

CONSULTANTS

Table with 2 columns: Architect, Engineer

DRB SUBMITTAL

AIS PAD 1 - BUILDING B SHELL CONSTRUCTION

2300 12TH STREET BUILDING B ALBUQUERQUE NM 87104

Table with 3 columns: No, Date, Description

SHEET TITLE COVER SHEET, PROJECT DIRECTORY

G-001

AIAS MASTER PLAN PHASE 2 - BUILDING B

2300 12TH STREET BUILDING B, ALBUQUERQUE NM

NOVEMBER 9, 2016

DRB SUBMISSION

DRAWING INDEX

Table with 2 columns: GENERAL, ARCHITECTURAL, SURVEY, SITE PLAN, CIVIL, LANDSCAPE

DESIGN DATA

Table with 2 columns: DRB PROJECT #, DRB APPLICATION #, 12TH STREET C.O.A. PROJECT #

DESIGN GUIDELINE REQUIREMENTS

Table with 2 columns: PATIO SHADE CALCULATIONS, WEST FACING GLAZING AT 12TH STREET CALCUS, SIGNAGE CALCUS - WEST FACING AT 12TH STREET

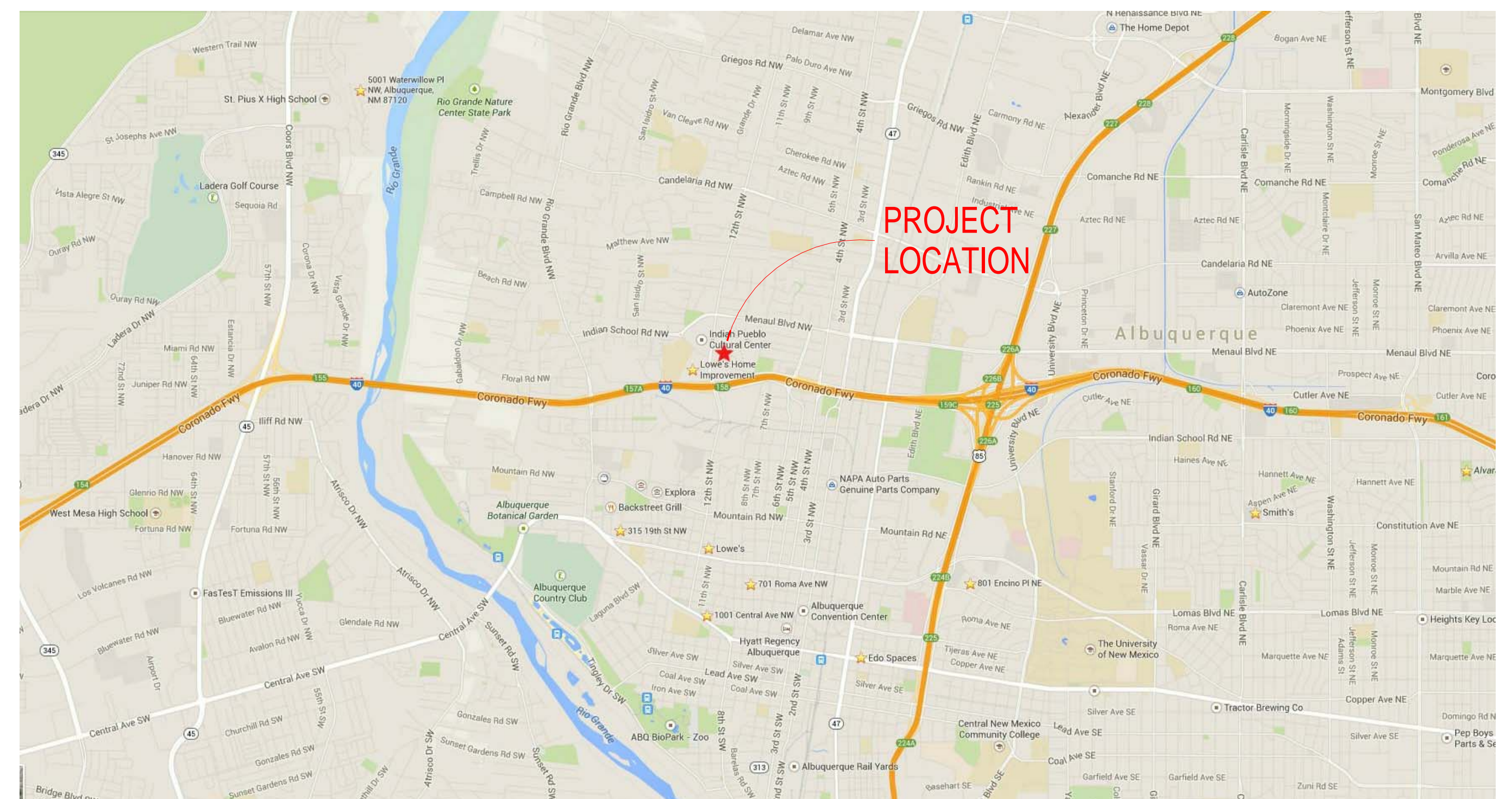
SCOPE: THE SECOND PHASE OF A THREE PHASE RETAIL PROJECT. LOCATED ACROSS FROM THE INDIAN PUEBLO CULTURAL CENTER ALONG 12TH STREET...

Table with 2 columns: LEGAL DESCRIPTION, PROPOSED USE, EXISTING BUILDING A, BUILDING B (PHASE II), FUTURE BUILDING C (PHASE III)

Table with 2 columns: TOTAL REQUIRED SPACES, PROPOSED RESTAURANT SEATING BUILDING B, EXISTING RESTAURANT SEATING BUILDING A, FUTURE BUILDINGS (FOR REFERENCE ONLY), 25% REDUCTION MIXED-USE DISTRICT REDUCTION, ADA SPACES, BIKE SPACES (BUILDING B)



NOTE: IMAGE IS CONCEPTUAL IN NATURE AND MAY NOT DEPICT THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS



VICINITY MAP/LOCATION MAP

PROJECT DIRECTORY

Table with 7 columns: OWNER/CLIENT, ARCHITECT, CIVIL, LANDSCAPE, STRUCTURAL ENGINEER, MECHANICAL ENGINEER, PLUMBING ENGINEER, ELECTRICAL ENGINEER



GENERAL NOTES

- SEE SHEET G-001 FOR ADDITIONAL INFORMATION INCLUDING BUILDING SIGNAGE, GLAZING AND PARKING CALCULATIONS
- SEE SHEETS AS-105 FOR SITE DETAILS.
- ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. SEE SHEETS E-101 AND E-102. REFER TO DETAIL C6/AS-105 FOR TYPICAL SITE LIGHTING.
- ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT.
- IDENTIFY ALL MOTORCYCLE SPACES WITH "MOTORCYCLE" PAINTED ON THE PAVEMENT. SEE DETAIL A5/AS-105 FOR MOTORCYCLE SIGNAGE.
- FOR BUILDING SIGNAGE AND SITE SIGNAGE SEE SHEETS A-201 & AS-105.
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. ANY CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

PARKING TABULATIONS

8 ACCESSIBLE SPACES AT 20' X 9'-0"
 82 SPACES AT 18' X 9'-0"
 34 SPACES AT 20' X 9'-0"
 20 SPACES AT 15' X 8'-6" (COMPACT)

TOTAL 144 PARKING SPACES
 (ON STREET PARKING NOT INCLUDED)
 5 MOTORCYCLE SPACES
 15 BICYCLE SPACES

BUILDING A
 A-2 OCCUPANCY RESTAURANT
 176 OCCUPANTS / 4 = 44 PARKING SPACES REQUIRED

BUILDING B
 A-2 OCCUPANCY RESTAURANT
 266 OCCUPANTS / 3 = 88 PARKING SPACES REQUIRED

BUILDING C FUTURE
 8000 SF RETAIL
 38 OCCUPANTS = 38 PARKING SPACES REQUIRED

WEST FACING GLAZING AT 12TH STREET CALCULATIONS
 REQUIRED: (100FT X 15FT) / .40 = 588 SF
 PROVIDED: 2835SF+2835SF+(5 X 10.5SF) = 618 SF

PATIO SHADE CALCULATIONS
 REQUIRED: 25% MIN - 50% MAX
 PATIO GROSS: 1500 SF
 PROVIDED SHADE: 530 SF (30%)

LEGEND

- FUTURE BUILDING PAD
- TEMPORARY CRUSHER FINE BY OWNER. C.O.A. WILL DO FULL SIDEWALK IMPROVEMENTS
- NEW CONCRETE WALKWAY
- NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
- PROPOSED LANDSCAPING: REFER TO LANDSCAPING DRAWINGS
- EXISTING CONCRETE WALKWAY
- EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS.
- NEW CARRIAGE STRIP AND LANDSCAPING 6'-0" WIDE PER CITY OF ALBUQUERQUE PROJECT # 7186.92
- CONCRETE SIDEWALK 10'-0" WIDE PER CITY OF ALBUQUERQUE PROJECT # 7186.92
- DEPRESSED "FIRST FLUSH" PONDING AND LANDSCAPING AT MEDIANS. REFER TO CIVIL DWGS

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

SHEET KEYNOTES

- (E) CURB RAMP AND (E) DRIVE
- (E) TRANSFORMER
- (E) CONCRETE WALKWAY TO REMAIN
- (E) PARKING
- (E) LANDSCAPE PAD, SITE WATER METER AND TIMBER BOX
- (E) STOP SIGN
- (E) 6" WIDE COLORED PATTERNED CONCRETE
- (E) EDGE OF CURB
- (E) UTILITY LOCATION
- (E) LANDSCAPING
- (E) DEPRESSED PONDING & LANDSCAPE AT MEDIAN
- (E) ASPHALT PAVING
- (E) BIKE RACK LOCATION
- (E) ADA SPACES. SEE CALCULATIONS
- (E) FIRE LANE
- (E) CARRIAGE STRIP WITH CRUSHER FINE. REFER TO LANDSCAPE DRAWINGS FOR ADDL. INFORMATION.
- (E) TRASH ENCLOSURE SEE DETAIL A3/AS-105
- (E) FIRE HYDRANT
- (E) PROPOSED CITY BUS SHELTER
- (E) LEVEL PAD FOR FUTURE BUILDING C - NO CONSTRUCTION
- (E) PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD - 2000 SF EXTENTS
- (E) FIRE HYDRANT
- (E) CARRIAGE STRIP TO BE LANDSCAPED BY CITY OF ALBUQUERQUE. REFER TO C.O.A. STREET IMPROVEMENT DRAWINGS. PER C.O.A. PROJECT # 7186.92
- (E) PATIO AND CAFE SPACE
- (E) EDGE OF CONCRETE CURB TO BE DEMOLISHED AND RELOCATED
- FUTURE PHASE 3 CONCRETE WALKWAY
- FUTURE PHASE 3 LANDSCAPING
- (N) ENTRY ARCH AT EXISTING CONCRETE WALKWAY
- (N) LANDSCAPING
- (N) TRELIS SHADE STRUCTURE
- (N) CURB RAMP
- (N) 6" WIDE COLORED PATTERNED CONCRETE
- (N) EDGE OF CURB
- (N) PATIO CONCRETE PAD. 6 X 6 SCORING AT 45 DEGREES
- (N) 5'-6" MINIMUM CAFE SPACE
- (N) C.O.A. SHALL REBUILD THE WEST END OF THE EAST/WEST SIDEWALK, RAMP AND CURB PER C.O.A. PROJECT # 7186.92 TEMPORARY CRUSHER FINE BY OWNER. C.O.A. WILL DO FULL SIDEWALK IMPROVEMENTS PER PROJECT # 7186.92
- (N) RAISED TABLETOP CROSSWALK. REFER TO C.O.A. STREET IMPROVEMENT DRAWINGS. PER C.O.A. PROJECT # 7186.92
- (N) MEDIAN. REFER TO C.O.A. STREET IMPROVEMENT DRAWINGS. PER C.O.A. PROJECT # 7186.92
- (N) HYDRANT RELOCATION
- (N) BUILDING ENTRY
- (N) DESIGNATED LOADING ZONE WITH CONCRETE CURB RAMP
- TRAFFIC CIRCLE (NOT A PART OF PROJECT)
- RELOCATED STREET (NOT A PART OF PROJECT)
- (N) BIKE RACK LOCATION



STUDIO SOUTHWEST ARCHITECTS, INC.
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 E-Mail: mail@studioswarch.com

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CONSULTANTS

Architect	Engineer
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DRB SUBMITTAL

MASTER PLAN PHASE 2

2400 12TH STREET
 ALBUQUERQUE NM 87104

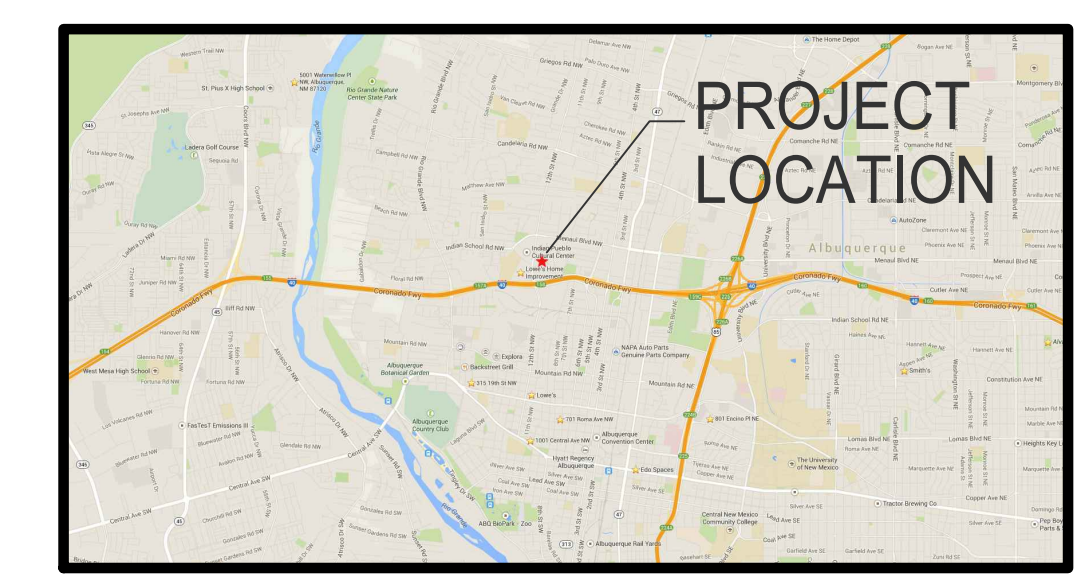
Key Plan

MARK	DATE	DESCRIPTION
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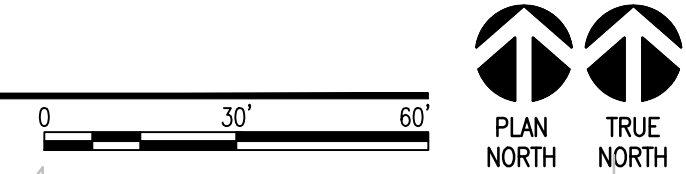
ISSUE:	DRB
PROJECT NO.:	1513
CAD DWG FILE:	1513 AS-101.RVT
DRAWN BY:	DSJ
CHECKED BY:	RH
DATE:	SEPT 19TH, 2016

