

PARKING CALCULATIONS:

WAREHOUSE: 17,741 SF, 1 SPACE PER 2,000 SF = 8.87 SPACES REQUIRED
 OFFICE: 3,259 SF, 1 SPACE PER 200 SF = 16.3 SPACES REQUIRED
 26 TOTAL SPACES REQUIRED
 2 REQUIRED TO BE HANDICAP ACCESSIBLE
 26 SPACES PROVIDED
 BICYCLE SPACES REQUIRED (1 SPACE / 20 VEHICULAR SPACES): 2
 2 BICYCLE SPACES REQUIRED, 3 PROVIDED

PROJECT NUMBER: **1000624**

Application Number: **07 DRB - 00128**

DRB SITE DEVELOPMENT PLAN APPROVAL:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-Of-Way or for construction of public improvements.

KEYED NOTES

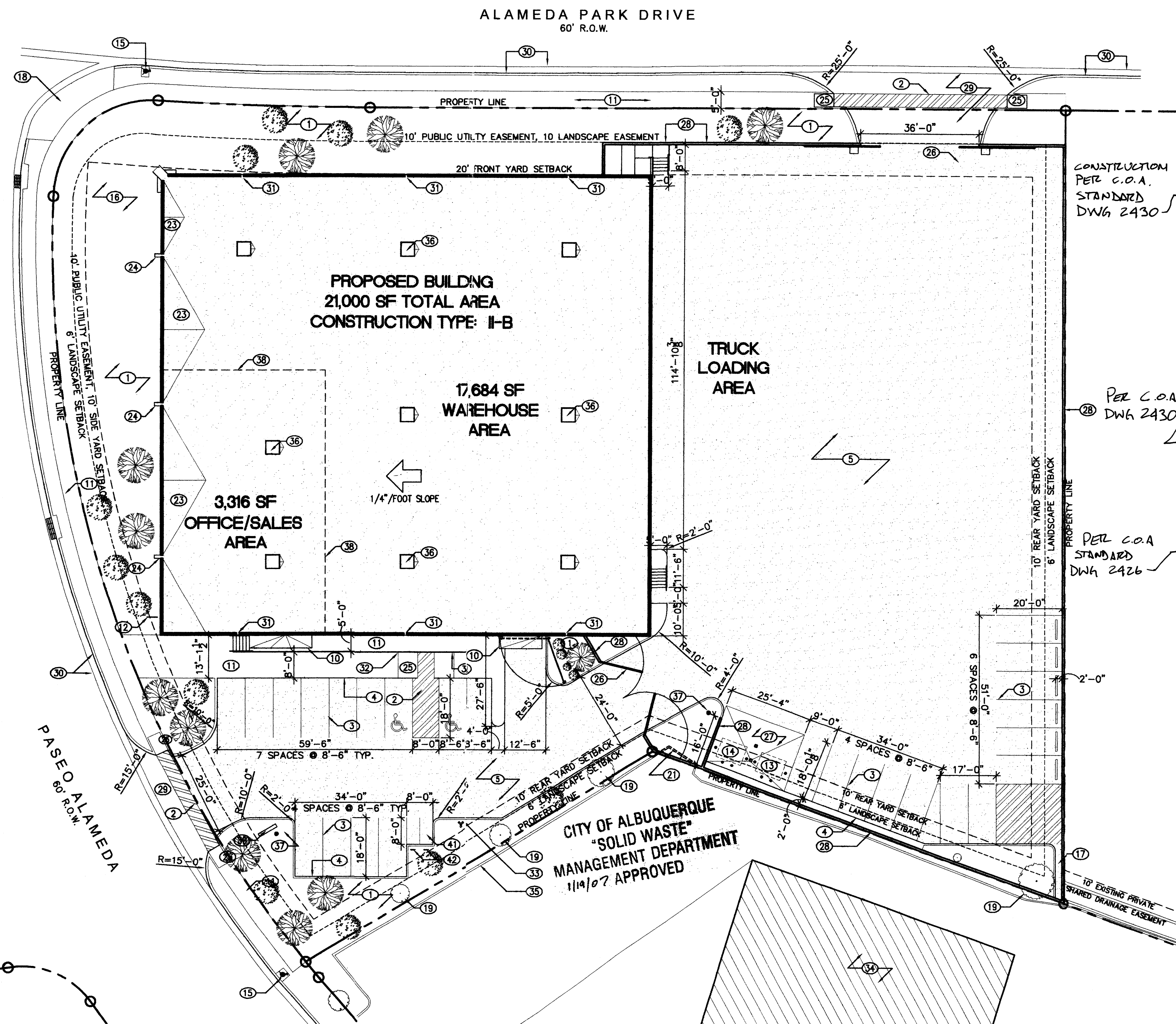
- LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS, CIVIL DRAWINGS
- 4" WIDE PAINT STRIPING AT ACCESSIBLE ROUTE AND PEDESTRIAN CONNECTION, BLUE COLOR
- 4" WIDE PARKING STRIPING
- CONCRETE CURB RE: CIVIL
- PAVING RE: CIVIL
- T.P.O. MEMBRANE ROOF
- EXISTING SIDEWALK TO REMAIN
- PAINTED WHEELCHAIR SYMBOL AT REAR OF PARKING SPACE, BLUE COLOR
- LOCATION OF ACCESSIBLE PARKING SIGN RE: 2/C1.1
- OUTLINE OF AWNING BELOW
- CONCRETE SIDEWALK RE: CIVIL, LIGHT BROOM FINISH, "THUNDERBOLT" TB-5-G PRE-MANUFACTURED BIKE RACK W. GALVANIZED FINISH AS MANUFACTURED BY CREATIVE PIPE, INC., HERMOSA BEACH, CA., PHONE (310)376-9536, WWW.CREATIVEPIPE.COM
- LOCATION OF TRASH RECEPTACLE
- LOCATION OF RECYCLING RECEPTACLE
- LOCATION OF EXISTING FIRE HYDRANT (TO REMAIN)
- CATTAIL MARSH - SEE CIVIL AND LANDSCAPE DRAWINGS
- DRAINAGE CHANNEL TO EXISTING PRIVATE DRAINAGE EASEMENT, SEE CIVIL
