

**PROJECT DATA**  
 PROJECT TITLE: CAPITAL ASPECTS OFFICE BUILDING  
 CITY ADDRESS: 11601 MONTGOMERY BLVD, NE (PENDING)  
 LEGAL DESCRIPTION: TRACT H-2, NEW HOLIDAY PARK SUBDIVISION, BERNHARDT COUNTY, NEW MEXICO  
 ZONE ATLAS PAGE: F-22  
 ZONING: SU-1 FOR O-1 AND SELF STORAGE USES

**PARKING CALCULATION:**  
 FIRST FLOOR: 7500 SF/300 = 25 SPACES  
 MEZZANINE: 800 SF/300 = 2 SPACES  
 TOTAL PARKING REQUIRED: 28  
 TOTAL PARKING PROVIDED: 40  
 HANDICAP SPACES PROVIDED: 2

- GENERAL NOTES**
- [1.0] ALL STANDARD PARKING SPACES SHALL BE 8'-0" W X 20'-0" L. (ALTERNATE PARKING SPACES SHALL BE 8'-0" W X 18'-0" L W/ 2'-0" OVERHANG SPACES)
  - [1.1] ALL HANDICAP PARKING SPACES SHALL BE 8'-0" W X 20'-0" L W/ ADJACENT 8'-0" W ACCESS AISLE
  - [1.2] BUILDING UNPAVED SIDEWALK SHALL BE A MAXIMUM OF 6% OF THE FACADE AREA AND NO BOX STYLE SIDEWALK MAY BE USED.
  - [1.3] FREE STANDING SIGNMENT SIGNS SHALL INTERFERE WITH THE BUILDING ARCHITECTURE AND SHALL BE A MAXIMUM OF 80 SF AT 10' HEIGHT
  - [1.4] SITE ACCESS, CIRCULATION PATTERNS, STRUCTURE ORIENTATION/COMPASSION MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER
  - [1.5] LOCATION OF WALLS, FENCES AND SIGNS MUST MEET THE CITY'S CLEAR SIGHT DISTANCE REQUIREMENTS.

- RECORD NOTES**
- [1] ASPHALT PAVING, TYP.
  - [2] CONCRETE SIDEWALK/PATIO SURFACE
  - [3] CONCRETE CURB, TYP.
  - [4] CONCRETE RETAINING WALL W/ STUCCO FINISH TO MATCH BUILDING - HEIGHT VARIES FROM 2' TO 4'
  - [5] RAISED CONCRETE PLANTER W/ STUCCO FINISH TO MATCH BUILDING
  - [6] YELLOW ALYD PAINT PARKING SPACE STRIPING AND HANDICAP SYMBOL, TYP.
  - [7] HANDICAP PARKING SIGN
  - [8] HANDICAP ACCESS RAMP
  - [9] ADAPTOR IN CONCRETE ENCLOSURE W/ STUCCO FINISH TO MATCH BUILDING & GATE - FINAL CONFIGURATION TO BE APPROVED BY SOLID WASTE DEPARTMENT AT TIME OF BUILDING PERMIT.
  - [10] 2" HIGH CONCRETE MONUMENT SIGN W/ STUCCO FINISH TO MATCH BUILDING
  - [11] PAINTED STEEL PATIO/ENTRY TIEBARS
  - [12] DRAINAGE GRILLE IMPROVEMENTS PER DRAWINGS ALREADY APPROVED BY CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT
  - [13] 10' MAXIMUM HEIGHT 400 METAL HALOGEN POLE LIGHT W/ CONCRETE BASE (FULL CUT-OFF, SHIE-SHIE TYPE FIXTURE)
  - [14] STEEL TUBE BIKE RACK - 3 BIKE CAPACITY
  - [15] HANDICAP ACCESS RAMP
  - [16] HANDICAP PARKING SIGN
  - [17] EXISTING DISCHARGE GRATING TO BE REMOVED AS PART OF APPROVED DRAINAGE IMPROVEMENTS
  - [18] EXISTING CONCRETE CURB CUT AND CITY SIDEWALK TO REMAIN - NEW ASPHALT PAVING AND SITE WALKS SHALL TRANSITION DIRECTLY INTO EXISTING
  - [19] EXISTING PAVED DRIVE AND PARKING
  - [20] EXISTING CONCRETE RETAINING WALL
  - [21] CONCRETE PATIO WALL W/ STUCCO FINISH TO MATCH BUILDING
  - [22] NEW WELDER LINE - CONNECT AT HANDLE IN MEDIUM
  - [23] NEW WATER LINE AND METER - CONNECT AT SIDEWALK
  - [24] NEW GAS LINE - CONNECTION BY PFM
  - [25] NEW UNDERGROUND POWER LINE & TRANSFORMER - CONNECT AT POLE ON ADJACENT PROPERTY LINE
  - [26] EXISTING FIRE HYDRANT LOCATED ALONG FRONT PROPERTY LINE AT THE DESIGNATED DISTANCE FROM THE PROPERTY CORNER

0440-0000-0090

**CITY APPROVALS** Pres. # 1000646

*Roger J. [Signature]* 9-11-00 DATE  
 UTILITY DEVELOPMENT

*[Signature]* 9-06-00 DATE  
 TRANSPORTATION DEVELOPMENT

*[Signature]* 9-6-00 DATE  
 CITY ENGINEER

*[Signature]* 9/6/00 DATE  
 PARKS DEPARTMENT

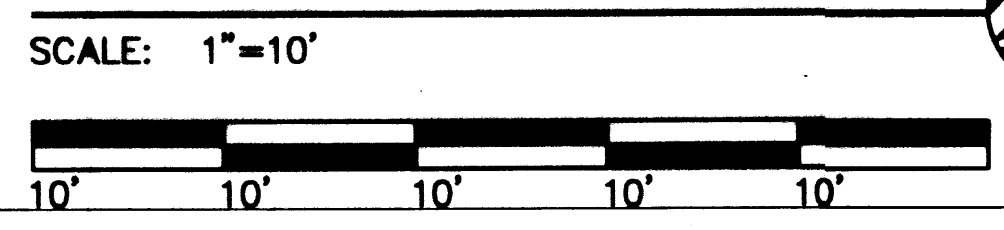
*[Signature]* 9/11/00 DATE  
 PLANNING DEPARTMENT

*[Signature]* 9-28-00 DATE  
 FIRE MARSHALL

*[Signature]* 9-4-00 DATE  
 SOLID WASTE

MONTGOMERY BOULEVARD, N.E. (106' R.O.W.)