SHEET TITLE
 PAD1
 SITE PLAN FOR
 BUILDING PERMIT

AS-101

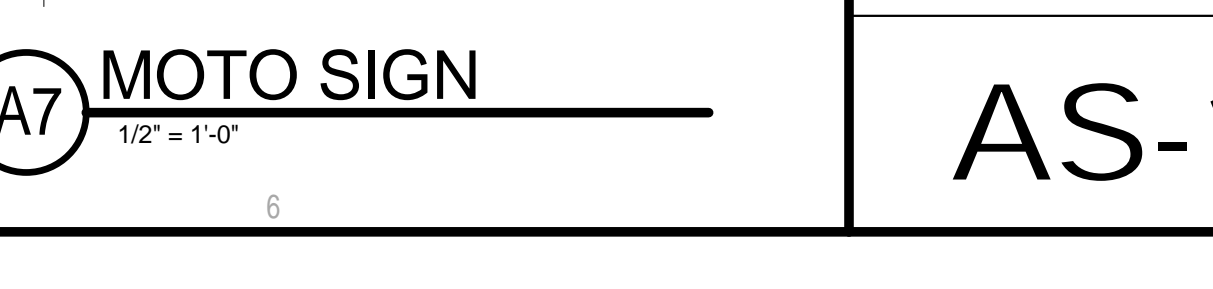
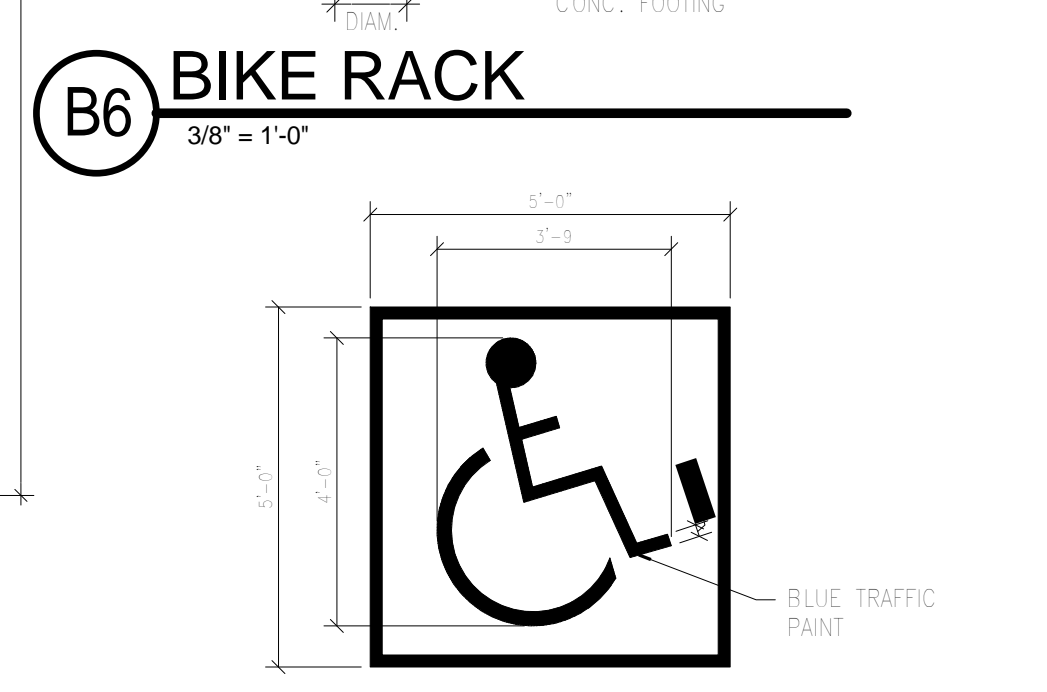
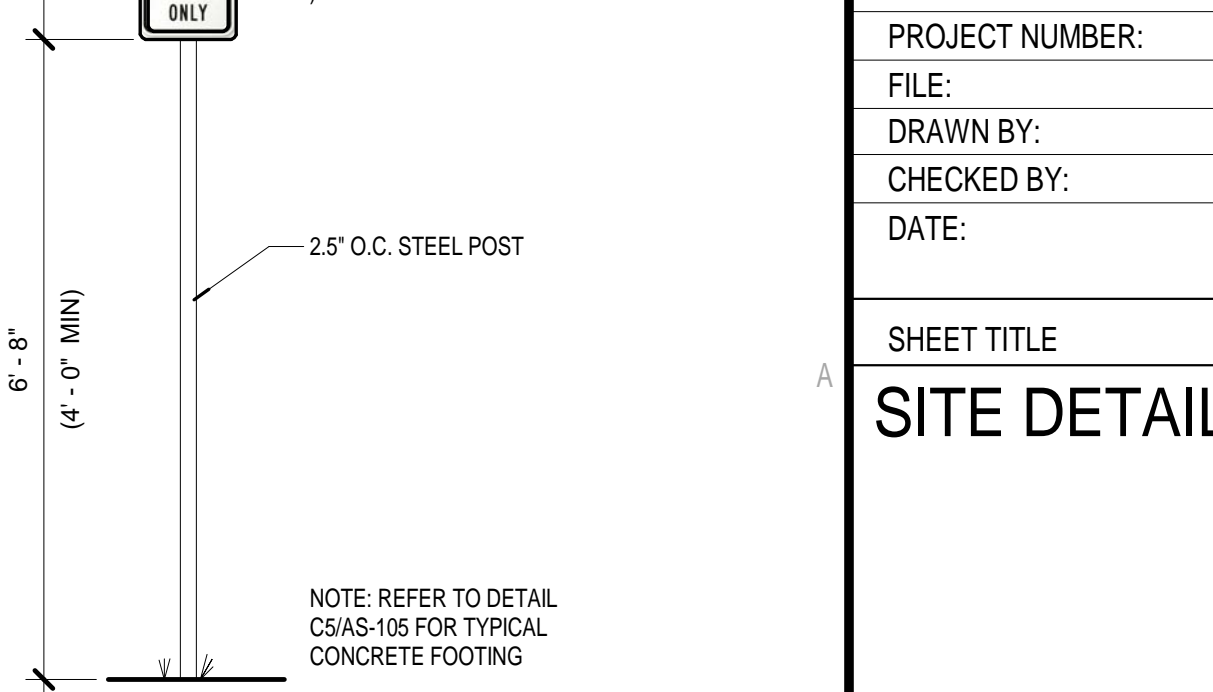
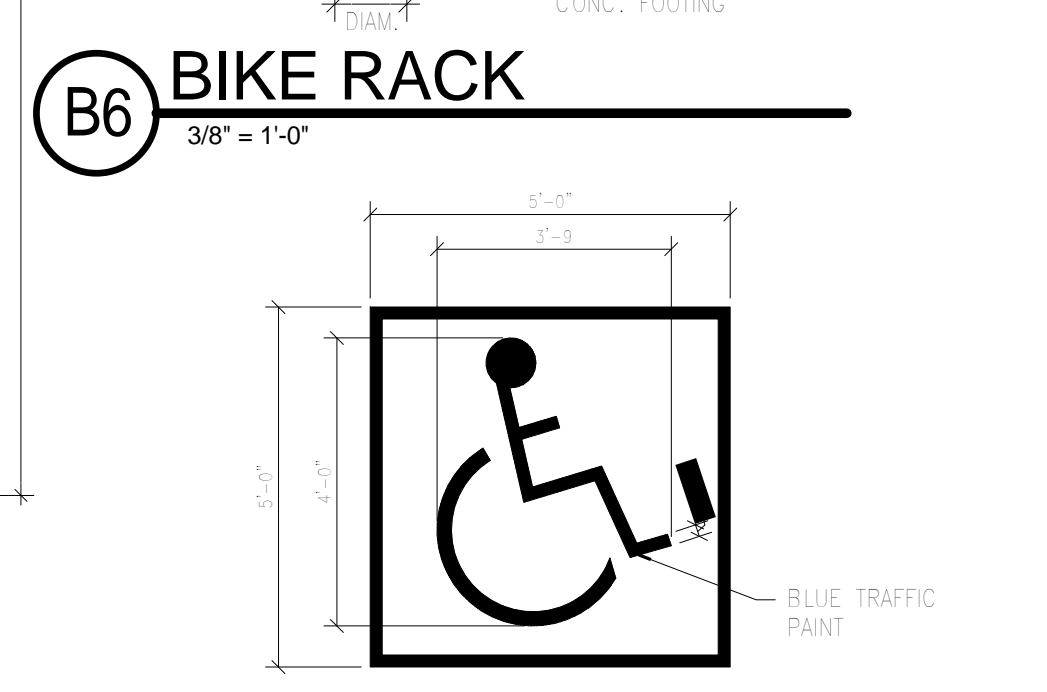
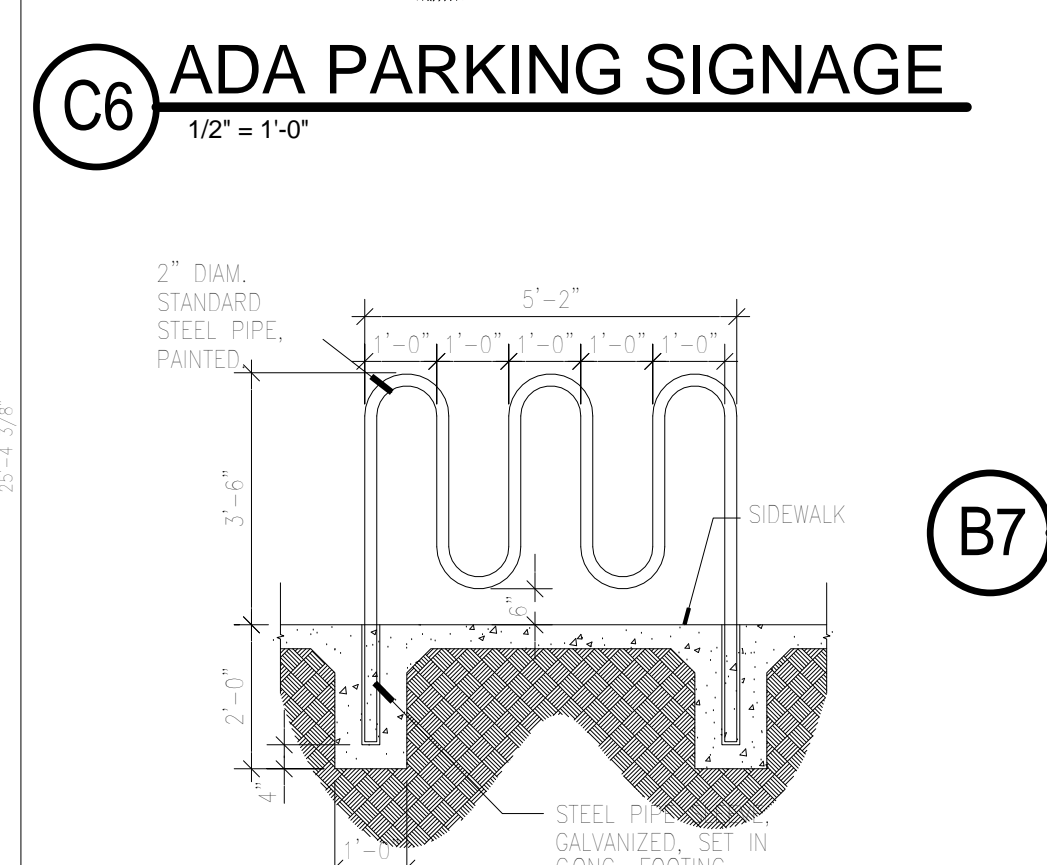
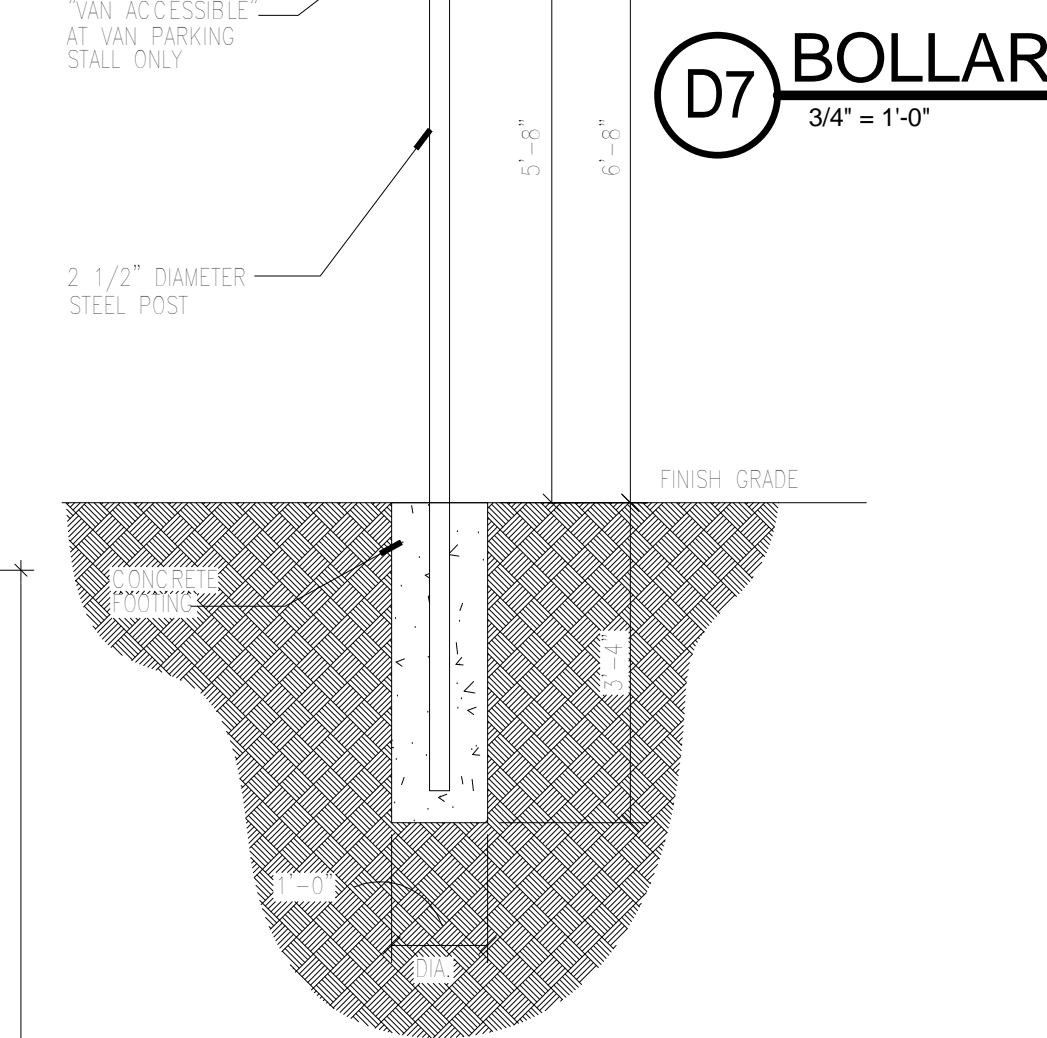
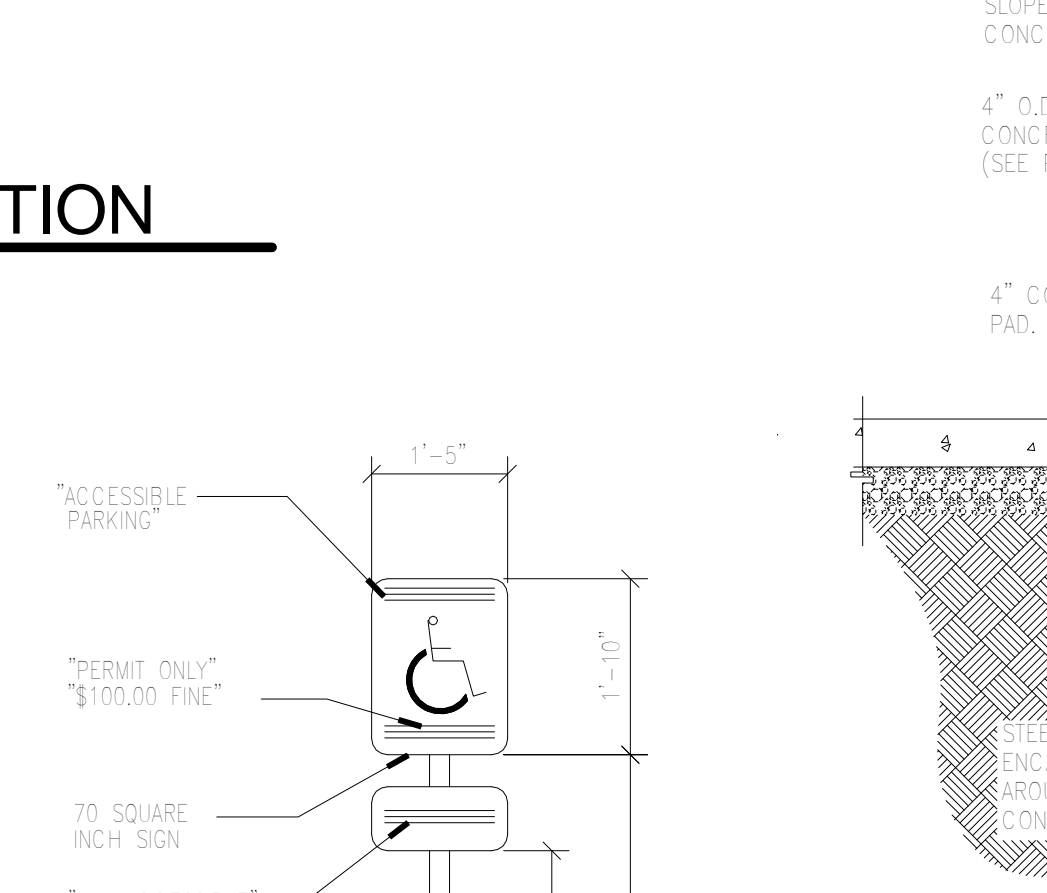
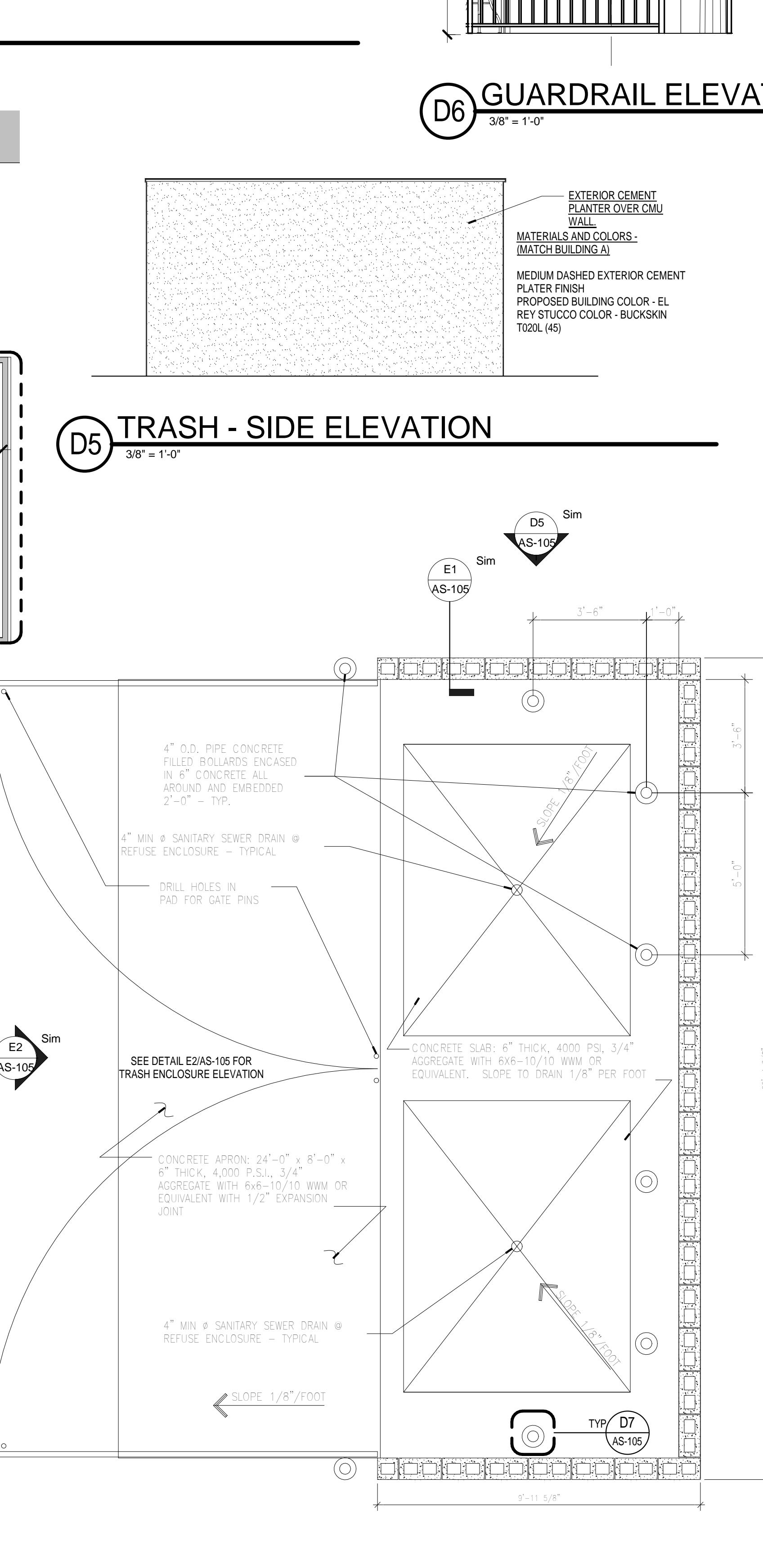
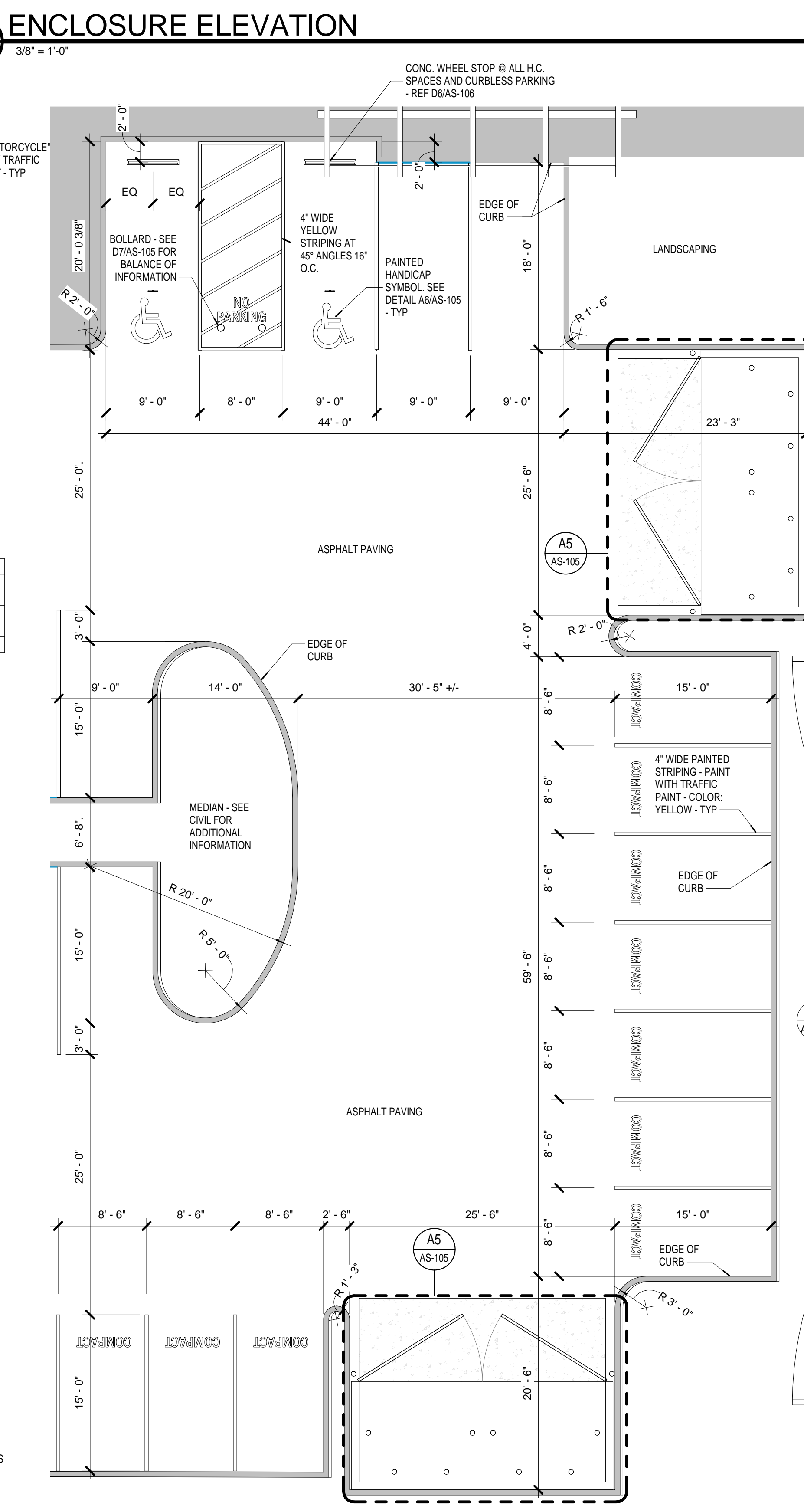
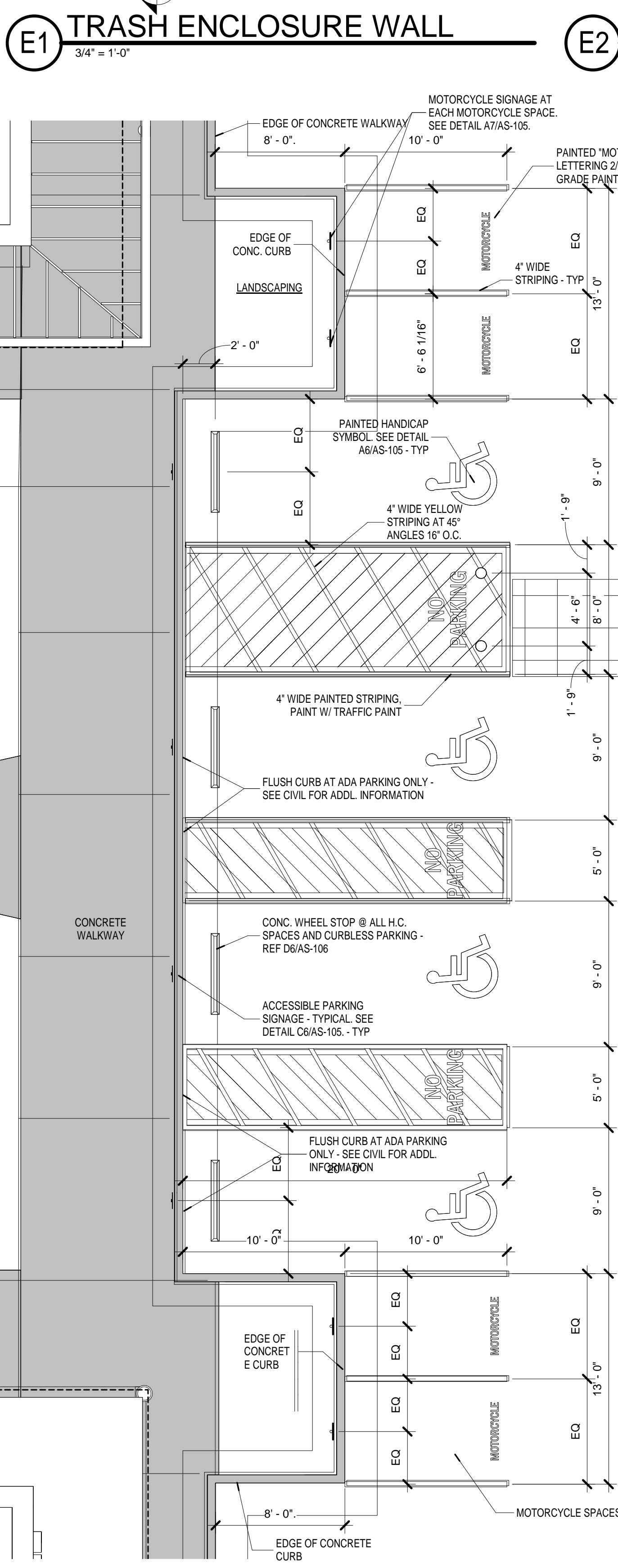
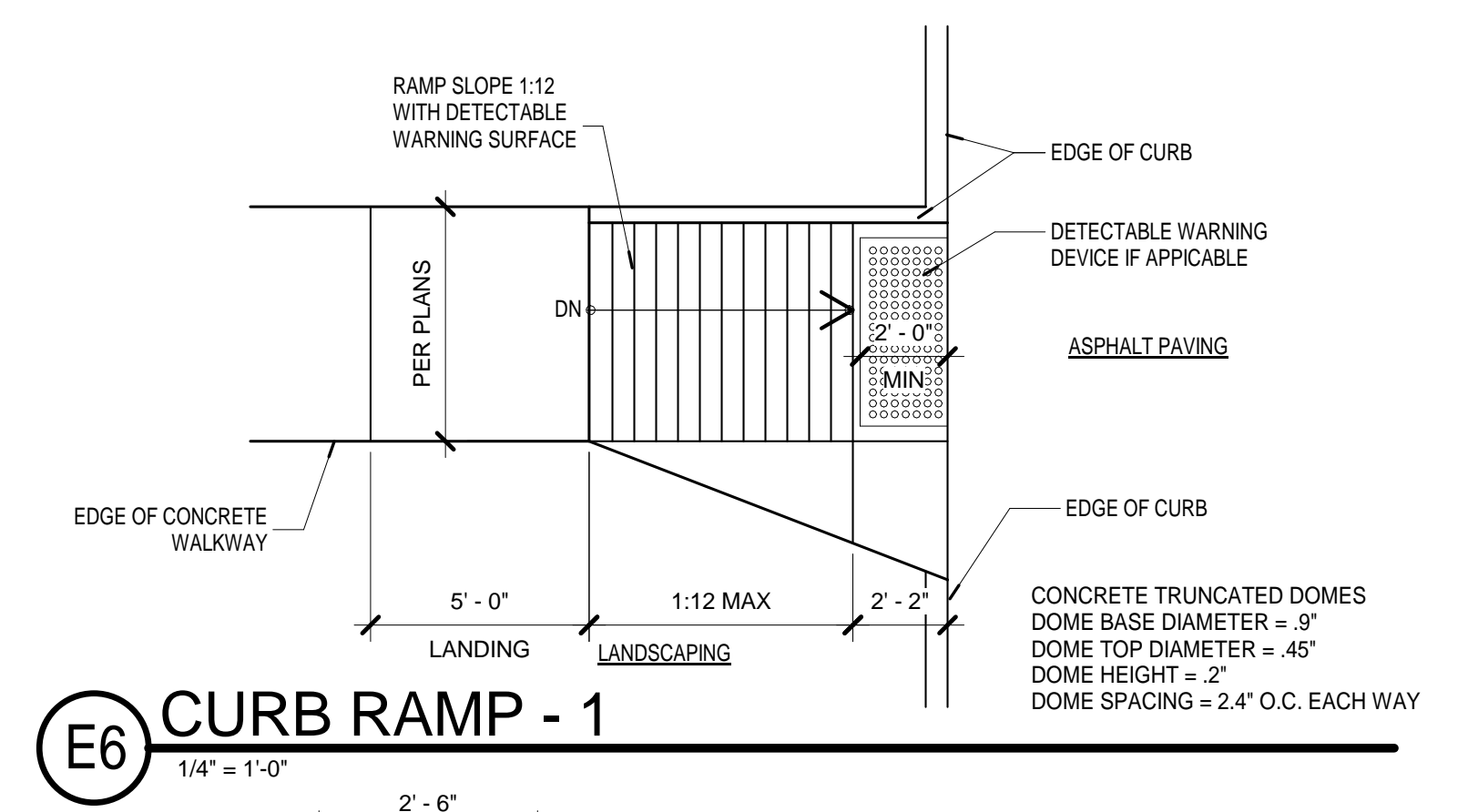
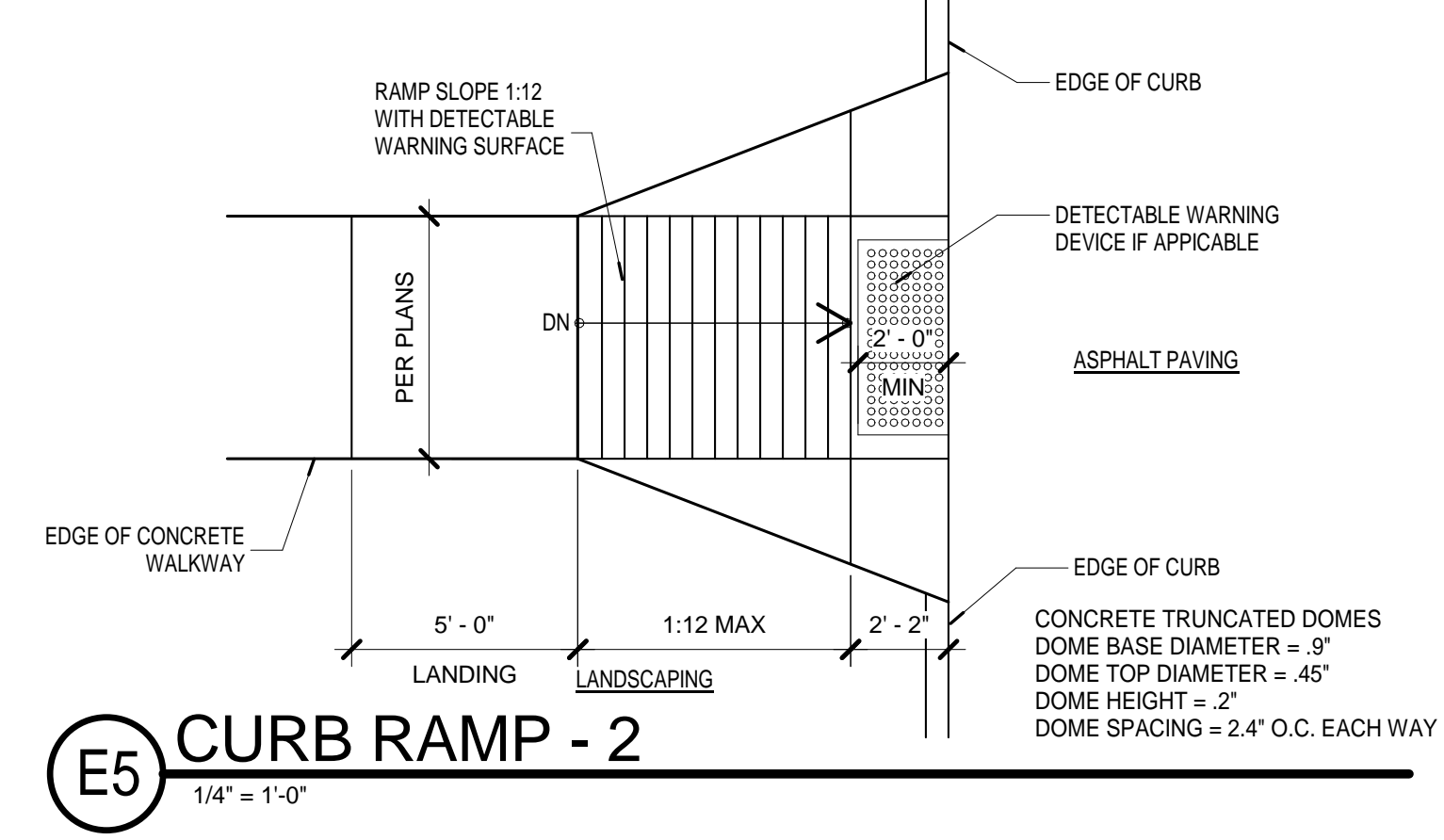
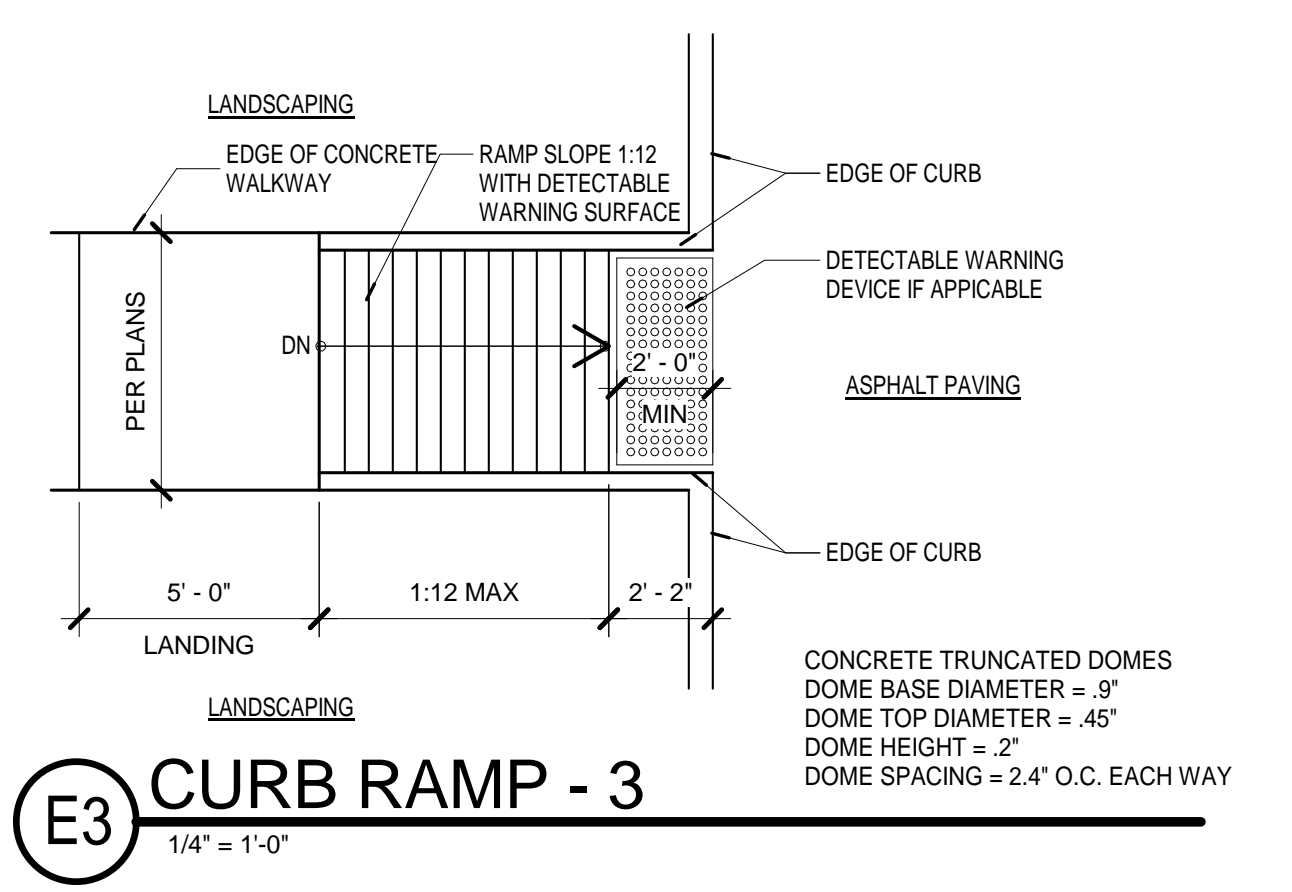
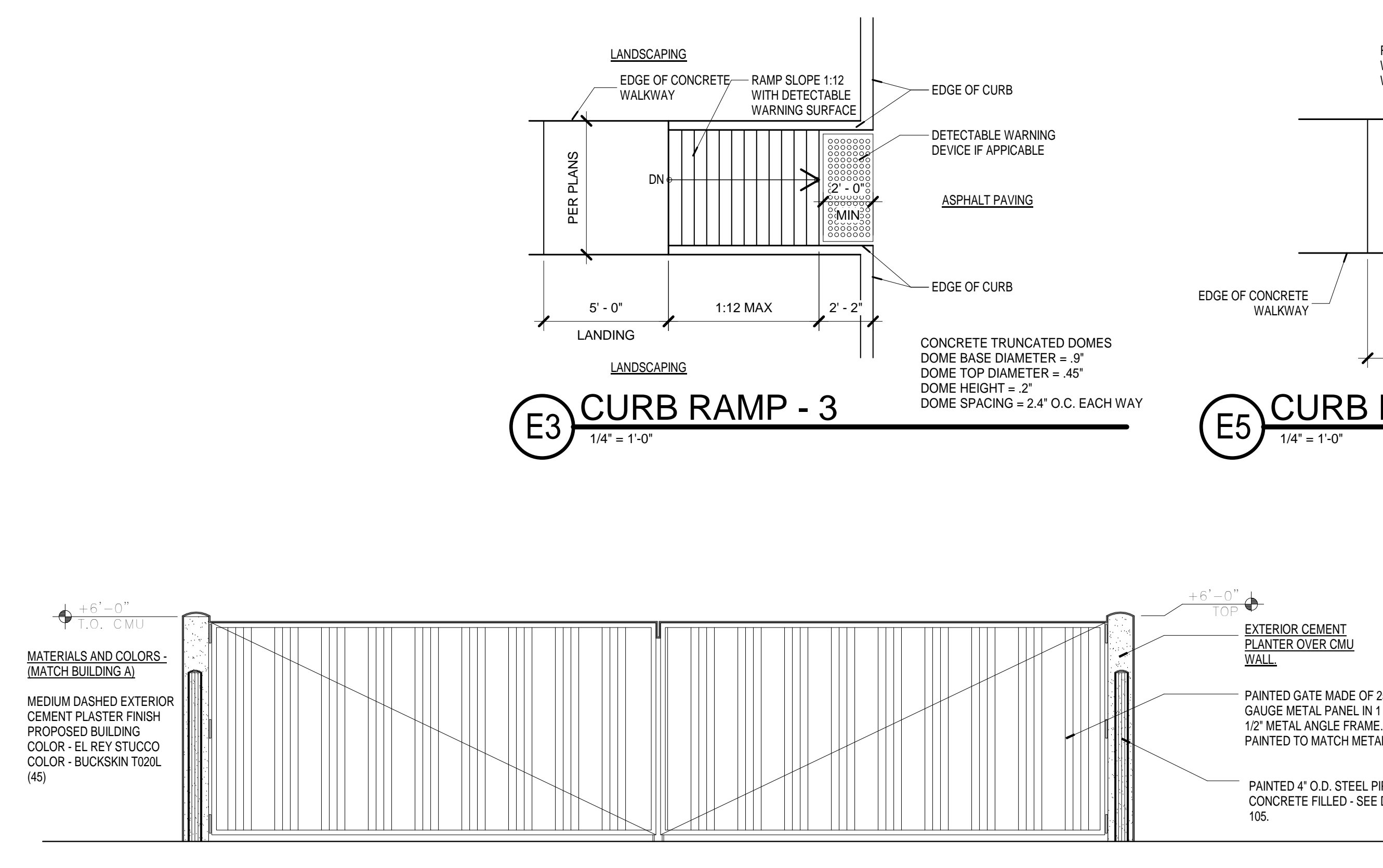
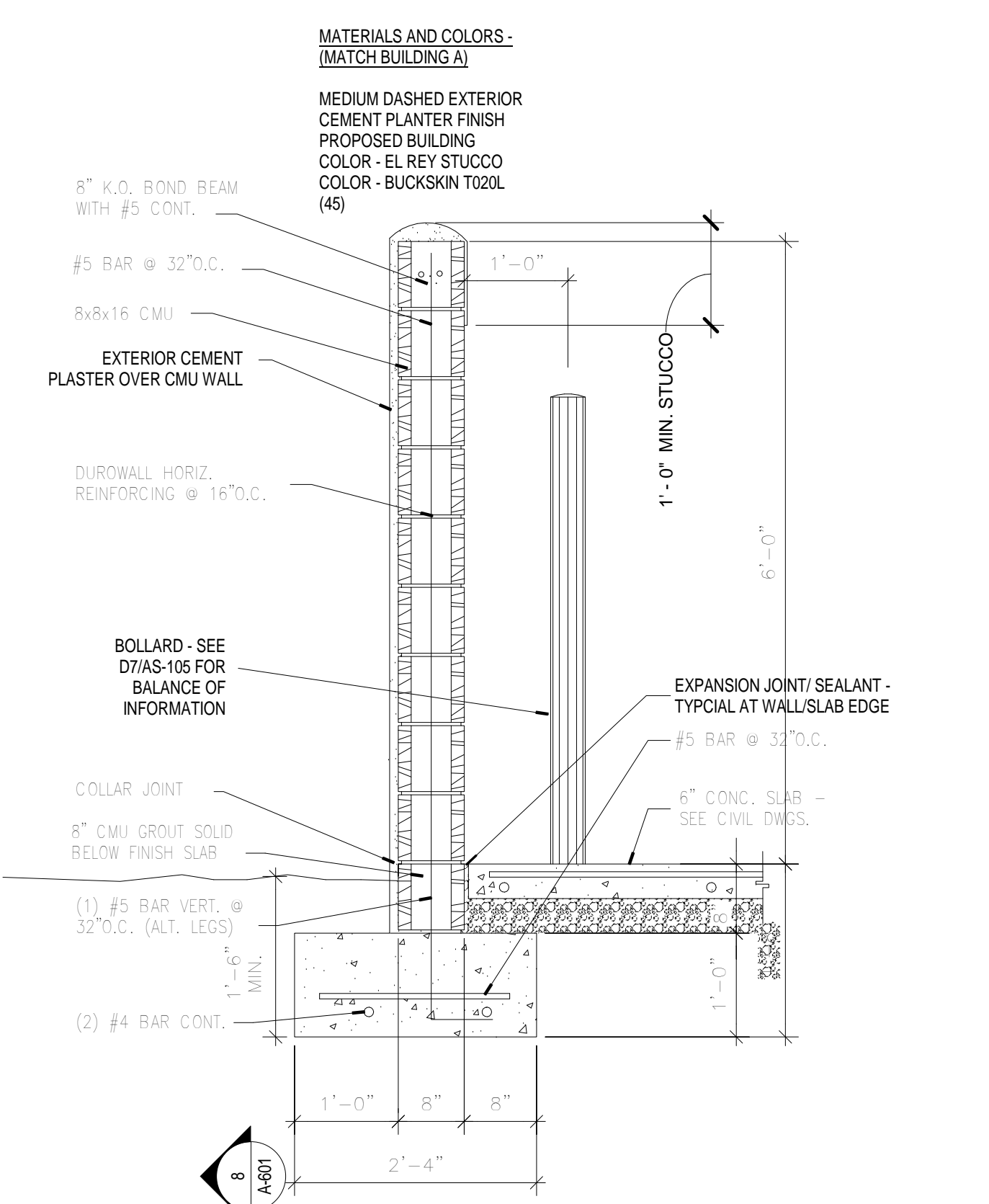


