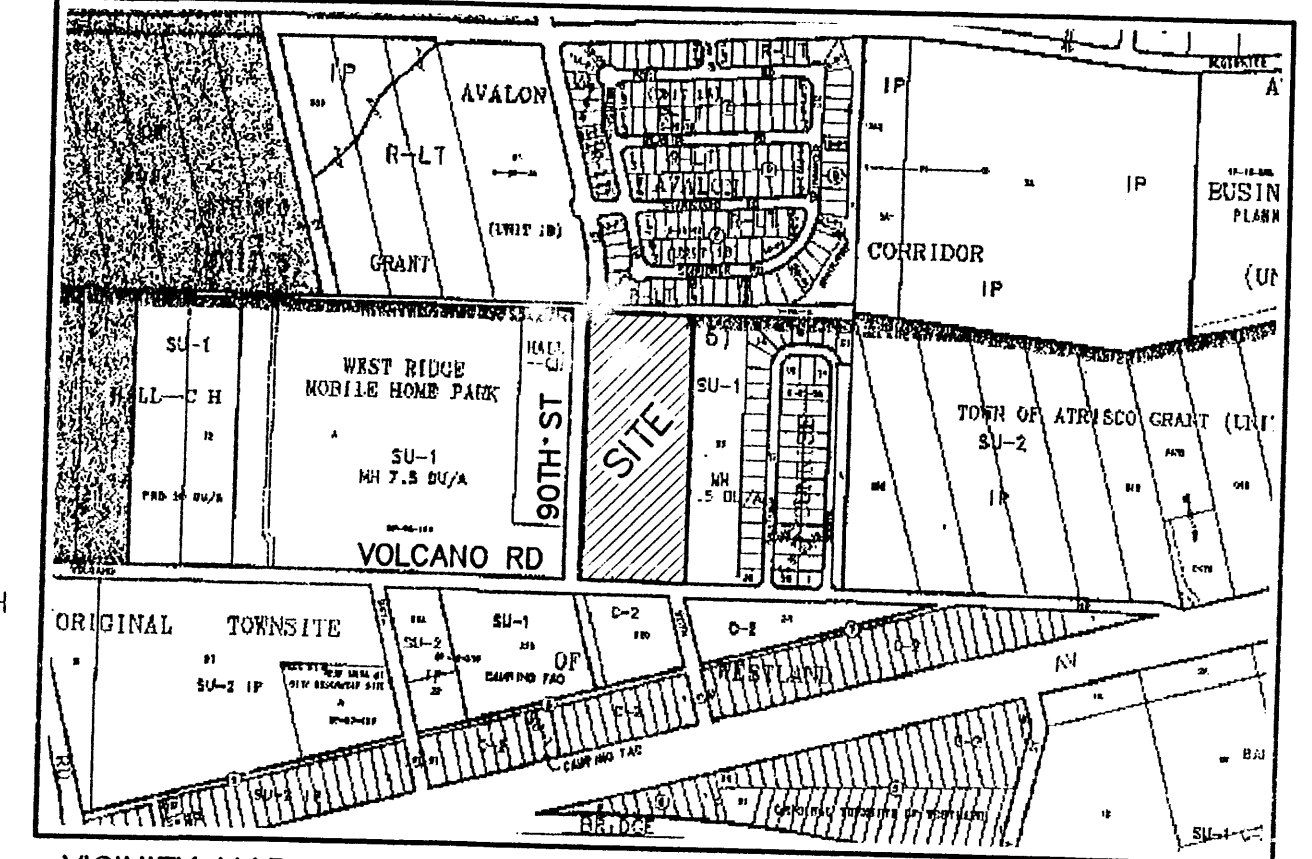


LEGEND

- BOUNDARY LINE
- - - EASEMENT
- LOT LINE
- PROPOSED SIDEWALK
- CURB & GUTTER
- PROPOSED SCREEN WALL
- EXISTING CURB & GUTTER
- LIGHT POLES
- SINGLE OR DOUBLE WIDE MH
- NEW FIRE HYDRANT



VICINITY MAP: K-9-Z

LEGAL DESCRIPTION:
TRACT 4 AND 5, LANDS OF C.H. HALL

INDEX TO DRAWINGS

1. SITE PLAN
2. LANDSCAPING PLAN
3. GRADING AND DRAINAGE PLAN
4. BUILDING ELEVATIONS
5. MASTER UTILITY PLAN

PROJ 1000648

DRB APP.# 01450-00000-00107

CASE NUMBER: # 1000648

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 08/28/00 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

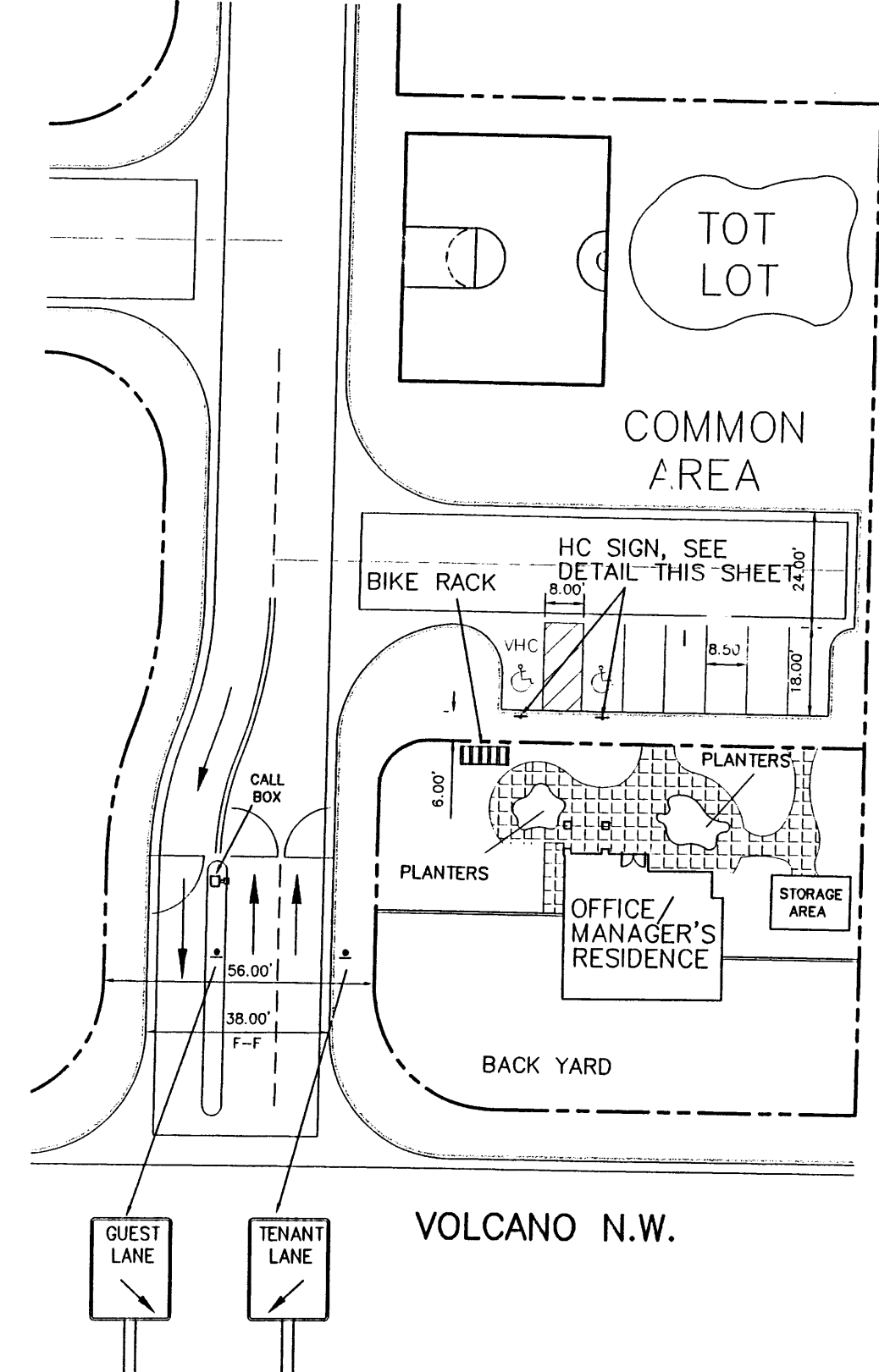
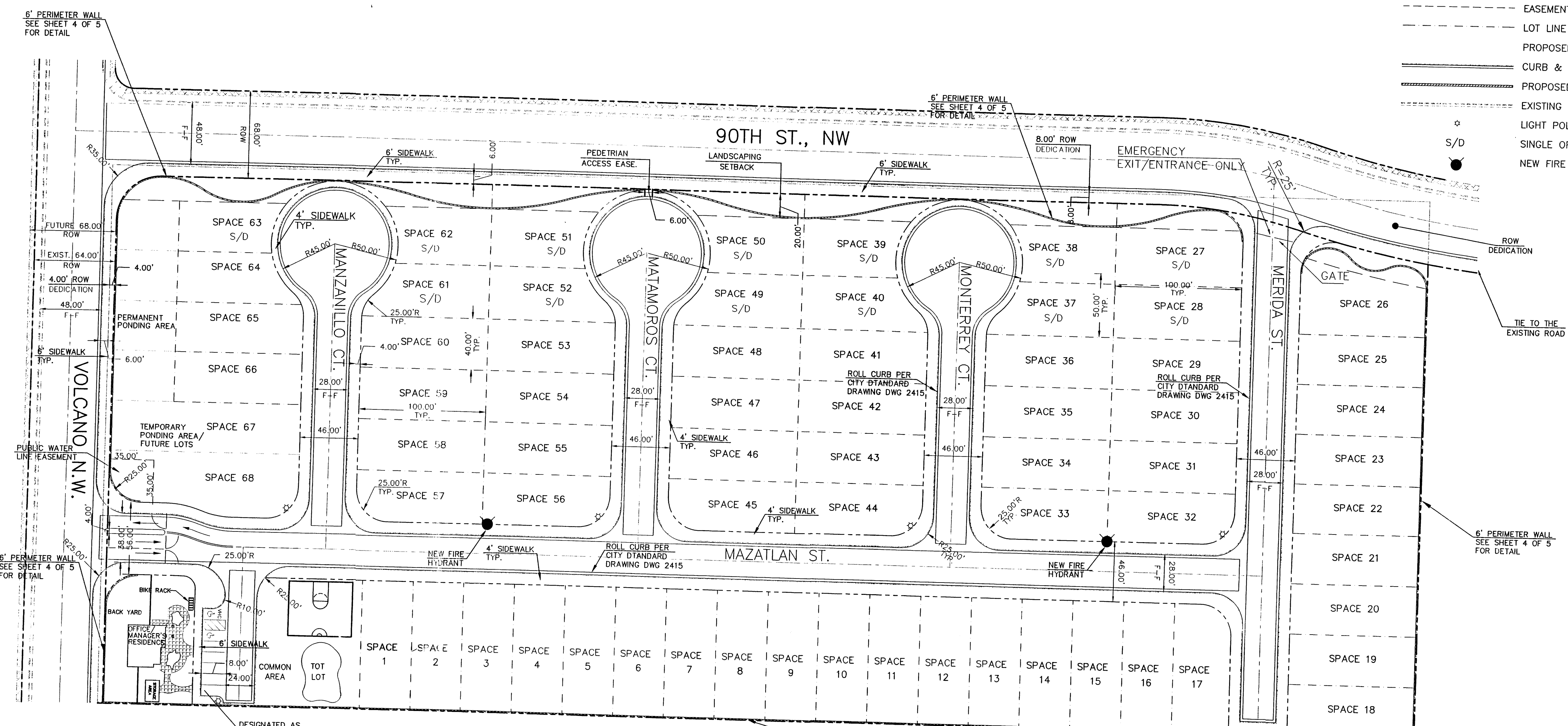
SITE DEVELOPMENT PLAN