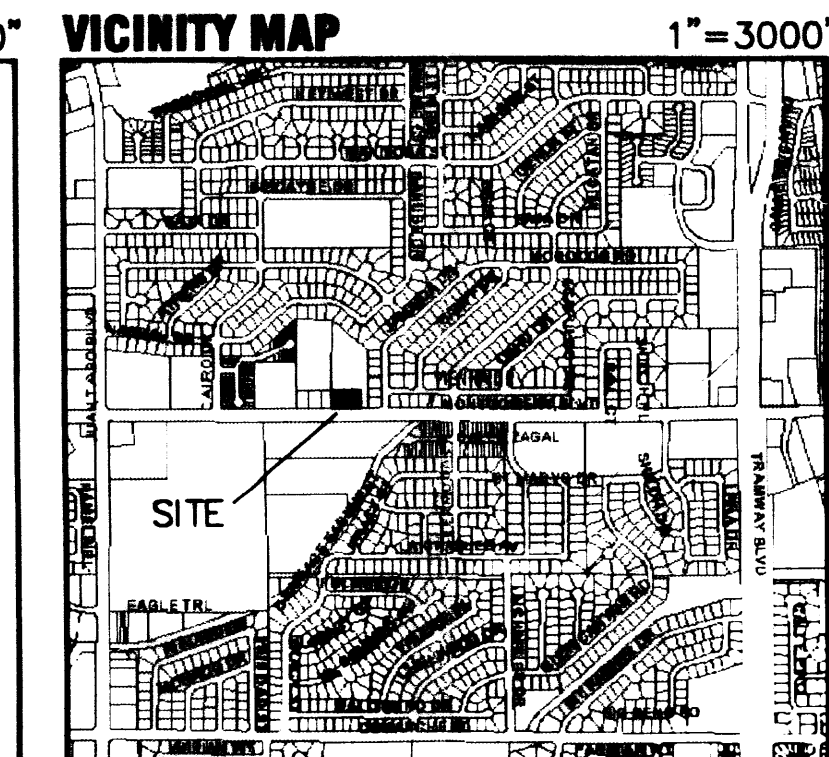
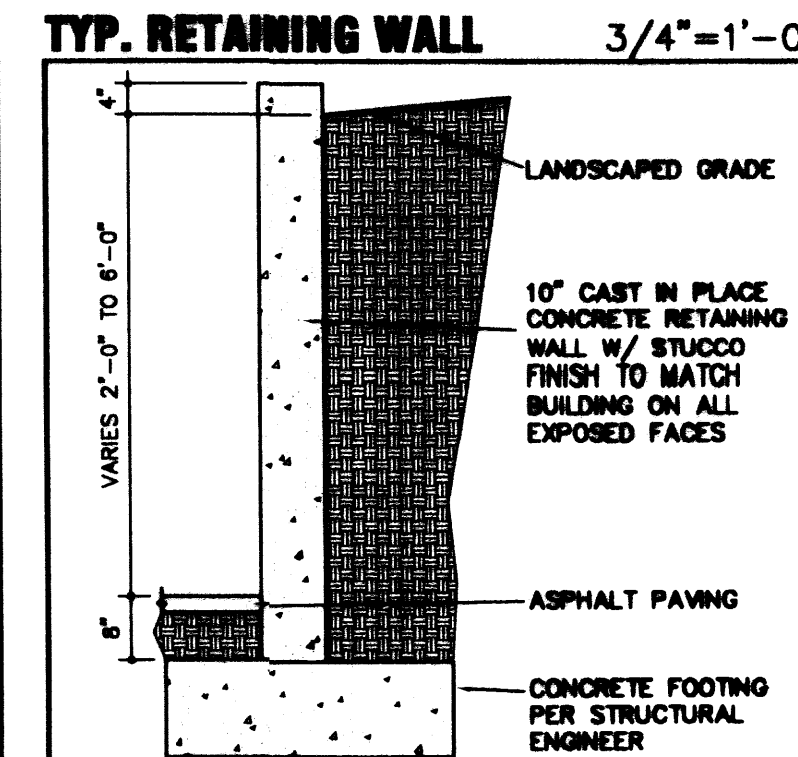
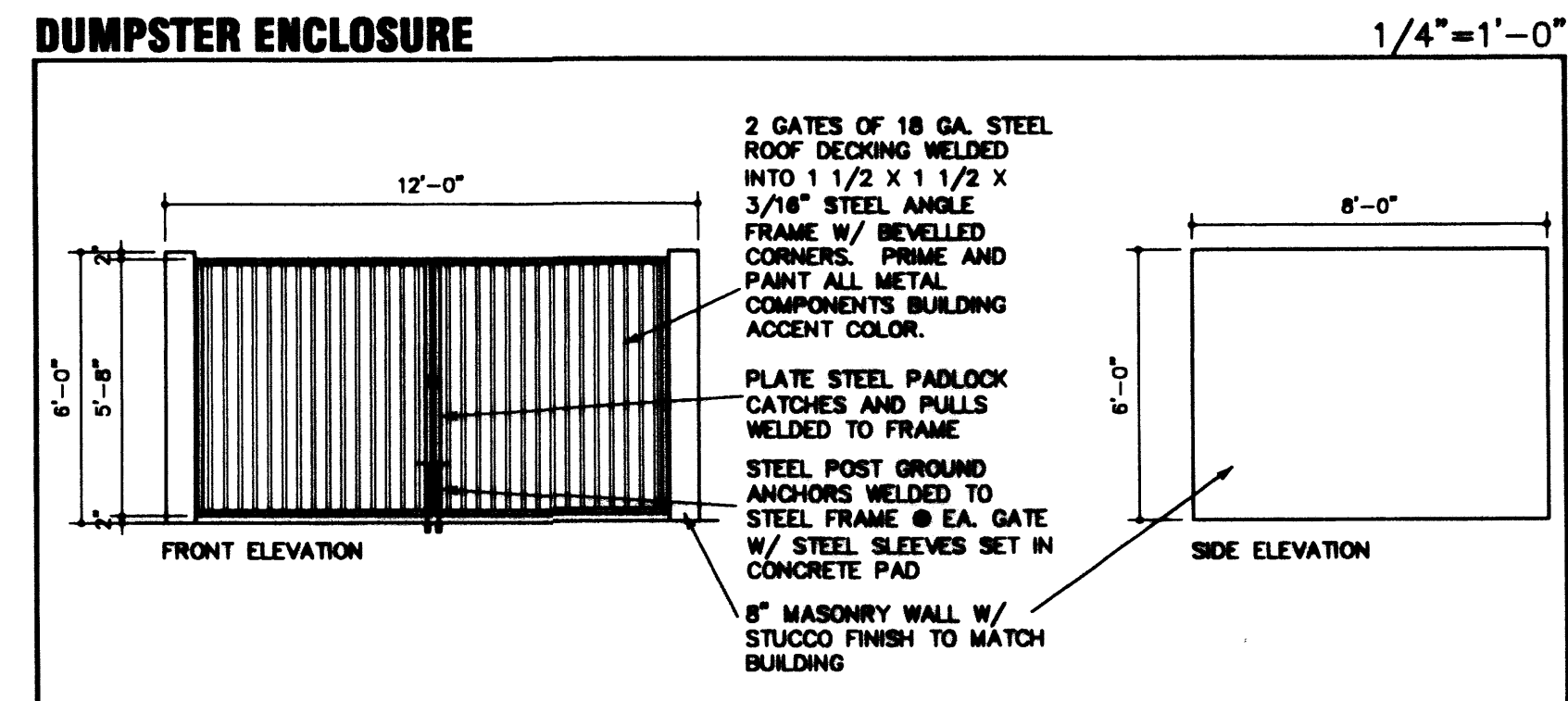
**SITE PLAN**



**CURB RADIUS DATA**

|             |
|-------------|
| R1 = 1'-0"  |
| R2 = 3'-0"  |
| R3 = 15'-0" |
| R4 = 2'-0"  |
| R5 = 32'-0" |
| R6 = 2'-4"  |
| R7 = 25'-0" |