(A1) SITE PLAN
 SCALE 1" = 30'



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CONSULTANTS

Architect Engineer

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AIS PAD 1 - BUILDING B SHELL CONSTRUCTION

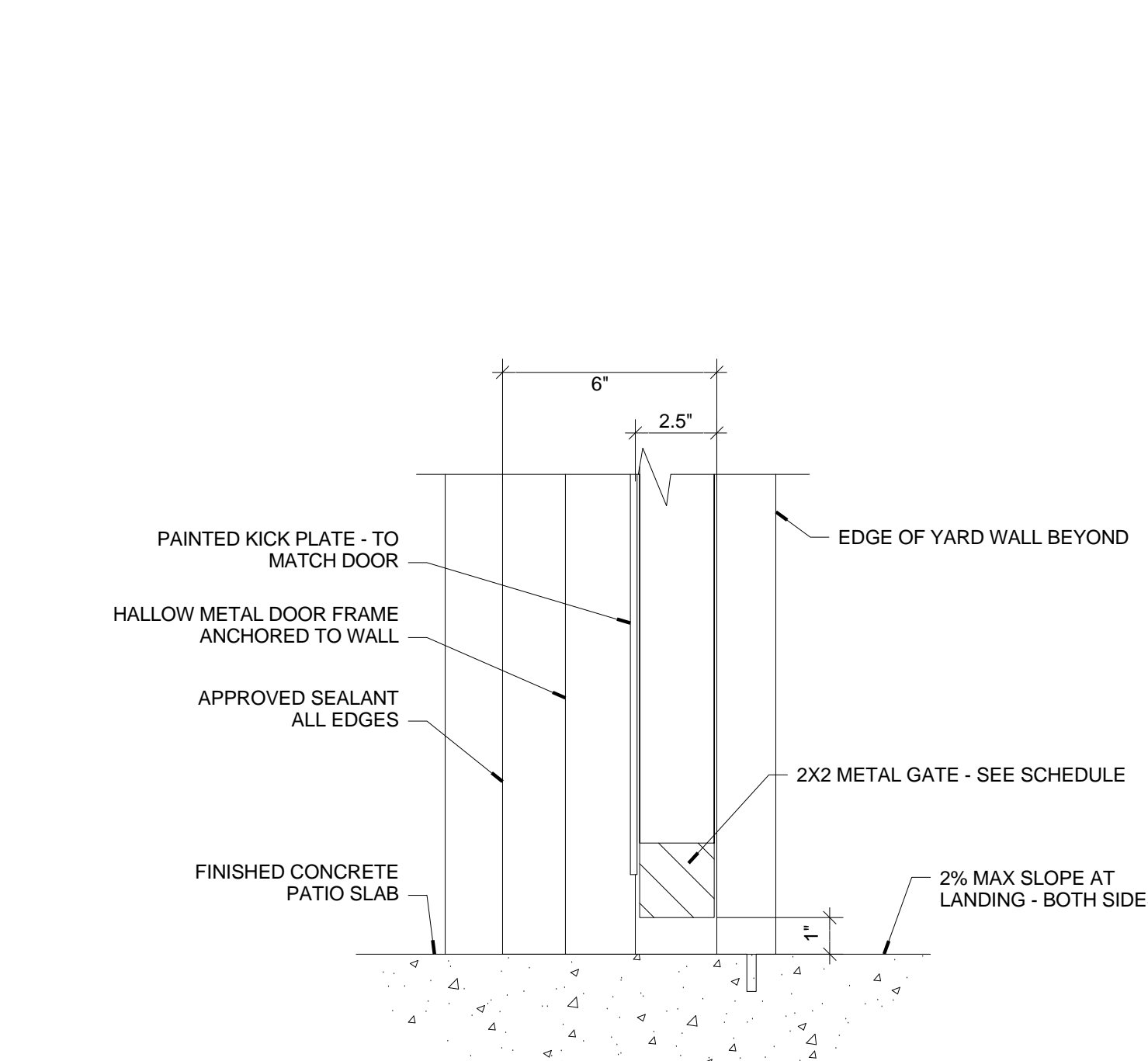
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BUILDING B
ALBUQUERQUE NM 87104