<i>Rubal Dewk</i> Traffic Engineer, Transportation Division	2-07-01 Date
<i>Jaret Davis</i> Parks & Recreation Department	7/31/01 Date
<i>Roger J. Green</i> Public Works, Water Utilities Division	2/7/01 Date
<i>Loren S. Mc...</i> City Engineer, Engineering Division / AMAFCA	7/30/01 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

<i>[Signature]</i> City Planner, Albuquerque / Bernalillo Geary Planning Division	8/6/01 Date
<i>[Signature]</i> Solid Waste	2-6-01 Date

PLNZ (10706) 4/96



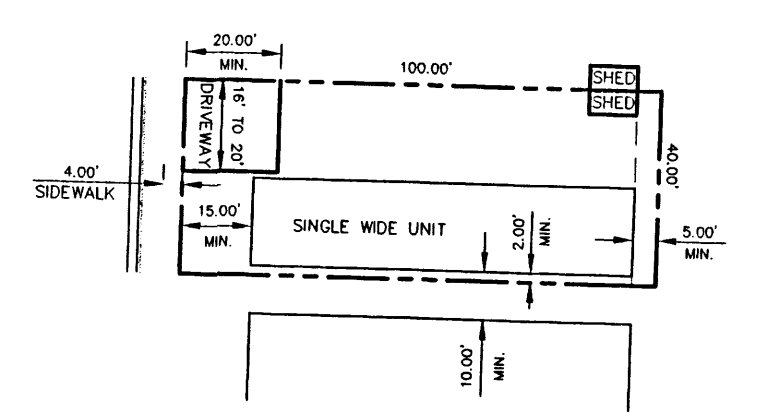
SITE DATA

PROPOSED USAGE:	MOBILE HOME PARK
EXISTING ZONING:	SU-1 M.H.
LOT AREA:	435,625 SF (10.00 ACRES)
R.O.W. DEDICATED:	13,982 SF (0.321 ACRE)
NET LOT AREA:	421,643 SF (9.6796 ACRES)
DENSITY:	68/9.6796 ACRES = 7.03 PER ACRE
No. OF LOTS:	TOTAL SINGLE WIDE = 54 TOTAL DOUBLE WIDE = 14 GRAND TOTAL OF LOTS = 68

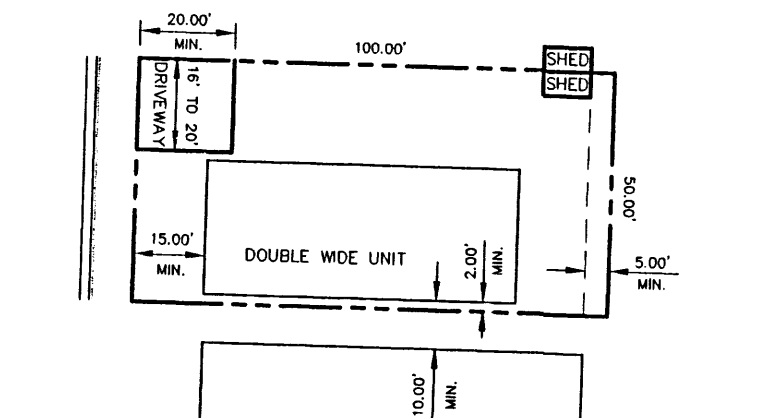
OFFICE/MANAGER'S RESIDENCE AREA:	1,747 SF
PARKING REQUIRED:	4 SPACES
PARKING PROVIDED:	7 SPACES
HC SPACES REQUIRED:	1 SPACE
HC SPACES PROVIDED:	2 SPACES (1 VAN)
BICYCLE SPACES REQUIRED:	7 SPACES
BICYCLE SPACES PROVIDED:	10 SPACES

OPEN SPACE CALCULATIONS

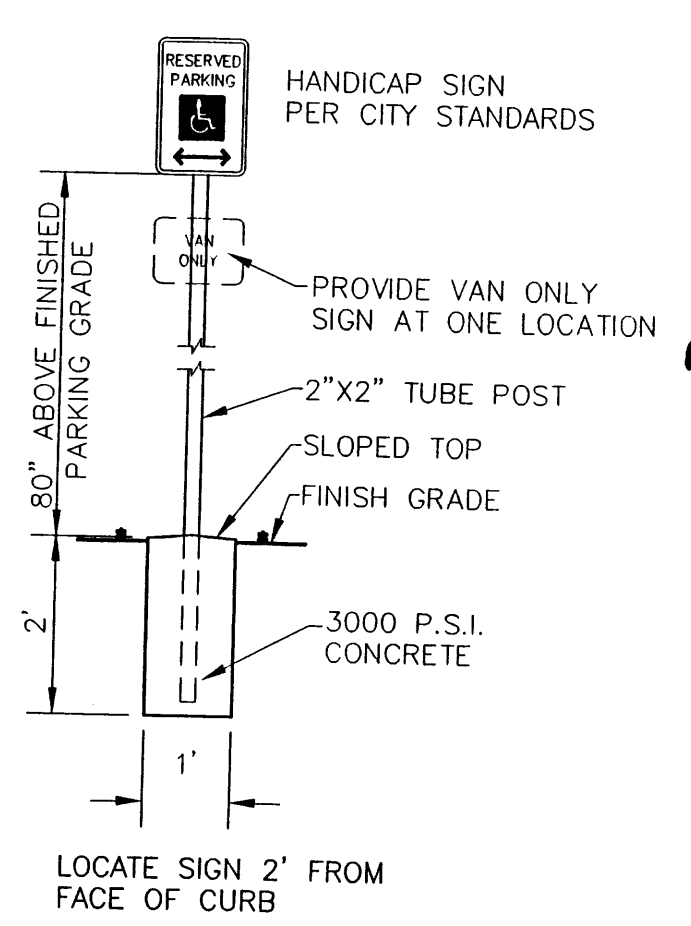
OPEN SPACE REQUIRED:	81,600 S.F.
OPEN SPACE PROVIDED:	179,000 S.F.



TYPICAL SINGLE WIDE LOT

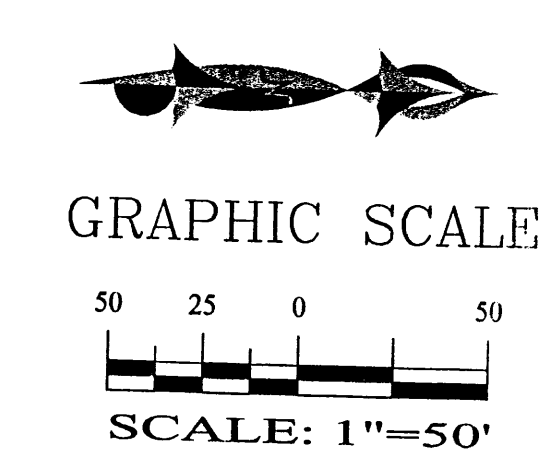


TYPICAL DOUBLE WIDE LOT



HANDICAP SIGN DETAIL NTS

- GENERAL NOTES:**
1. REFUSE COLLECTION WILL BE CURB SIDE PICK UP.
 2. SITE LIGHTING WILL BE AT ALL INTERSECTIONS AND BE MAXIMUM OF 16' IN HEIGHT WITH FULL CUT-OFF FIXTURES.
 3. ALL STREETS ARE PRIVATE WITH THE EXCEPTION OF 90TH. AND VOLCANO WHICH ARE PUBLIC RIGHT OF WAYS.
 4. ALL STREETS WILL BE 46' PRIVATE INGRESS/EGRESS EASEMENT.
 5. EACH MOBILE HOME SPACE WILL PROVIDE A MINIMUM OF 2 OFF-STREET PARKING SPACES PER UNIT.
 6. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN.
 7. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 9. NO BARB WIRE, RAZOR WIRE OR CHAIN LINK FENCE SHALL BE PERMITTED.
 10. THE AUTOMATIC TRASH CARTS SHOULD NOT BE VISIBLE FROM STREET.
 11. EMERGENCY EXIT/ENTRANCE MUST BE OPEN ON THE DAYS OF TRASH PICK UP AND DELIVERY OF THE MOBILE HOMES.