RADIUS MEASURED TO OUTSIDE FACE OF CURB



**SITE PLAN & DETAILS**

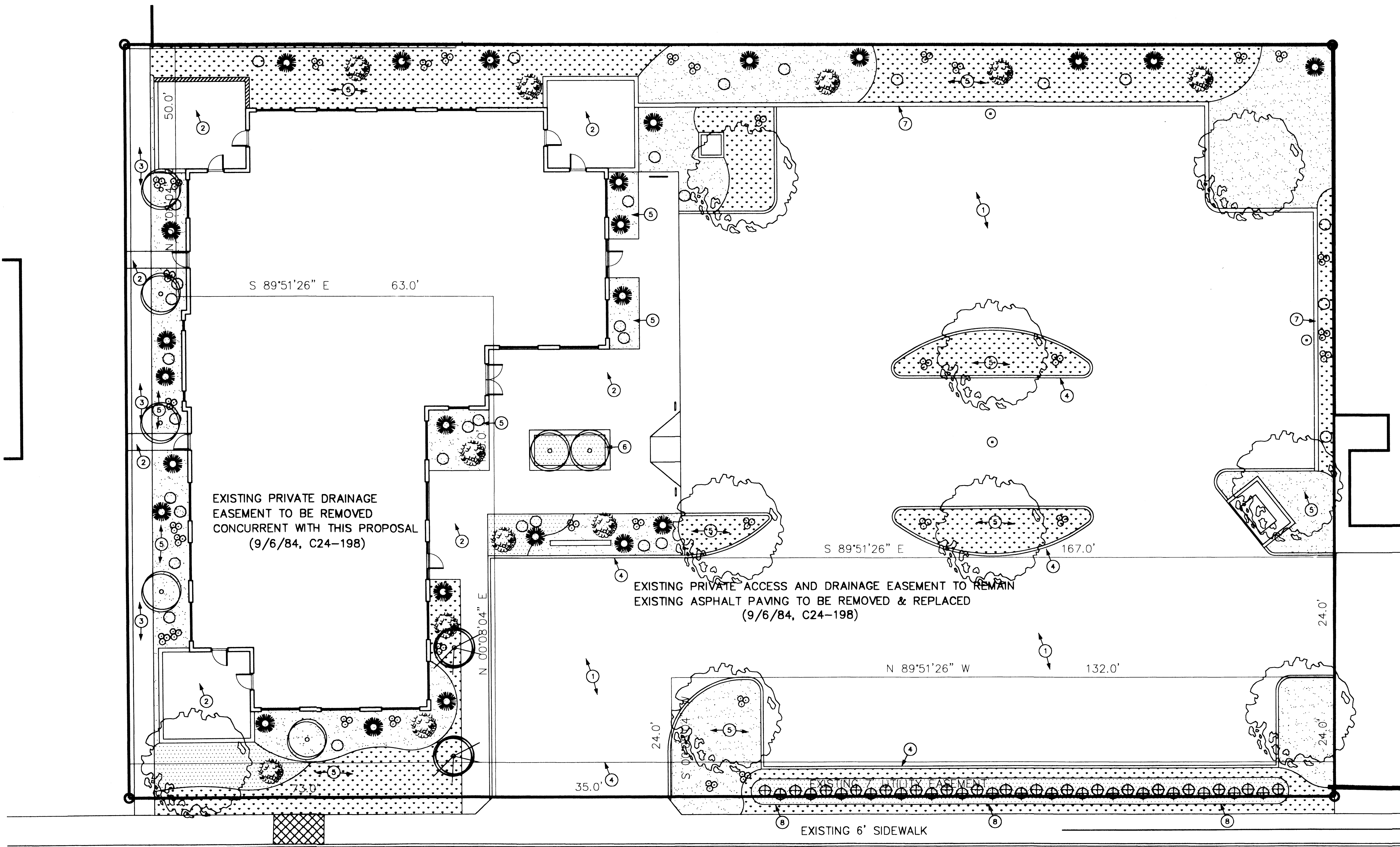
Capital Aspects  
 11601 Montgomery

**INSITE**

TITLE: SITE PLAN & DETAILS  
 DATE ISSUED: 8/20/00  
 UPDATED:  
 EDITION:  
 PROJECT ID: CAPITAL ASPECTS  
 SHEET ID: SA-03-000-0000  
 CREATED BY: JAC  
 SCALE: AS SHOWN  
 DISCIPLINE: CIVIL  
 CONSULTANT:  
 SHEET NUMBER: 01

PROD 1000646  
 5 of 1





**GENERAL NOTES**

- [1.0] MAINTENANCE OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- [1.1] ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- [1.2] LANDSCAPING SHALL PROVIDE A MINIMUM OF 75% ORGANIC COVERAGE AT MATURITY IN ALL LANDSCAPED AREAS
- [1.3] FINAL LANDSCAPE PLAN SHALL BE PROVIDED ON A DESIGN/BUILD BASIS. SUBSTITUTIONS OF PLANTINGS AND SPECIFIC LOCATIONS MAY BE MODIFIED AT THAT TIME WITHIN THE GENERAL REQUIREMENTS AND MINIMUM DENSITIES INDICATED BY THIS PLAN.

**LANDSCAPE AREA CALCULATIONS**

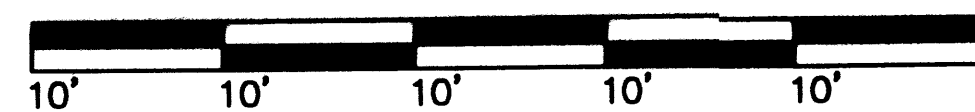
TOTAL SITE AREA: 35,989 SF  
 BUILDING AREA: 7,220 SF (20%)  
 PAVED AREA: 20,548 SF (57%)  
 LANDSCAPE PLANTER AREA: 8,221 SF (23%)  
 (LANDSCAPE AREA REQUIRED: 5,398 SF (15%))

**KEYED NOTES**

- [1] ASPHALT PAVED PARKING AND DRIVE AREA
- [2] CONCRETE PAVED SIDEWALK OR PATIO AREA
- [3] CONCRETE DRAINAGE CHANNEL AS DESCRIBED IN GRADING AND DRAINAGE PLANS CURRENTLY APPROVED BY CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT
- [4] CONCRETE CURBING
- [5] LANDSCAPE PLANTER AREA - SANTA FE TAN GRAVEL ON WEED BARRIER
- [6] RAISED PLANTER AREA - DECORATIVE FLOWERS IN DIRT BED
- [7] CONCRETE RETAINING WALL
- [8] 12" HIGH EARTH BERM

**LANDSCAPE PLAN**

SCALE: 1"=10'



**LANDSCAPE LEGEND/PLANT LIST**

| SYM. |   |  |                   |                          |                      |
|------|---|--|-------------------|--------------------------|----------------------|
|      | CRUSHER FINES 'SANTA ANA TAN'                     |  | COCKSPUR HAWTHORN | CRATAEGUS CURS-GALE      | 1.5" CAL             |
|      | CRUSHED STONE 3/4" 'SANTA ANA TAN'                |  | DESERT WILLOW     | CHILOPSIS LINEARIS       | 15 GAL               |
|      | BLUE GRAMA BOUTELOUA GRACILIS SEEDED 3lbs/100sqft |  | MUGO PINE         | PINUS MUGO               | 5 GAL                |
|      | AMUR MAPLE ACER GINNALA 1.5 CAL                   |  | RUSSIAN SAGE      | PEROVSKIA ATRIPLICIFOLIA | 5 GAL                |
|      | MOUNTAIN ASH SORBUS 1.5 CAL                       |  | ROSEMARY          | ROSMARINUS               | 1 GAL                |
|      |   |  | APACHE PLUME      | FALLUGIA PARADOXA        | 1 GAL                |
|      |   |  | RHAPHIOLEPIS      | RHAPHIOLEPIS             | 5 GAL (18" MIN. HT.) |