No	Date	Description
Revision Schedule		

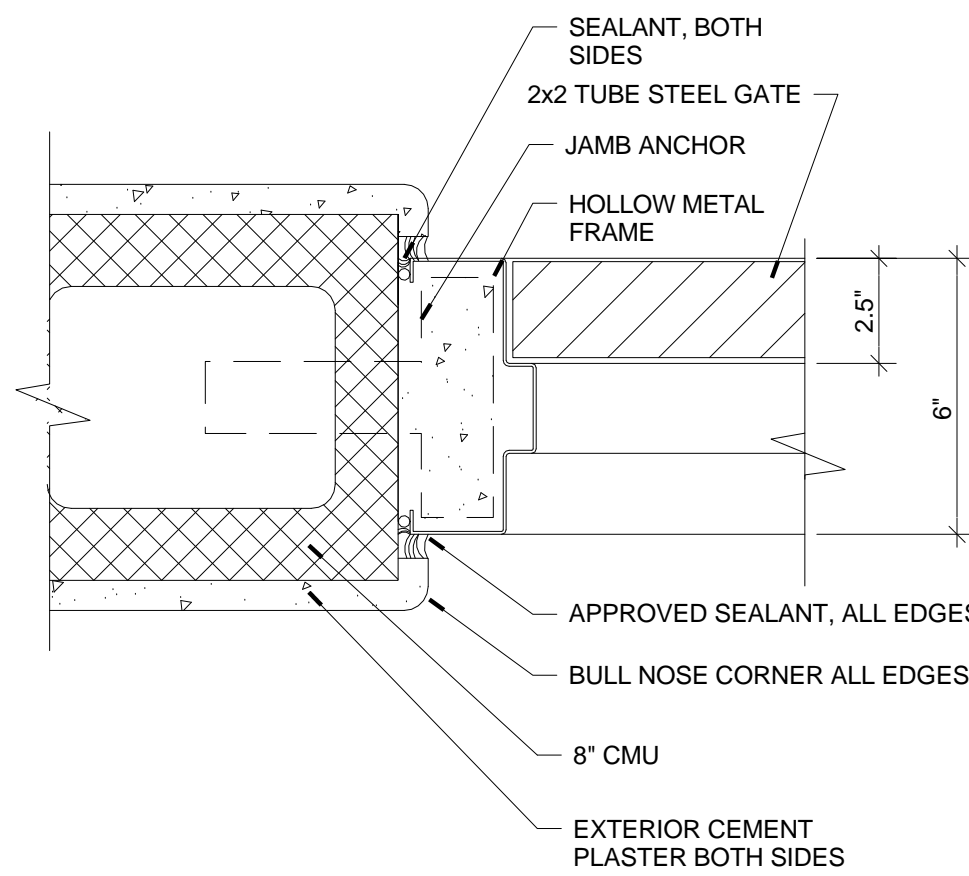
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PROJECT NUMBER:	1513
FILE:	1513AS-105.RVT
DRAWN BY:	DSJ
CHECKED BY:	RH
DATE:	01/18/16

SHEET TITLE
SITE DETAILS

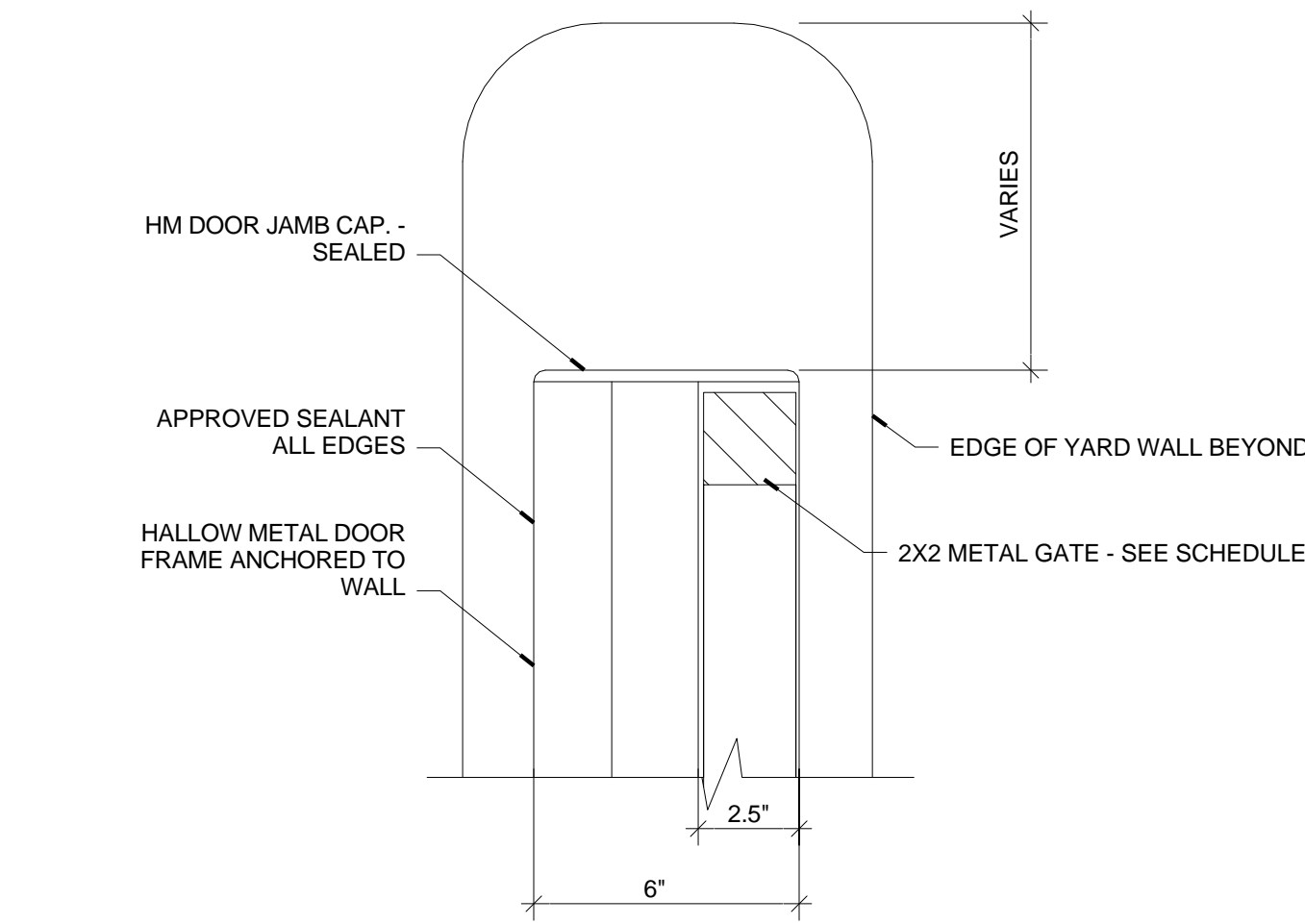
AS-105



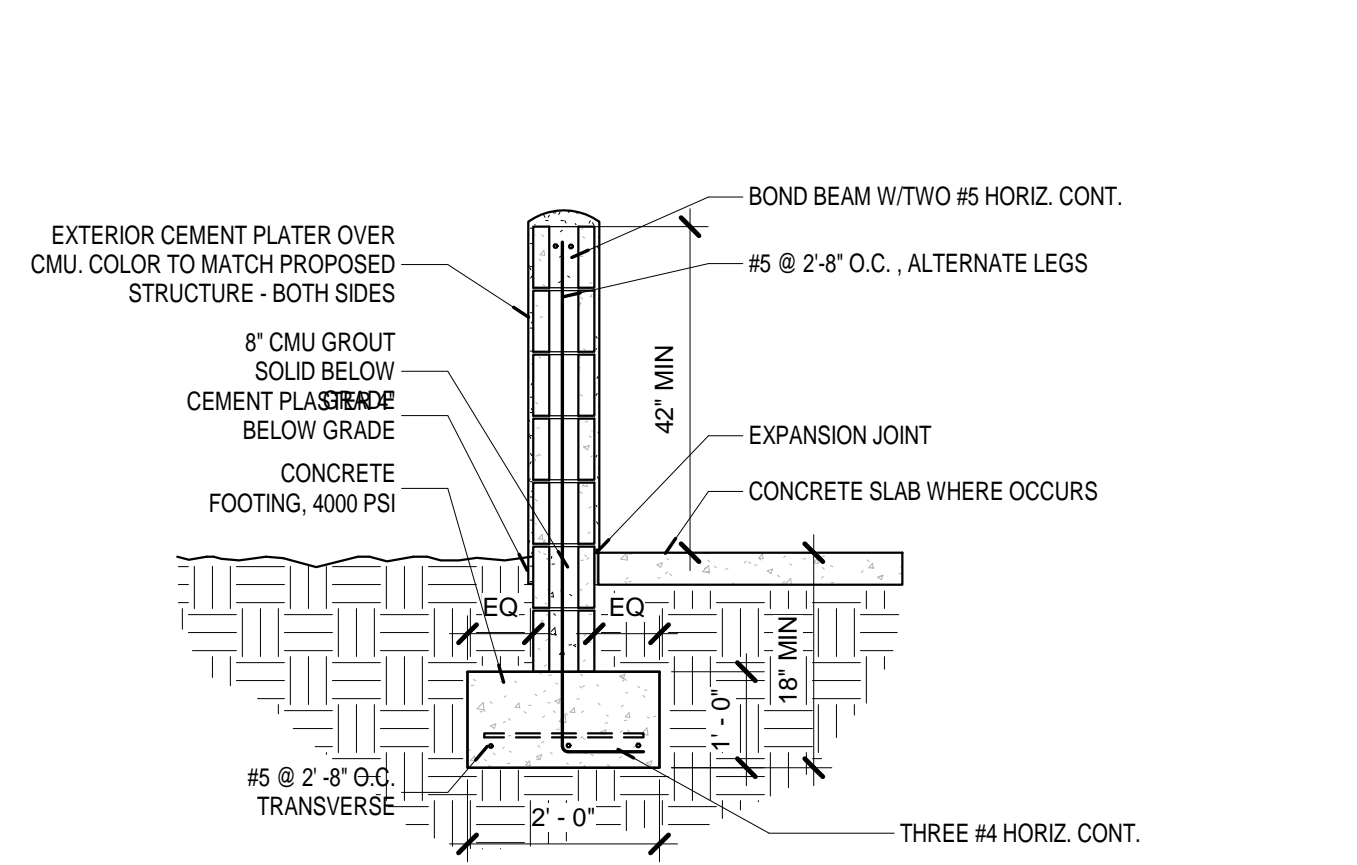
D2 GATE @ CMU SILL
3' = 1'-0"



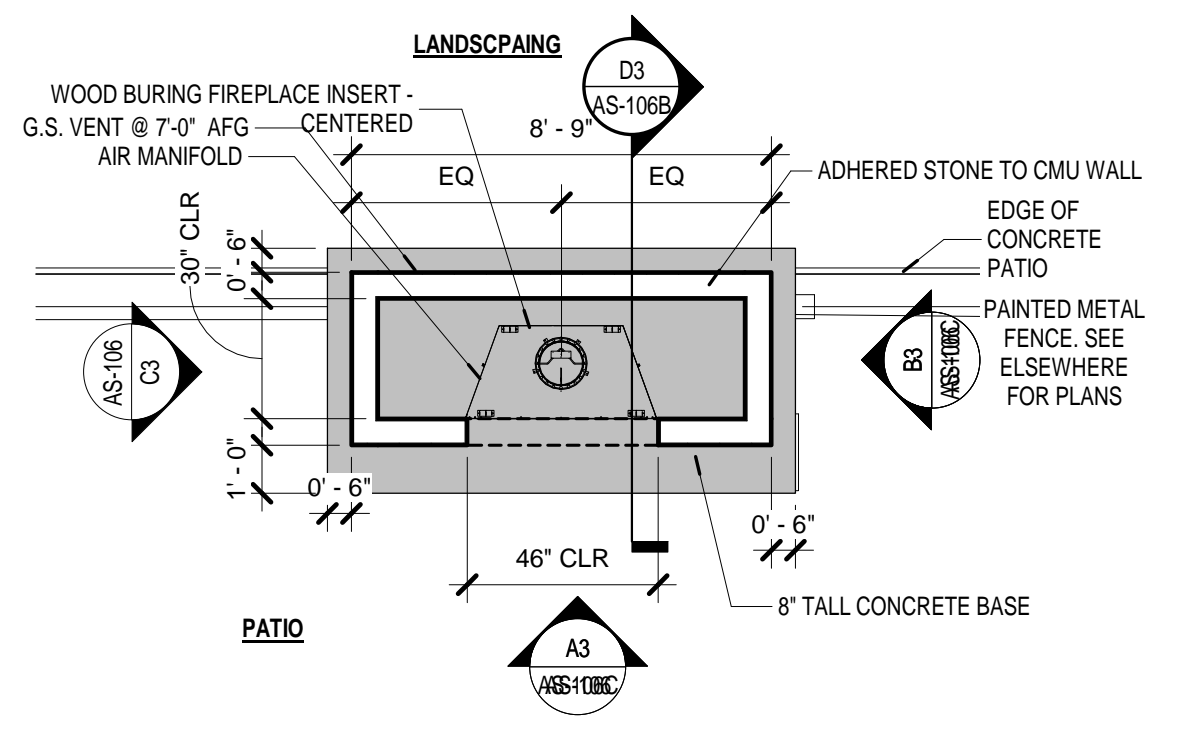
C2 GATE @ CMU JAMB
3' = 1'-0"



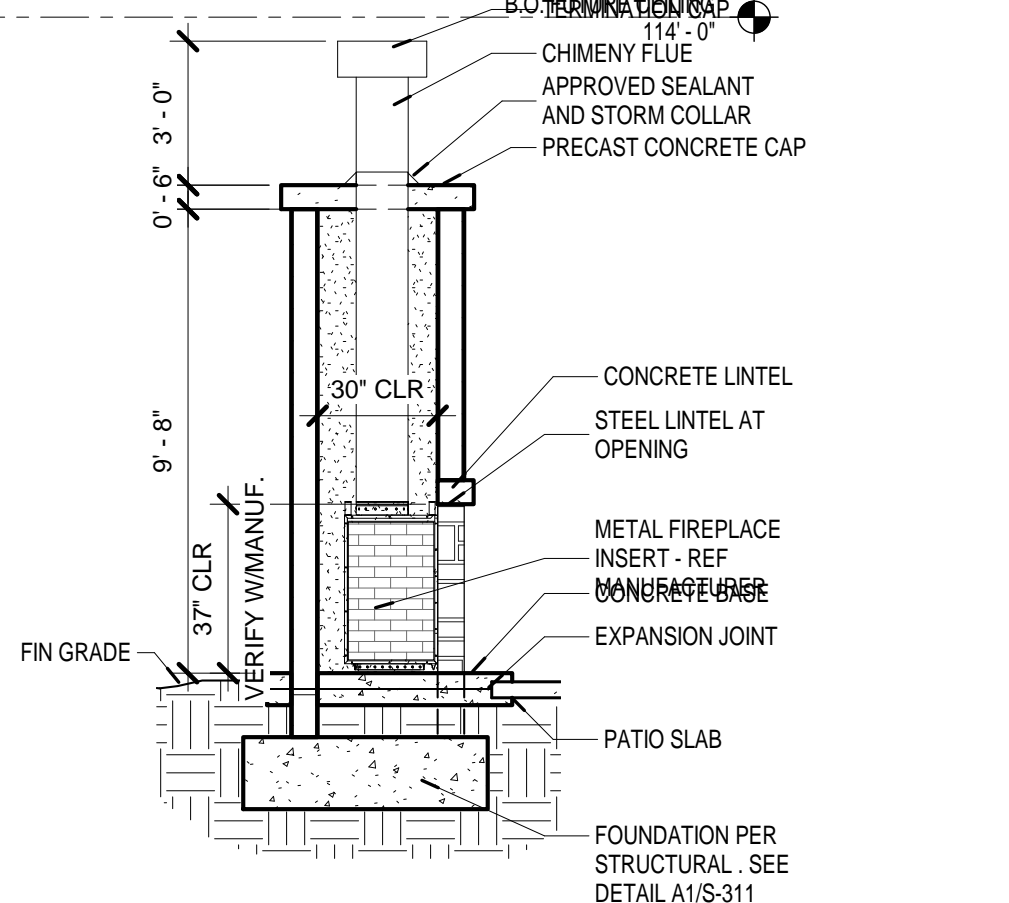
B2 GATE @ CMU HEAD
3' = 1'-0"



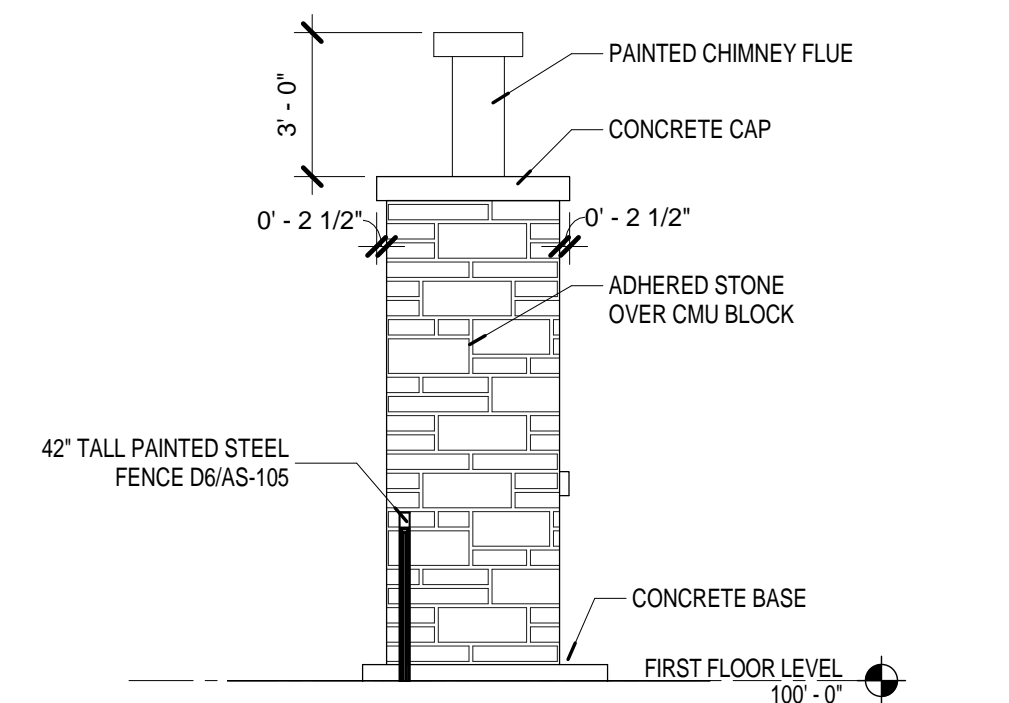
A2 YARD WALL - TYPICAL
1/2" = 1'-0"



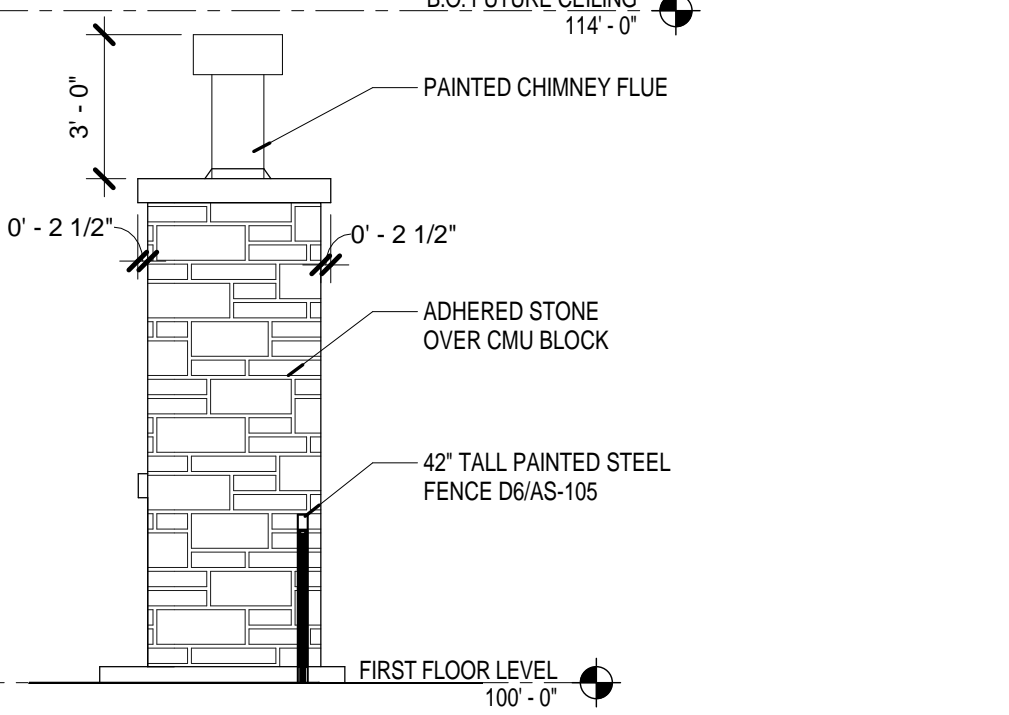
E3 FIREPLACE PLAN
1/4" = 1'-0"