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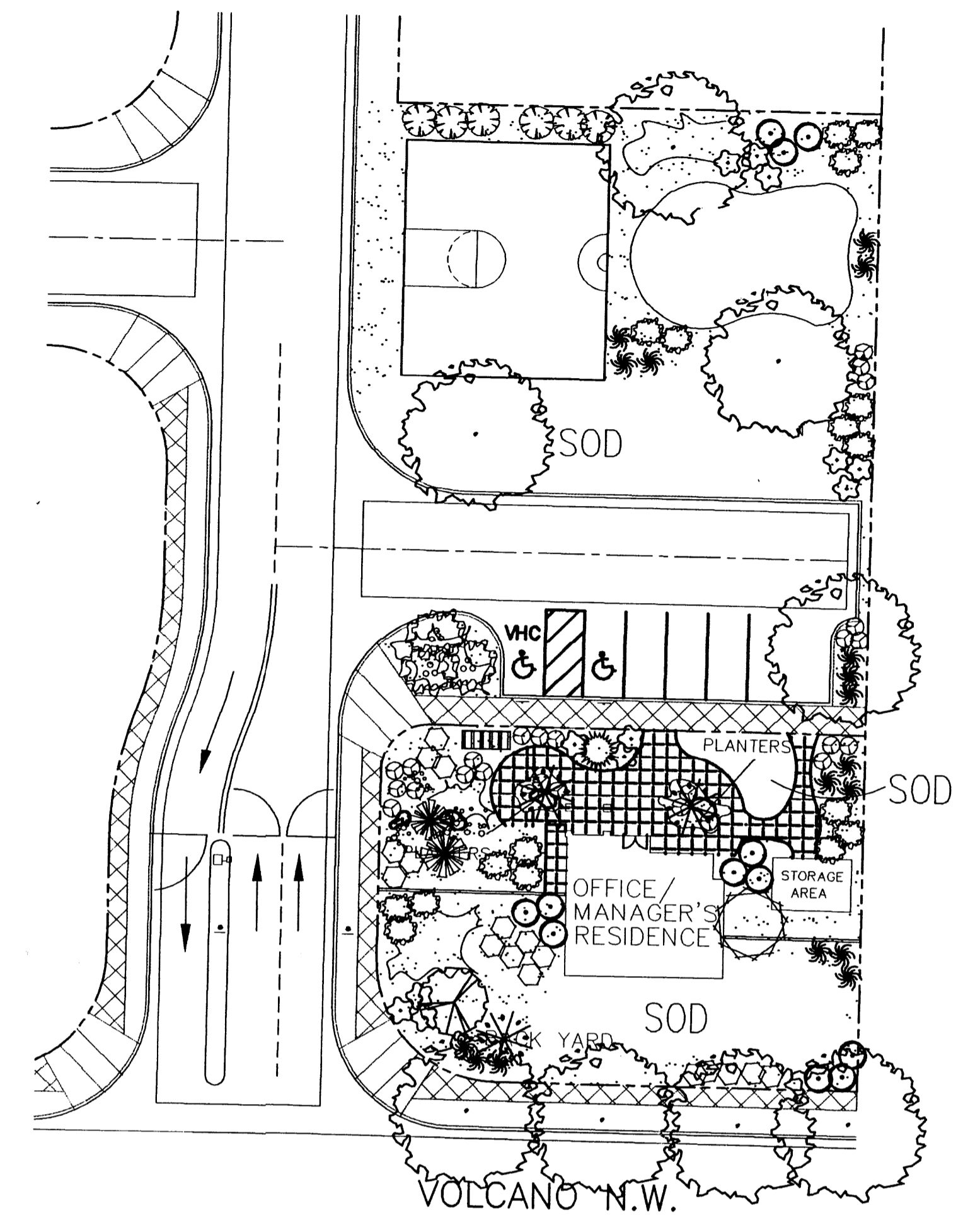
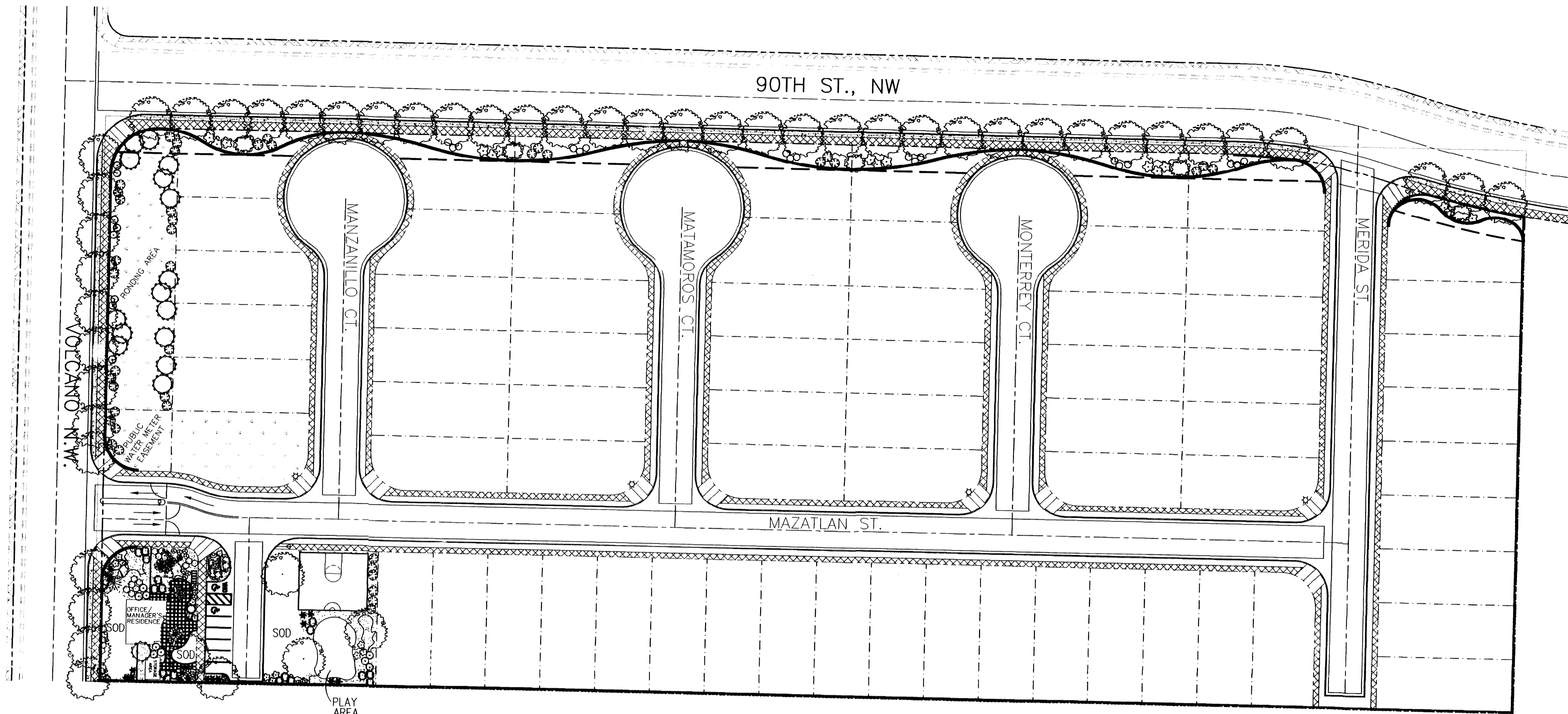
ADVANCED ENGINEERING and CONSULTING, LLC

LOS VOLCANOS MOBILE HOME PARK SITE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
2010-ST-R2.DWG	SBB	06-15-00	1 OF 5