**LANDSCAPE PLAN**  
 Capital Aspects  
 11601 Montgomery

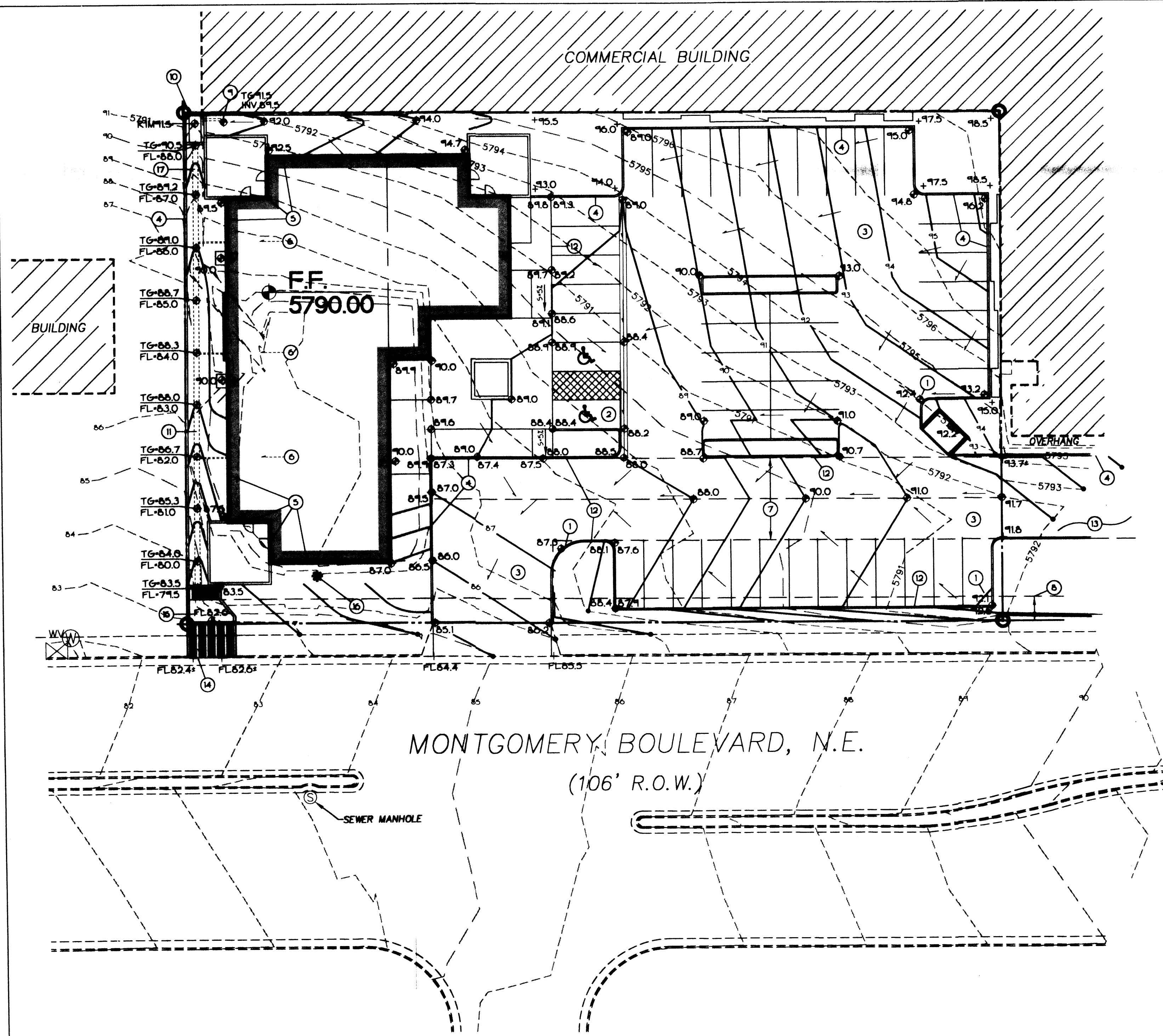
**INSITE**

TITLE: LANDSCAPE PLAN  
 DATE ISSUED: 8/28/09  
 UPDATED:  
 EDITION: 001 APPROVAL  
 PROJECT ID: CAPITAL ASPECTS  
 SHEET ID: SA-03-004-0001  
 CREATED BY: JWC  
 SCALE: 1"=10'

DISCIPLINE: CIVIL  
 CONSULTANT:  
 SHEET NUMBER: 02

5 of 5





The proposed improvements include an approx. 7,200 sf. Commercial building with associated asphalt parking, walks and landscaped areas.

The present site is an undeveloped commercial property located in Albuquerque, New Mexico. Montgomery Blvd. borders the property to the south, developed commercial property borders the site to the east, north and west. The site sloping to the southwest at approximately 6.5 percent.

See separate Drainage Supplement for background information regarding the existing / proposed drainage features and downstream capacity.

The intent of this plan is to show:

- The extent of proposed site improvements, including buildings, walks and pavement.
- The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City of Albuquerque requirements for drainage management.
- The relationship of on-site improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

**LEGAL:** Tract H-2, New Holiday Park Subdivision, Albuquerque, Bernalillo County, New Mexico

**SURVEYOR:** Precision Surveying - 856-5700

**B.M.:** Benchmark Datum Based On Set B.M. Chiseled "□" In Concrete on the property near the southwest property corner. See keyed note 16. Elevation = 5786.83

**OFF-SITE DRAINAGE:** 1.3 cfs from the property to the north / east will continue to drain across this property within the existing drainage easement along the southern portion of the property. 15.0 cfs from the property to the north will continue to pass into the property at the northwest property corner. These flows will be collected at the common lot line using a proposed double "D" inlet and carried within a proposed storm drain to be released into Montgomery Blvd.

**FLOOD HAZARD:** Per Bernalillo County FIRM Maps #144, the site is not located within a flood zone.

**EROSION CONTROL:** The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points on the west and north property lines.

- ALL SPOT ELEVATIONS WITHIN PAVEMENT AREAS REPRESENT TOP OF PAVING UNLESS NOTED, ADD 6" TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS.
- CONSTRUCT HANDICAP ACCESSIBLE PARKING PER C.O.A. REQUIREMENTS THIS AREA, TOP OF ASPHALT TO BE FLUSH WITH TOP OF WALK. SEE ARCHITECTURAL FOR ADDL INFO.
- PROPOSED ASPHALT PAVING, CONSTRUCT AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, SECTIONS, ETC.
- CONSTRUCT RETAINING WALLS AS REQUIRED TO ACHIEVE ELEVATIONS SHOWN DESIGN BY OTHERS. TRW DATA SHOWN FOR GENERAL INFORMATION. SEE SEPARATE RETAINING WALL SECTIONS BY OTHERS FOR ADDITIONAL INFORMATION.
- CONSTRUCT EXTENDED BUILDING STEMWALLS / RETAINING WALLS TO ACHIEVE GRADE RELATIONS SHOWN.
- ROOF FLOWS TO BE COLLECTED AND RELEASED DIRECTLY INTO THE PROPOSED STORM DRAIN SYSTEM. TYPICAL SEE STORM SEWER DETAIL THIS SHEET.
- PRIVATE ACCESS AND DRAINAGE EASEMENT (19/6/84, C24-116)
- PUBLIC UTILITY EASEMENT
- INSTALL STORM DRAIN INLET TO CAPTURE CONCENTRATED FLOWS. SEE STORM SEWER DETAIL THIS SHEET FOR ADDL INFO.
- INSTALL DOUBLE TYPE "D" STORM DRAIN INLET WITHIN CONCRETE CATCHMENT AREA. SEE DETAIL THIS SHEET FOR ADDITIONAL INFORMATION.
- PROVIDE SHALLOW SWALE WITHIN LANDSCAPED AREA TO DIRECT FLOWS SOUTH ANHWY FROM BUILDING. FLOWS WILL CONTINUE WITHIN SWALE TO ACCESS SIDEWALK CULVERTS IN MONTGOMERY BLVD. ROW.
- CONSTRUCT STANDARD CURB AND GUTTER THROUGHOUT PER C.O.A. STD. DWG. 2412
- REMOVE / REPLACE ASPHALT PAVING AND CURB THIS AREA AS REQUIRED TO ACHIEVE SMOOTH RIDING TRANSITION AT GRADES SHOWN. NOTE: CONSTRUCTION OF A GARDEN WALL MAY BE REQUIRED TO ACHIEVE THE NECESSARY GRADE DIFFERENCES.
- CONSTRUCT SERIES OF COVERED SIDEWALK CULVERTS PER C.O.A. STD. DWG. 2236 - SIDEWALK CULVERT WITH STEEL PLATE TOP TO RELEASE FLOWS TO MONTGOMERY BLVD. SEE CALCULATIONS / DETAILS FOR ADDITIONAL INFORMATION.
- CONSTRUCT V SHAPED CONCRETE RUNDOWN TO DELIVER FLOWS TO PROPOSED SIDEWALK CULVERTS. SEE CALCULATIONS / DETAILS FOR ADDITIONAL INFORMATION.
- SET B.M. CHISELED "□" IN CONCRETE EL- 5786.83
- INSTALL ONE 18" DIA. PVC PIPE THROUGH CONCRETE HEADWALL AT INVERT SHOWN TO ALLOW CONCENTRATED OFF-SITE FLOWS TO BE COLLECTED AND RELEASED TO MONTGOMERY BLVD. AS SHOWN.

# DRAINAGE / GRADING PLAN

SCALE: 1"=20'

| LEGEND |   |
|--------|---|
|        | SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)    |
|        | PROPOSED PAVED DRIVE                              |
|        | BUILDING (EXISTING, PROPOSED)                     |
|        | PROPERTY LINE                                     |
|        | EXISTING SPOT ELEVATION                           |
|        | EXISTING CONTOUR                                  |
|        | PROPOSED SPOT ELEVATION                           |
|        | PROPOSED CONTOUR                                  |
|        | SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF) |
|        | LANDSCAPED AREA                                   |
|        | TOP OF GRADE WALL (< 16" HIGH)                    |
|        | TOP OF RETAINING WALL (> 16" HIGH)                |
|        | TOP OF ASPHALT                                    |
|        | TOP OF CURB                                       |
|        | FLOW LINE   |
|        | FINISHED FLOOR                                    |
|        | RIGHT OF WAY                                      |
|        | PROPERTY LINE                                     |
|        | POWER POLE  |
|        | ENTRY / EXIT LOCATION                             |
|        | EXTENDED / RETAINING STEMWALLS                    |