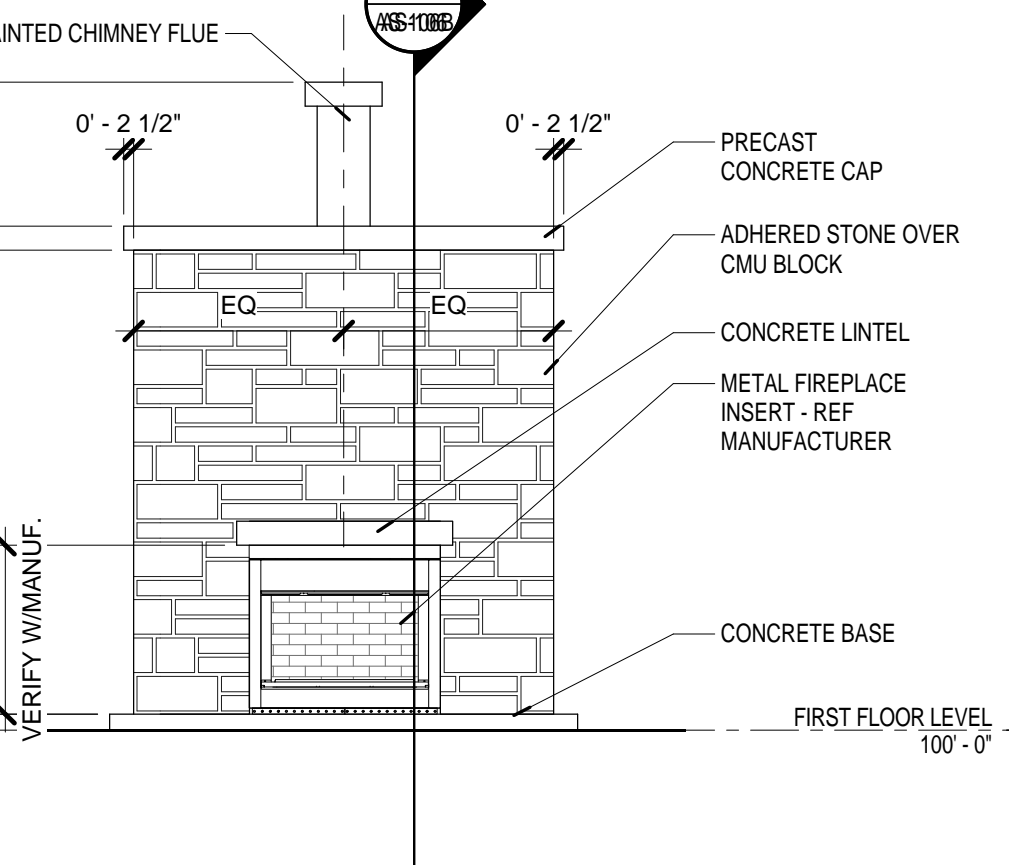
D3 FIREPLACE SECTION
1/4" = 1'-0"



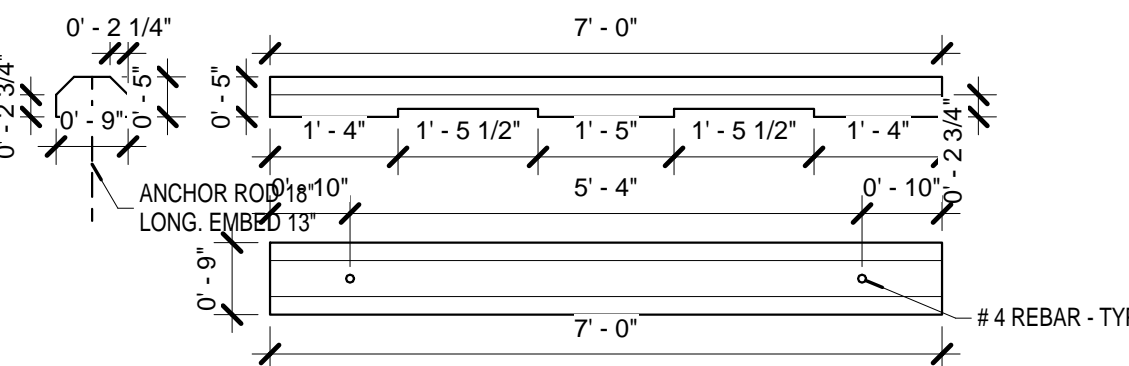
C3 FIREPLACE WEST
1/4" = 1'-0"



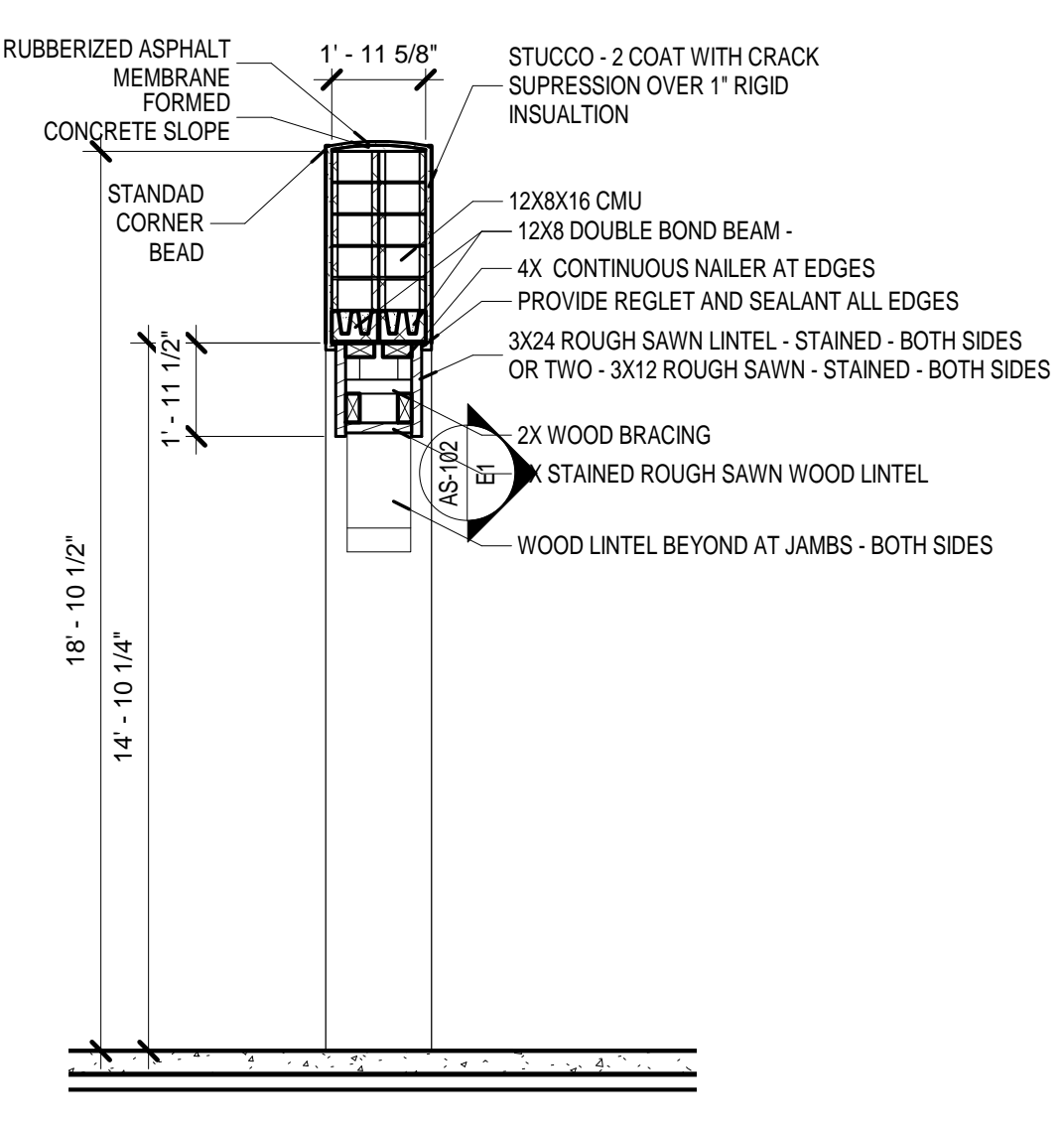
B3 FIREPLACE EAST
1/4" = 1'-0"



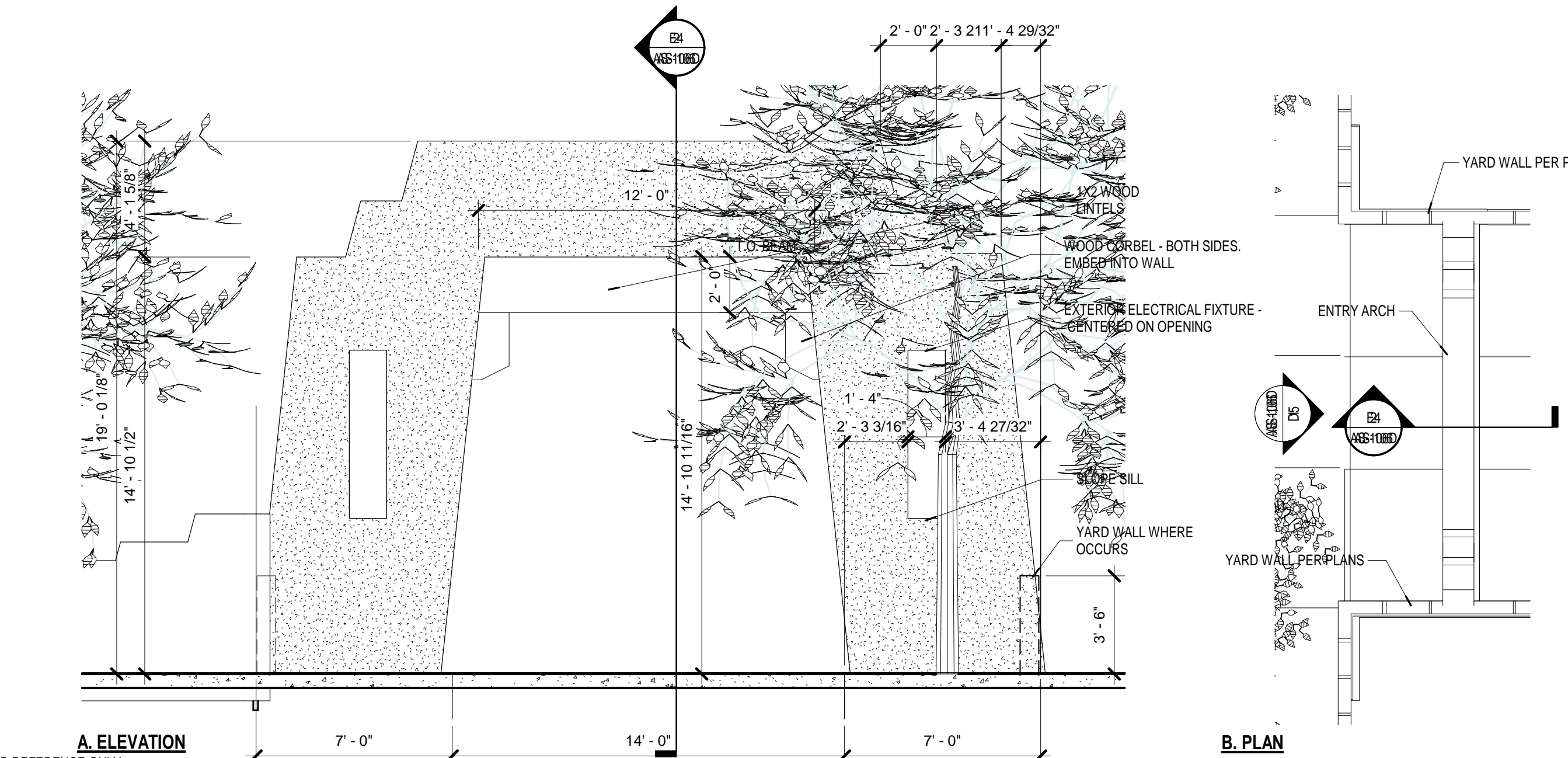
A3 FIREPLACE - SOUTH
1/4" = 1'-0"



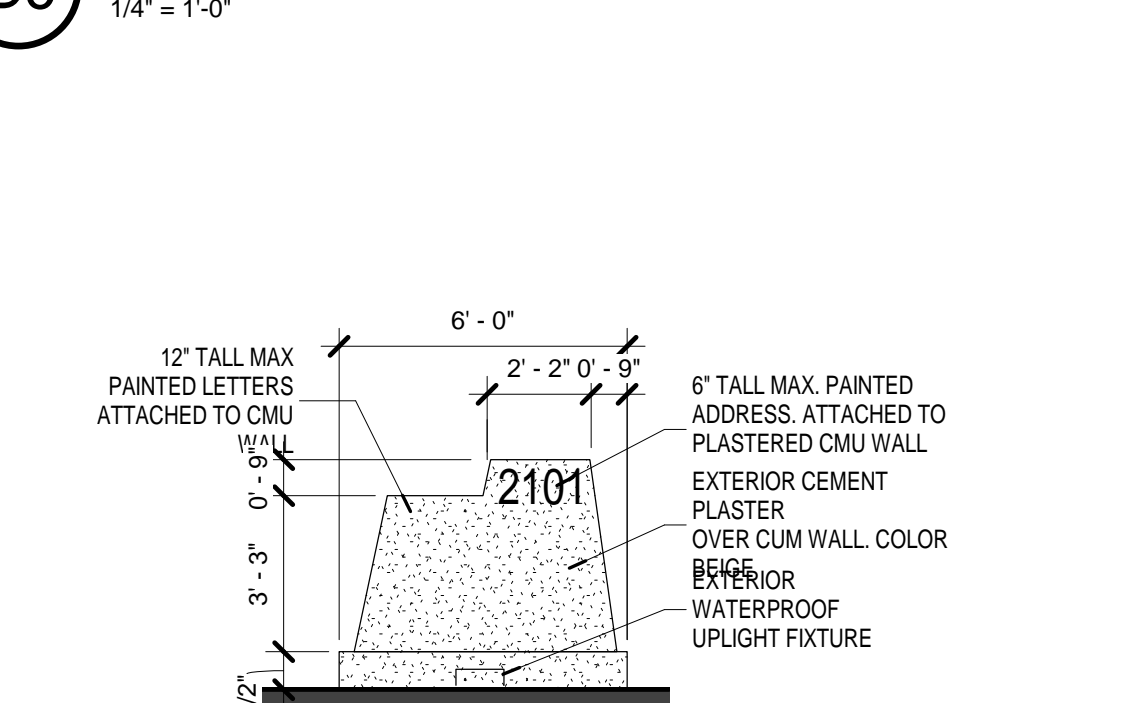
D6 CONCRETE WHEEL STOP
1/2" = 1'-0"



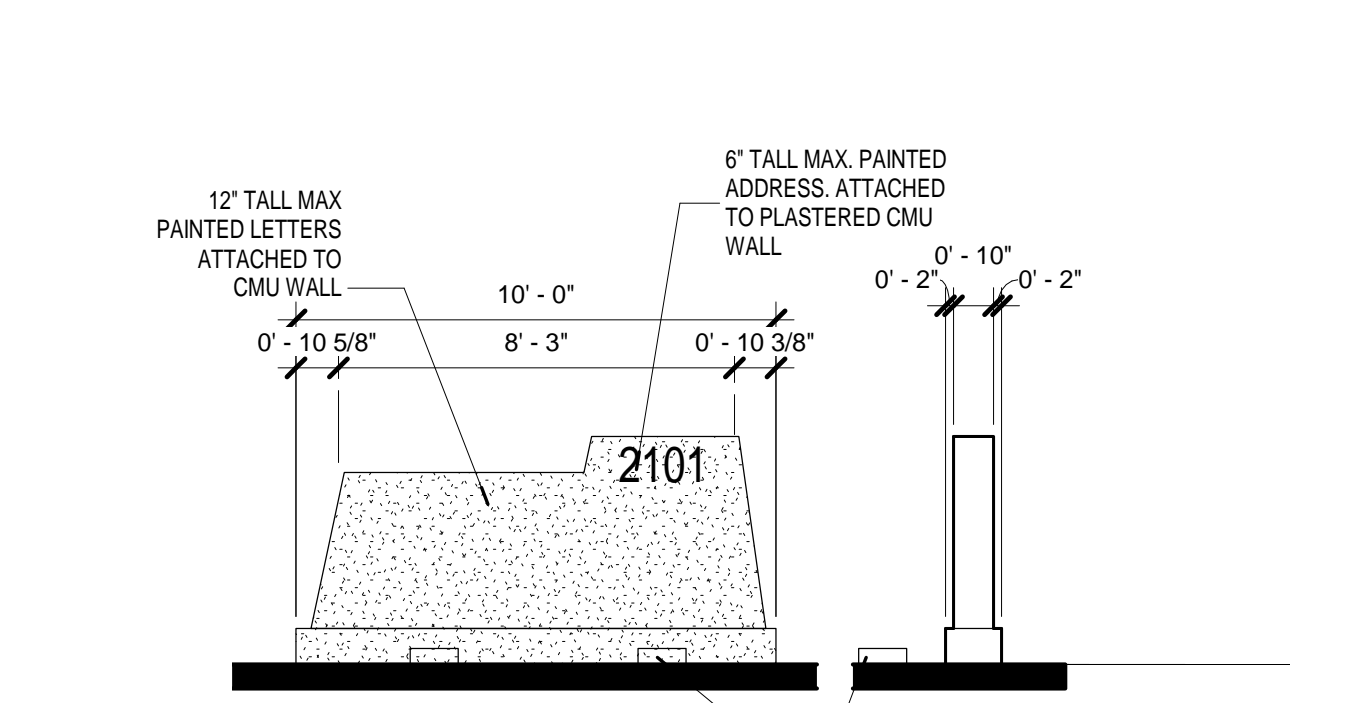
E4 ENTRY ARCH SECTION
1/4" = 1'-0"



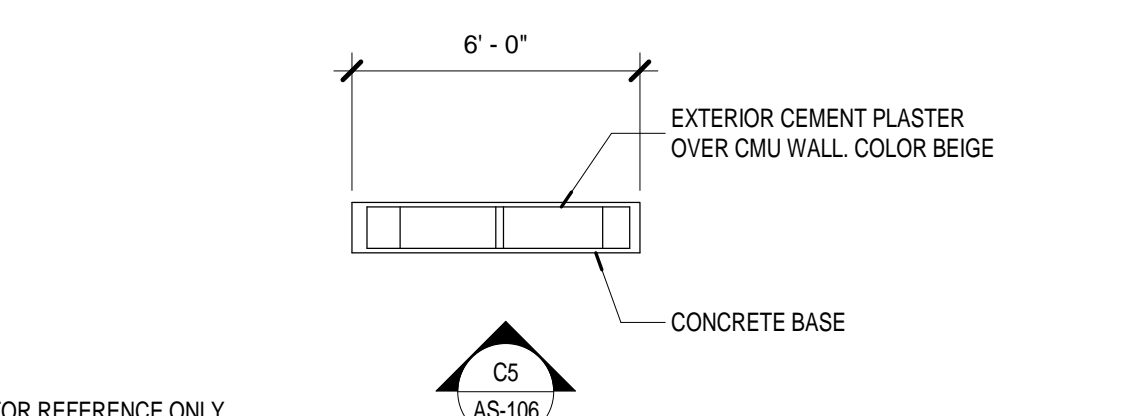
D5 ENTRY ARCH ELEVATION AND PLAN
1/4" = 1'-0"



