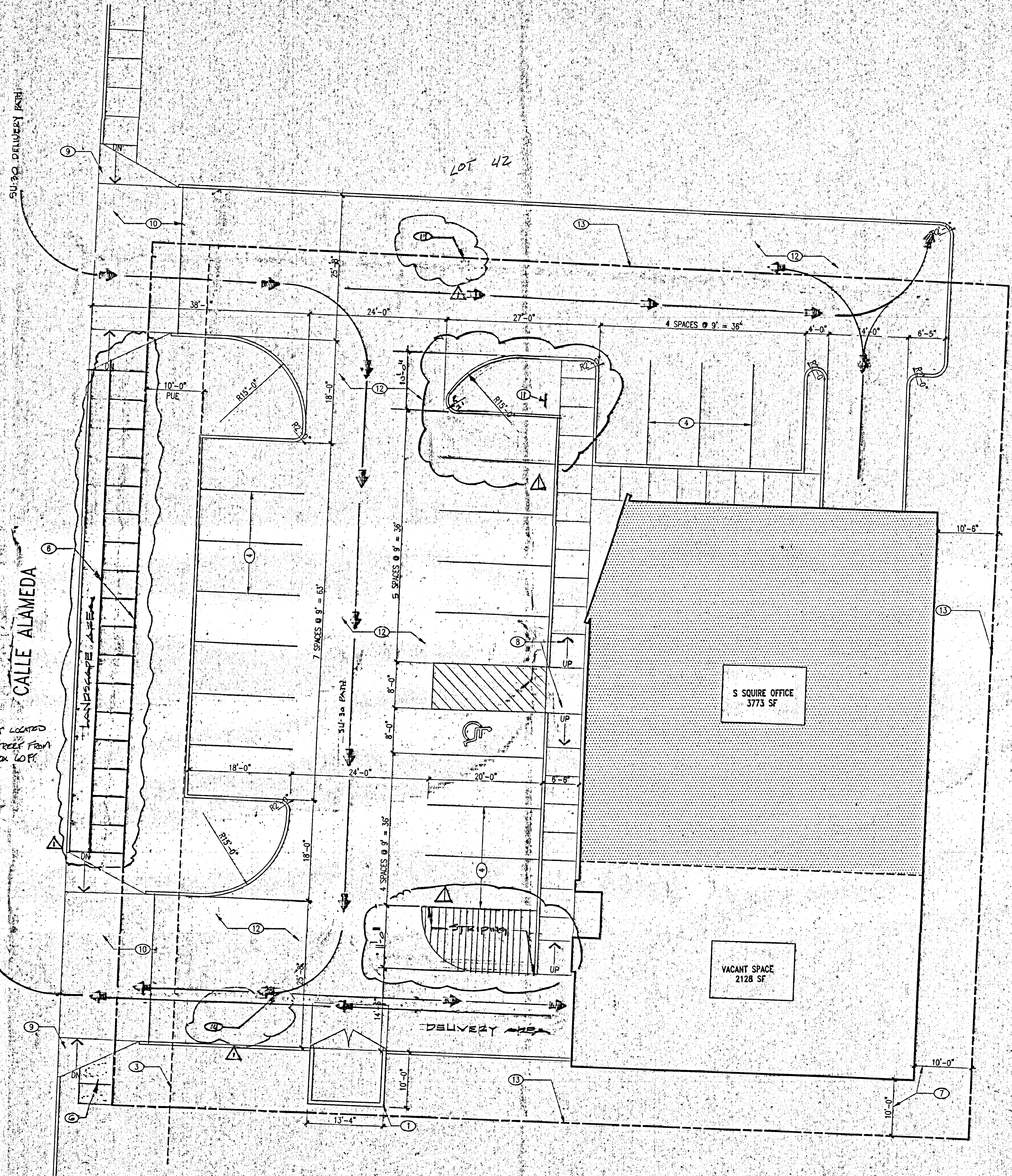
- revisions
- 06/15/01 DRB COMMENT REVISIONS
  - 
  - 
  -