**NOTICE TO CONTRACTOR**

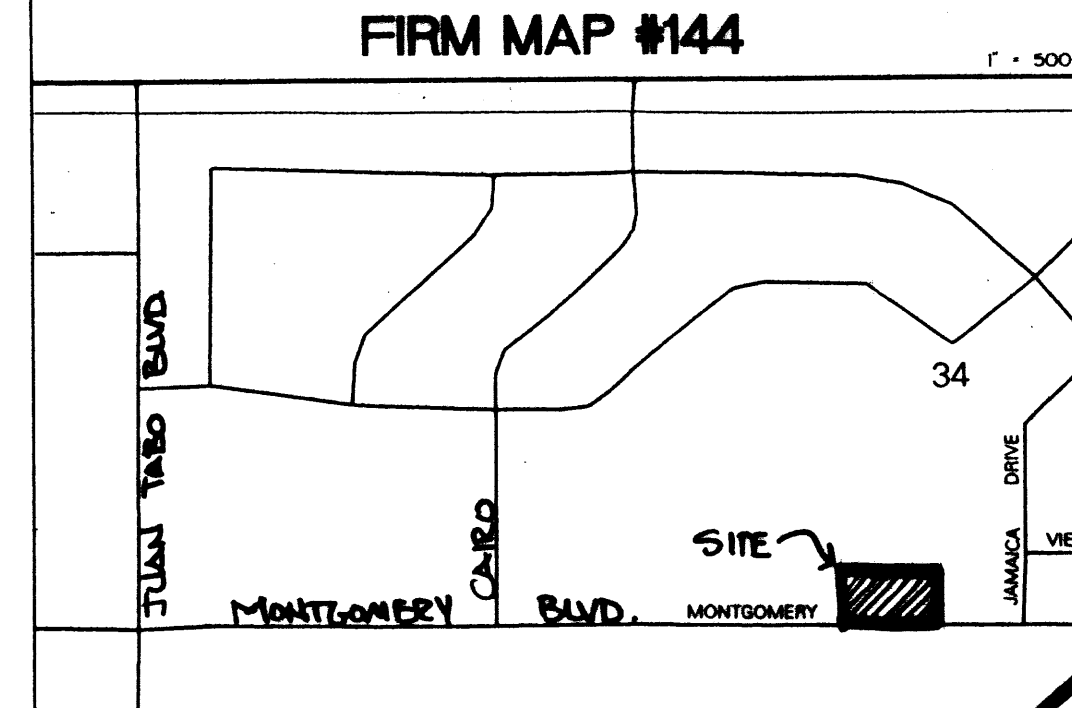
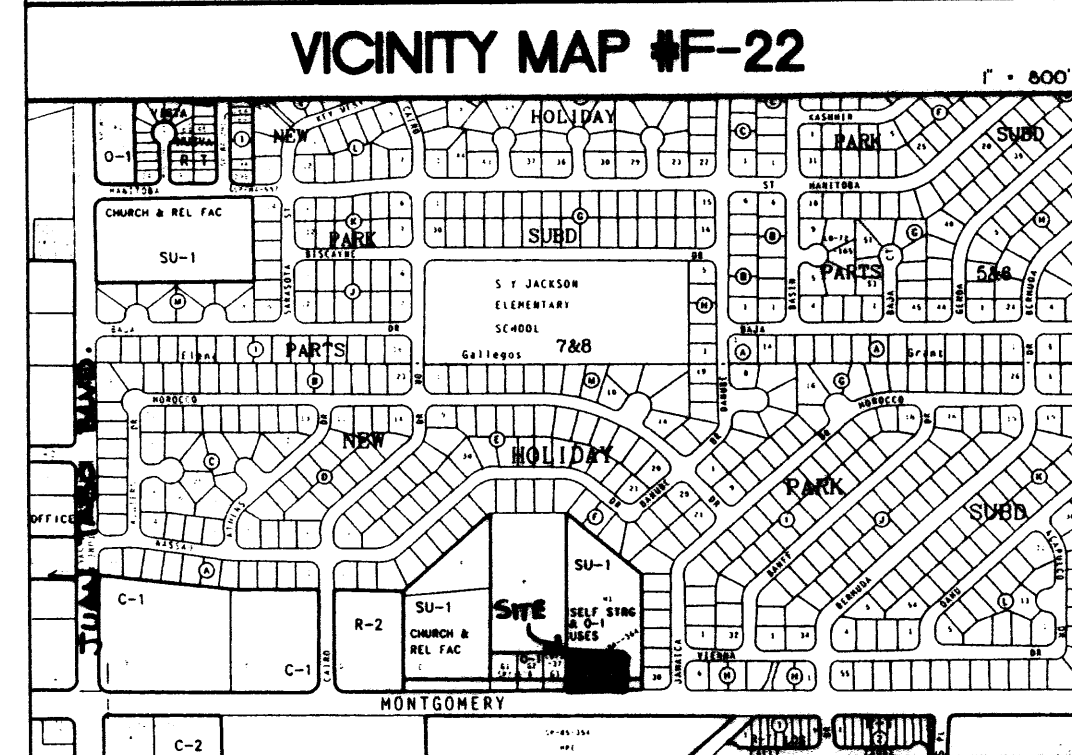
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-0244, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERT/DRAIN.
- PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.)

**DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY**

DESIGN APPROVAL: \_\_\_\_\_ DATE \_\_\_\_\_  
HYDROLOGY SECTION

INSPECTION APPROVAL: \_\_\_\_\_ DATE \_\_\_\_\_  
CONSTRUCTION SECTION

ACCEPTANCE: \_\_\_\_\_ DATE \_\_\_\_\_  
CONSTRUCTION SECTION/PERMITS



**Drainage and Grading Plan**  
Capital Aspects  
Office Building

**INSITE**

TITLE: DRAINAGE AND GRADING PLAN  
DATE ISSUED: 10/17/99  
DRAWN BY: C.L. WEISS  
CHECKED BY: C.L. WEISS  
DATE: 12-17-99  
SCALE: 1" = 20'

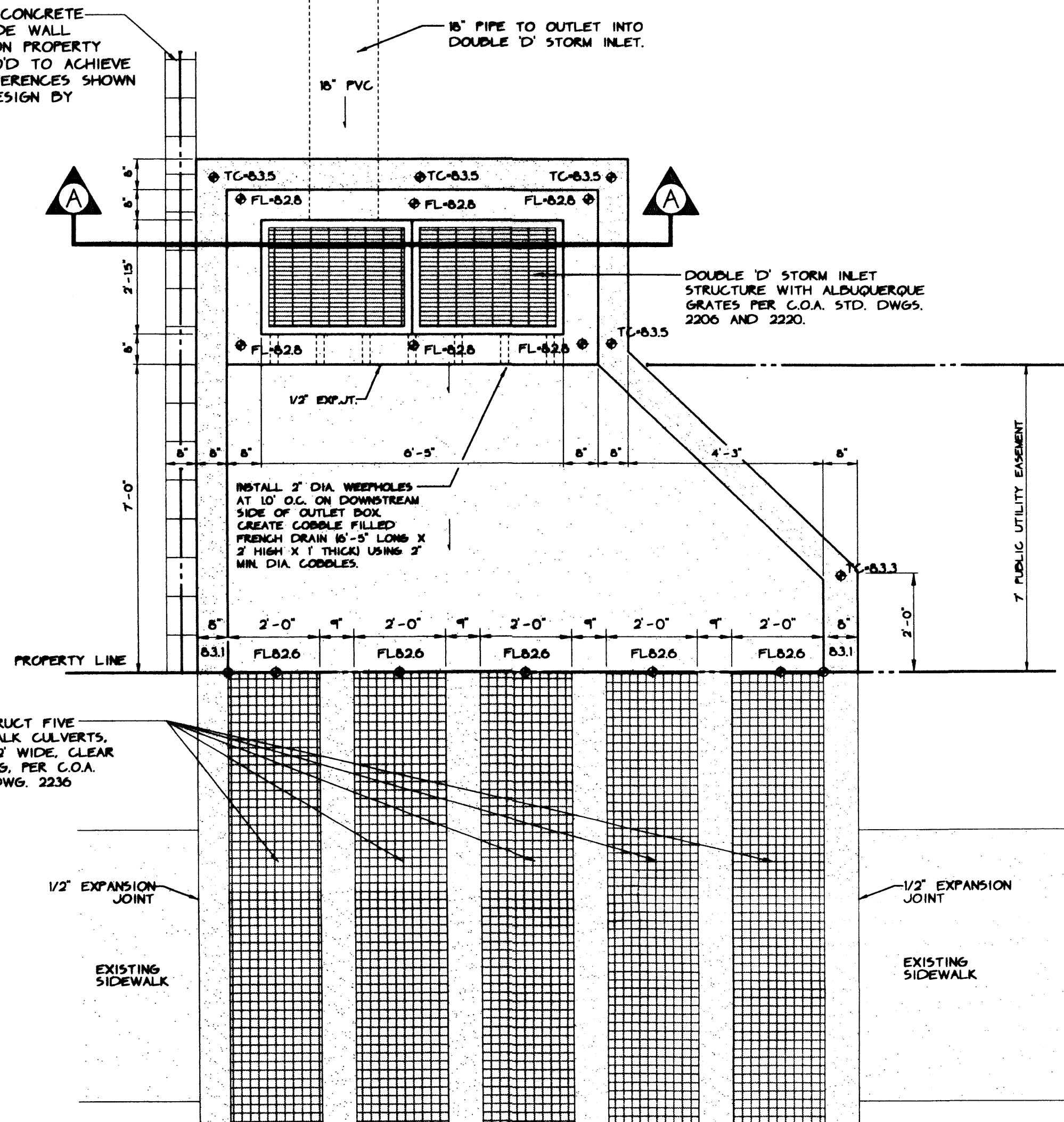
DISCIPLINE: CIVIL  
CONSULTANT: INSITE

SHEET NUMBER: **C1**

**C.L. WEISS ENGINEERING, INC.**  
POST OFFICE BOX 87 • SANDIA PARK, N.M. • 87047 • (505) 281-1800  
100 ALVARADO DR. NE • ALBUQUERQUE, N.M. • 87110 • (505) 268-3444