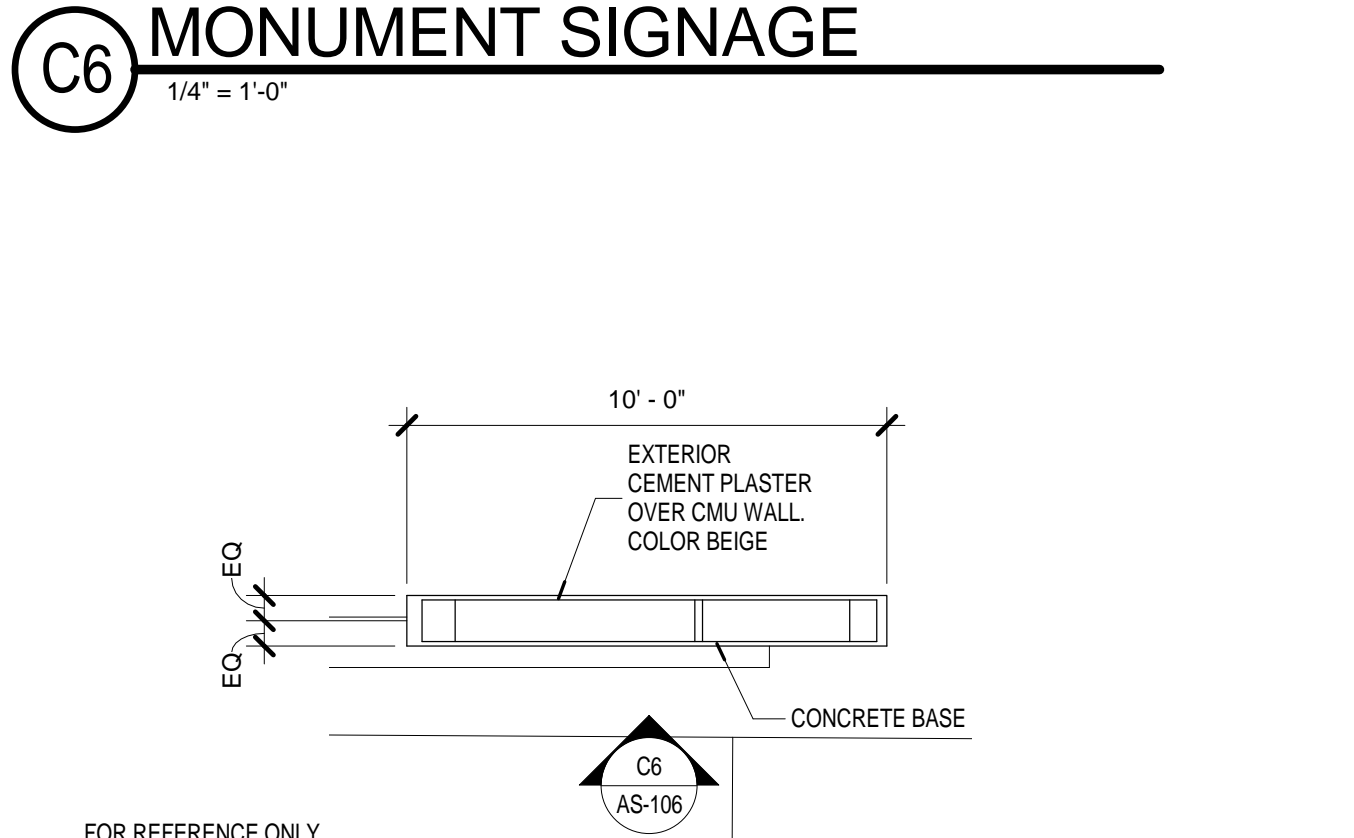
C5 MONUMNET SIGNAGE ELEVATION
1/4" = 1'-0"



B5 SITE SIGNAGE
1/4" = 1'-0"



D5 MONUMNET SIGNAGE ELEVATION
1/4" = 1'-0"



B6 SITE SIGNAGE PLAN
1/4" = 1'-0"

DRB SUBMITTAL

AIS PAD 1 - BUILDING B SHELL CONSTRUCTION

2300 12TH STREET
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ALBUQUERQUE NM 87104

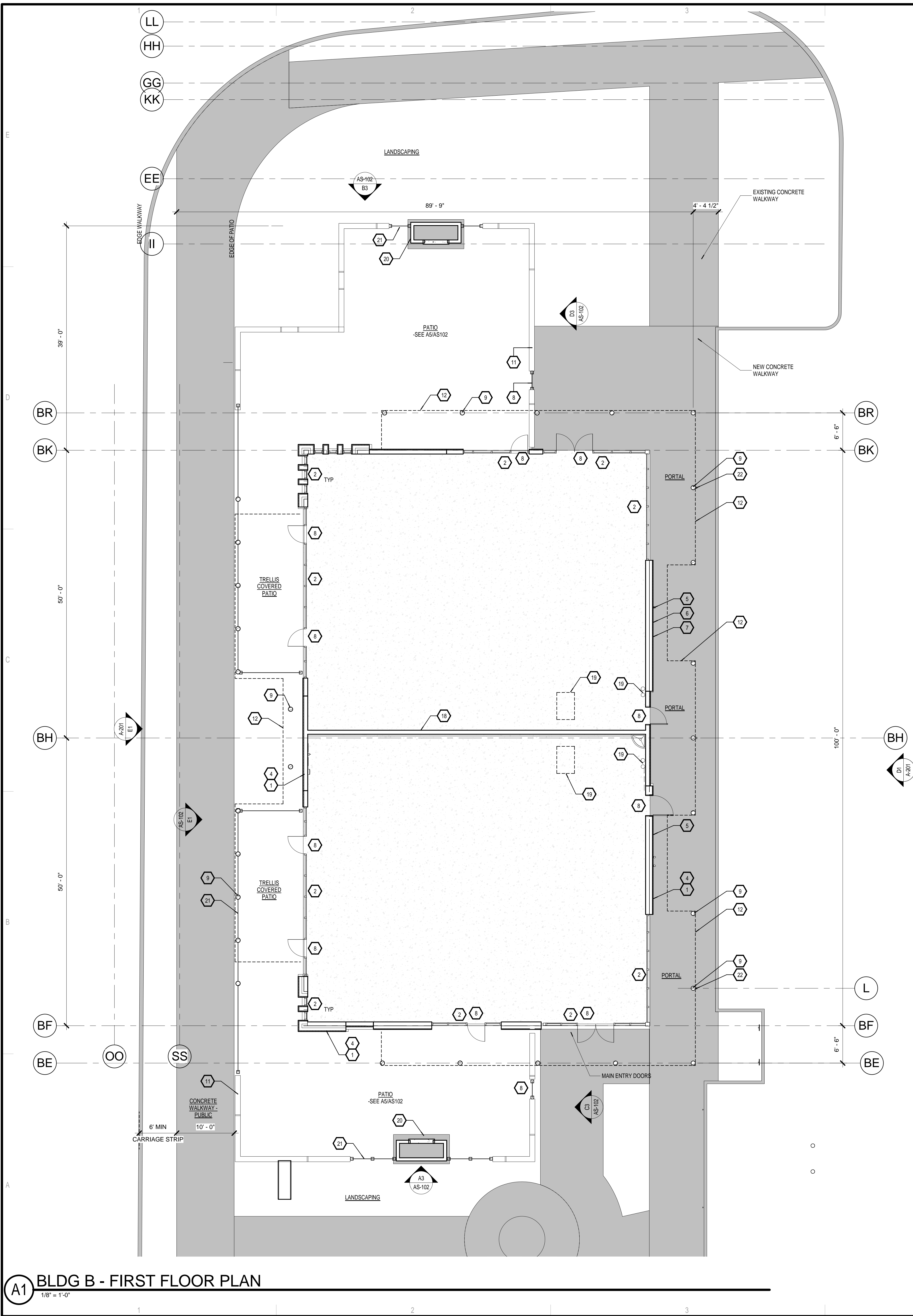
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Revision Schedule		

ISSUE:	SD
PROJECT NUMBER:	1513
FILE:	1513AS-106.RVT
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	01/18/16

SHEET TITLE
SITE DETAILS

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GENERAL NOTES

- A) COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING
- B) ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE
- C) ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE
- D) REFER TO ENLARGED PLANS FOR WALL TYPES AND DIMENSIONS WITHIN DETAILED AREAS
- E) COORDINATE FINAL LOCATION OF FIRE EXTINGUISHERS WITH FIRE MARSHAL
- F) REFER TO A-401 FOR DOOR AND FRAME TYPES
- G) REFER TO A-401 FOR DOOR AND FRAME TYPES
- F) UNDER FLOOR UTILITIES COMPLETED IN TENANT IMPROVEMENT

KEYED NOTES

- 1. EXTERIOR WALL - VARIES IN THICKNESS AND FORM REFER TO ELEVATIONS FOR ADDL. INFORMATION
- 2. ALUMINUM STOREFRONT
- 3. STEEL COLUMN - PER STRUCTURAL
- 4. TWO COAT SYNTHETIC STUCCO W/ CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FLOORING OVER 2X8 WOOD STUDS @ 16" O.C.
- 5. GAS/ELECTRIC METER
- 6. KNOX BOX
- 7. ROOF DRAIN WITHIN WALL
- 8. DOOR PER SCHEDULE
- 9. 10" DIAMETER WOOD COLUMN - TYP
- 10. OUTLINE OF SHADE STRUCTURE ABOVE
- 11. YARD WALL (42" MIN TALL) - EXTERIOR CEMENT PLASTER OVER 7/8" CMU WALL BOTH SIDES - PAINT TO MATCH STRUCTURE. SEE DETAIL A2/AS-106 & ELEVATIONS SHEET A-201 FOR ADDITIONAL INFORMATION
- 12. OUTLINE OF STRUCTURE ABOVE
- 13. RECESSED ALCOVE AT WALL
- 14. PROVIDE ELECTRICAL AT EXITS FOR FUTURE EXIT SIGNAGE
- 15. BRASS COW TONGUE @ ROOF DRAIN DOWNSPOUT TO OPTIONAL CONCRETE CHANNEL
- 16. ELECTRICAL OR PLUMBING PENETRATION AT SLAB - SEE SHEET A-100.
- 17. KEY OPERATED TAMPER PROOF HOSE BIBB LOCATION AT EXTERIOR WALL
- 18. FUTURE DEMISING WALL FOR REFERENCE ONLY - SEE TENANT IMPROVEMENT DRAWINGS
- 19. OUTLINE OF ROOF ACCESS HATCH ABOVE & FUTURE LOCATION OF ROOF ACCESS LADDER
- 20. FIRE PLACE AT YARD WALL
- 21. PAINTED STEEL FENCE 42" TALL - SEE D6 / AS-105
- 22. FACTORY PAINTED METAL DOWNSPOUT
- 23. FIRE RISER LOCATION - CENTER LINE



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CONSULTANTS

Architect	Engineer

Architect: _____ Engineer: _____

DRB
SUBMITTAL

AIS PAD 1 - BUILDING B SHELL CONSTRUCTION

2300 12TH STREET
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No	Date	Description
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DRAWN BY:	DSJ
CHECKED BY:	DSJ
DATE:	01/18/16

SHEET TITLE

BUILDING B - FLOOR PLAN

A-101

A1 BLDG B - FIRST FLOOR PLAN
 1/8" = 1'-0"

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GENERAL NOTES

- A. ROOF INSULATION AVERAGE VALUE = R-38 (2 LAYERS R-19 BELOW ROOF DECK)
- B. SEE MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR ROOFING PENETRATIONS NOT INDICATED IN ROOF PLANS

KEYED NOTES

- 1. SIGNAGE ATTACHED TO EXTERIOR WALL. PROVIDE ELECTRICAL WHERE NEEDED - TYP. SEE TENANT IMPROVEMENT DRAWINGS FOR FINAL SIGNAGE LOCATION
- 2. EDGE OF PARAPET
- 3. ROOF DRAIN AND OVERFLOW - SEE DETAIL C6A-821.
- 4. TPO ROOF MEMBRANE
- 5. CRICKETS - SLOPE TO DRAIN - TYP
- 6. FUTURE VENT AT GAS FIREPLACE
- 7. ROOF ACCESS HATCH
- 8. FUTURE PLUMBING VENT LOCATIONS - COORDINATE WITH TENANT IMPROVEMENT TOILET ROOM AND WORKROOM DRAWINGS
- 9. RAISED MECHANICAL UNIT. MAINTAIN CLEARANCE VERIFY WITH MANUFACTURER - TYP
- 10. TRELIS SHADE STRUCTURE
- 11. ATTACHED SHADE SCREEN BETWEEN JOISTS - TYP
- 12. PAINTED LEADER AND DOWNSPOUT - CENTERED ON WOOD COLUMN WHERE INDICATED SEE ELEVATIONS
- 13. 30" WIDE ROOF WALK PADS WHERE INDICATED
- 14. ROOF DRAIN AND OVERFLOW SPOUTS TO LOW ROOF AT PARAPET. PROVIDE WALK #13 AND SPLASH BLOCK
- 15. ROOF DRAIN AND OVERFLOW. SEE ELEVATIONS FOR BRASS COW TONGUE LOCATIONS.
- 16. FACTORY PAINTED G.S. METAL PARAPET CAP. SEE ELEVATIONS FOR LOCATIONS



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CONSULTANTS

Architect	Engineer
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DRB SUBMITTAL

ROOF PLAN - BUILDING B

2300 12TH STREET
 BUILDING B
 ALBUQUERQUE NM 87104

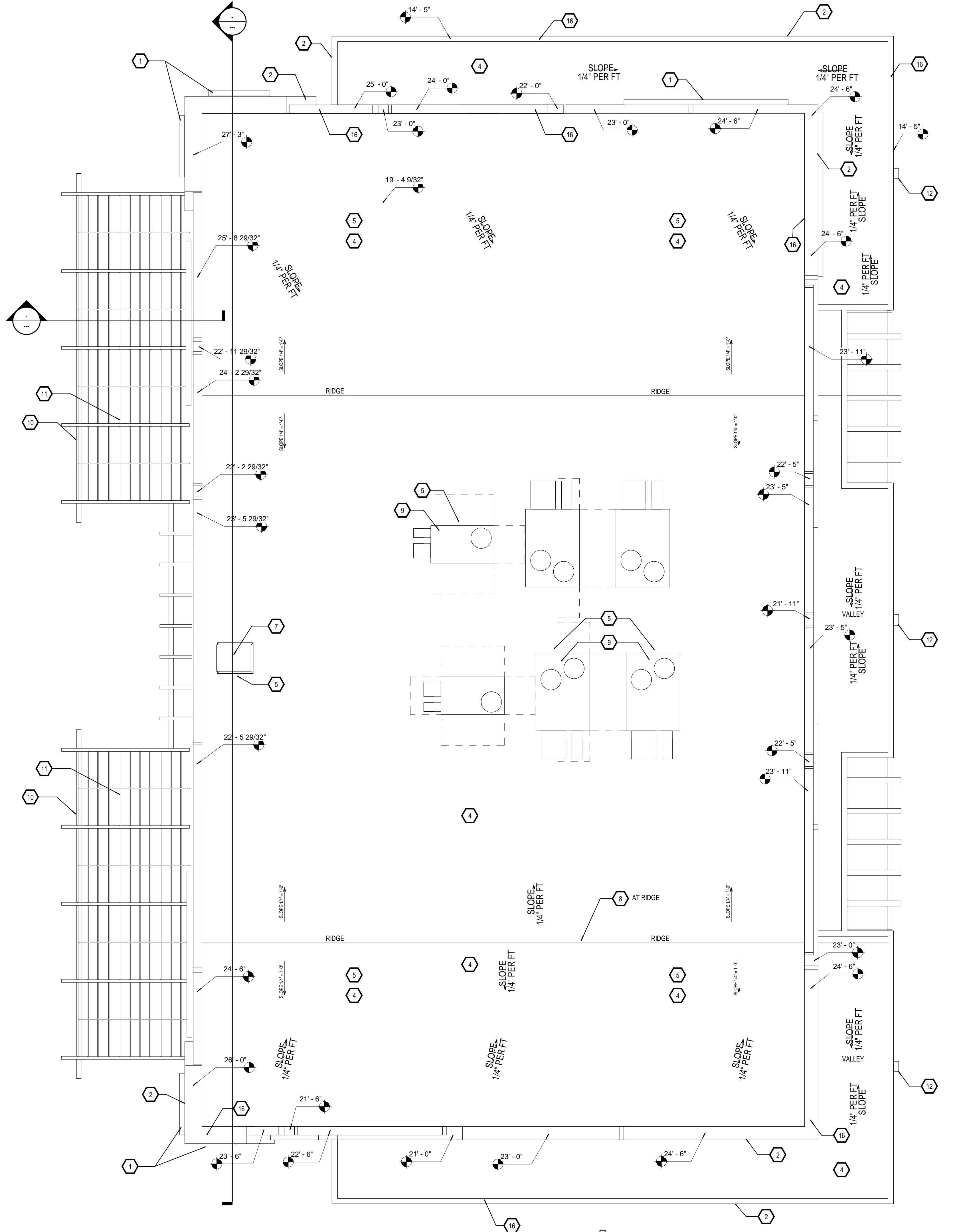
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Revision Schedule		

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PROJECT NUMBER:	1513
FILE:	1513A-121.RVT
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	01/18/16

ROOF PLAN - BUILDING B

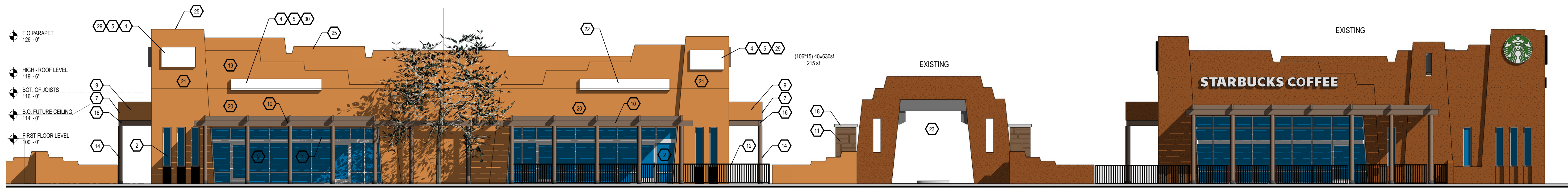
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A-121

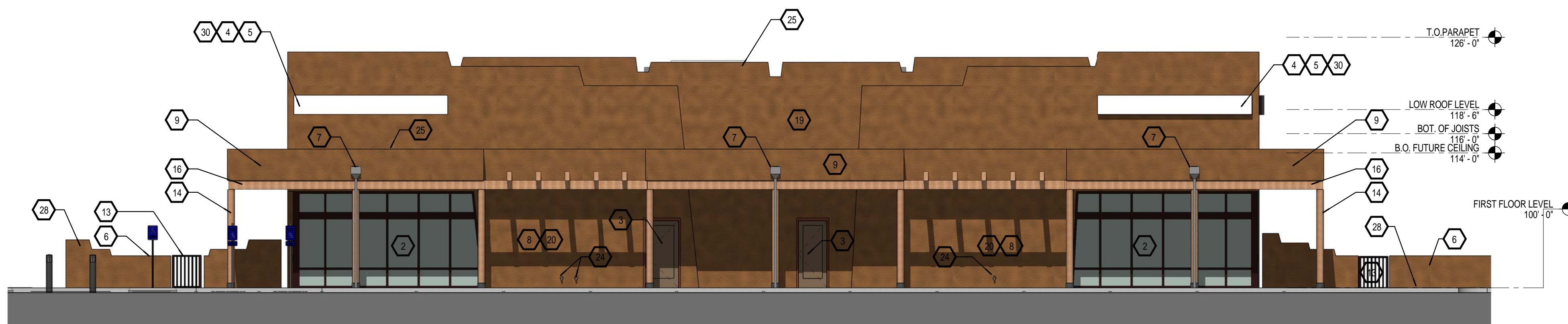


A1 ROOF LEVEL B
 3/16" = 1'-0"

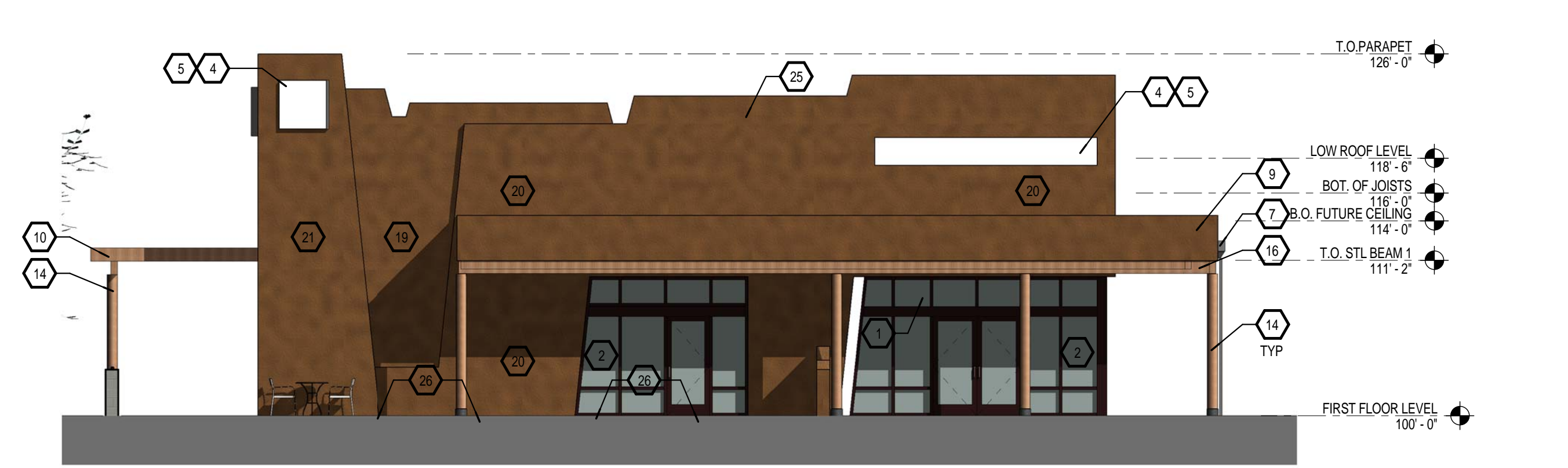
11/9/2016 6:12:58 PM



E1 BUILDING B - WEST ELEVATION
1/8" = 1'-0"



D1 BUILDING B - EAST ELEVATION
1/8" = 1'-0"



D3 BUILDING B - SOUTH ELEVATION
1/8" = 1'-0"

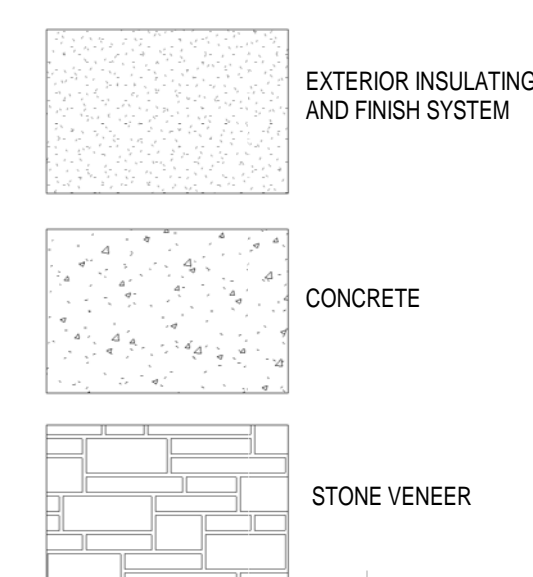
GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING
- B. GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES

KEYED NOTES

1. ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE A MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUSH STROKE WIDTH OF 2 INCHES.
2. STOREFRONT GLAZING SYSTEM
3. BACK OF HOUSE EMPLOYEE ACCESS
4. FUTURE SIGNAGE LOCATION - SEPARATE PERMIT REQUIRED
5. PROVIDE ELECTRICAL AT WALL
6. YARD WALL AND GATE BEYOND
7. PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL C3/A-621
8. METER LOCATION - EXPOSED LINES PAINT TO MATCH EIFS COLOR COAT
9. PORTAL
10. TRELIS SHADE STRUCTURE
11. FIREPLACE
12. STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL - SEE SITE PLAN
13. EXIT ACCESS GATE ONLY WITH PANIC HARDWARE
14. 10" DIAMETER WOOD COLUMN
15. BRASS COW TONGUE AT WALL - ROOF DRAIN AND OVERFLOW
16. WOOD BEAM - SEE STRUCTURAL
17. NATURAL STONE VENEER AT WOOD BURNING FIRE PLACE
18. CONCRETE CAP
19. TYPICAL 2X8 STUD WALL - PER STRUCTURAL
20. 2X8 STUD WALL WITH 2X8 WOOD FURRING - SEE PLANS, SECTIONS AND STRUCTURAL DRAWINGS
21. 2X8 STUD WALL WITH 2X FURRING (10" DEEP)
22. WALL BEYOND
23. ENTRY ARCH - SEE D5 / AS-106
24. ROOF DRAIN AND OVERFLOW
25. PAINTED METAL COPING
26. CONCRETE MOW STRIP
27. OPTIONAL MONUMENT SIGNAGE - SEE C6/AS-106
28. BIKE RACK - SEE B6/AS-105
29. 5X5 MAXIMUM SIGNAGE - LOGO
30. 2" TALL LETTERS MAX 49 SF

LEGEND



BUILDING B - DESIGN GUIDELINES + CALCULATIONS

GLAZING (regions hidden)

West facade	= 645 sf
East facade	= 366 sf
South facade	= 299 sf
North facade	= 330 sf

SIGNAGE AREAS

Total west facade	= 2(25)+2(48) = 146 sf
Total east facade	= 2(25)+2(48) = 146 sf
Total south facade	= 32+12+12 = 65 sf
Total north facade	= 21+32 = 53 sf

FACADE AREAS (regions hidden)

Total west facade	= 2478 sq
Total east facade	= 2410 sq
Total south facade	= 1451 sq
Total north facade	= 1511 sq

FACADE AREAS / SIGNAGE RATIOS

Total west signage / facade	= 146 / 2478 = 6%
Total east signage / facade	= 146 / 2478 = 6%
Total south signage / facade	= 73 / 1451 = 5%
Total north signage / facade	= 73 / 1451 = 5%

C3 BUILDING B - NORTH ELEVATION
1/8" = 1'-0"



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CONSULTANTS

Architect

Engineer

**DRB
SUBMITTAL**

AIS PAD 1 - BUILDING B
SHELL CONSTRUCTION

2300 12TH STREET
BUILDING B
ALBUQUERQUE NM 87104

No	Date	Description
Revision Schedule		

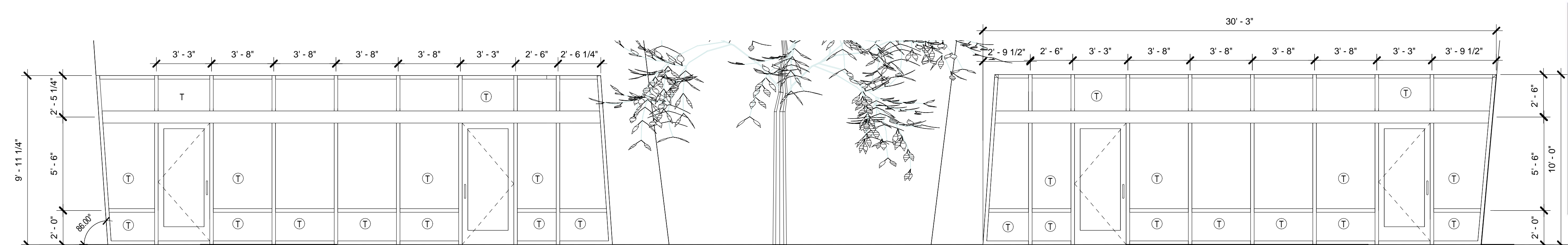
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DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	01/18/16

SHEET TITLE
**BUILDING B -
ELEVATIONS**

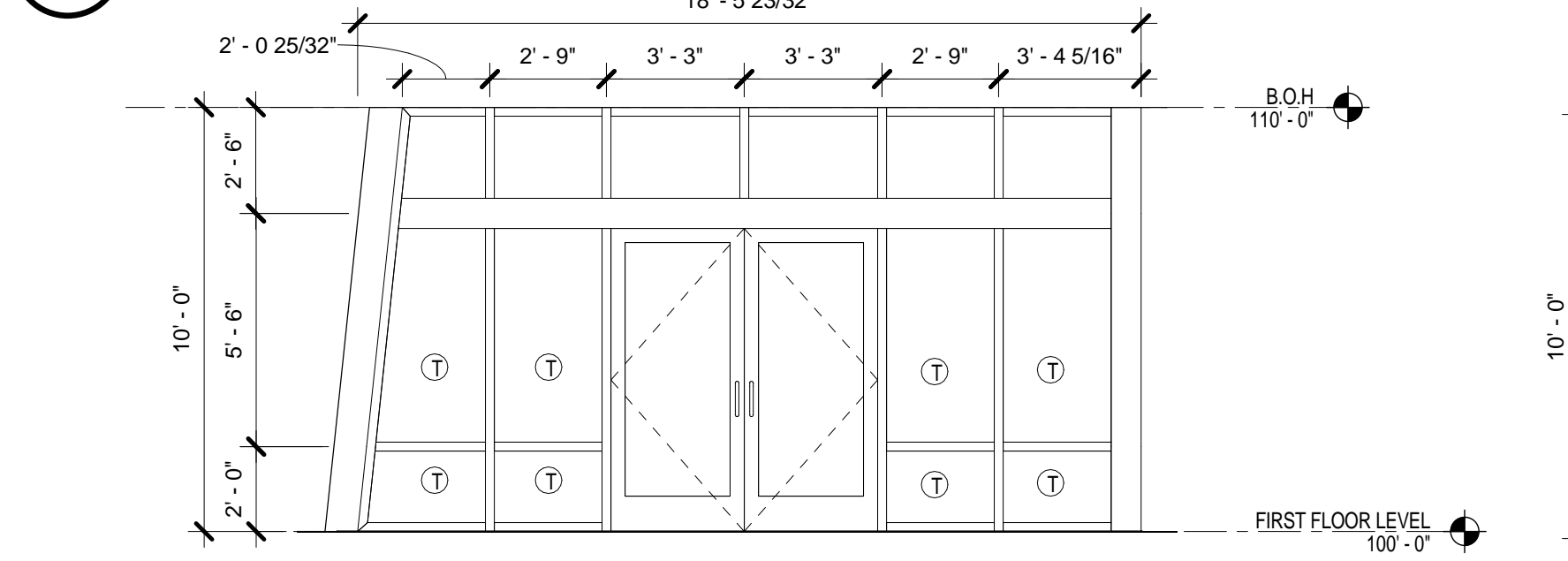
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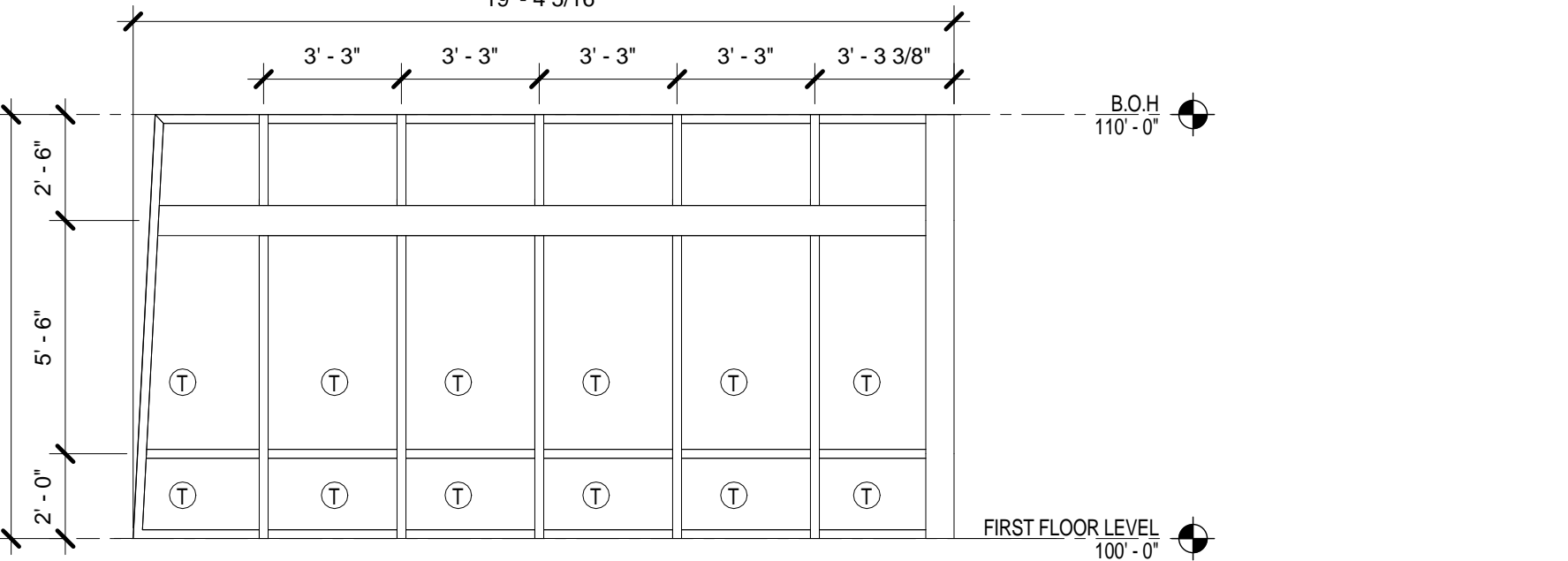
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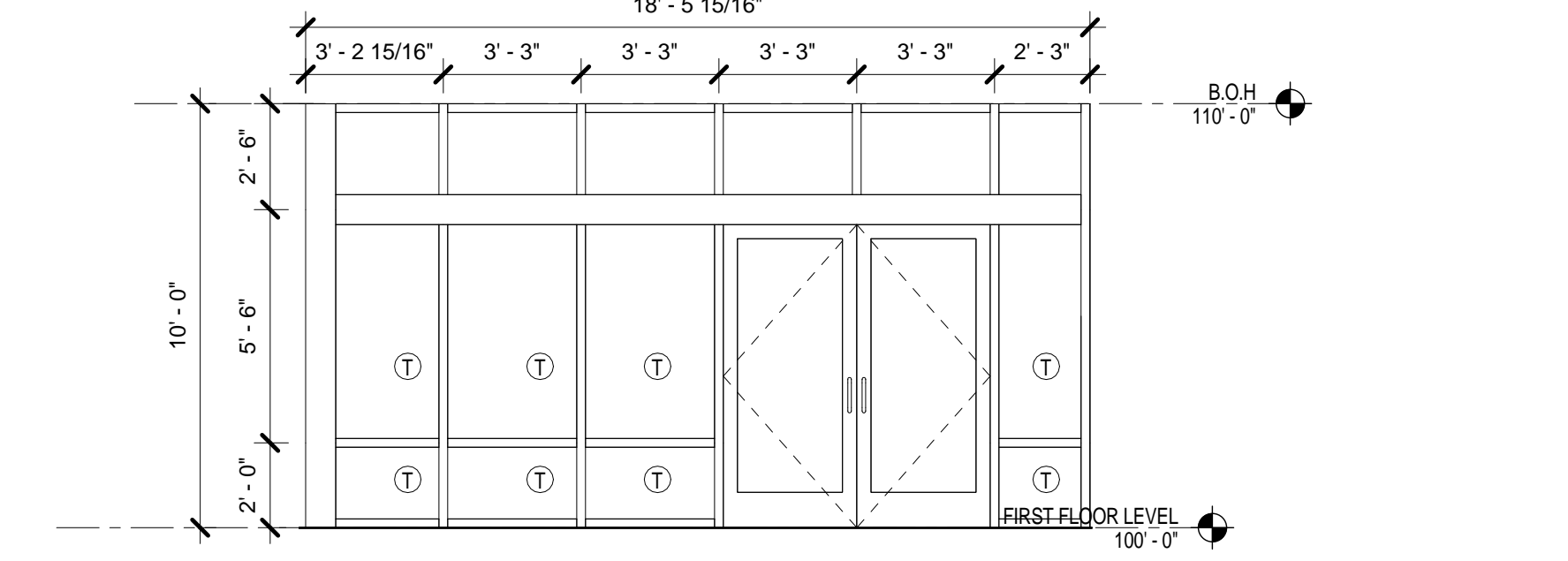
13 STOREFRONT ELEVATION - WEST SIDE CENTRAL



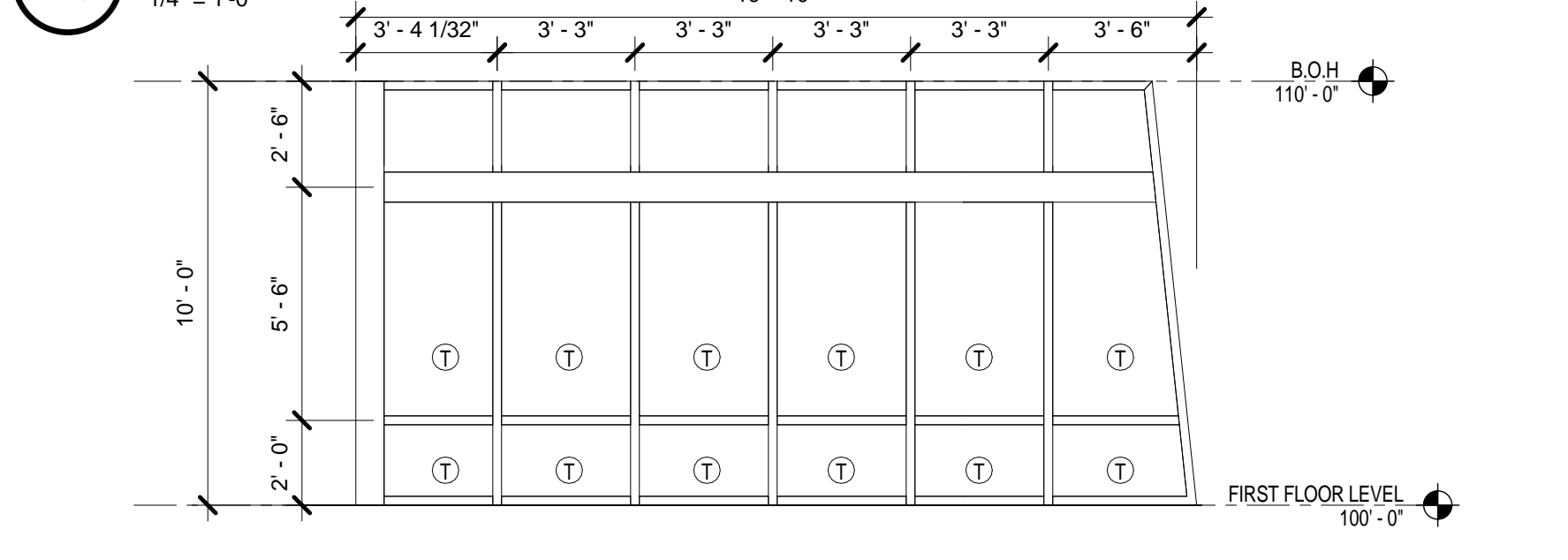
10 STOREFRONT ELEVATION-SOUTH SIDE EAST END



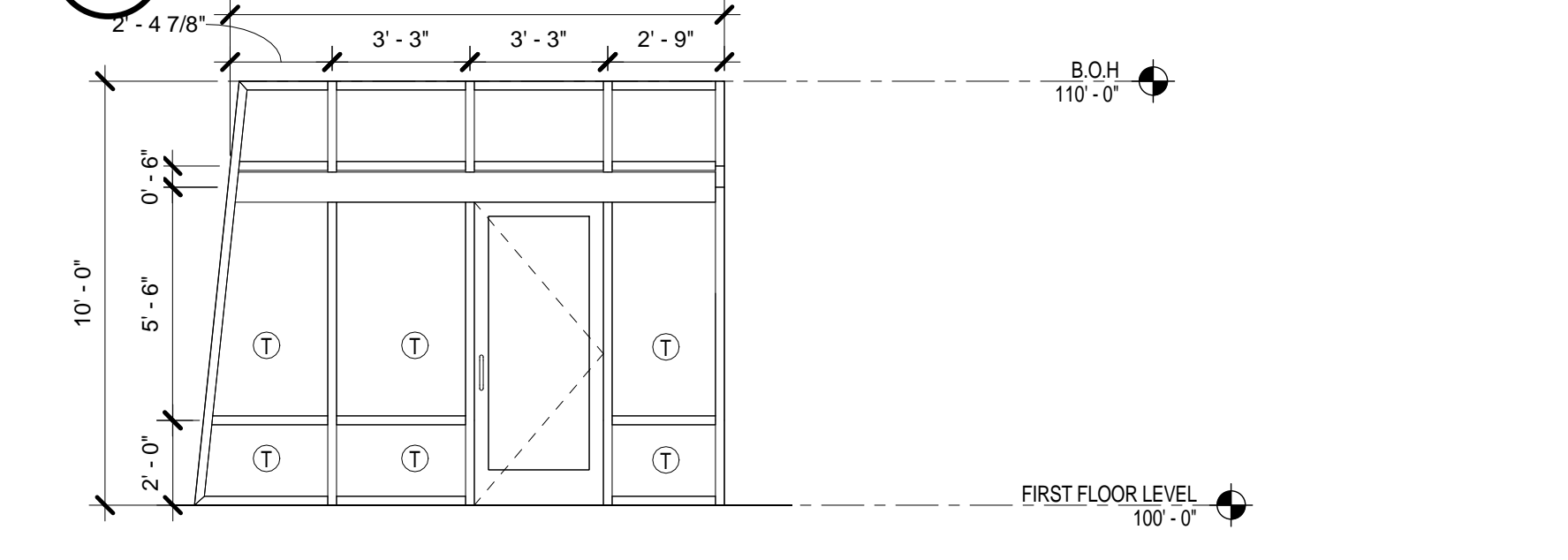
7 STOREFRONT ELEVATION - EAST SIDE NORTH END



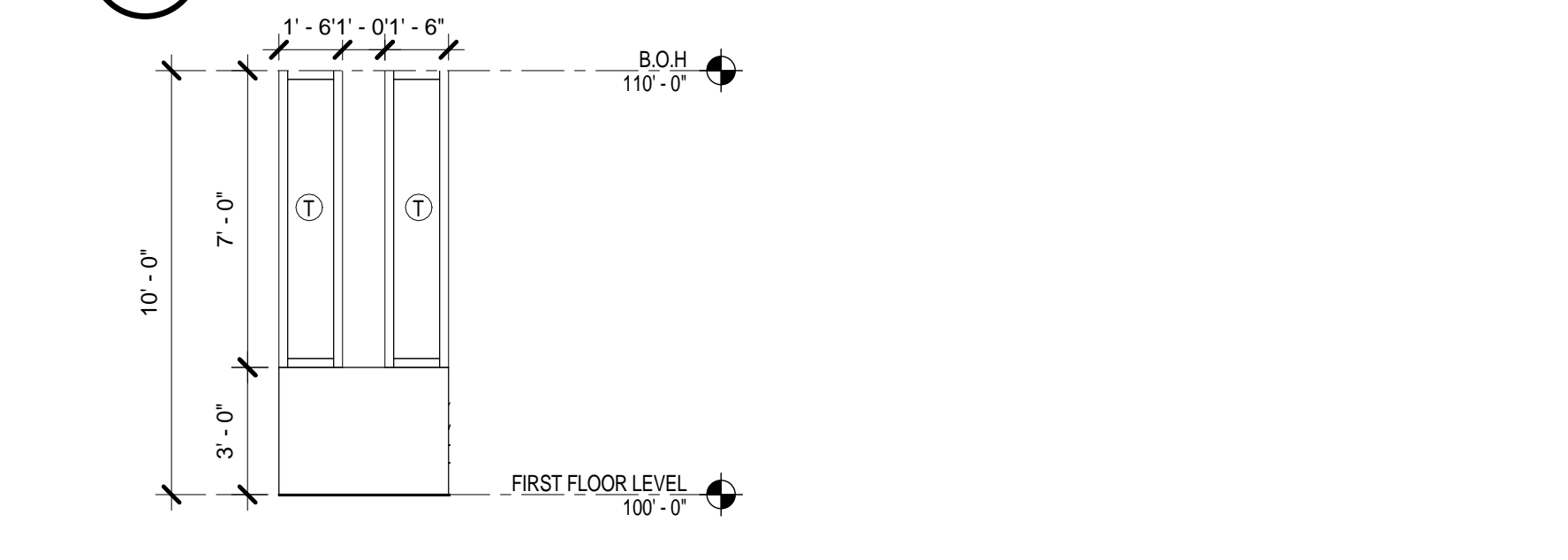
17 STOREFRONT ELEVATION - NORTH SIDE EAST END