OFFICE AREA DETAIL

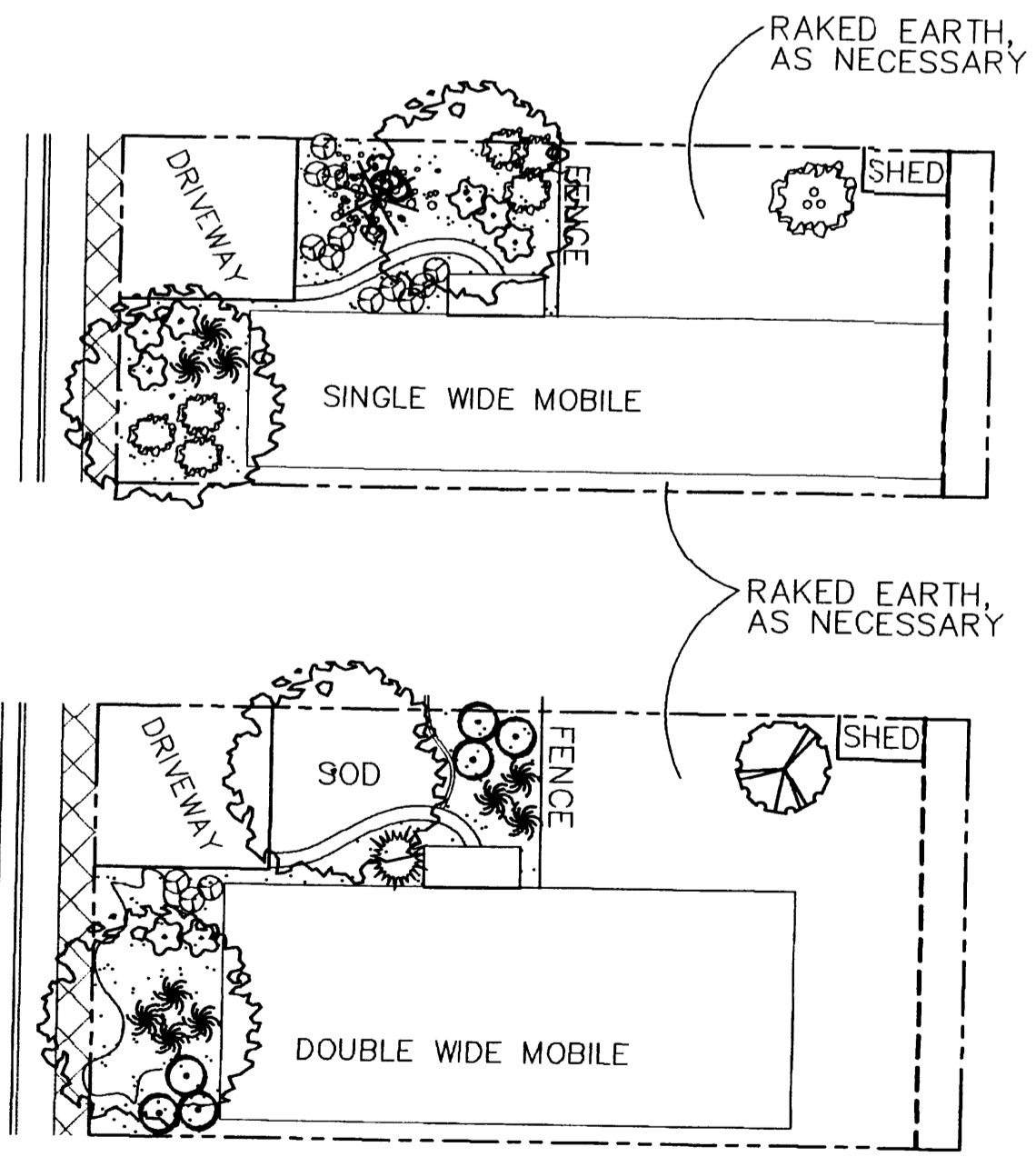
NTS



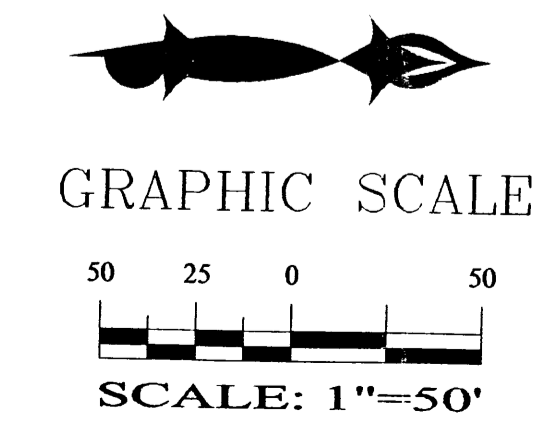
OFFICE AREA DETAIL
NTS

PLANT LEGEND

- | | | |
|---|---|---|
| <ul style="list-style-type: none"> ASH (H) OR HONEY LOCUST (H)
<i>Fraxinus pennsylvanica</i>
<i>Gleditsia triacanthos</i>
2' Cal PURPLE LEAF PLUM (H)
<i>Prunus saracifera</i>
1 1/2" Cal AUSTRIAN PINE (H)
<i>Pinus nigra</i>
6-8' NEW MEXICO OLIVE (M)
<i>Forestiera neomexicana</i>
15 Gal. WASHINGTON HAWTHORN (H)
<i>Crataegus phaenopyrum</i>
15 gal VITEX (M)
<i>Vitex agnus castus</i>
15 gal PALM YUCCA (L) BUTTERFLY BUSH (M)
<i>Buddleia</i> spp.
5 gal THREE-LEAF SUMAC (L)
<i>Rhus trilobata</i>
5 Gal. | <ul style="list-style-type: none"> SILVERBERRY (M)
<i>Eleagnus pungens</i>
5 gal POTENTILLA (M)
<i>Potentilla fruticosa</i>
5 gal RUSSIAN SAGE (M)
<i>Perovskia atriplicifolia</i>
5 gal MAIDEN GRASS (M)
<i>Miscanthus sinensis</i>
5 gal APACHE PLUME (L)
<i>Fallugia paradoxa</i>
5 Gal. AUTUMN SAGE (M)
<i>Salvia greggii</i>
5 gal CHAMISA (L)
<i>Chrysothamnus nauseosus</i>
1 gal WILDFLOWER
1 gal | <ul style="list-style-type: none"> TAM JUNIPER (M)
<i>Juniperus sabina</i>
5 gal OVERSIZED GRAVEL & BOULDERS 3/4" GREY GRAVEL W/FILTER FABRIC CRIMPED STRAW/ NATIVE SEED RAKED EARTH SOD COMMERCIAL GRADE STEEL EDGING |
|---|---|---|



LOT LANDSCAPING DETAIL
NTS



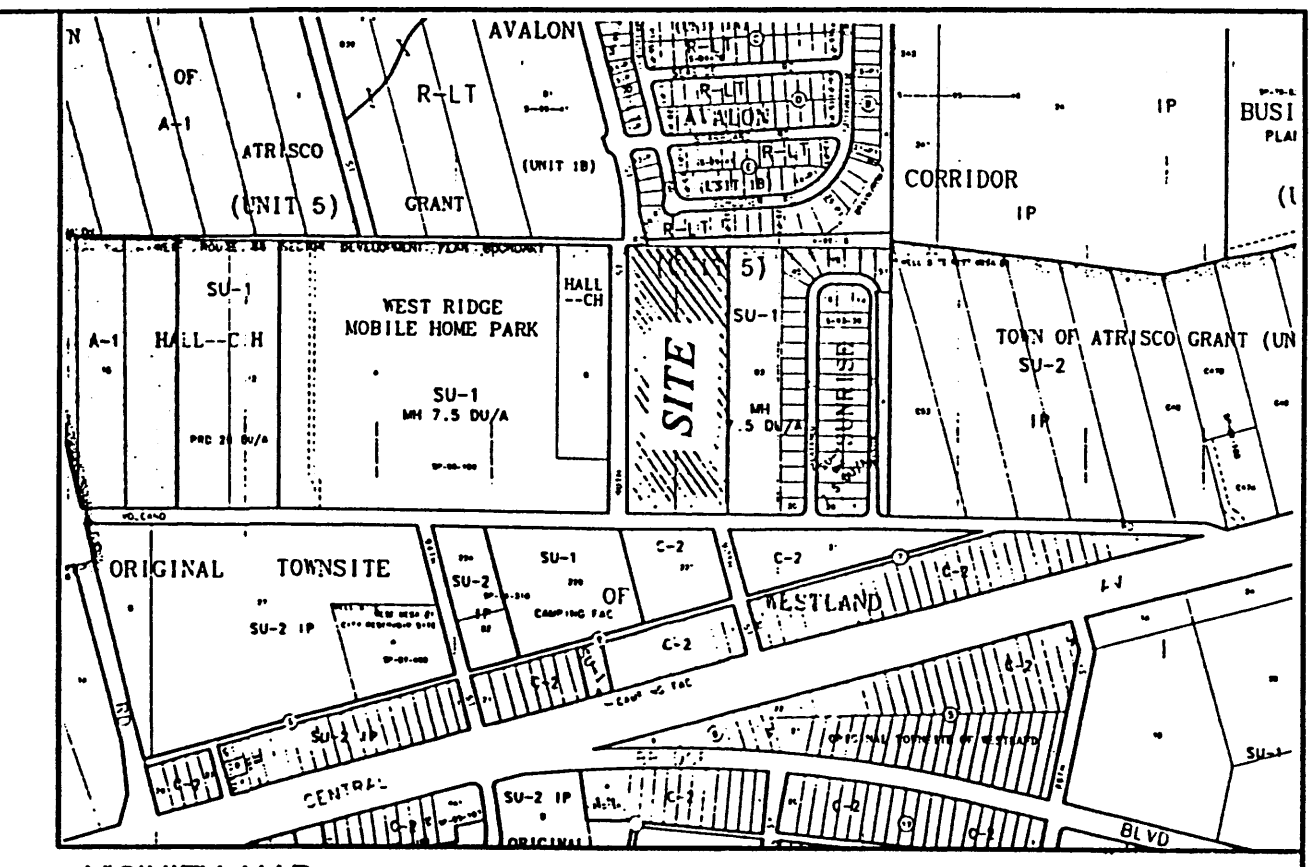

 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 it@hilltoplandscaping.com


ADVANCED ENGINEERING and CONSULTING, LLC

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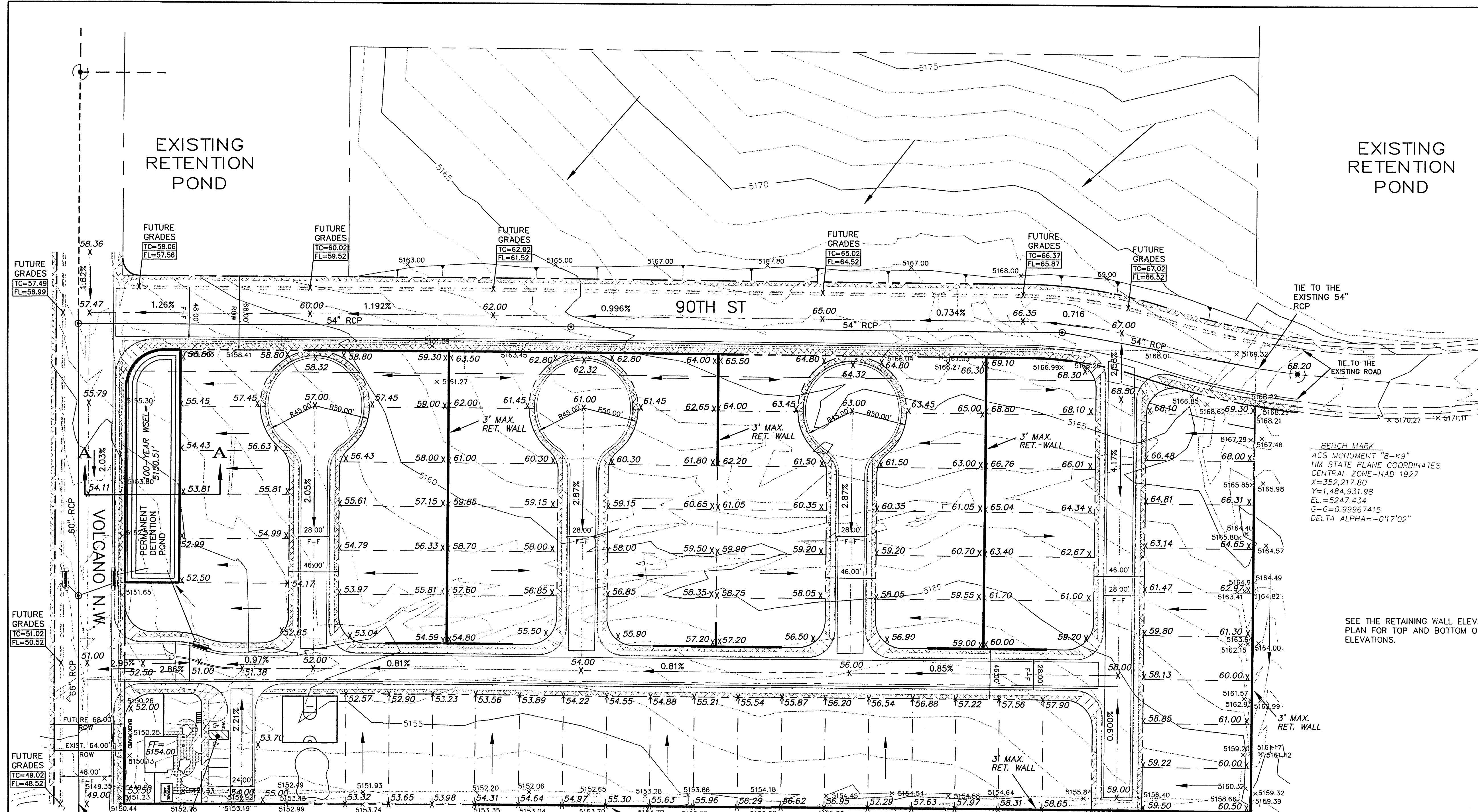
10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