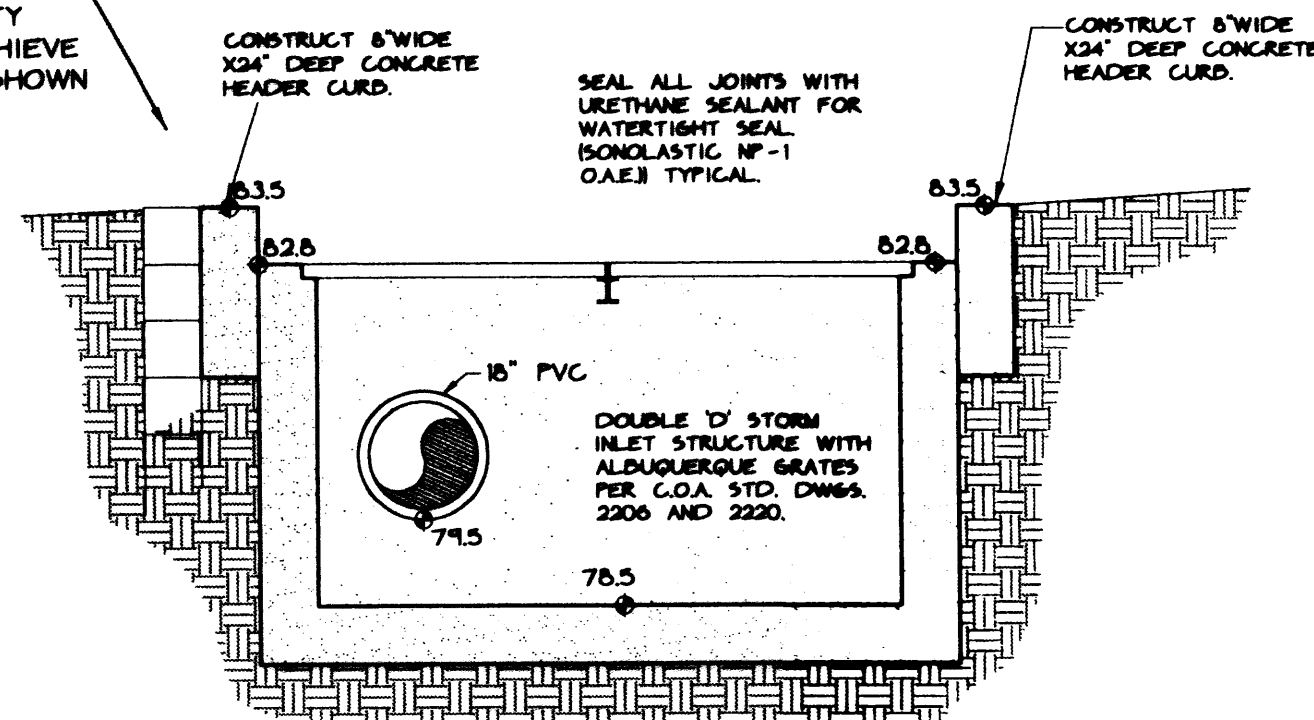
CONSTRUCT CONCRETE BLOCK GRADE WALL CENTERED ON PROPERTY LINE AS REQ'D TO ACHIEVE GRADE DIFFERENCES SHOWN ON PLAN (DESIGN BY OTHERS)



Montgomery Blvd.

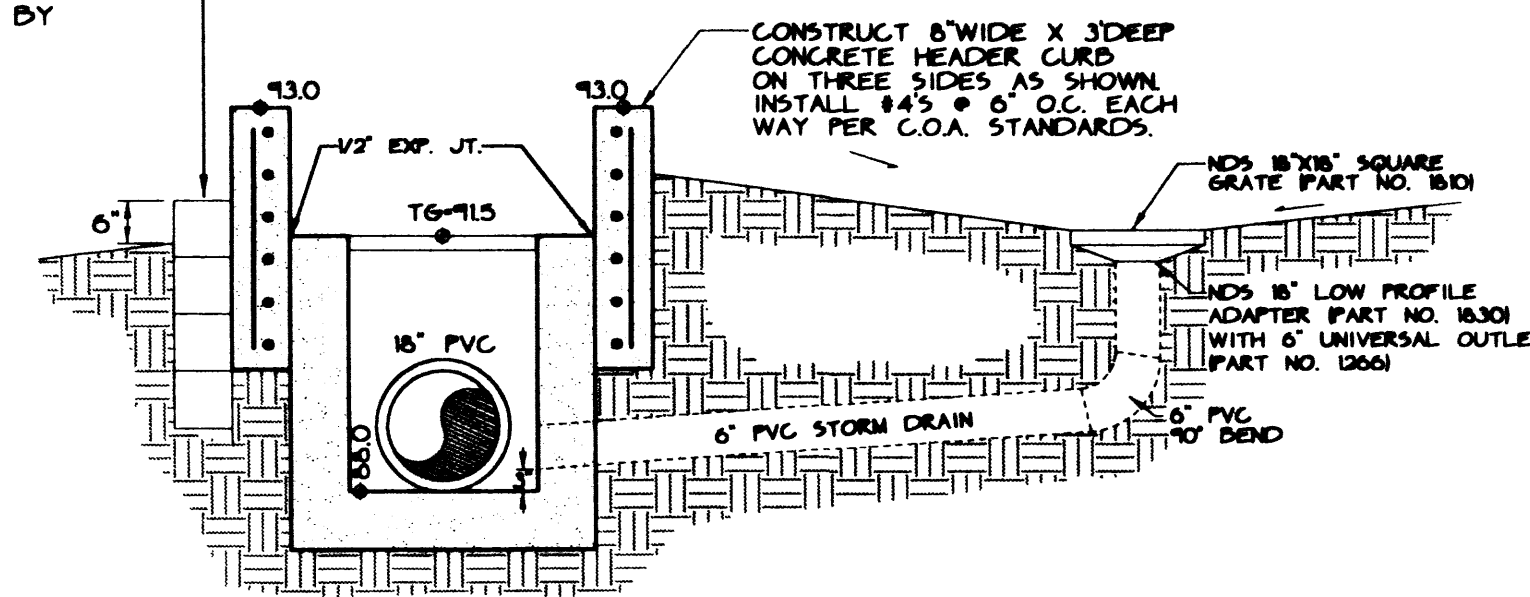
CULVERT OUTLET / SIDEWALK CULVERTS

CONSTRUCT CONCRETE BLOCK GRADE WALL CENTERED ON PROPERTY LINE AS REQ'D TO ACHIEVE GRADE DIFFERENCES SHOWN ON PLAN (DESIGN BY OTHERS)