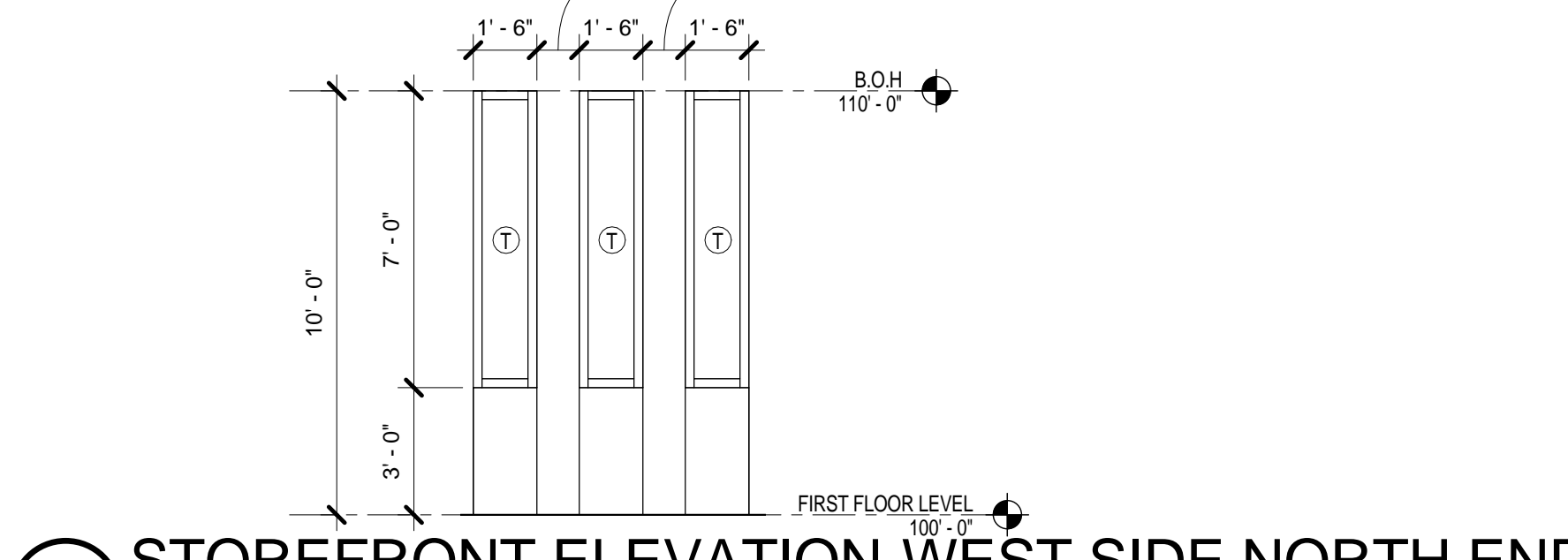
8 STOREFRONT ELEVATION-EAST SIDE SOUTH END



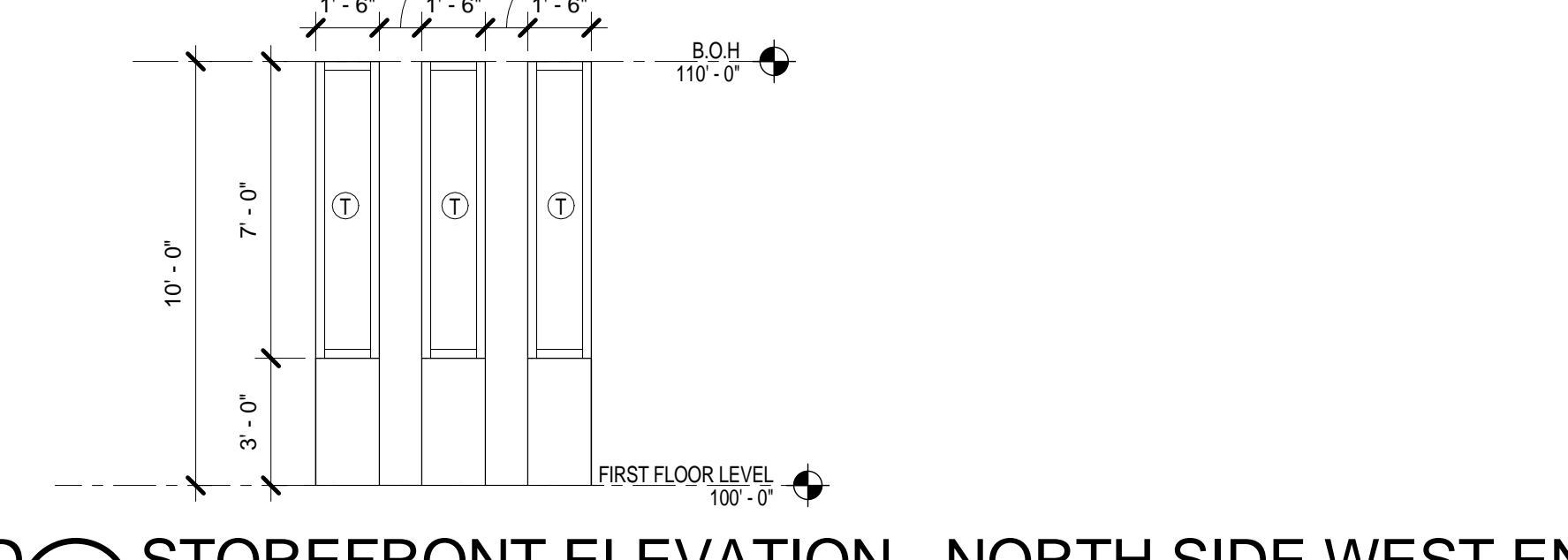
11 STOREFRONT ELEVATION - SOUTH CENTRAL



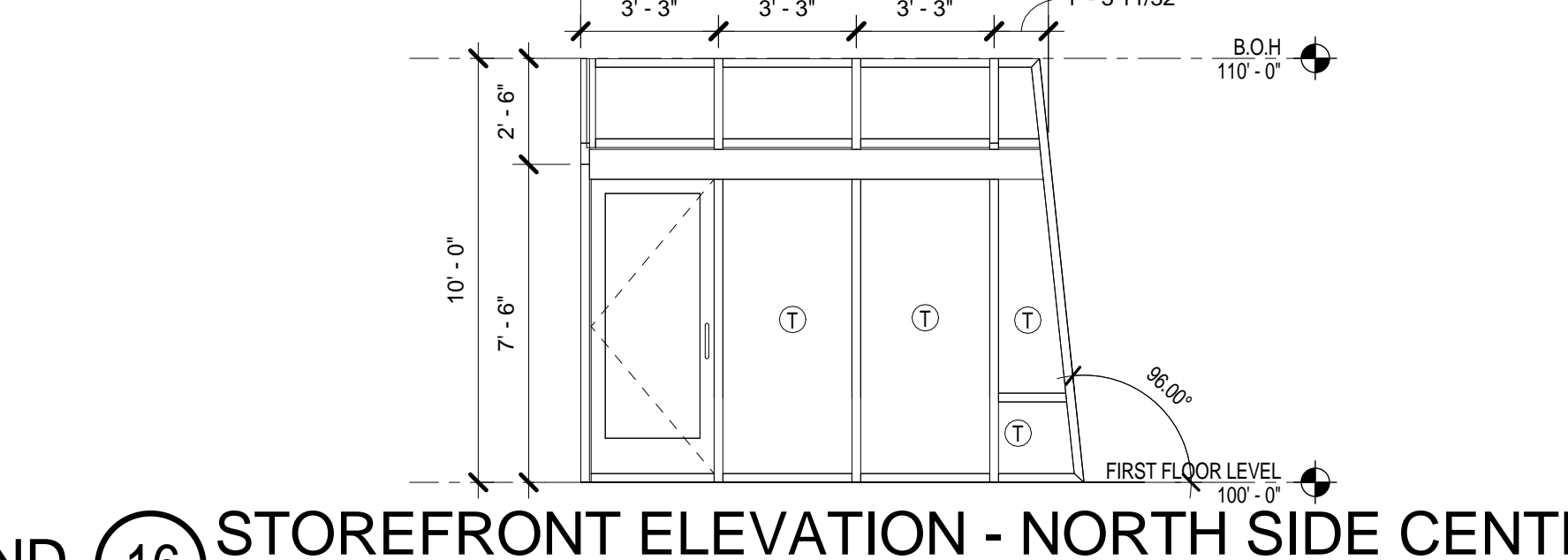
12 STOREFRONT ELEVATION - WEST SIDE SOUTH END



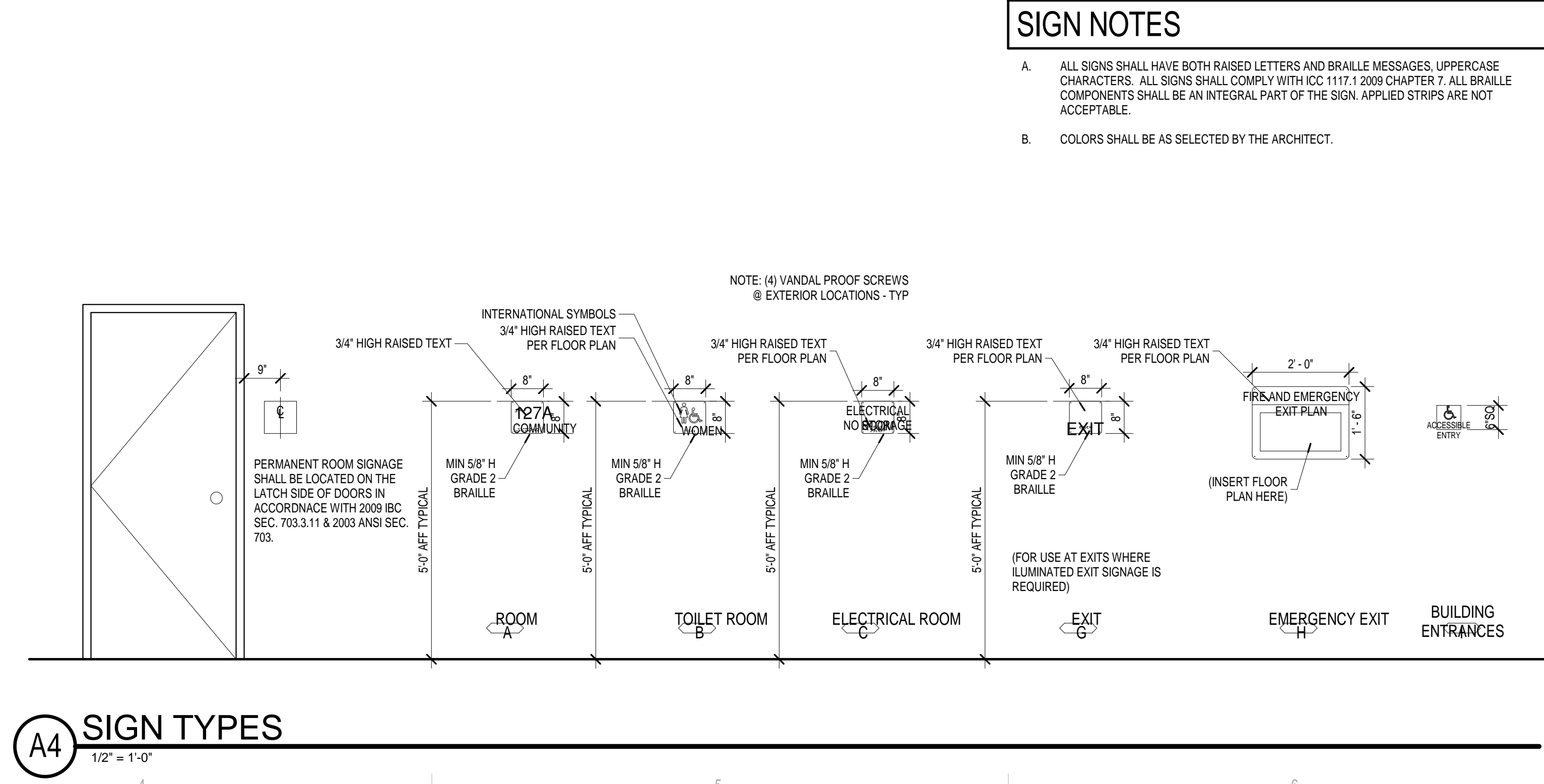
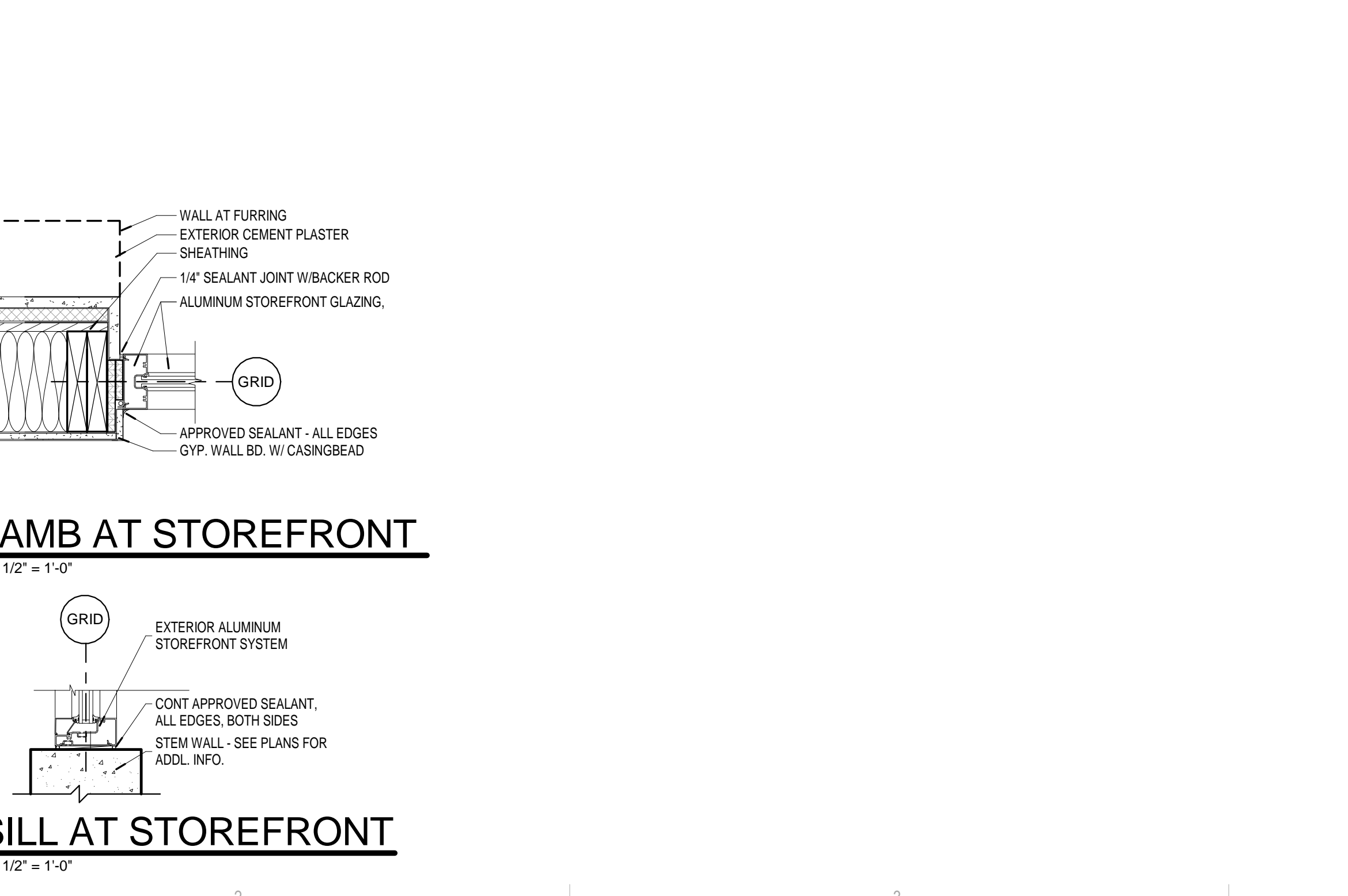
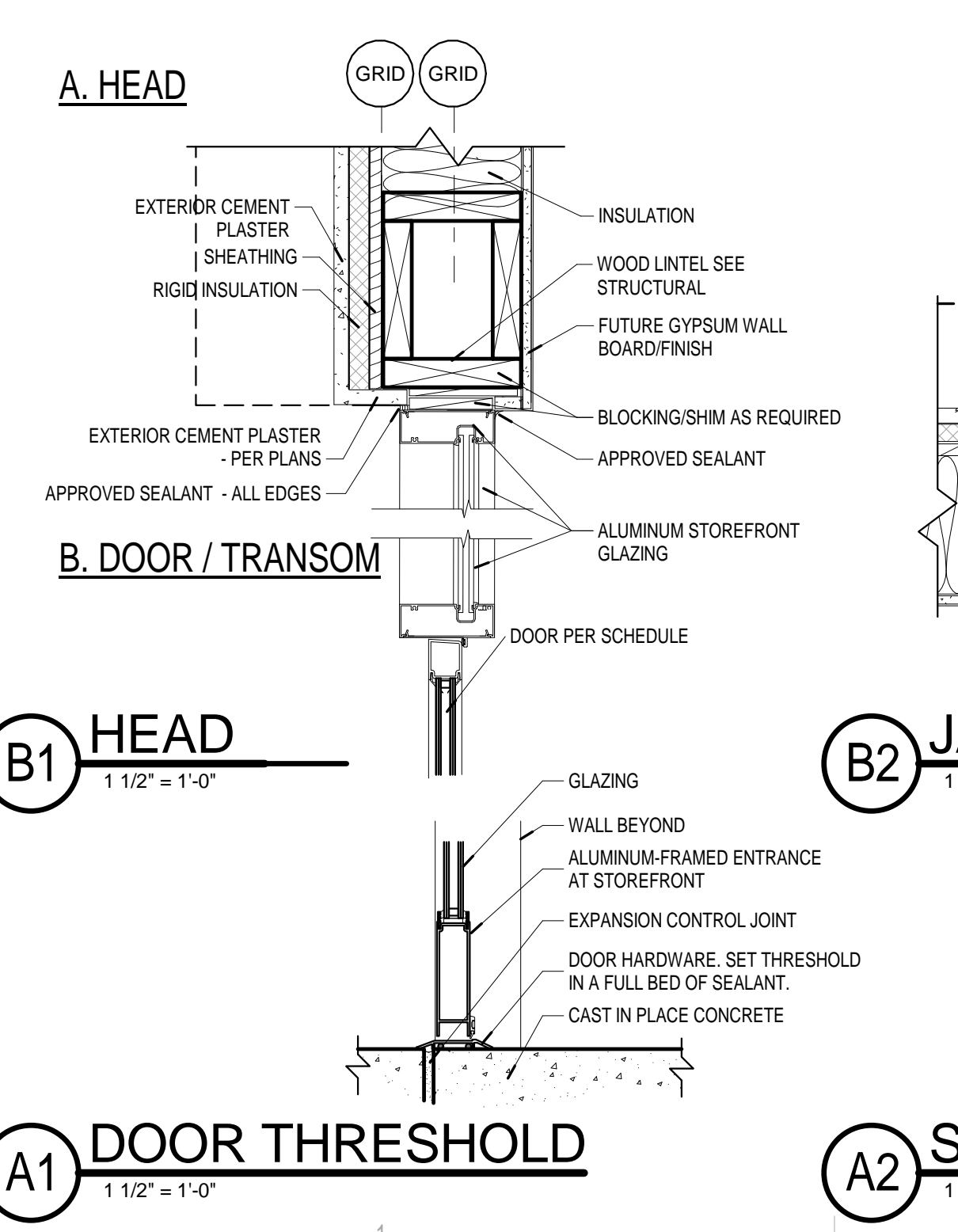
14 STOREFRONT ELEVATION-WEST SIDE NORTH END



15 STOREFRONT ELEVATION - NORTH SIDE WEST END



16 STOREFRONT ELEVATION - NORTH SIDE CENTER



GENERAL NOTES

- A. ALL INTERIOR GLAZING TO BE SINGLE PANE GLAZING, UNLESS NOTED OTHERWISE.
- B. FIELD VERIFY ALL ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION.
- C. COORDINATE CRITICAL DIMENSIONS WITH MANUFACTURER.

LEGEND - SCHEDULE

ALUM	ALUMINUM
ANOD	ANODIZED
CCF	CLEAR COAT FINISH
HxM	HOLLOW METAL
PT	PAINT
STL	STEEL
SS	STAINLESS STEEL
LWD	WOOD
Hvy	DEFENTION HOLLOW METAL

LEGEND - GLAZING TYPES

①	INSULATED GLAZING
②	TEMPERED GLAZING
③	INSULATED TEMPERED GLAZING
④	INSULATED SPANDREL GLASS
⑤	STOREFRONT

BUILDING ENVELOPE REQUIREMENT/FENESTRATION

METAL FRAME WITH OR WITHOUT THERMAL BREAK	
CURTAIN WALL STOREFRONT U-FACTOR	0.85 0.50
ENTRANCE DOOR U-FACTOR	0.55
ALL OTHER U-FACTOR	

SIGN NOTES

- A. ALL SIGNS SHALL HAVE BOTH RAISED LETTERS AND BRAILLE MESSAGES, UPPERCASE CHARACTERS. ALL SIGNS SHALL COMPLY WITH ICC 117.1 2009 CHAPTER 7. ALL BRAILLE COMPONENTS SHALL BE AN INTEGRAL PART OF THE SIGN APPLIED STRIPS ARE NOT ACCEPTABLE.
- B. COLORS SHALL BE AS SELECTED BY THE ARCHITECT.

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AIS PAD 1 - BUILDING B
SHELL CONSTRUCTION

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DATE: 01/18/16

SHEET TITLE
STOREFRONT ELEVATIONS, DOOR SCHED., DOOR & FRAME TYPES, SIGN TYPES
A-601