sheet no. 4 of 8

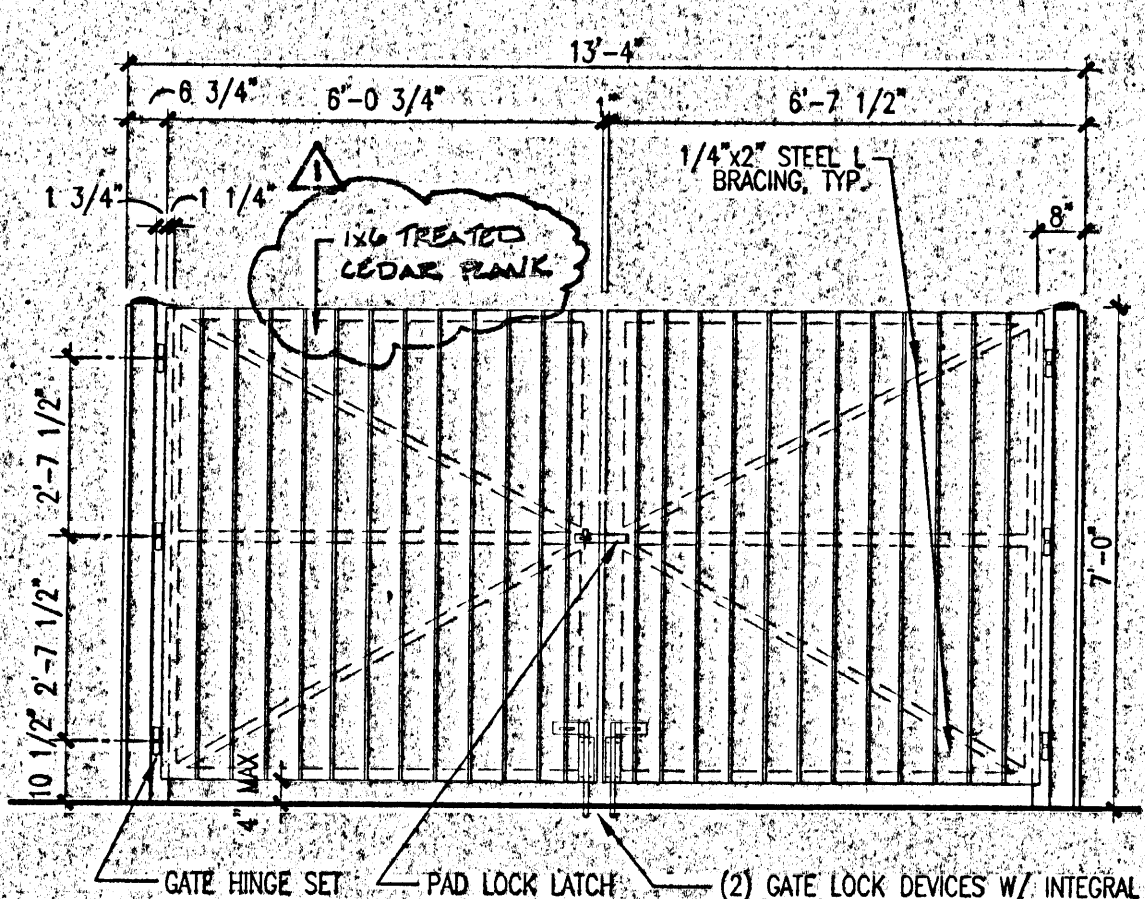
date:	05/15/01
project no.:	01020
drawing name:	Site Plan
drawn by:	KK
revised by:	TG
scale:	AS SHOWN



Vicinity Map  
 C-16-Z



NOTE: FIRE HYDRANT LOCATED ACROSS THE STREET FROM LOT 42. APPROX. 100 FT.