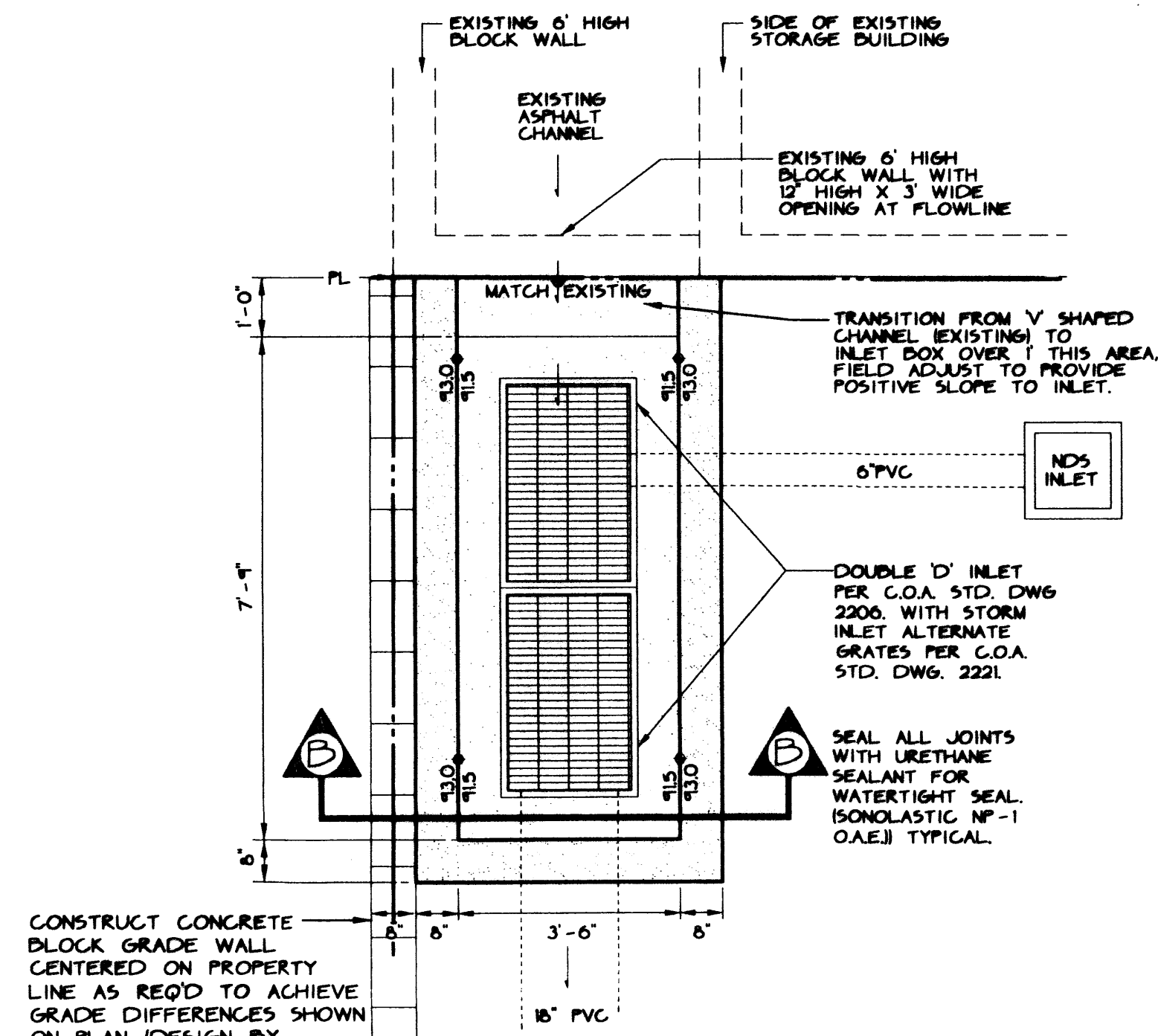
SECTION A-A

CONSTRUCT CONCRETE BLOCK GRADE WALL CENTERED ON PROPERTY LINE AS REQ'D TO ACHIEVE GRADE DIFFERENCES SHOWN ON PLAN (DESIGN BY OTHERS)



SECTION B-B

CONSTRUCT CONCRETE BLOCK GRADE WALL CENTERED ON PROPERTY LINE AS REQ'D TO ACHIEVE GRADE DIFFERENCES SHOWN ON PLAN (DESIGN BY OTHERS)



STORM DRAIN INLET - NW PROPERTY CORNER

Drainage  
Details  
Capital Aspects  
Office Building

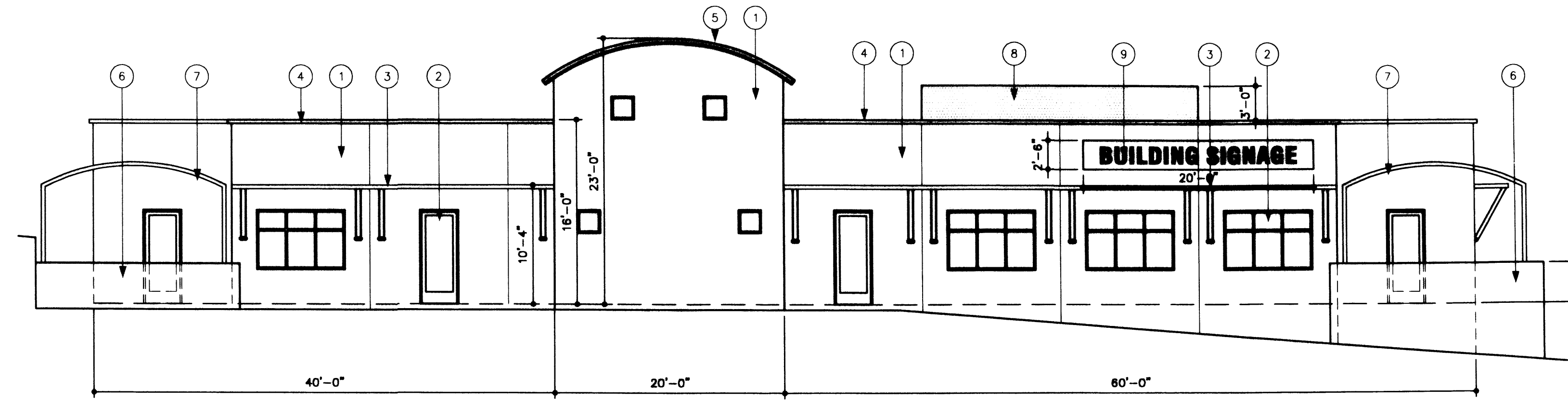
INSITE

TITLE: DRAINAGE DETAILS  
DATE ISSUED: 12/1/00  
UPDATED:  
EXTION:  
PROJECT ID: CAPITAL ASPECTS  
SHEET ID: 0007-0018  
CREATED BY: JLB/ALW  
SCALE: 1" = 10'  
DISCIPLINE: CIVIL  
CONSULTANT:  
SHEET NUMBER: 02

CHRISTOPHER L. WEISS  
REGISTERED PROFESSIONAL ENGINEER  
12-17-99

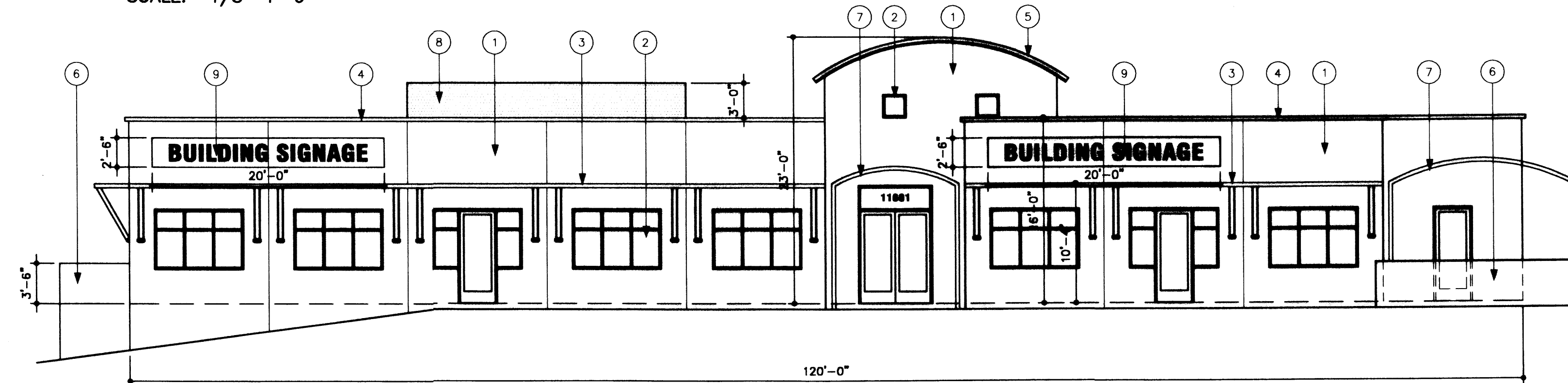


C.L. WEISS ENGINEERING, INC.  
POST OFFICE BOX 87 - SANDIA PARK, N.M. 87047 - (505) 281-9100  
1100 ALVARADO DR. NE - ALBUQUERQUE, N.M. 87110 - (505) 266-3444



