

BUILDING AREA & PARKING CALCULATIONS:

Building Area	Office Area	Retail Area	Restaurant Plaza Area
6301 PLAZA AREA: OFFICE: 10,325 200 X 9 = 47 47 TOTAL SPACES X 15 SF PER SPACE = 705 SF PLAZA	6301 OFFICE AREA: 10,325 SF BUILDING 10,325 200 X 9 = 47 SPACES REQUIRED 47 SPACES PROVIDED (1:1)	6401 RETAIL AREA: 30,000 SF BUILDING 30,000 250 X 8 = 120 SPACES REQUIRED 120 SPACES PROVIDED	RESTAURANT PLAZA AREA: RETAIL: 6,352 250 X 8 = 23 23 TOTAL SPACES X 15 SF PER SPACE = 345 SF PLAZA
SEATING AREA: 18' X 20' = 360 LINEAR FT. PERMETER REQ. 360 LINEAR FT. PARKING PLANTERS 360 LINEAR FT. BENCHES = 110 LINEAR FT. PROVIDED	LANDSCAPE AREA: 705 SF X .4 = 282 SF REQUIRED - 282 SF PROVIDED	LANDSCAPE AREA: 1100 SF X .4 = 440 SF REQUIRED - 440 SF PROVIDED	LANDSCAPE AREA: 345 SF X .4 = 138 SF REQUIRED - 138 SF PROVIDED
6401 PLAZA AREA: 2ND FLOOR OFFICE: 30,000 300 X 8 = 80 120 FLOOR RETAIL: 30,000 250 X 8 = 120	TOTAL REQUIRED SPACES = 221 SPACES TOTAL PROVIDED SPACES = 221 SPACES (1:1)	TOTAL REQUIRED SPACES = 221 SPACES TOTAL PROVIDED SPACES = 221 SPACES (1:1)	TOTAL REQUIRED SPACES = 221 SPACES TOTAL PROVIDED SPACES = 221 SPACES (1:1)

PROJECT NUMBER: 1000 631
 APPLICATION NUMBER: 05DRB-01287

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

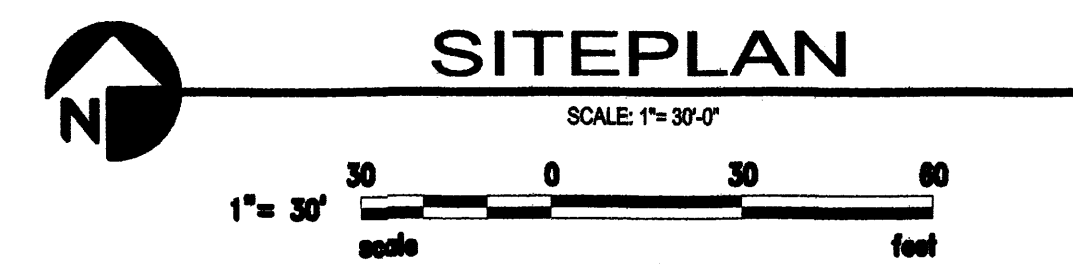
Is an Infrastructure List required? () YES (X) NO

If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN

City Engineer, Transportation Division	Date	9-14-05
Utilities Development	Date	9-14-05
Parks and Recreation Department	Date	8/17/05
City Engineer, Engineering Division	Date	8/17/05
Environmental Health Department (conditional)	Date	8/17/05
Solid Waste Management	Date	8/17/05
DRB Chairperson, Planning Department	Date	8/17/05

* Environmental Health, if necessary



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	UPTOWN OFFICES
PROJECT MANAGER	MIKE SAFFRANY
JOB NO.	MPS
DRAWN BY	MPS
SHEET TITLE	SITE PLAN - SUBDIVISION
DATE:	11-04-03
SCALE:	AS NOTED
sheet:	A1.1
of:	