**D1 Gate Elevation**  
 3/8" = 1'-0"

**D2 Site Plan**  
 1" = 10'-0"

AFD PLANS CHECKING OFFICE  
 924-3511  
**APPROVED/DISAPPROVED**  
*James S...* 8/15/01  
 SIGNATURE & DATE

05-15-2001 10:24 AM S:\10200\10240\10240.dwg



**KEYED NOTES**

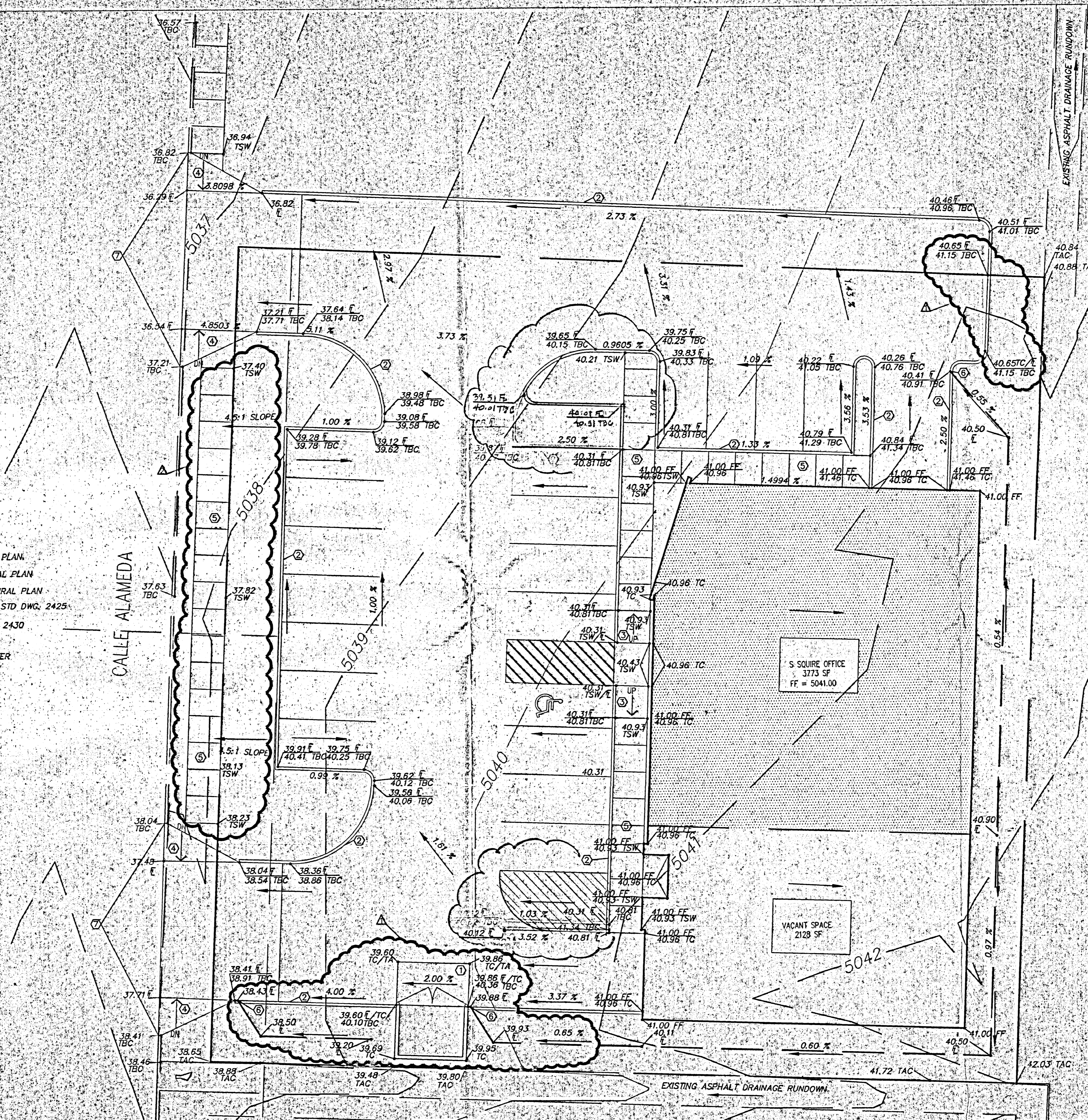
- ① INSTALL CONCRETE PAD PER ARCHITECTURAL PLAN
- ② INSTALL 6" HEADER CURB PER ARCHITECTURAL PLAN
- ③ CONSTRUCT HANDICAP RAMP PER ARCHITECTURAL PLAN
- ④ CONSTRUCT CONCRETE DRIVE PADS PER COA STD DWG. 2425
- ⑤ CONSTRUCT 6" SIDEWALK PER COA STD DWG. 2430
- ⑥ CONSTRUCT A 1.0' WIDE CURB CUT
- ⑦ REMOVE ~ 4.0" LF CONCRETE, CURB AND CUTTER

**ABBREVIATIONS**

- FF - FINISHED FLOOR
- L - FLOWLINE
- TBC - TOP BACK OF CURB
- TC - TOP OF CONCRETE
- TAC - TOP OF ASPHALT CURB (EXISTING)