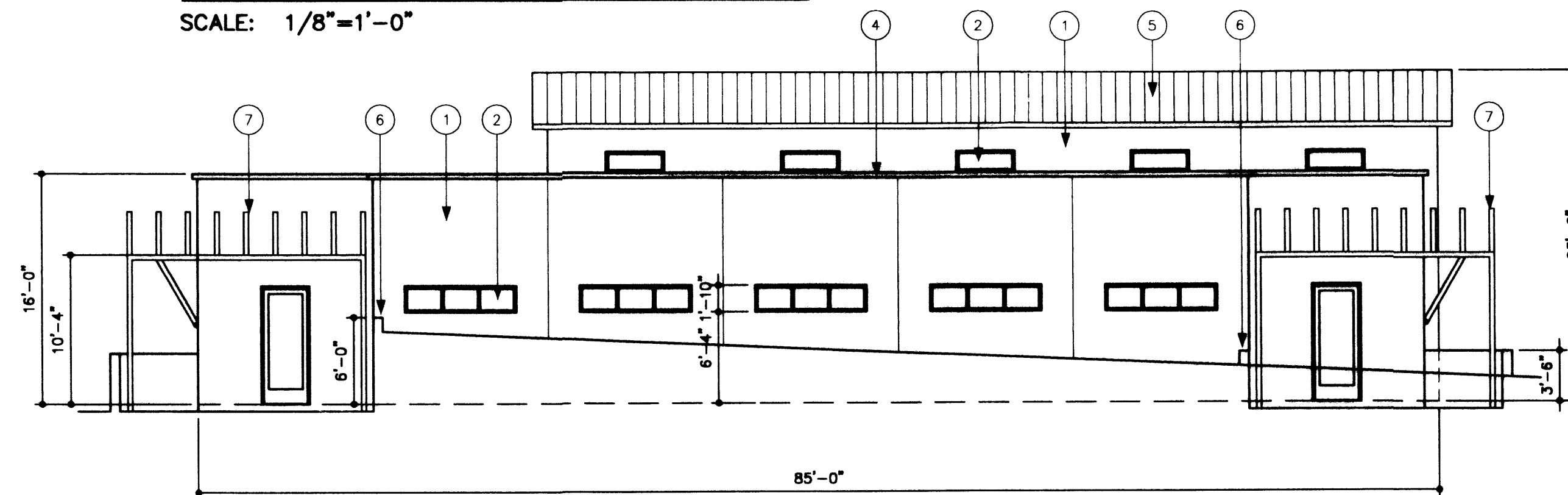
**WEST ELEVATION**

SCALE: 1/8"=1'-0"



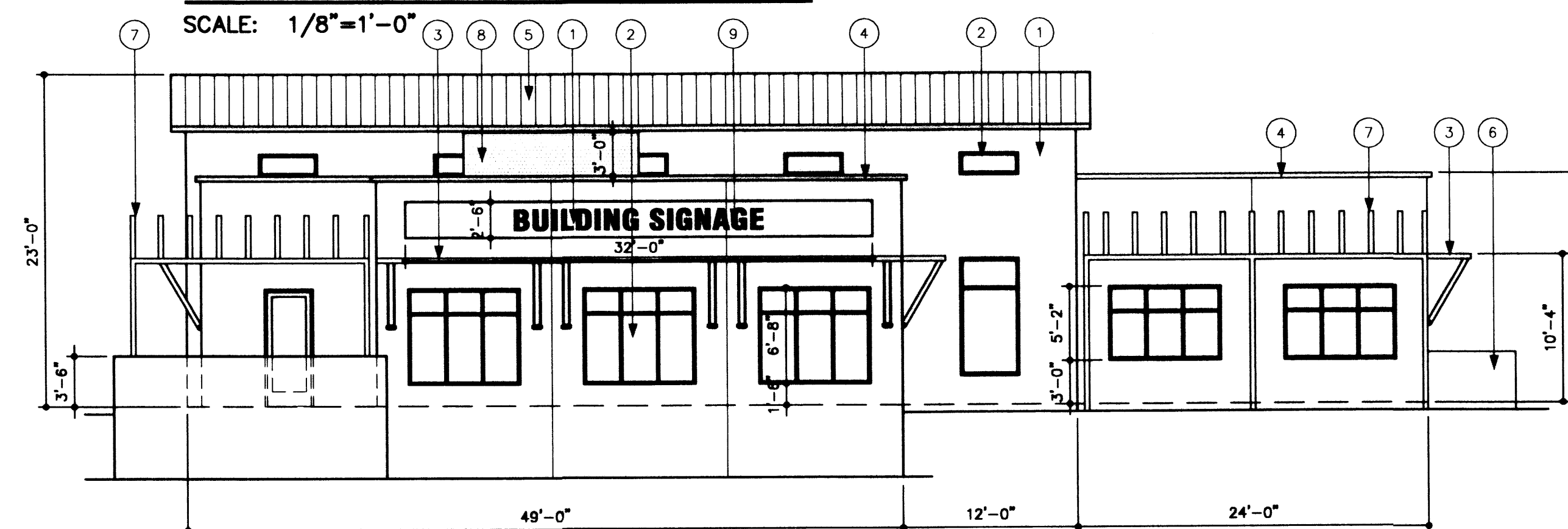
**EAST ELEVATION**

SCALE: 1/8"=1'-0"



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"

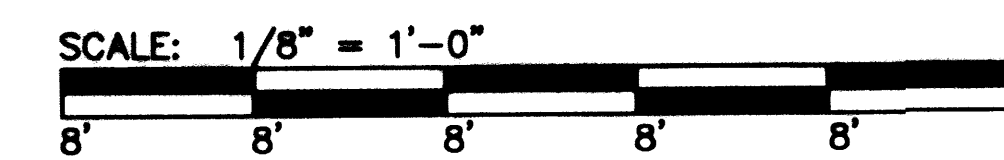


**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"

**ELEVATION KEYED NOTES**

- [1] EPS EXTERIOR FINISH W/ VERTICAL CONTROL JOINTS AT 12' O.C.  
MAIN BUILDING COLOR: TEFS "DEEP CANYON"  
BUILDING SECTION UNDER METAL ROOF: TEFS "LIGHT TAUPE"
- [2] KAWNEER ALUMINUM GLAZING SYSTEM W/ 1" INSULATED, CLEAR GLASS  
FRAME COLOR: KAWNEER "BOYSENBERRY"  
DOOR FRAMES: CLEAR ANODIZED ALUMINUM
- [3] TUBE STEEL SUNSHADE ASSEMBLY W/ SUPPORT BRACKETS AND 1X1 MESH INFILL  
- PRIMED AND PAINTED WITH 2 COAT ENAMEL  
COLOR TO MATCH METAL ROOFING
- [4] POWDER COATED METAL PARAPET CAP FLASHING/TRIM  
COLOR TO MATCH METAL ROOFING
- [5] 26 GA. STANDING SEAM METAL ROOFING  
COLOR: SIGNATURE 200 "CHARCOAL GRAY"
- [6] CONCRETE PATIO/RETAINING WALL W/ STUCCO FINISH TO MATCH BUILDING  
COLOR TO MATCH METAL ROOFING
- [7] TUBE STEEL PATIO/ENTRY TRELIS ASSEMBLY - PRIMED AND PAINTED WITH 2 COAT ENAMEL  
COLOR TO MATCH METAL ROOFING
- [8] PERFORATED STEEL SHEET MECHANICAL UNIT SCREEN WALL - PRIMED AND PAINTED WITH 2 COAT ENAMEL  
COLOR TO MATCH METAL ROOFING
- [9] TENANT SIGNAGE LOCATION - ACTUAL SIGNAGE TO BE DETERMINED AT TIME OF TENANT BUILD-OUT, LIMITED TO THIS DESIGNATED AREA (80 SF @ STREET ELEVATION, 50 SF @ SIDE ELEVATIONS)



| ELEVATIONS                          |                 |
|-------------------------------------|-----------------|
| Capital Aspects<br>11601 Montgomery |                 |
| <b>INSITE</b>                       |                 |
| TITLE:                              | ELEVATIONS      |
| DATE ISSUED:                        | 6/16/20         |
| UPDATED:                            | -               |
| EDITION:                            | ISSUE APPROVAL  |
| PROJECT ID:                         | CAPITAL ASPECTS |
| SHEET ID:                           | EA-02-0001-0001 |
| CREATED BY:                         | JMS             |
| SCALE:                              | 1/8"=1'-0"      |
| DISCIPLINE:                         | ARCHITECTURAL   |
| CONSULTANT:                         | INSITE          |
| SHEET NUMBER:                       | A2              |

SOS