LOS VOLCANOS MOBILE HOME PARK LANDSCAPING PLAN			
DRAWING: 2010-LNDS.DWG	DRAWN BY: SBB	DATE: 06-15-00	SHEET # 2 OF 5



VICINITY MAP: K-9-Z

LEGAL DESCRIPTION:
TRACT 4 AND 5, LANDS OF C.H. HALL

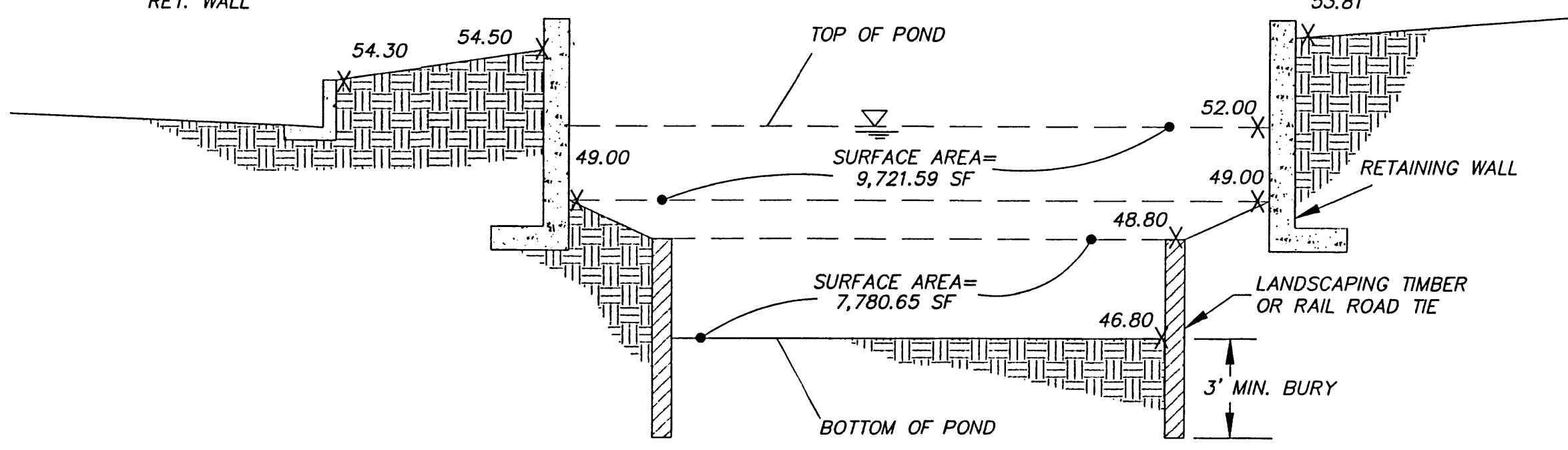
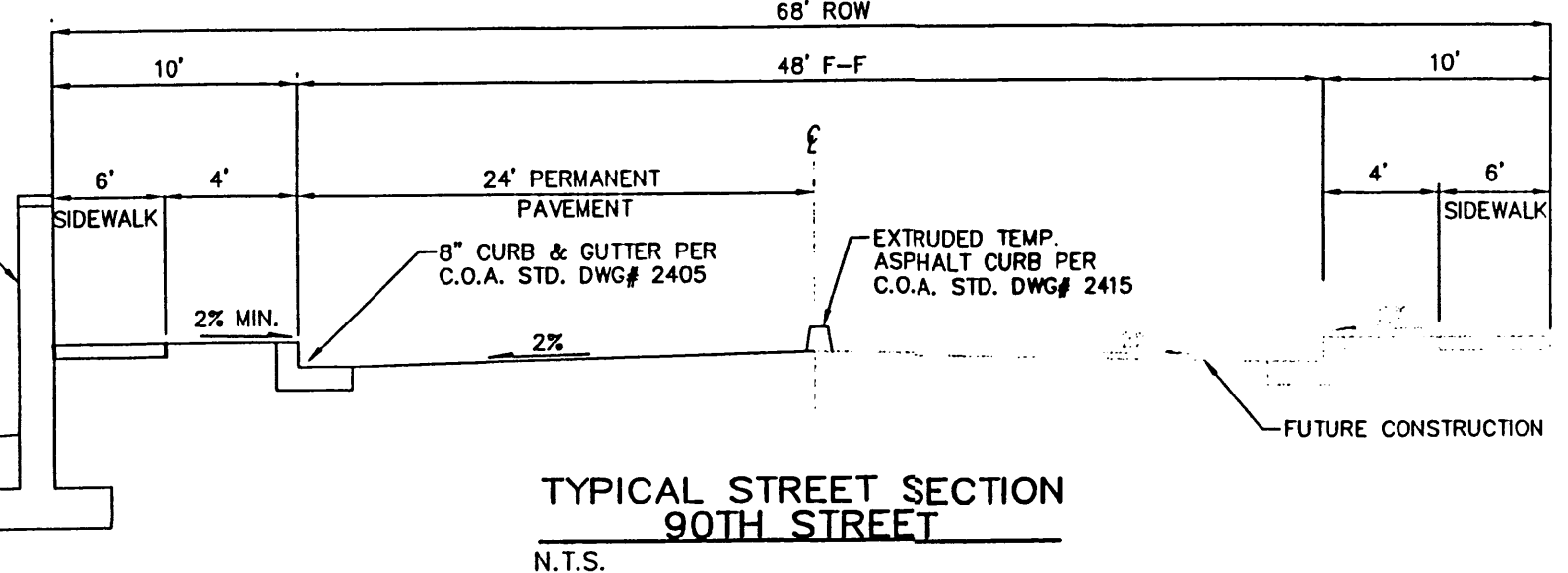
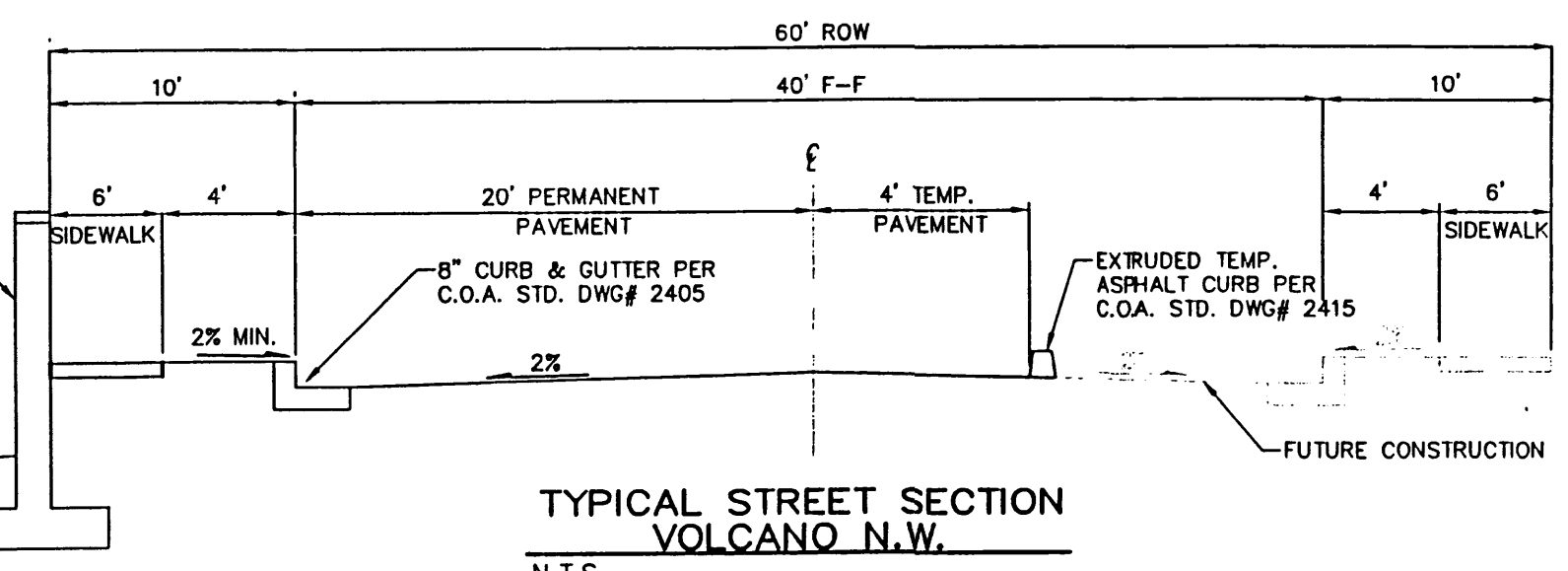
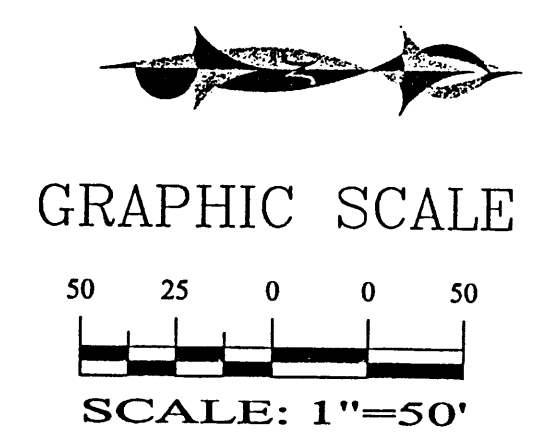


BENCH MARY
ACS MONUMENT "B-K9"
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
X=352,217.80
Y=1,484,931.98
EL=5247.434
G-G=0.99967415
DELTA ALPHA=-0.1702"

SEE THE RETAINING WALL ELEVATIONS
PLAN FOR TOP AND BOTTOM OF WALL
ELEVATIONS.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	100-YR-WSEL
	TOP OF CURB ELEV. FLOW LINE ELEV.
	EXISTING GRADE