**LEGEND**

- XX.XX NEW ELEVATION
- XXX EXISTING ELEVATION
- DRAINAGE SWALE
- FLOW ARROW



FOR CONSTRUCTION ONLY

DATE	DESCRIPTION	REV. NO.
5/28/01	RELOCATION OF SIDEWALK	Δ
5/16/01	REVISED FOR RELOCATION OF DUMPSTER	Δ

**S SQUIRE OFFICE**  
 Lot 41  
 Alameda Business Park

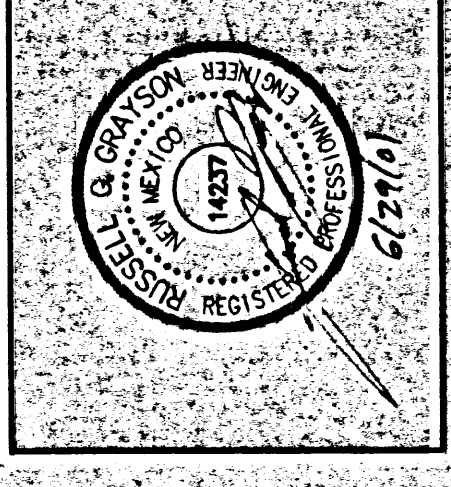
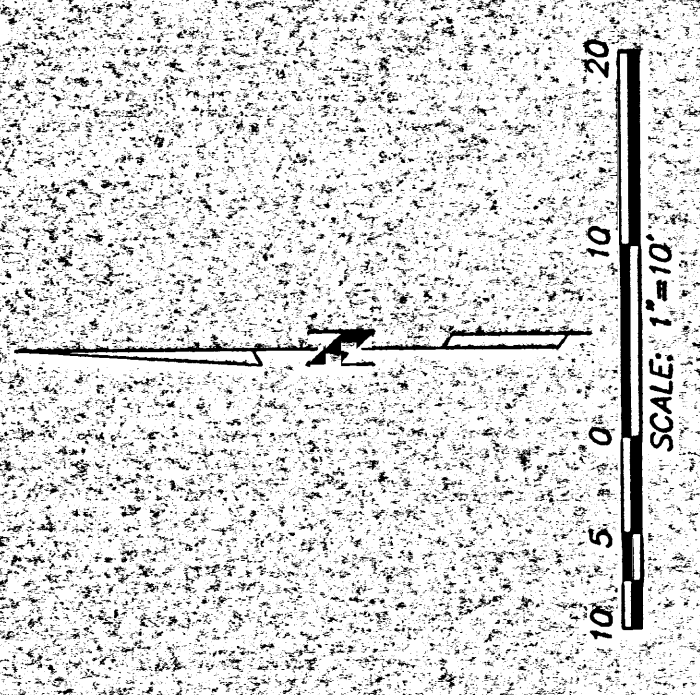
**GRADING AND DRAINAGE PLAN**

**REID AND ASSOCIATES**  
 333 Rio Rancho Dr., Ste 301, Rio Rancho, New Mexico 87244  
 Phone (505) 891-2825 Fax (505) 892-1498

**HUNT-ZOLLARS**  
 HUNT-ZOLLARS, Inc. Engineering / Architecture  
 333 Rio Rancho Dr., Ste. 101 Rio Rancho, NM 87244  
 Phone (505) 891-2528 Fax (505) 891-1498

SCALE: 1" = 10'  
 DATE: 5/2/01  
 SHEET





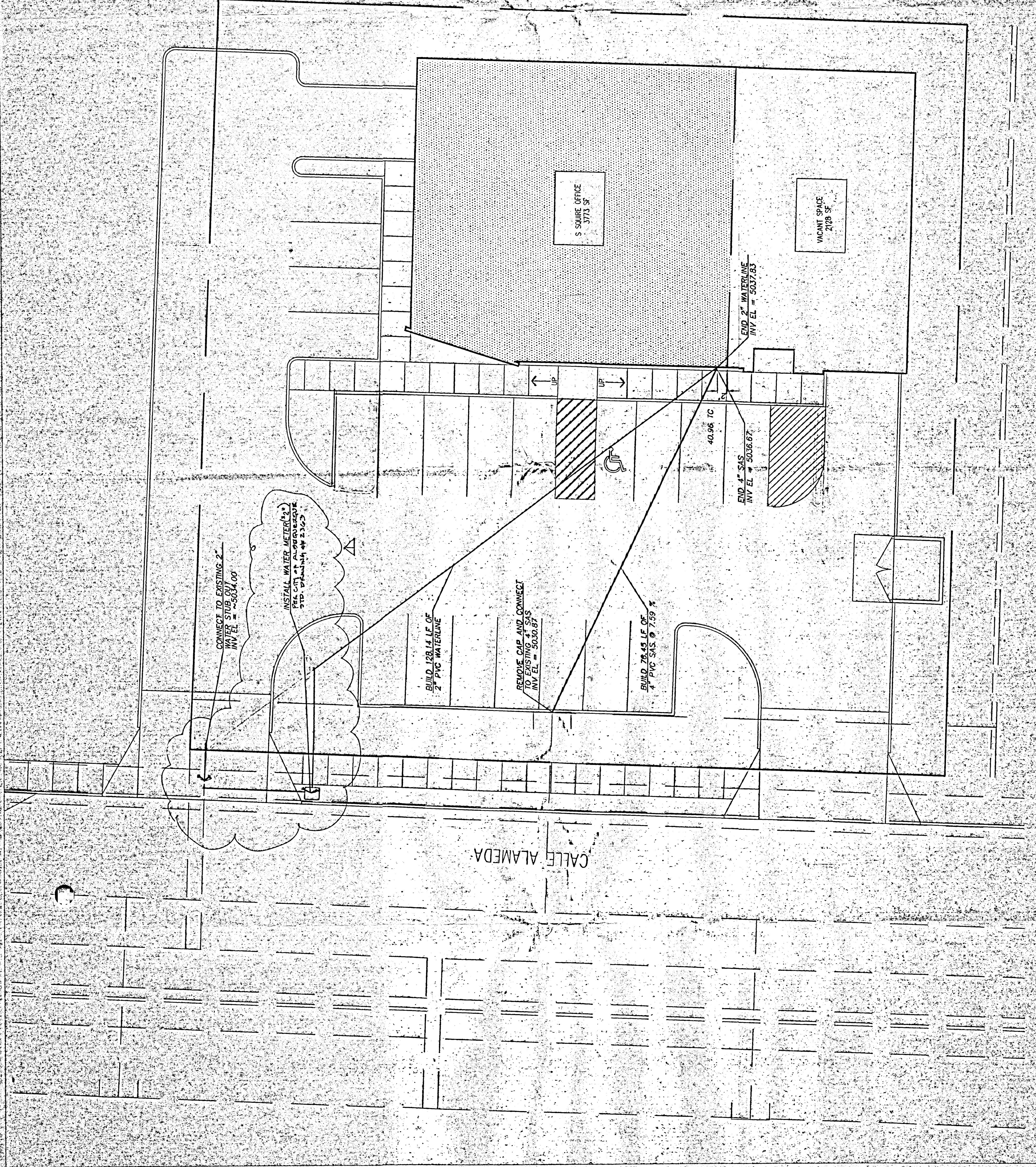
NO.	REVISIONS	DATE	DESCRIPTION	REV. NO.
1-100	REVISIONS			