- EXISTING ACCESSIBLE CURB RAMP TO REMAIN
- EXISTING TREE TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING TREE TO BE REMOVED
- EXISTING CURB ENCROACHMENT TO BE REMOVED - CONTRACTOR TO NOTIFY ADJACENT PROPERTY OWNER PRIOR TO DEMOLITION
- CRICKET
- WELDED STEEL SCUPPER
- ACCESSIBLE CURB RAMP
- STEEL GATE (TO BE CONSTANTLY OPEN DURING BUSINESS HOURS)
- CONCRETE PAD, BOLLARDS, AND AREA DRAIN
- 6" TALL CONCRETE BLOCK WALL, BLOCK COLOR TO BE RINKER "SANDIA SAND" OR UTILITY BLOCK COMPANY "CORAL," BLOCK TO BE FROM MINIMUM OF FOUR DIFFERENT PRODUCTION RUNS TO PROVIDE SMALL VARIATIONS IN COLOR, LAID AT RANDOM
- NEW CONCRETE DRIVEWAY APRON, SEE CIVIL
- EXISTING CURB AND GUTTER TO REMAIN
- ROOF OVERFLOW SLOT (NO SCUPPER), SEE CONCRETE PANEL DRAWINGS
- HANDICAP PARKING SIGN
- LOCATION OF FIRE DEPARTMENT SIAMSE CONNECTION
- EXISTING ADJACENT BUILDING ON ADJACENT SITE
- EXISTING CURB ON ADJACENT SITE
- SKYLIGHT WITH SMOKE AND HEAT VENTING, SEE MECHANICAL
- 15' TALL 150W METAL HALIDE POLE LIGHT W. BRONZE ANODIZED FINISH, FULL CUTOFF SHIELD
- LINE OF OFFICE/WAREHOUSE SEPARATION BELOW
- LOCATION OF GROUND-MOUNTED SIGN, SIZE TO NOT EXCEED 75 SQUARE FEET, HEIGHT NOT TO EXCEED 4'-0"
- CONCRETE BLOCK BASE FOR INTERNALLY LIT SIGN IN PAINTED METAL FRAME, BLOCK TO MATCH YARD WALLS
- TWO MOTORCYCLE PARKING SPACES @ 4'x8'
- POLE-MOUNTED MOTORCYCLE PARKING SIGN, NO SMALLER THAN 12'x18", LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE

Bill Se
 Traffic Engineering, Transportation Division
Ray J. Khan
 Water Utility Department
Christine Dandora
 Parks and Recreation Department
Bradley D. Bingham
 City Engineer

3-14-07
 Date
 3-14-07
 Date
 3/14/07
 Date
 3/14/07
 Date

*Environmental Health (conditional)
Michael Helton (double anchorage)
 Solid Waste Management
Andrew Juice
 DRB Chairperson, Planning Department

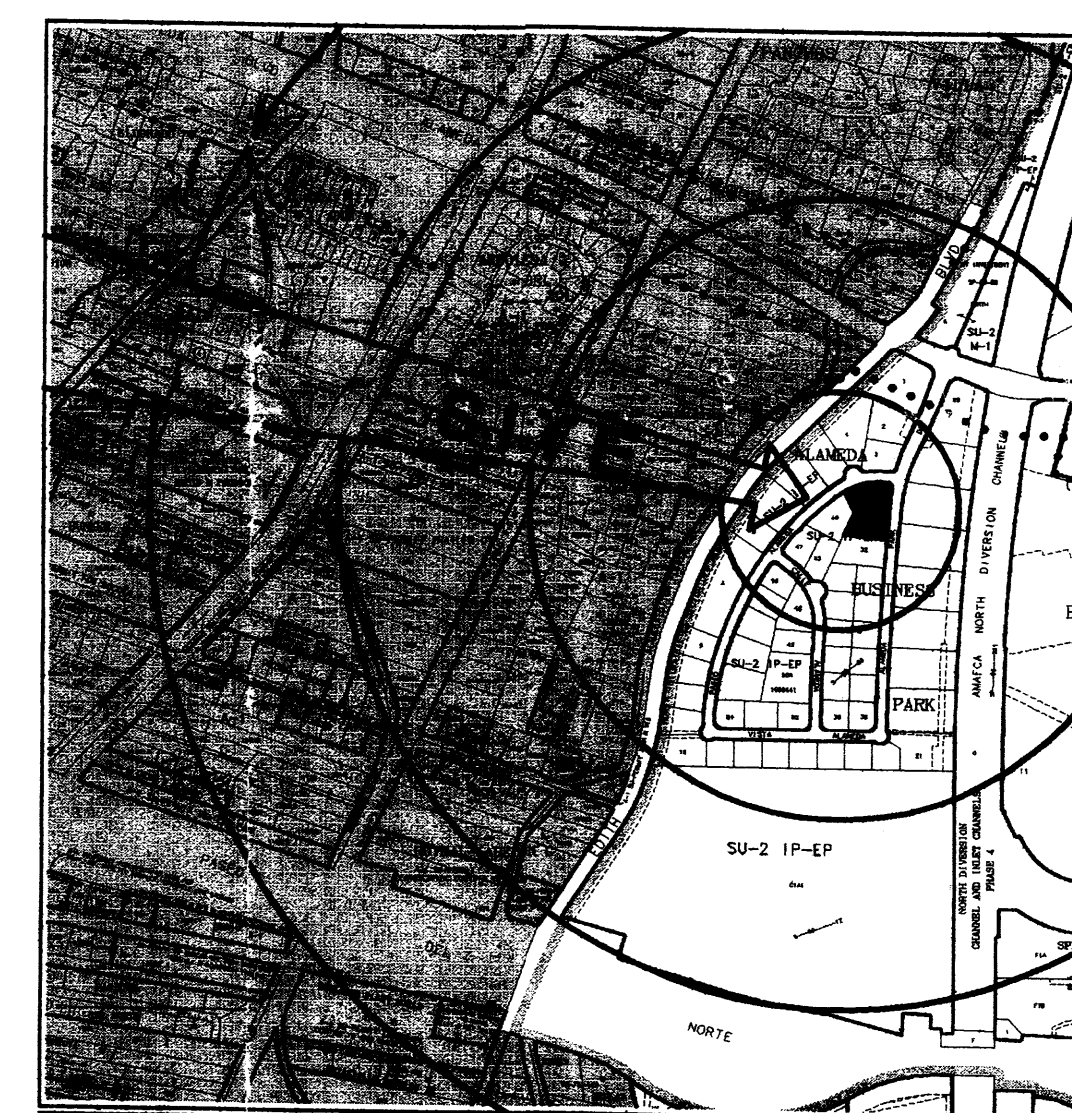
Date
 1/19/07
 Date
 3/15/07
 Date



CONSTRUCTION PER C.O.A. STANDARD DWG 2430

PER C.O.A. DWG 2430

PER C.O.A. STANDARD DWG 2426



Should be 1000624
 DRB ADMINISTRATIVE SITE PLAN AMENDMENT
 PROJECT NO. 1000624
 APPLICATION NO. 07-1000624
 G. DONALD DUDLEY AIA
 ARCHITECT
 1/18/07
 PLANNING DIRECTOR

ZONE ATLAS MAP
 SCALE: 1 1/2" = 1 MILE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 SCALE: 1" = 20'
 0 10' 20' 40' 80'