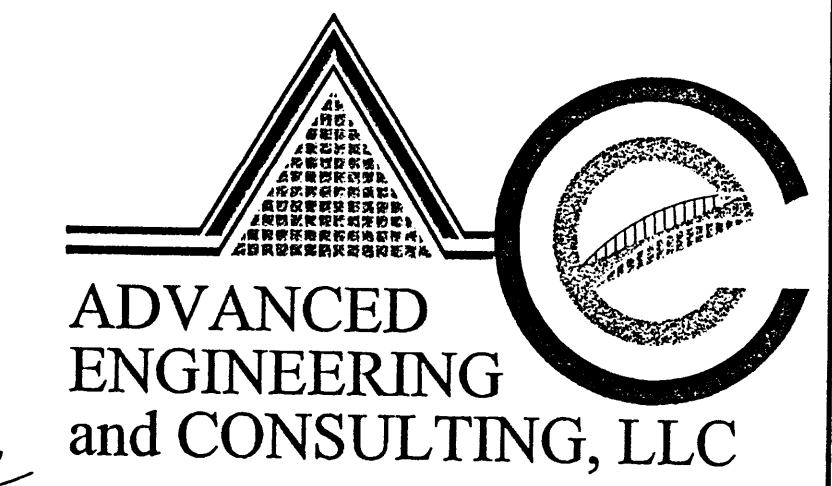
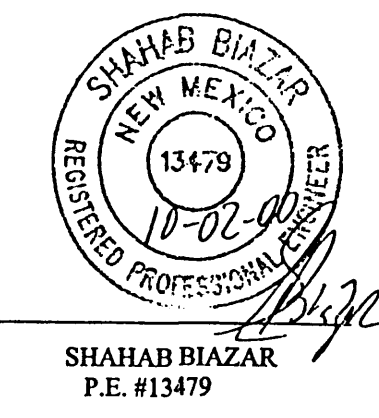
**EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

GENERAL NOTES:

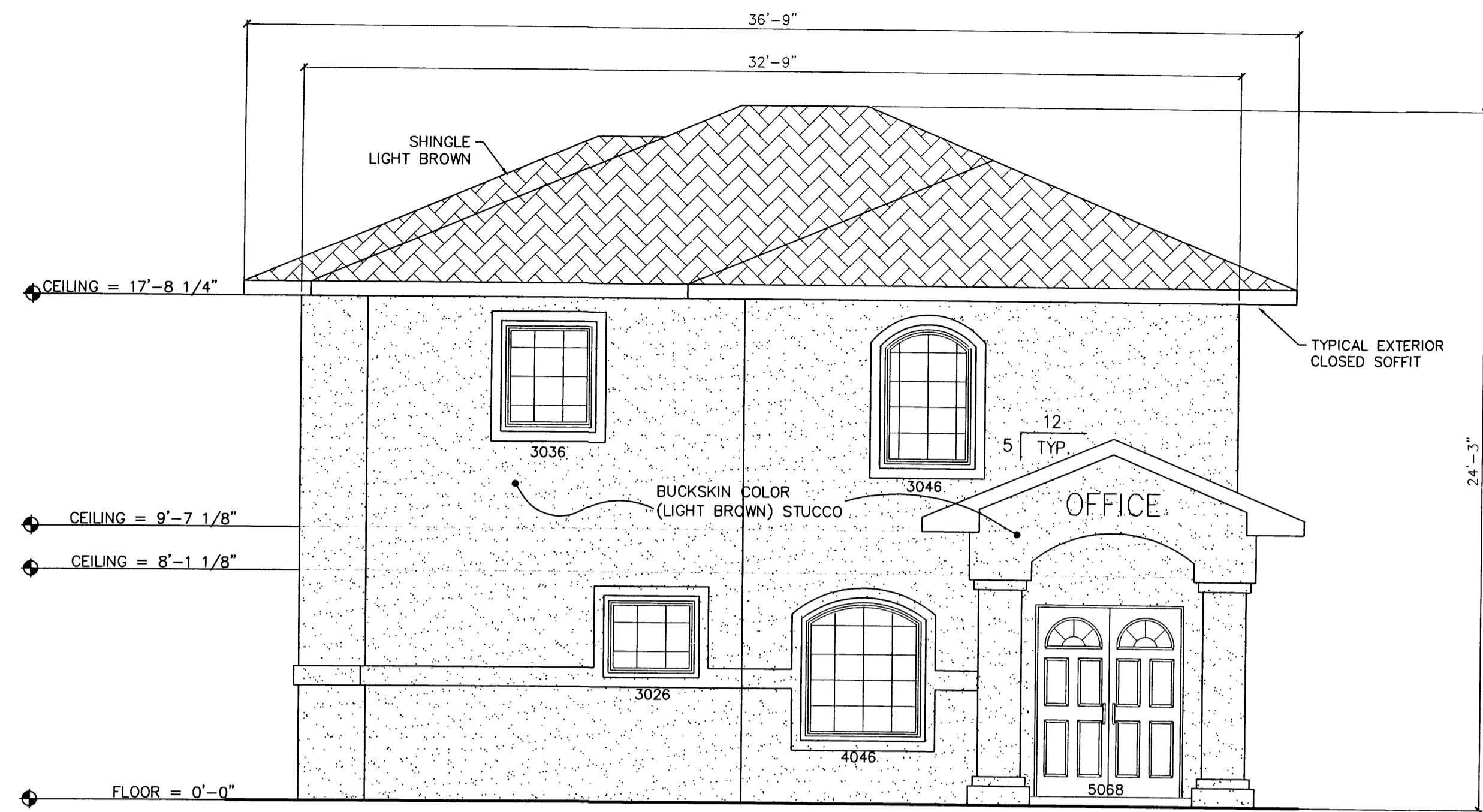
1. ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5247.43 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 4:1 MAXIMUM.