**S SQUIRE OFFICE**  
**Lot 41**  
**Alameda Business Park**

**SITE**  
**UTILITY PLAN**

**REID AND ASSOCIATES**  
 233 180th Ave. Suite 201, Redwood City, CA 94061  
 Phone (650) 849-2528 Fax (650) 849-1408

**HUITZOLARS** SCALE: 1" = 10'  
 DATE: 5/18/01  
 SHEET



CALLE ALAMEDA



**PLANT LEGEND**

- LOCUST (M) 3  
 Gladiolus spp.  
 2' Gal.
- CHINESE PISTACHE (H) 1  
 Pistachia chinensis  
 15 Gal.
- DESERT WILLOW (L) 2  
 Chlopsia linearis  
 5 Gal.
- THREE LEAF SUMAC (L) 9  
 Rhus trilobata  
 1 Gal.
- FOUR-WING SALTBUCH (M) 11  
 Atriplex canescens  
 1 Gal.
- APACHE PLUME (L) 8  
 Fallugia paradoxa  
 1 Gal.
- POTENTILLA (M) 6  
 Potentilla fruticosa  
 1 Gal.
- AUTUMN SAGE (M) 11  
 Salvia greggii  
 1 Gal.
- CHAMISA/APACHE PLUME (L) 10  
 Chrysothamnus nauseosus  
 Fallugia paradoxa  
 1 Gal.
- WILDFLOWER 9  
 1 Gal.
- HONEYSUCKLE (M) 8  
 Lonicera japonica  
 1 Gal.
- 1 1/2" SANTA ANA TAN GRAVEL  
 WITH FILTER FABRIC

revisions:

△	
△	
△	
△	

plotted: 06-28-2001 11:30A  
 S:\01020 S SQUIRE\CD\SITE.DWG  
 drawn by: JLF  
 reviewed by: TG  
 date: 05/25/01  
 project no.: 01020  
 drawing name: Landscape Plan

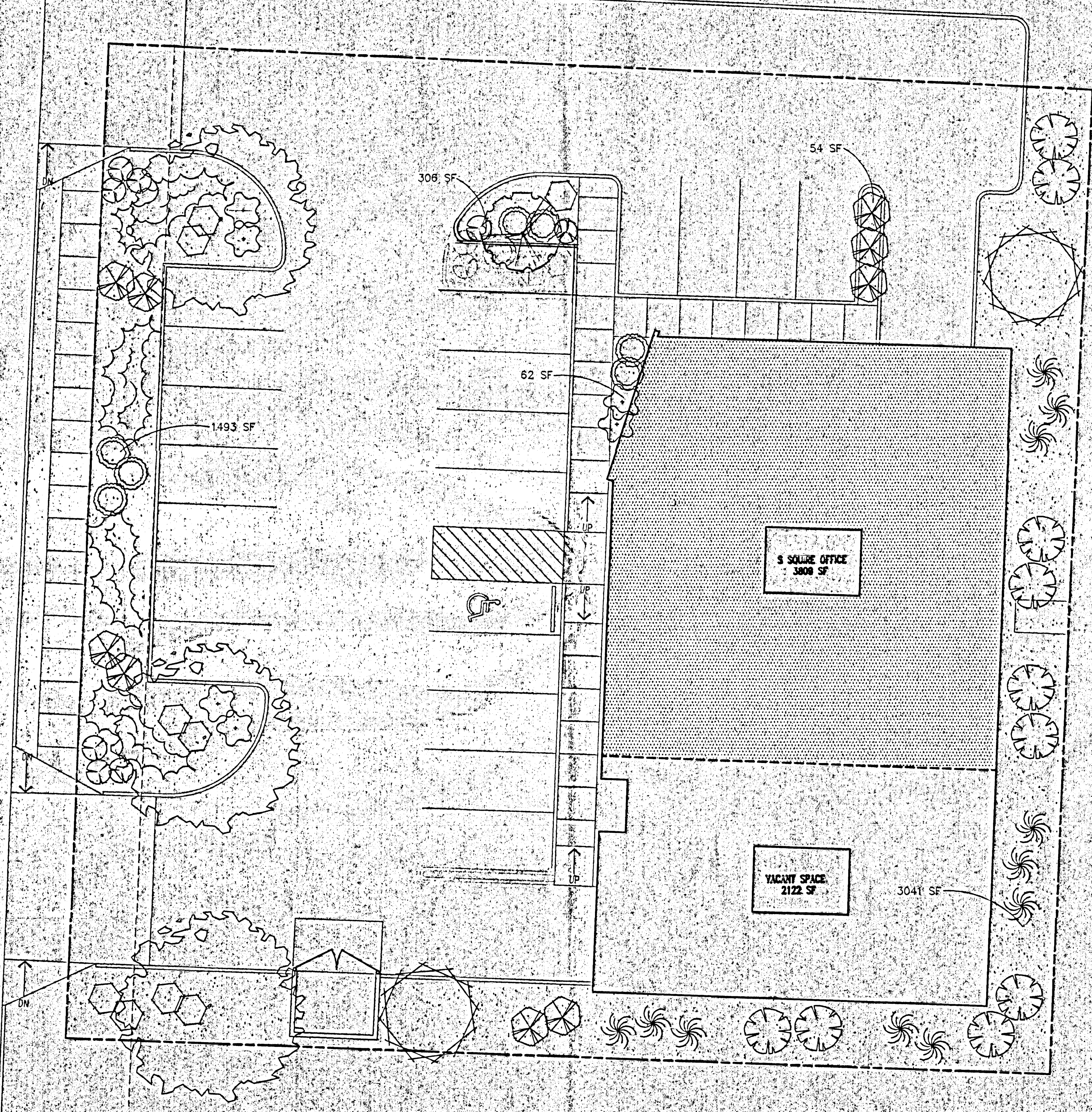


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sheet no. **L001**

Lot 42

CALLE ALAMEDA



**LANDSCAPE NOTES:**  
 Landscape maintenance shall be the responsibility of the Property Owner.  
 It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.  
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.  
 1 1/2" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.  
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.  
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.  
 Irrigation maintenance shall be the responsibility of the Property Owner.

THE PLANT PALETTE PRESENTED ON THIS DRAWING CONFORMS WITH THE REQUIREMENTS FOR ALAMEDA BUSINESS PARK.

**STREET TREE REQUIREMENTS**  
 Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:  
 Name of Street: CALLE ALAMEDA  
 Required #: 3 Provided #: 3

**LANDSCAPE CALCULATIONS**

NET LANDSCAPE AREA		
TOTAL LOT AREA	22,839	square feet
TOTAL BUILDINGS AREA	5,901	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	16,737	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	2,511	square feet
TOTAL LANDSCAPE PROVIDED	4,956	square feet
TOTAL BED PROVIDED	4,956	square feet

\*FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.  
 July 8/2/01





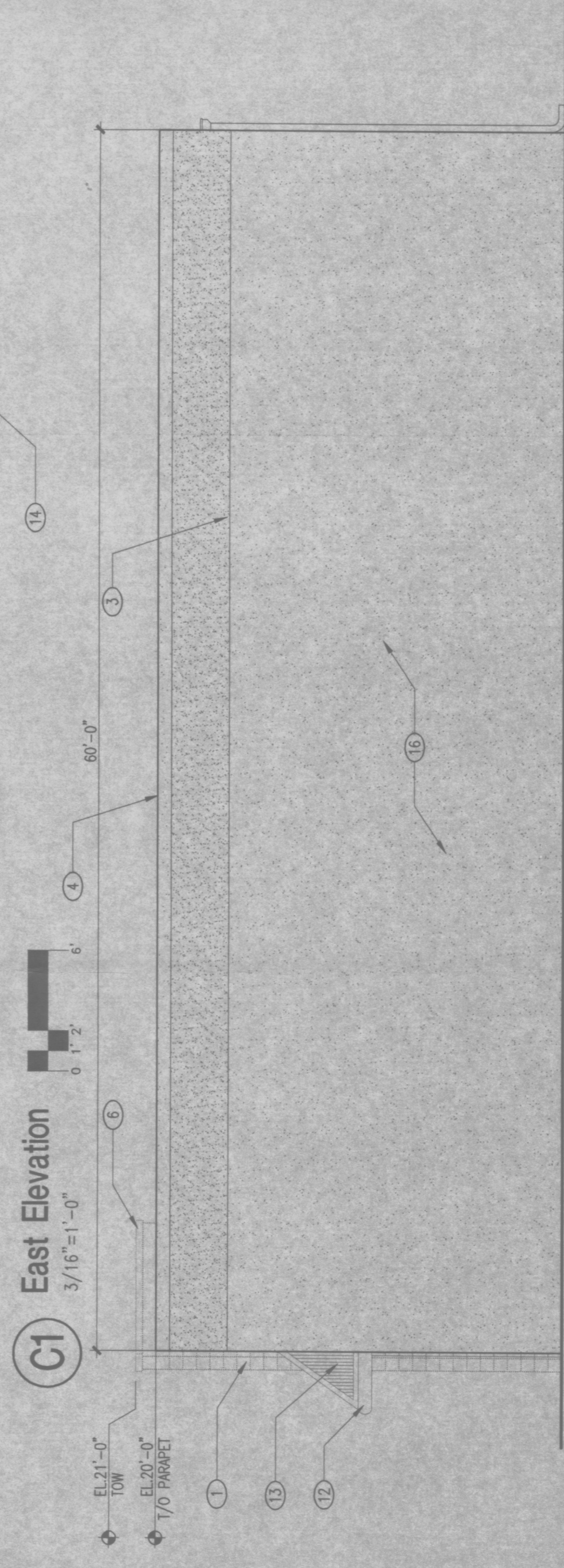
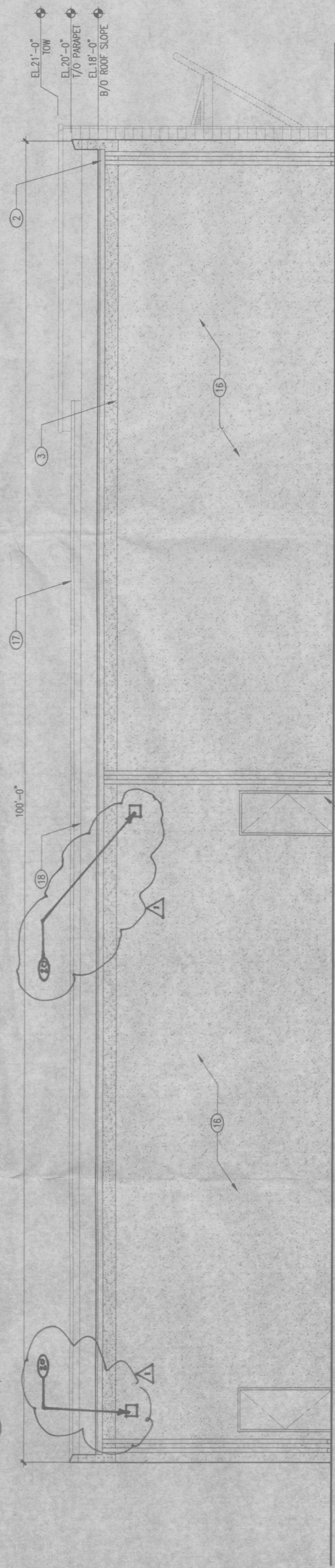
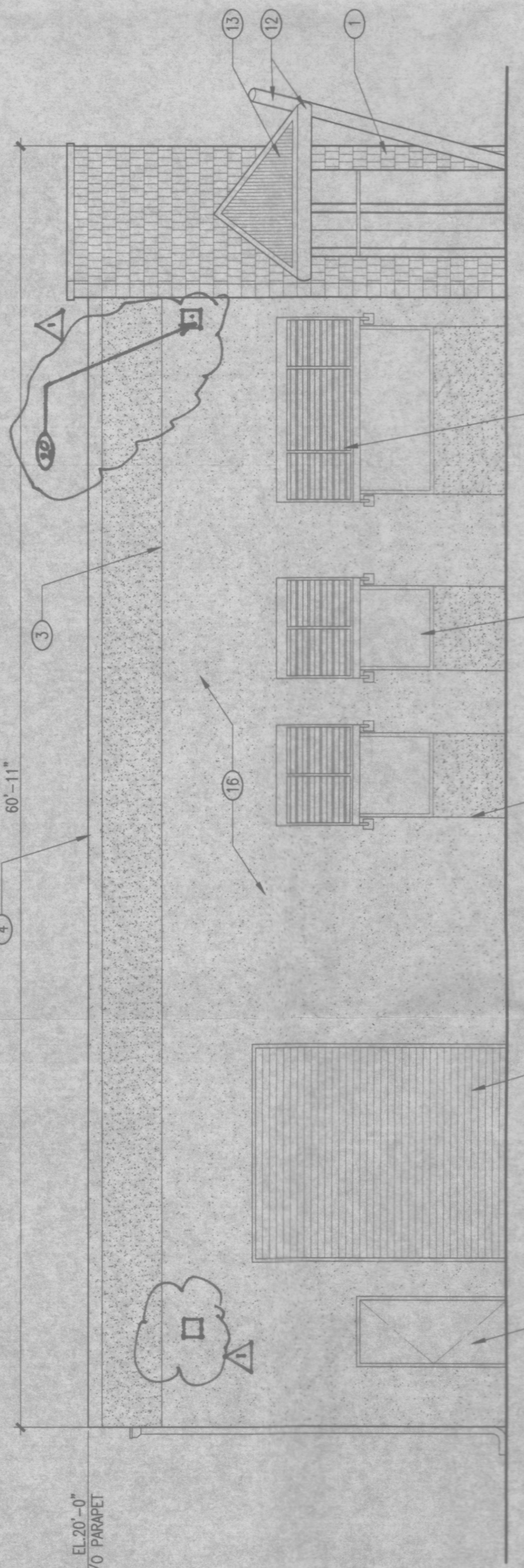
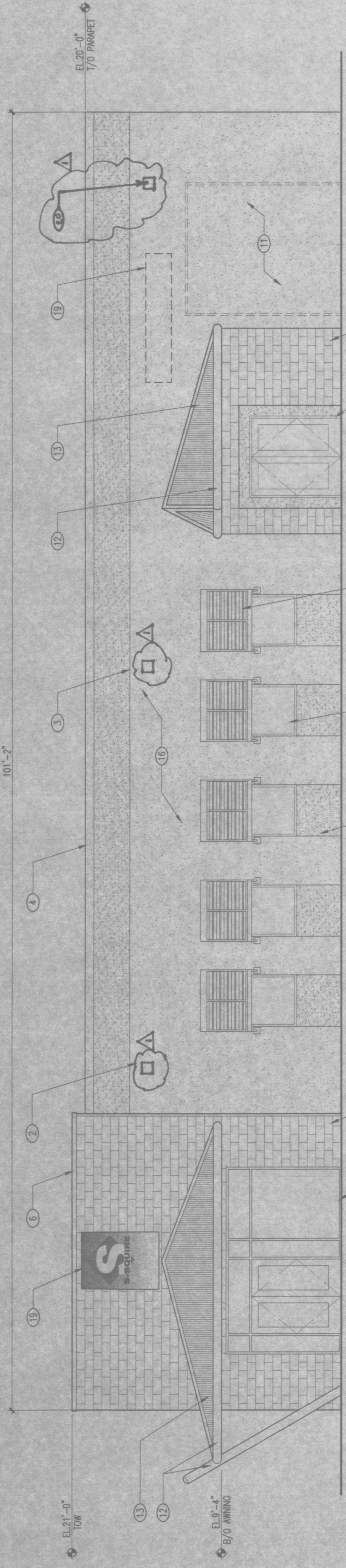
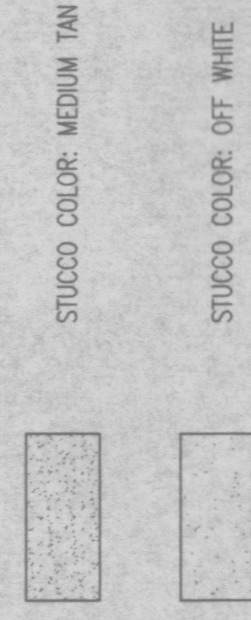
**General Notes**

1. MATERIALS AND FINISHES SHALL BE SHOWN AS PER THE MANUFACTURER'S DATA SHEET. THE MANUFACTURER SHALL BE CONTACTED TO OBTAIN THE MANUFACTURER'S DATA SHEET. ONLY ONE BUILDING MATERIAL SHALL BE USED FOR EACH FINISH.

**Keyed Notes**

1. SPLIT FACED CHINA GLASS, COLOR DARK TAN
2. METAL CURTAINS W/ DOUBLE GLAZING
3. STUCCO COLOR, PAINTED WHITE
4. STUCCO COLOR, MEDIUM TAN
5. STUCCO COLOR, OFF WHITE
6. STUCCO COLOR, MEDIUM TAN
7. STUCCO COLOR, OFF WHITE
8. STUCCO COLOR, MEDIUM TAN
9. STUCCO COLOR, OFF WHITE
10. STUCCO COLOR, MEDIUM TAN
11. STUCCO COLOR, OFF WHITE
12. STUCCO COLOR, MEDIUM TAN
13. STUCCO COLOR, OFF WHITE
14. STUCCO COLOR, MEDIUM TAN
15. STUCCO COLOR, OFF WHITE
16. STUCCO COLOR, MEDIUM TAN
17. STUCCO COLOR, OFF WHITE
18. STUCCO COLOR, MEDIUM TAN
19. STUCCO COLOR, OFF WHITE
20. WALL PANEL LEFT FINISH, FINISHED AT 15'-0" O.C. 9'-0" O.C. FINISH.

**Stucco Legend**



**S Squire Office**  
 Lot 41, Alameda Business Park  
 Albuquerque, New Mexico

**DRB SUBMITTAL**

DATE: 04/24/08  
 DRAWING NO: 010250  
 PROJECT NO: 010250  
 SHEET NO: 010250  
 EXTERIOR ELEVATIONS