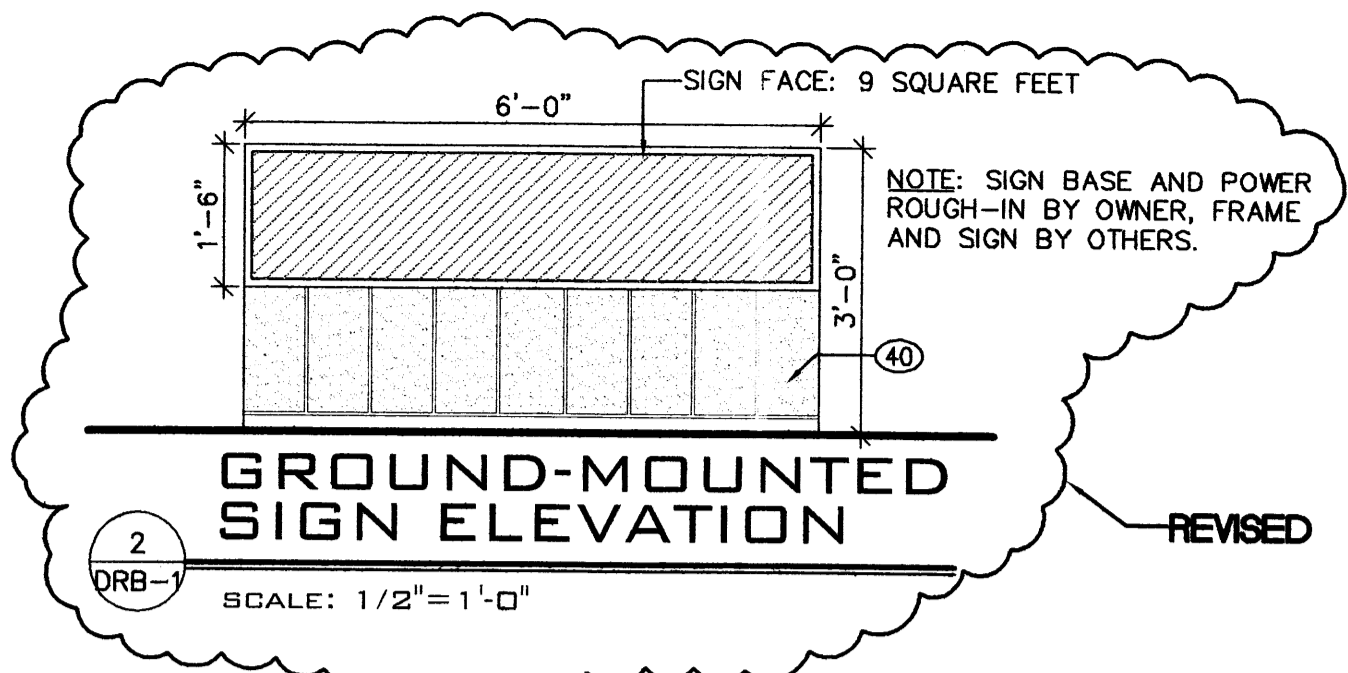
AFD PLANS CHECKING OFFICE
 024-3611
 APPROVED & APPROVED
 SIGNATURE & DATE
 2/1/07
 Type II Const
 Fully sprinkled
 Fire Flow = 1043 gpm
 1 Fire Hydrant Required!

1000624

THE CORNER AT THE ALAMEDAS
 OFFICE/WAREHOUSE
 8615 ALAMEDA PARK NE
 ALBUQUERQUE, NM 87113-1547

G. DONALD DUDLEY AIA
ARCHITECT
 SIMMS TOWER STUDIO 850
 400 GOLD AVENUE SW
 ALBUQUERQUE, NEW MEXICO
 8 7 1 0 3
 TEL 505.243.8100
 FAX 505.843.6820

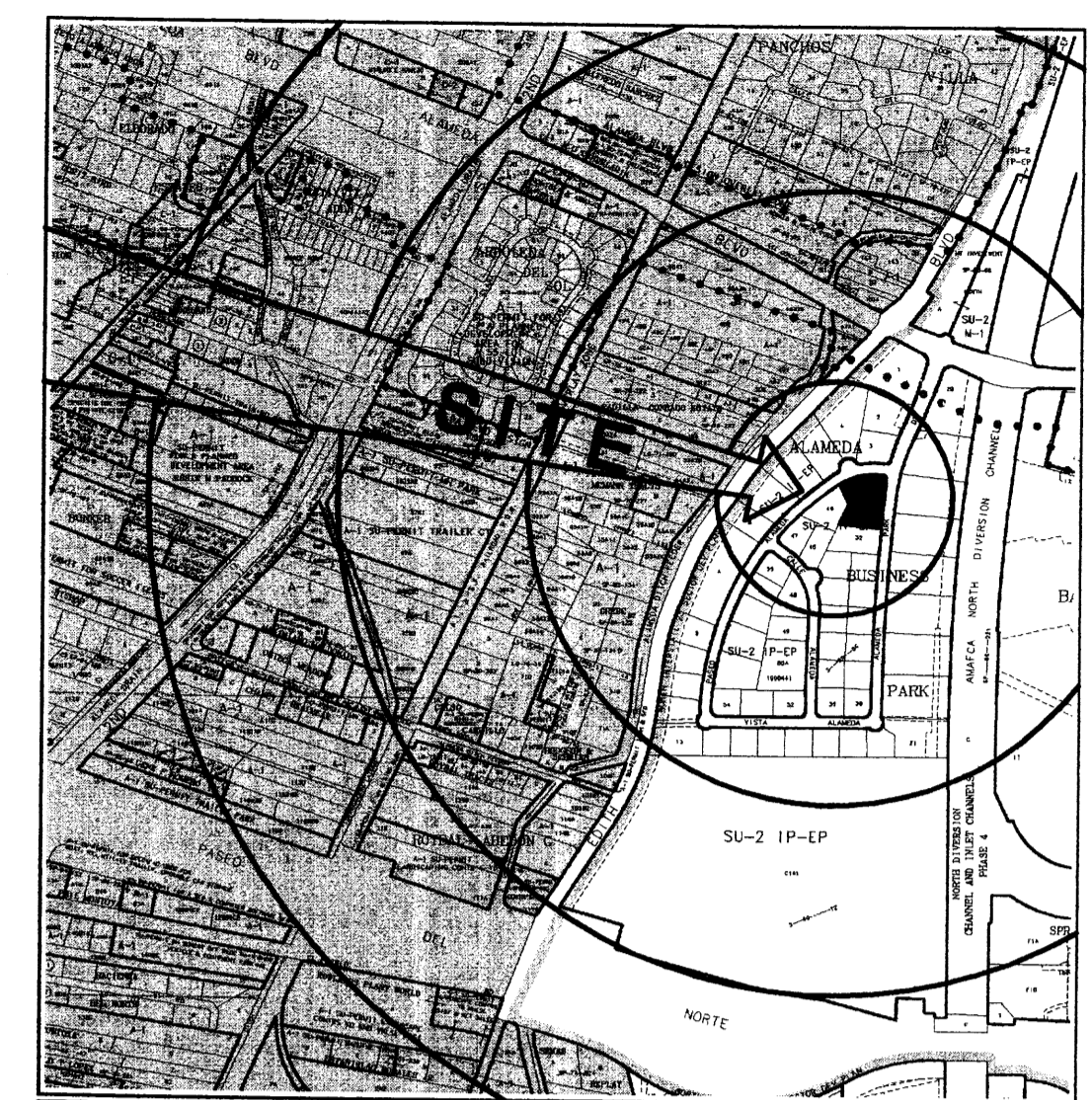
DATE OF NEW MEMORANDUM: JANUARY 18, 2007
 drawn by: GDD, eh
DRB-1