ROUGH GRADING APPROVAL _____ DATE _____

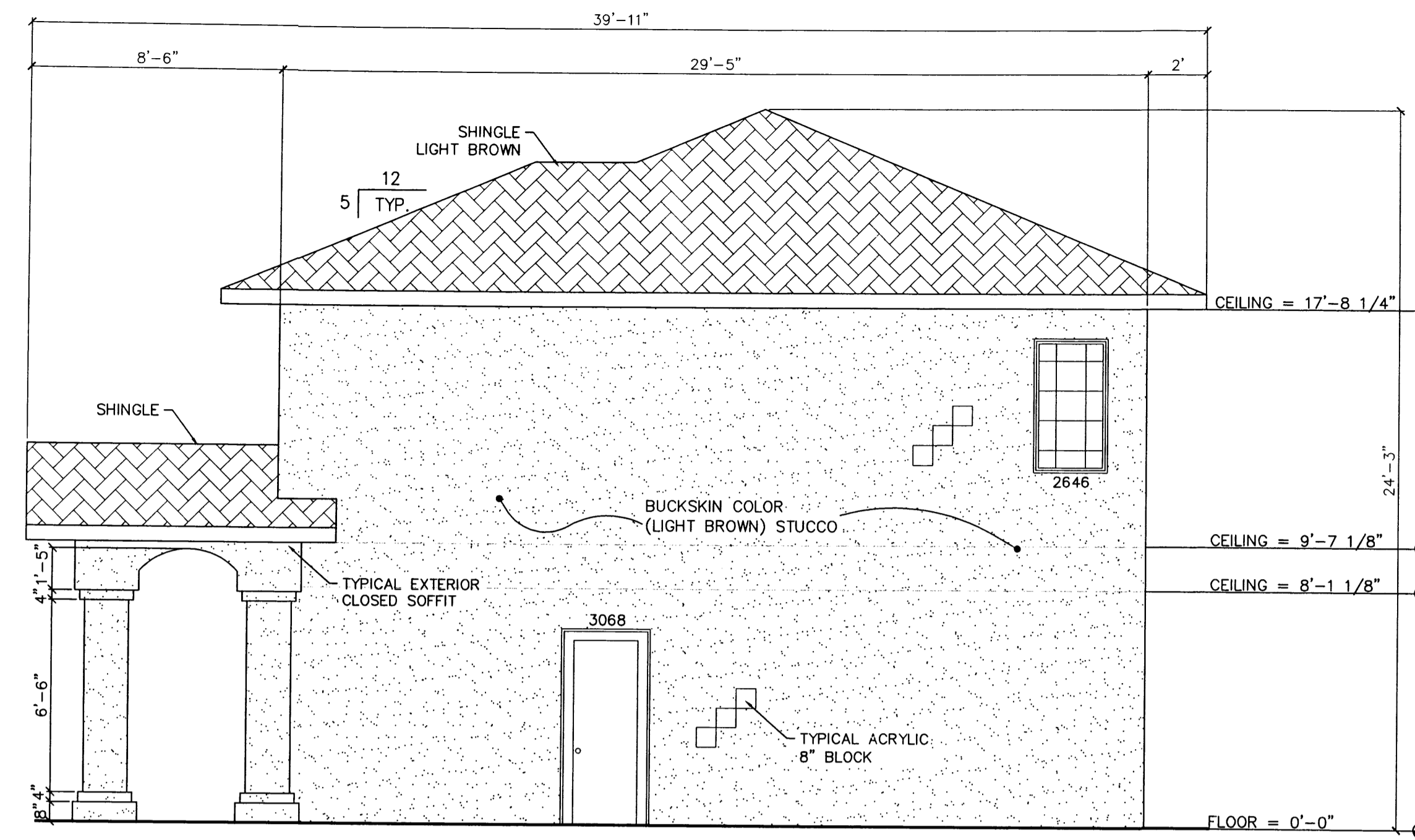


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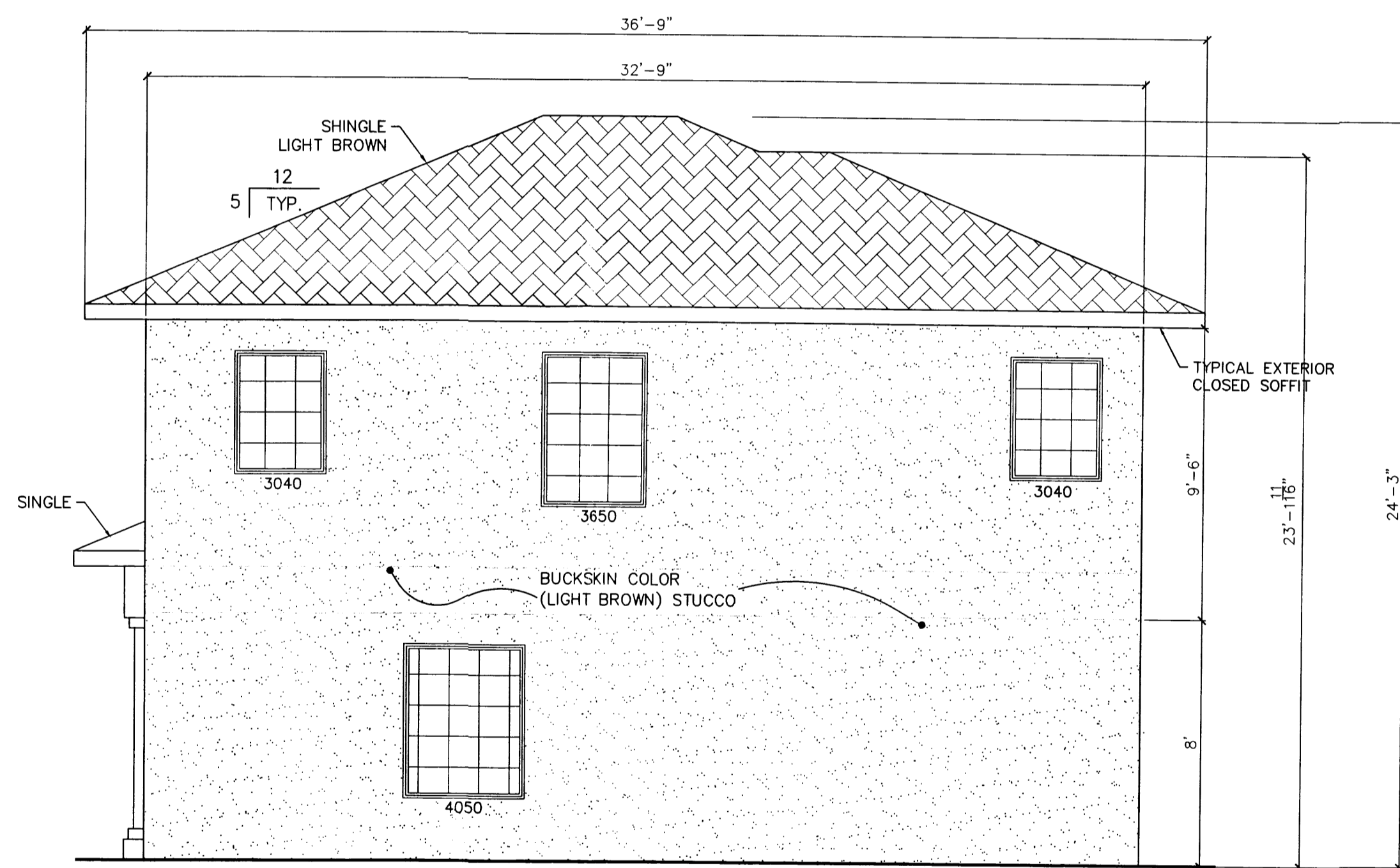
LOS VOLCANOS MOBILE HOME PARK			
ULTIMATE GRADING AND DRAINAGE PLAN			
DRAWING: 2010-GR-ULT.dwg	DRAWN BY: SBB	DATE: 03-16-99	SHEET # 3 OF 5



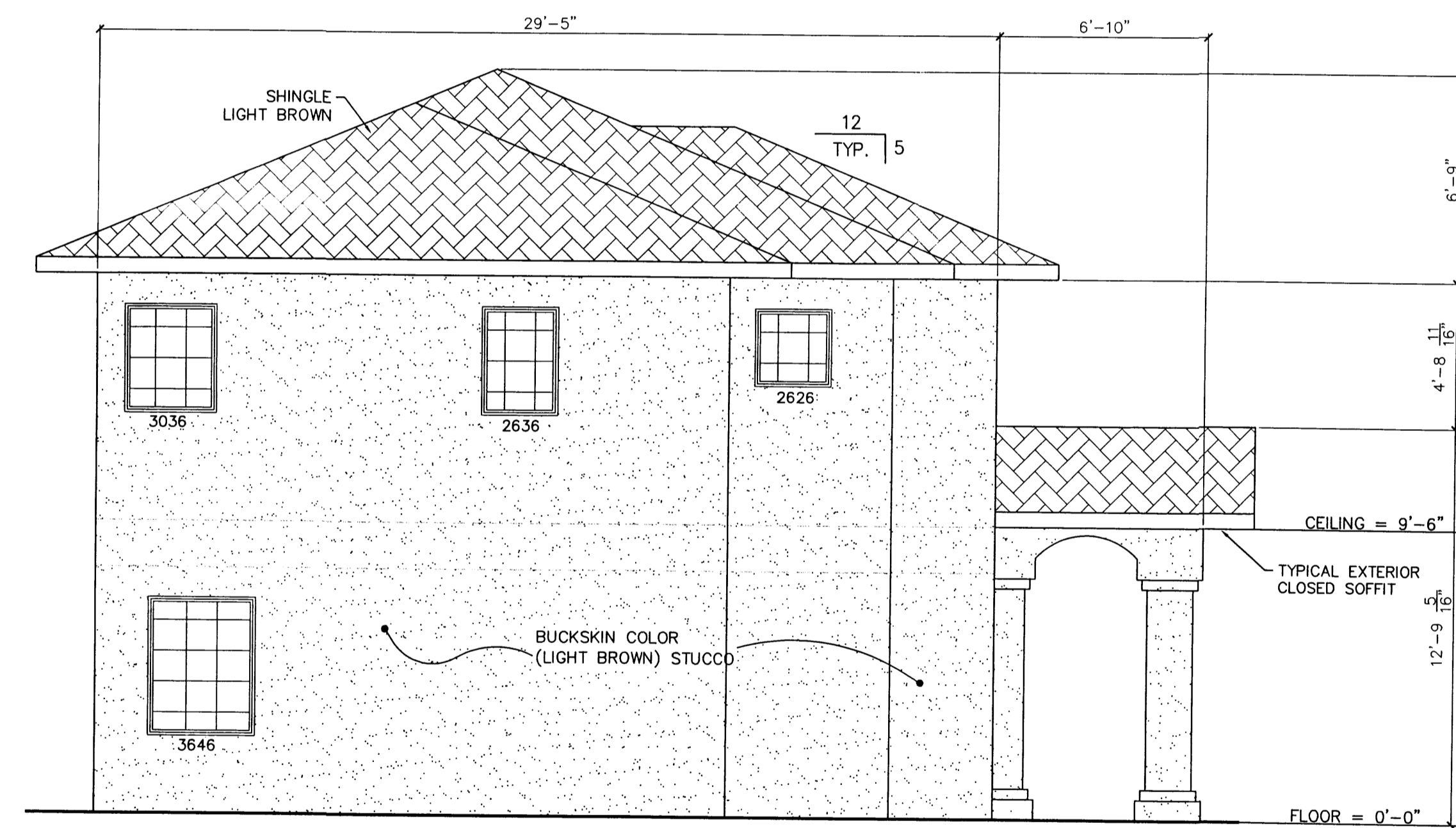
FRONT ELEVATION
SCALE: 1/4"=1'-0"



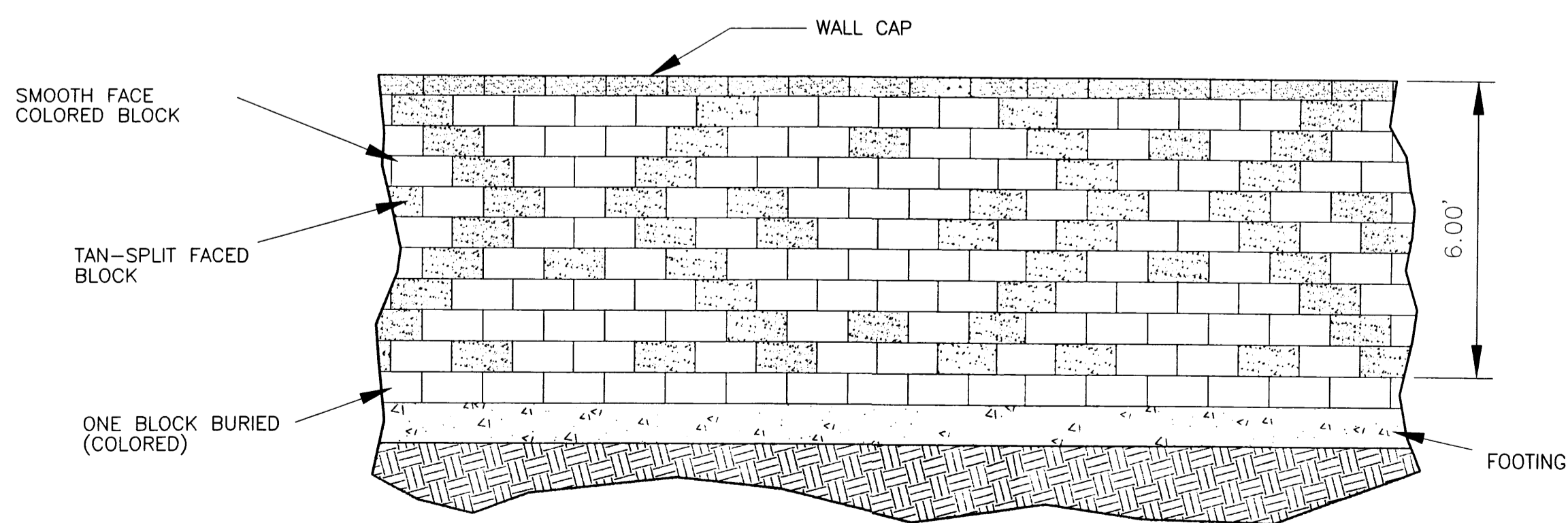
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