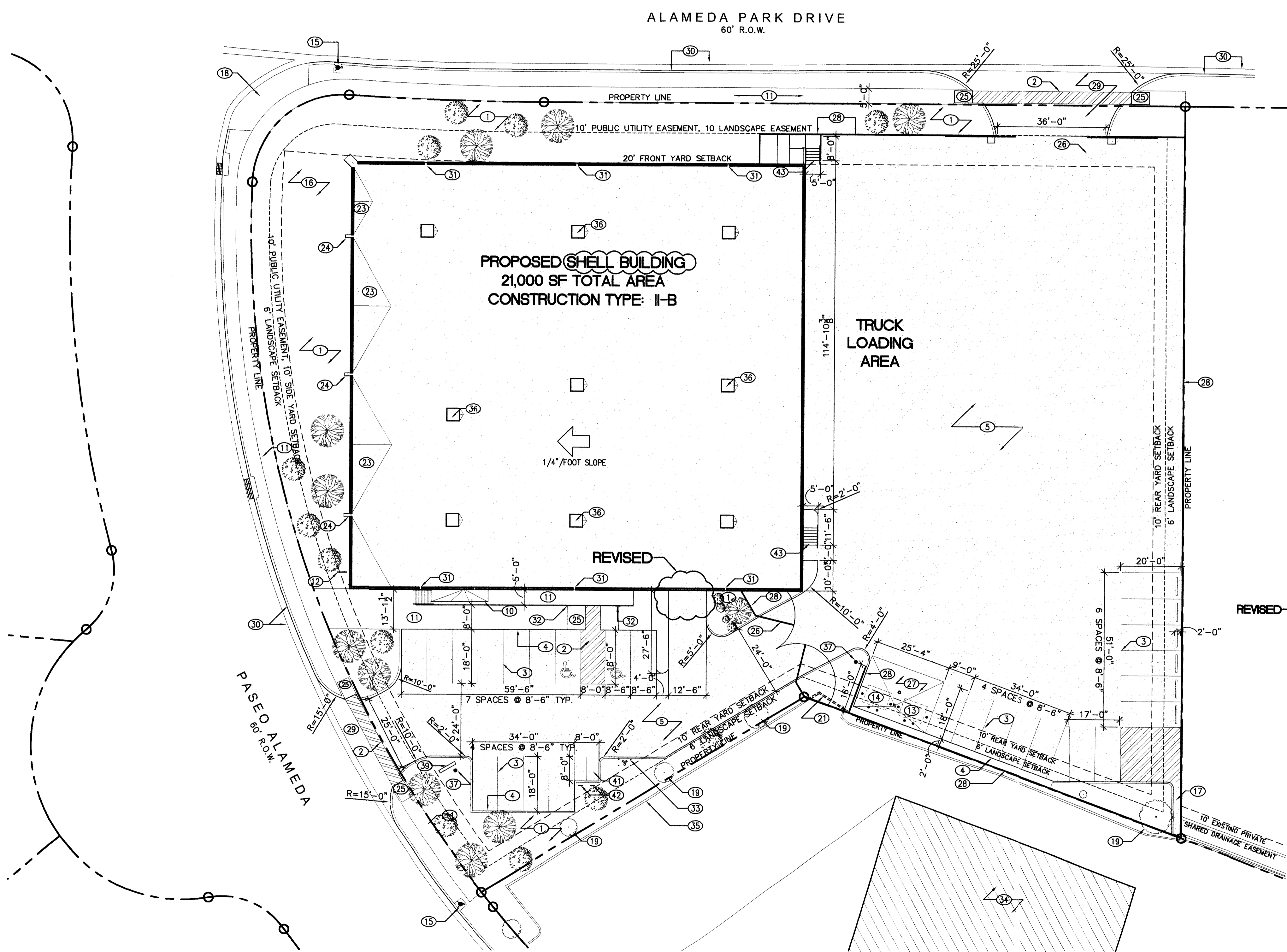
PARKING CALCULATIONS:
 WAREHOUSE: 17,741 SF, 1 SPACE PER 2,000 SF = 8.87 SPACES REQUIRED
 OFFICE: 3,259 SF, 1 SPACE PER 200 SF = 16.3 SPACES REQUIRED
 26 TOTAL SPACES REQUIRED
 2 REQUIRED TO BE HANDICAP ACCESSIBLE
 26 SPACES PROVIDED
 BICYCLE SPACES REQUIRED (1 SPACE / 20 VEHICULAR SPACES): 2
 2 BICYCLE SPACES REQUIRED, 3 PROVIDED

KEYED NOTES

1. LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS, CIVIL DRAWINGS
2. 4" WIDE PAINT STRIPING AT ACCESSIBLE ROUTE AND PEDESTRIAN CONNECTION, BLUE COLOR
3. 4" WIDE PARKING STRIPING
4. CONCRETE CURB RE: CIVIL
5. PAVING RE: CIVIL
6. T.P.O. MEMBRANE ROOF
7. EXISTING SIDEWALK TO REMAIN
8. PAINTED WHEELCHAIR SYMBOL AT REAR OF PARKING SPACE, BLUE COLOR
9. LOCATION OF ACCESSIBLE PARKING SIGN RE: 2/C1.1
10. OUTLINE OF AWNING BELOW
11. CONCRETE SIDEWALK PER CoA STANDARD DRAWING #2430. SEE CIVIL, LIGHT BROOM FINISH
12. STEEL BIKE RACK
13. LOCATION OF TRASH RECEPTACLE
14. LOCATION OF RECYCLING RECEPTACLE
15. LOCATION OF EXISTING FIRE HYDRANT (TO REMAIN)
16. CATTAIL MARSH - SEE CIVIL AND LANDSCAPE DRAWINGS
17. DRAINAGE CHANNEL TO EXISTING PRIVATE DRAINAGE EASEMENT, SEE CIVIL
18. EXISTING ACCESSIBLE CURB RAMP TO REMAIN
19. EXISTING TREE TO REMAIN, PROTECT DURING CONSTRUCTION
20. EXISTING TREE TO BE REMOVED
21. EXISTING CURB ENCROACHMENT TO BE REMOVED - CONTRACTOR TO NOTIFY ADJACENT PROPERTY OWNER PRIOR TO DEMOLITION
22. CRICKET
23. WELDED STEEL SCUPPER
24. ACCESSIBLE CURB RAMP PER STANDARD CoA DRAWING #2430
25. CHAIN-LINK GATE (TO BE CONSTANTLY OPEN DURING BUSINESS HOURS)
26. CONCRETE PAD, BOLLARDS, AND AREA DRAIN
27. 6" TALL CHAIN LINK FENCE WITH TAN PLASTIC VISION STRIPS
28. NEW CONCRETE DRIVEWAY APRON PER CoA STANDARD DRAWING #2426. SEE CIVIL.
29. EXISTING CURB AND GUTTER TO REMAIN
30. ROOF OVERFLOW SLOT (NO SCUPPER), SEE CONCRETE PANEL DRAWINGS
31. HANDICAP PARKING SIGN
32. LOCATION OF FIRE DEPARTMENT SIAMESE CONNECTION WITH FOUR 6" CONCRETE-FILLED PIPE BOLLARDS
33. EXISTING ADJACENT BUILDING ON ADJACENT SITE
34. EXISTING CURB ON ADJACENT SITE
35. SKYLIGHT WITH SMOKE AND HEAT VENTING, SEE MECHANICAL
36. 15' TALL 150W METAL HALIDE POLE LIGHT W. BRONZE ANODIZED FINISH, FULL CUTOFF SHIELD
37. NOT USED
38. LOCATION OF GROUND-MOUNTED SIGN, SIZE TO NOT EXCEED 75 SQUARE FEET, HEIGHT NOT TO EXCEED 4'-0"
39. CONCRETE BLOCK BASE FOR INTERNALLY LIT SIGN IN PAINTED METAL FRAME, BLOCK TO MATCH YARD WALLS
40. TWO MOTORCYCLE PARKING SPACES @ 4'x8'
41. POLE-MOUNTED MOTORCYCLE PARKING SIGN, NO SMALLER THAN 12'x18". LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE
42. METAL STAIR