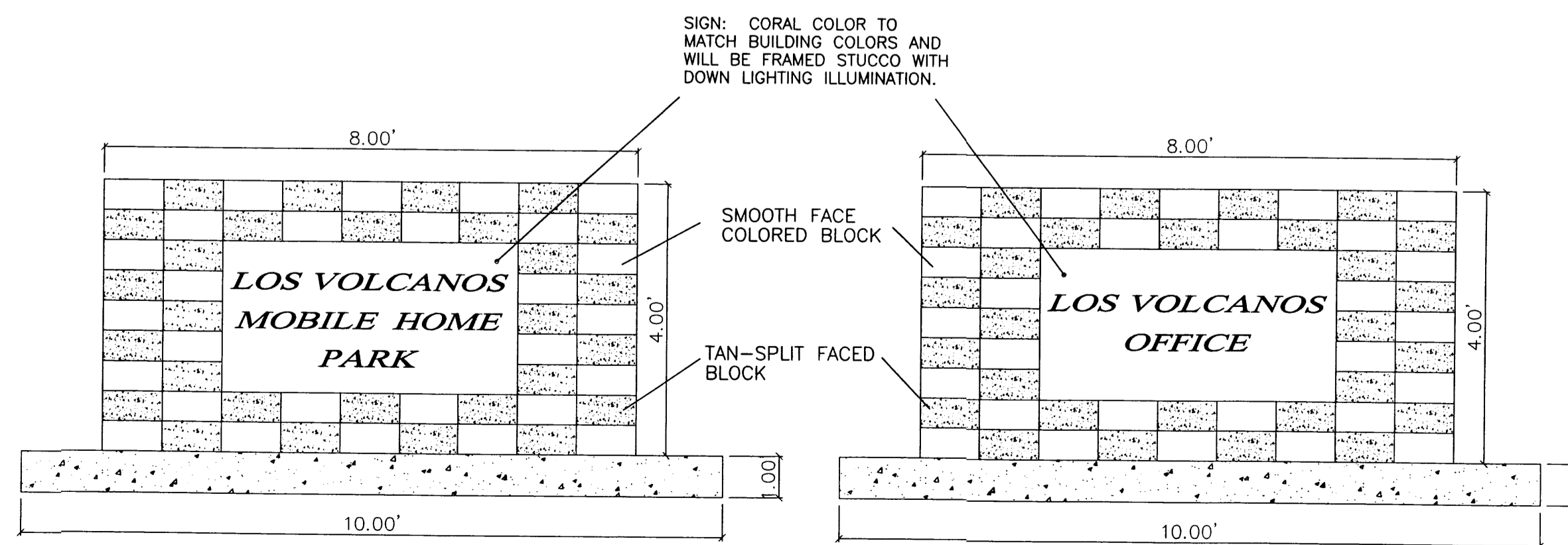


LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



BLOCK WALL DETAIL
NTS

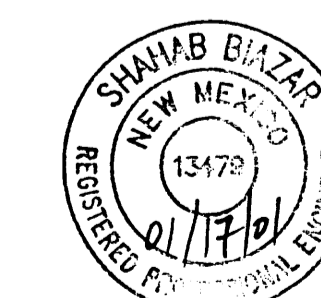
THE WALL HAS TO BE DESIGNED AND SUBMITTED TO THE CITY FOR PERMITTING



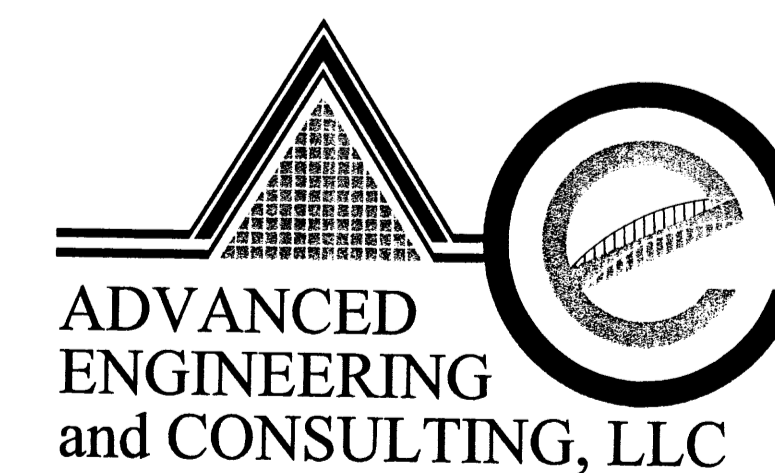
MONUMENT SIGN
NTS

OFFICE SIGN
NTS

SIGN: CORAL COLOR TO MATCH BUILDING COLORS AND WILL BE FRAMED STUCCO WITH DOWN LIGHTING ILLUMINATION.



SHAHAB BLAZAR
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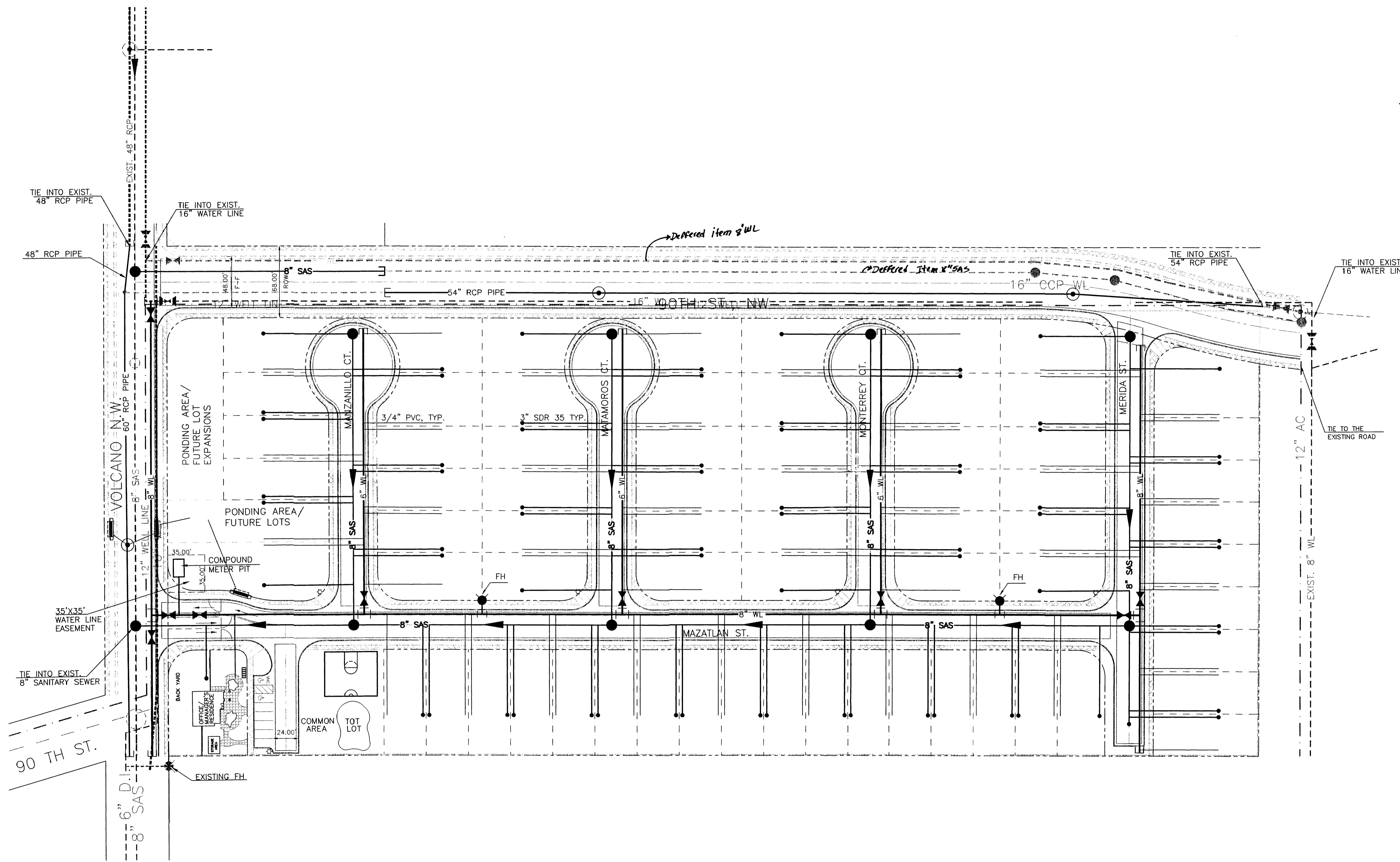
10205 SNOWFLAKE CT., NW
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(505)899-5570

LOS VOLCANOS MOBILE HOME PARK
BUILDING ELEVATIONS

DRAWING:	DRAWN BY:	DATE:	SHEET #
2010-ELEV.DWG	SBB	06-28-00	4 OF 5

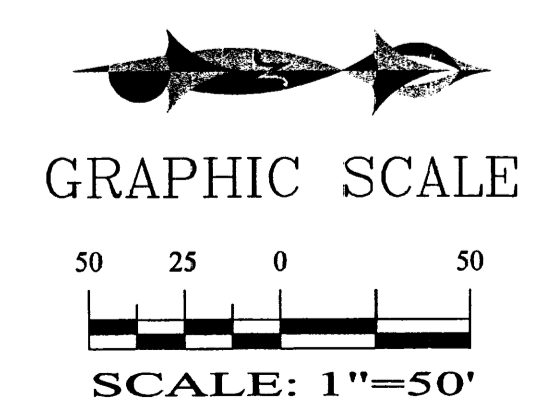
LAST REVISION: 01-15-01

LEGAL DESCRIPTION:
TRACT 4 AND 5, LANDS OF C.H. HALL



LEGEND

	BOUNDARY LINE
	EASEMENT
	LOT LINE
	EXISTING WELL COLLECTOR LINE
	EXISTING WATER LINE
	8" SAS NEW SANITARY SEWER LINE
	8" WL NEW WATER LINE
	CURB & GUTTER
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	CLEANOUT
	STORM SEWER MANHOLE
	3" TO 4" COMPOUND METER PIT
	NEW GATE VALVE
	NEW REDUCER
	CAP (WL)
	TEE (WL)
	CATCH BASIN
	NEW 3" SAS SERVICE
	NEW 3/4" WATER SERVICE
	EXIST. SAS MH



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LOS VOLCANOS MOBILE HOME PARK MASTER UTILITY PLAN			
DRAWING: 2010-MU.DWG	DRAWN BY: SBB	DATE: 06-24-00	SHEET # 5 OF 5

LAST REVISION: 02-05-01