Zone Atlas Page C-16-Z
 SCALE: 1 1/2" = 1 MILE
 NORTH



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 SCALE: 1" = 20'
 NORTH

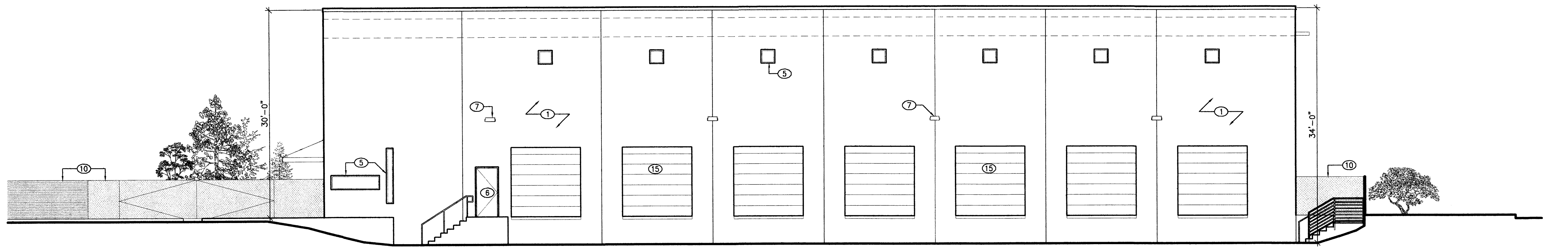
THE CORNER AT THE ALAMEDAS
 OFFICE/WAREHOUSE

8615 ALAMEDA PARK NE
 ALBUQUERQUE, NM 87113-1547

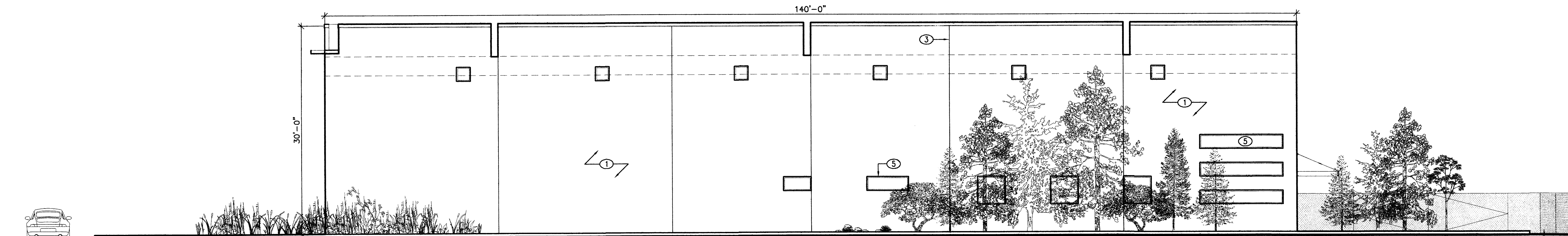
G. DONALD DUDLEY AIA
ARCHITECT
 SIMMS TOWER STUDIO 850
 400 GOLD AVENUE SW
 ALBUQUERQUE, NEW MEXICO
 8 7 1 0 2
 TEL 505.243.8100
 FAX 505.843.8820

DATE: JUNE 28, 2007
 DRAWN BY: GDD, eh
 REGISTERED ARCHITECT

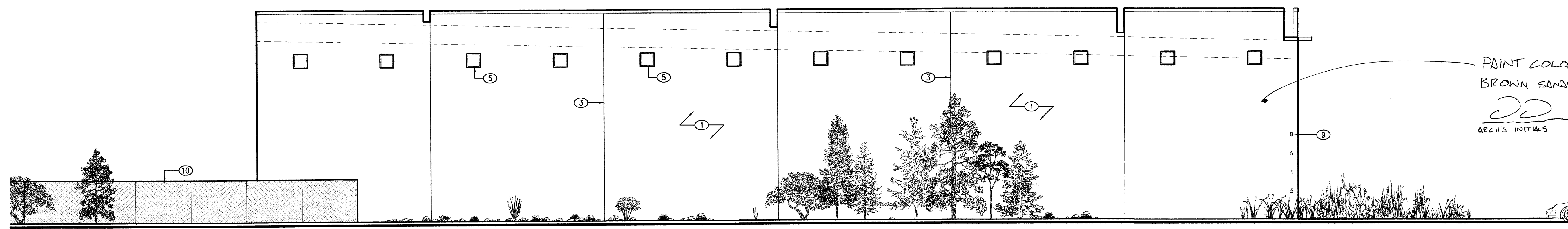
DRB-1



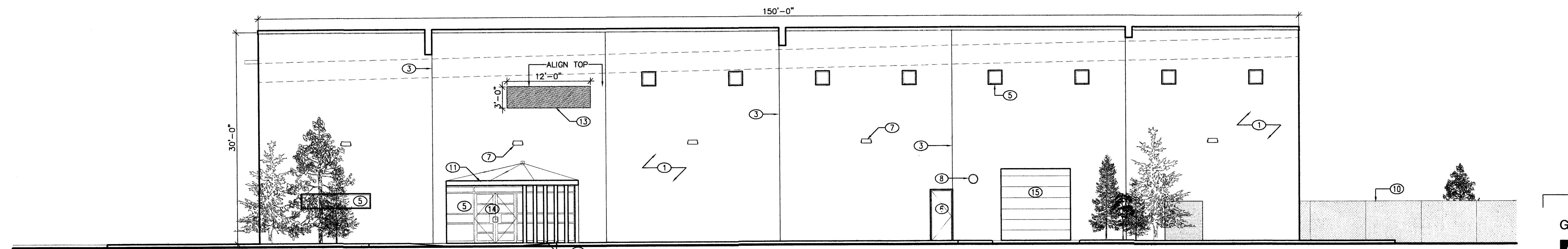
4 SOUTH ELEVATION
A2.1 SCALE: 1/8"=1'-0"



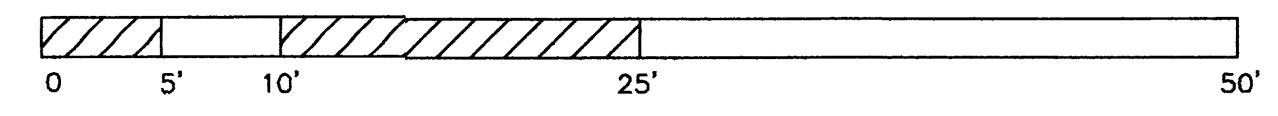
3 NORTH ELEVATION
A2.1 SCALE: 1/8"=1'-0"



2 EAST ELEVATION
A2.1 SCALE: 1/8"=1'-0"



1 WEST ELEVATION
A2.1 SCALE: 1/8"=1'-0"



GENERAL NOTES

1. DO NOT SCALE DRAWINGS
2. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION
3. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT
4. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED
5. F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE

KEYED NOTES

1. EXPOSED SMOOTH CONCRETE TILT-UP WALL, (PAINT FINISH (REDDISH-BROWN COLOR))
2. NOT USED **REVISED**
3. 3/4" JOINT IN TILT-UP WALL, SEE STRUCTURAL AND PANEL DRAWINGS FOR LOCATIONS
4. LINE OF ROOF BEYOND
5. ALUMINUM STOREFRONT WINDOW, CLEAR ANODIZED FINISH
6. HOLLOW METAL DOOR, CLEAR SEALER OVER MILL FINISH STEEL
7. SCHEDULED LIGHT FIXTURE, SEE ELECTRICAL
8. LOCATION OF WATER GONG, SEE PLUMBING DRAWINGS AND FIRE PROTECTION DRAWINGS
9. 8" TALL SURFACE-MOUNTED ADDRESS NUMBERS, 1" DEPTH, FONT TO BE "TW CEN MT," SPACE AS SHOWN
10. 6' TALL CHAIN LINK FENCE WITH TAN PLASTIC VISION STRIPS **REVISED**
11. METAL AWNING, SEE STRUCTURAL
12. NOT USED
13. TENANT SIGN BY OTHERS, SIZE AND LOCATION AS SHOWN
14. ALUMINUM STOREFRONT ENTRY DOOR
15. SECTIONAL OVERHEAD DOOR, CLEAR SEALER OVER MILL FINISH STEEL
16. PRECAST CONCRETE FINS, SEE STRUCTURAL

NOTE: ALL ELEVATIONS HAVE CHANGED, PRIMARILY THROUGH THE ELIMINATION OF WINDOWS, BUT ALSO WITH FENCE MATERIALS CHANGED, BUILDING SURFACE TREATMENT CHANGED, ONE AWNING ELIMINATED, AND OVERHEAD DOORS CHANGED.

PAINT COLOR TO BE BROWN SANDY BUFF.
DD
ARCUS INTERIORS

THE CORNER AT THE ALAMEDAS
OFFICE/WAREHOUSE

8615 ALAMEDA PARK NE
ALBUQUERQUE, NM 87113-1547

G. DONALD DUDLEY AIA
ARCHITECT
SIMMS TOWER STUDIO 850
400 GOLD AVENUE SW
ALBUQUERQUE, NEW MEXICO
8 7 1 0 2
TEL 505.243.8100
FAX 505.843.6820

STATE OF NEW MEXICO
G. DONALD DUDLEY JR.
No. 3673
7/2/07
REGISTERED ARCHITECT

date: JUNE 28, 2007
drawn by: GDD, eh

DRB-4

sequence no. of: