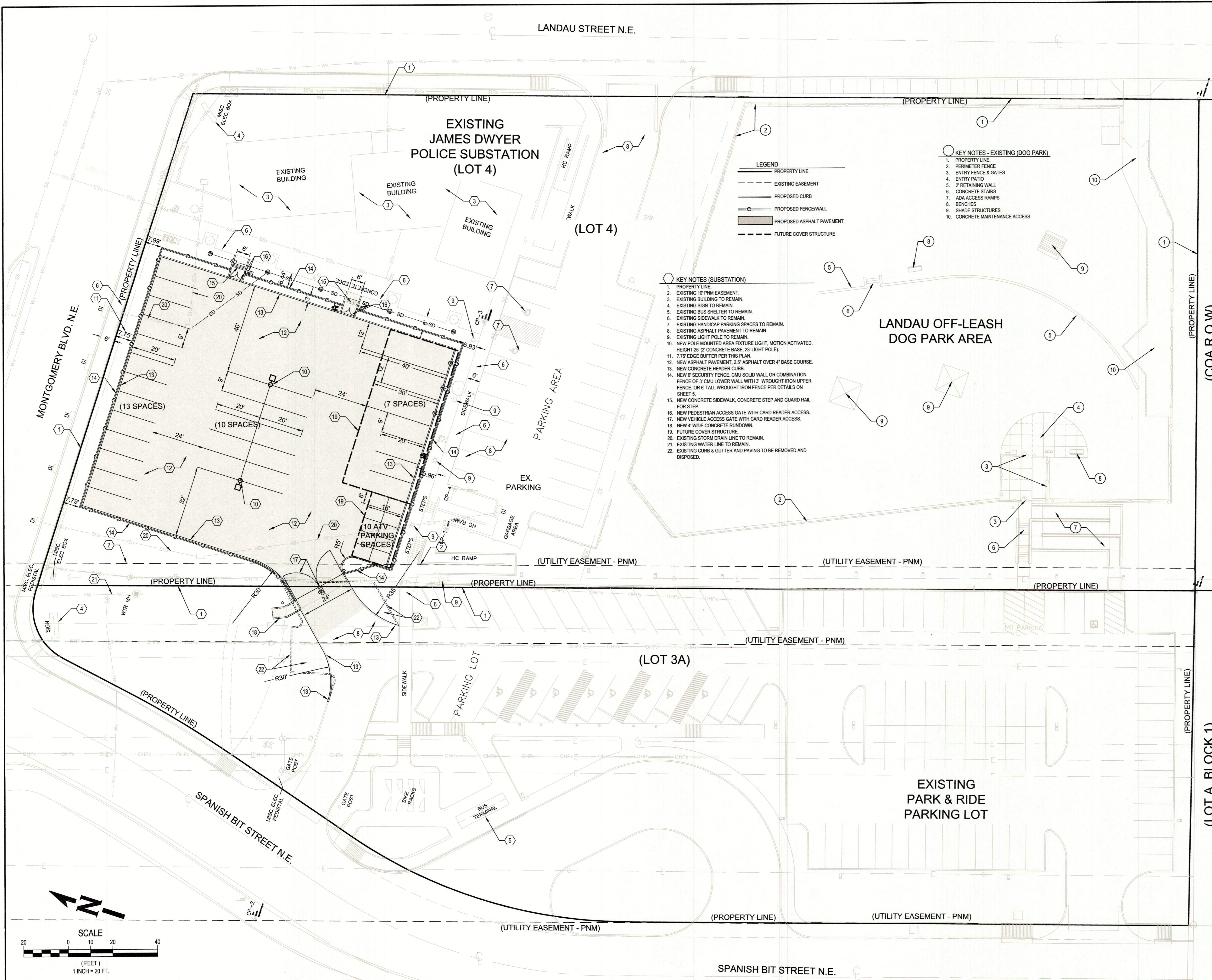
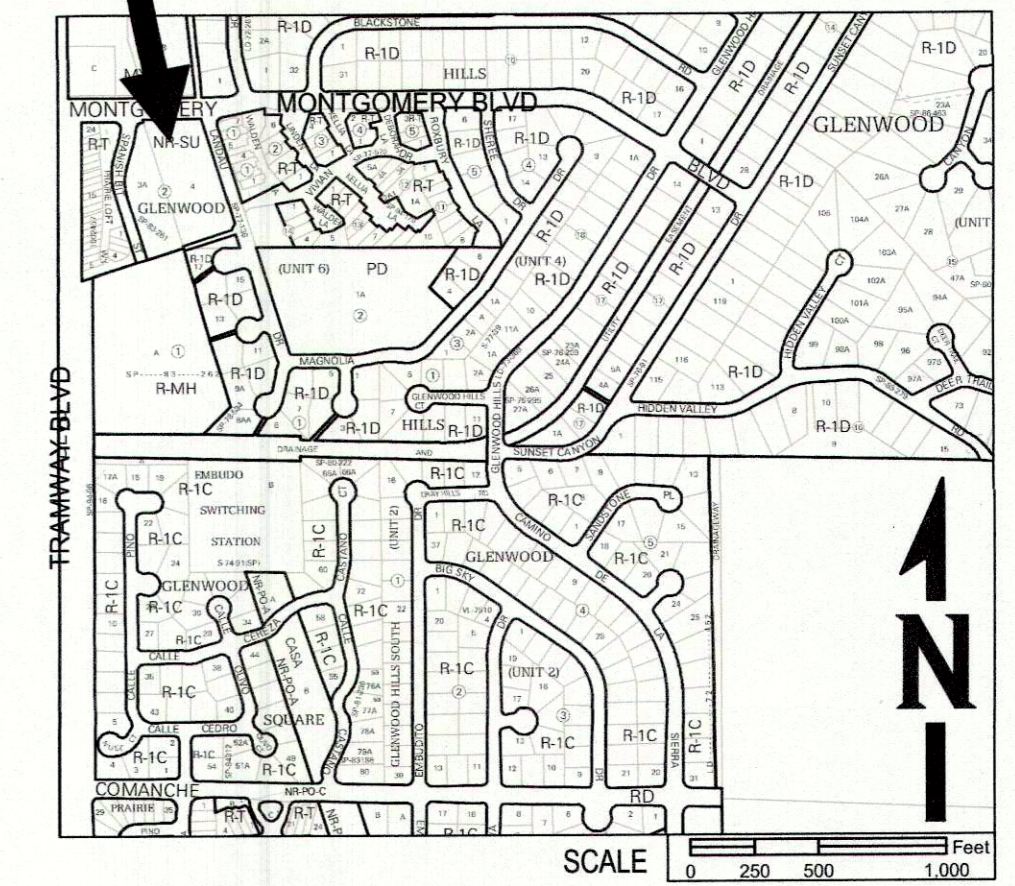


VICINITY MAP
PROJECT
LOCATION



- LEGEND**
- PROPERTY LINE
 - - - EXISTING EASEMENT
 - - - PROPOSED CURB
 - - - PROPOSED FENCEWALL
 - PROPOSED ASPHALT PAVEMENT
 - - - FUTURE COVER STRUCTURE

- KEY NOTES - EXISTING (DOG PARK)**
1. PROPERTY LINE
 2. PERIMETER FENCE
 3. ENTRY FENCE & GATES
 4. ENTRY PATIO
 5. 2' RETAINING WALL
 6. CONCRETE STAIRS
 7. ADA ACCESS RAMPS
 8. BENCHES
 9. SHADE STRUCTURES
 10. CONCRETE MAINTENANCE ACCESS

- KEY NOTES (SUBSTATION)**
1. PROPERTY LINE
 2. EXISTING 10' PNM EASEMENT
 3. EXISTING BUILDING TO REMAIN
 4. EXISTING SIGN TO REMAIN
 5. EXISTING BUS SHELTER TO REMAIN
 6. EXISTING SIDEWALK TO REMAIN
 7. EXISTING HANDICAP PARKING SPACES TO REMAIN
 8. EXISTING ASPHALT PAVEMENT TO REMAIN
 9. EXISTING LIGHT POLE TO REMAIN
 10. NEW POLE MOUNTED AREA FIXTURE LIGHT, MOTION ACTIVATED, HEIGHT 20' (2" CONCRETE BASE, 23' LIGHT POLE)
 11. 7.75' EDGE BUFFER PER THIS PLAN
 12. NEW ASPHALT PAVEMENT, 2.5' ASPHALT OVER 4" BASE COURSE
 13. NEW CONCRETE HEADER CURB
 14. NEW 6" SECURITY FENCE, CMU SOLID WALL OR COMBINATION FENCE, OR 3" CMU LOWER WALL WITH 3" WROUGHT IRON UPPER FENCE, OR 6" TALL WROUGHT IRON FENCE PER DETAILS ON SHEET 5.
 15. NEW CONCRETE SIDEWALK, CONCRETE STEP AND GUARD RAIL FOR STEP
 16. NEW PEDESTRIAN ACCESS GATE WITH CARD READER ACCESS
 17. NEW VEHICLE ACCESS GATE WITH CARD READER ACCESS
 18. NEW 4" WIDE CONCRETE RUNDOWN
 19. FUTURE COVER STRUCTURE
 20. EXISTING STORM DRAIN LINE TO REMAIN
 21. EXISTING WATER LINE TO REMAIN
 22. EXISTING CURB & GUTTER AND PAVING TO BE REMOVED AND DISPOSED.

PROJECT NUMBER: 2018-001628(1000655)
APPLICATION NUMBER: SI-2018-00172

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN
FILE #: 31-2018-00172
PR-2018-001628
Consistent with approved Site Plan - EPC
APPROVED BY: [Signature] DATE: 30 Jan 2019

Site Development Plan Amendment for Police Substation, Transit Park and Ride & Dog Park

LEGAL DESCRIPTION: LOTS 3A AND 4, BLOCK 2 GLENWOOD HILLS UNIT 1, ON MONTGOMERY BETWEEN SPANISH BIT AND LANDAU DRIVE. ZONE ATLAS PAGE-G-23-Z, +/- 3.9 ACRES

EX. ZONING: NON-RESIDENTIAL, SPECIAL USE (NR-SU)
PROPOSED ZONING: (NR-SU) NO CHANGE

PROJECT DATA:

PARKING REQUIREMENTS

APD COMMUNITY SUBSTATION	Required	Provided
Required Parking: 4,700sf/200	23 spaces	23 spaces
Required Accessible Spaces:	2 spaces	2 spaces
Accessible Provided:	2 spaces	2 spaces
Required Van Accessible Spaces:	1 space	1 space
Van Accessible Provided:	1 space	1 space
Required Bicycle Spaces: 1 per 20 Parking Spaces = 2 spaces	2 spaces	2 spaces

ADDED SECURED NON-PUBLIC PARKING FOR APD COMMUNITY SUBSTATION

Required	Provided
Parking Provided:	30 spaces
ATV Parking Provided:	10 spaces
Park & Ride	4 spaces removed

PARKING REQUIREMENTS ALBUQUERQUE TRANSIT DEPARTMENT PARK AND RIDE & DOG PARK

Required	Provided
Parking Provided:	91 spaces
Required Accessible Spaces:	9 spaces
Accessible Provided:	9 spaces

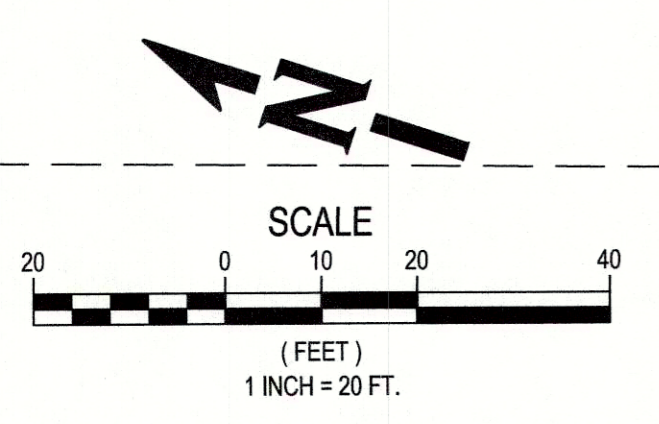
TOTAL PARKING PROVIDED:

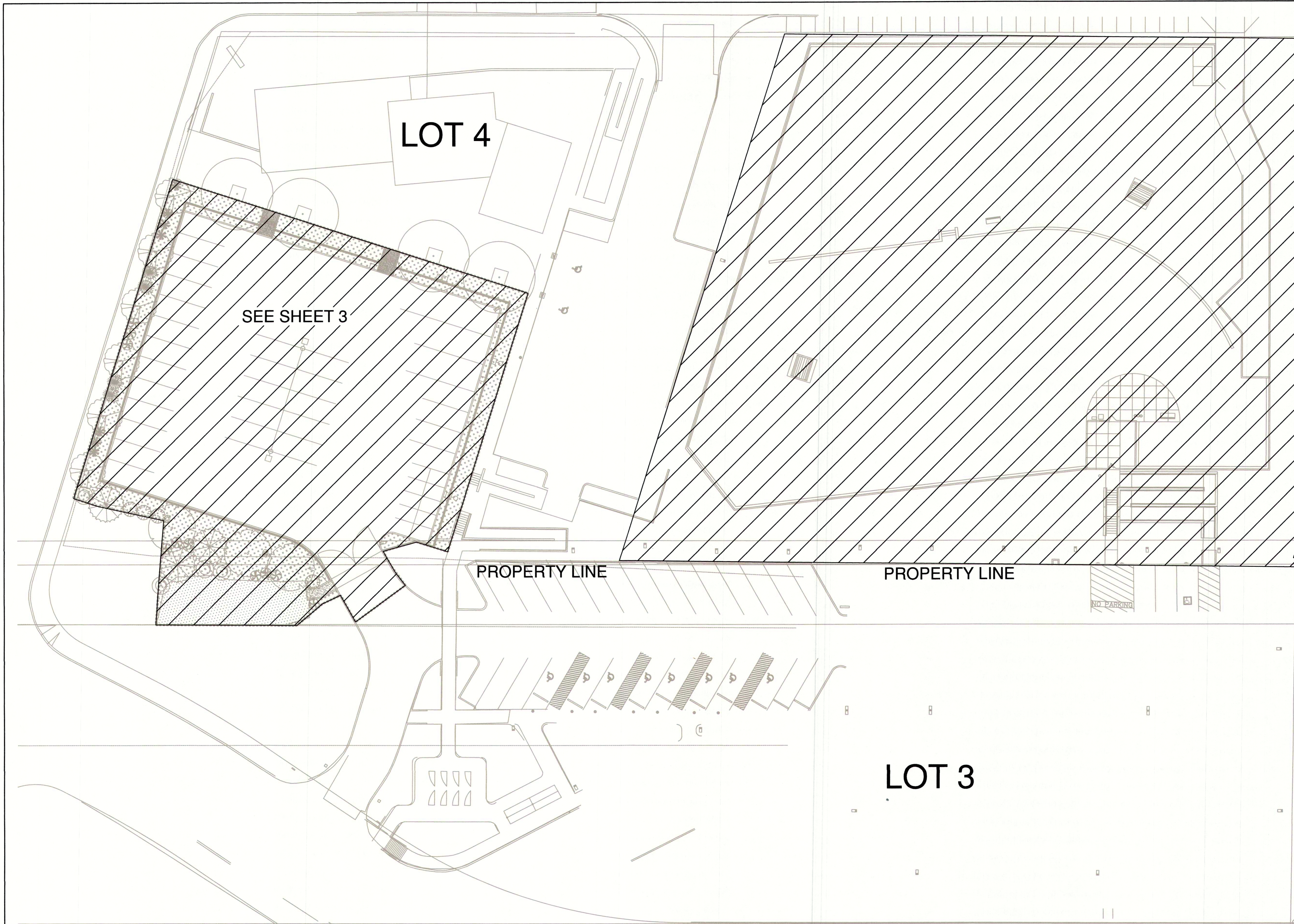
Existing:	110 spaces
Secure:	30 spaces
Revised Accessible Provided:	9 spaces
ATV Parking Provided:	10 spaces
Van Accessible:	1 space

TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION
SITE PLAN AMENDMENT

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LOT 4

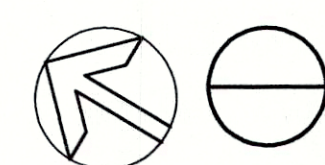
SEE SHEET 3

PROPERTY LINE

PROPERTY LINE

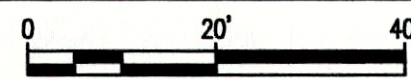
LOT 3

NO PARKING



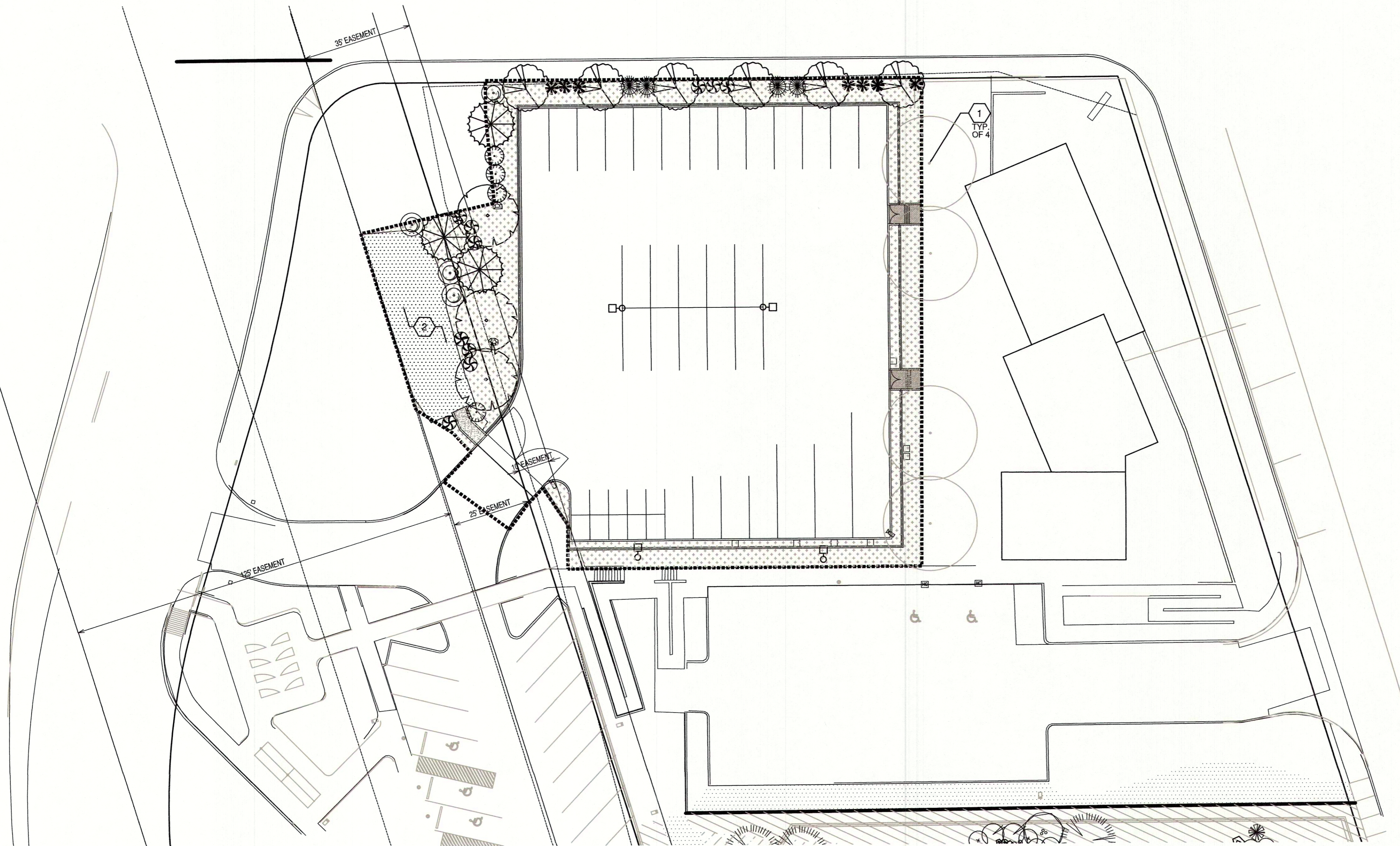
OVERALL CONCEPTUAL LANDSCAPE PLAN

1"=20'-0"



groundworkstudio
 MAIL: 6501 Americas Pkwy NE, Ste. 350 PHO: 505.212.9126
 Albuquerque, NM 87110 WEB: groundworkstudio.com

TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION OVERALL CONCEPTUAL LANDSCAPE PLAN		Mo./Day/Yr.	Mo./Day/Yr.
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City Project No. 6526.03	Zone Map No. G - 23 - Z	Sheet 2	



LANDSCAPE REQUIREMENT SUMMARY

IRRIGATION SYSTEM DESCRIPTION

THE PROPOSED LANDSCAPE SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM CONSTRUCTED IN A SINGLE PHASE PER C.O.A. STANDARDS.

MAINTENANCE RESPONSIBILITY

THE PROPOSED LANDSCAPE WILL BE MAINTAINED BY THE CITY OF ALBUQUERQUE.

REQUIRED LANDSCAPE PERCENTAGE

TOTAL LOT AREA: 173,560 SF
 EXISTING BUILDING SQUARE FOOTAGE: 4,700 SF
 NET LOT AREA: 168,860 SF
 TOTAL EXISTING LANDSCAPE AREA: 100,900 SF
 EXISTING LANDSCAPE PERCENTAGE OF NET LOT AREA: 60%
 PERCENTAGE OF NET LOT AREA REQUIRED: 15%
 PERCENTAGE OF NET LOT AREA PROVIDED AFTER PROPOSED PARKING AREA IS CONSTRUCTED: 50%
 TOTAL LANDSCAPE AREA WITHIN PROJECT LIMITS: 6418 SF
 PERCENTAGE OF CANOPY COVERAGE REQUIRED WITHIN PROJECT LIMITS: 75%
 PERCENTAGE OF CANOPY COVERAGE PROVIDED WITHIN PROJECT LIMITS: 65%
 PERCENTAGE OF CANOPY COVERAGE REQUIRED TO BE PROVIDED BY GROUND LEVEL PLANTS WITHIN PROJECT LIMITS: 25%
 PERCENTAGE OF CANOPY COVERAGE PROVIDED BY GROUND LEVEL PLANTS WITHIN PROJECT LIMITS: 10%

TURF

TURF AREA: 0 SF
 PERCENTAGE OF TOTAL LANDSCAPE AREA THAT IS TURF: 0%

LANDSCAPE BUFFER

LANDSCAPE BUFFER WIDTH REQUIRED ALONG MONTGOMERY BLVD.: 6'-0"
 LANDSCAPE BUFFER WIDTH PROVIDED ALONG MONTGOMERY BLVD.: 8'-0"
 LANDSCAPE BUFFER TREES REQUIRED: 6
 LANDSCAPE BUFFER TREES PROVIDED: 6
 LANDSCAPE BUFFER SHRUBS REQUIRED: 36
 LANDSCAPE BUFFER SHRUBS PROVIDED: 15
 SQUARE FOOTAGE OF BUFFER AREA: 1,073 SF
 PERCENTAGE OF TOTAL LANDSCAPE AREA WITHIN PROJECT LIMITS: 10%

STREET TREES

LENGTH OF STREET FRONTAGE ALONG MONTGOMERY BLVD: 139 LF
 STREET TREES REQUIRED ALONG MONTGOMERY BLVD AT 25' O.C.: 6
 STREET TREES PROVIDED ALONG MONTGOMERY BLVD: 6

PARKING LOT INTERIOR

NUMBER OF SPACES: 30
 PERCENTAGE OF LANDSCAPE REQUIRED: 10%
 AREA OF PARKING LOT: 16,472 SF
 LANDSCAPE AREA REQUIRED: 1,647 SF
 LANDSCAPE AREA PROVIDED: 5,263 SF
 NUMBER OF PARKING SPACES: 30
 TREES REQUIRED: 3
 TREES PROVIDED: 15

PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	MIN. INSTALLED SIZE	CONTAINER	MATURE SIZE
TREES						
	PINON PINE	PINUS EDULIS	3	MIN 4' HT	B&B	15' HT & SPD
	CHASTE TREE	VITEX AGNIUS-CASTUS	3	2" CAL, 12'-14' HT	B&B	20' HT & SPD
	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	6	MIN 2" CAL	B&B	15' HT & SPD
SHRUBS						
	CHAMISA	CHRYSOTHAMNUS NAUSEOSUS	4	MIN 18" HT	5-GAL	4' HT & SPD
	CURL LEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	4	MIN 36" HT	15-GAL	8' HT & SPD
	RED YUCCA	HESPERALOE PARVIFLORA	7	MIN 12" SPD	5-GAL	3' HT X 4' SPD
	BLUE MIST SPIREA	CARYOPTERIS CLANDONENSIS	10	MIN 18" HT	5-GAL	5' HT X 5' SPD
	BEAR GRASS	NOLINA MICROCARPA	4	MIN 18" HT.	5-GAL	30" HT X 3' SPD
	LANDSCAPE BOULDERS		2			

CONCEPT PLAN

THE PROPOSED CONCEPTUAL LANDSCAPE PLAN ADDRESSES THE AREA AFFECTED BY THE PROPOSED LIMITS OF CONSTRUCTION.

THE PLAN IS DIAGRAMMATIC AND ILLUSTRATES A CONCEPT THAT ADDRESSES SITE DESIGN ISSUES AND COMPLIES WITH CITY OF ALBUQUERQUE LANDSCAPE ORDINANCES. STREET TREES ALONG MONTGOMERY BLVD. TO BE COMPLIANT WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE, YET MINIMIZE ENCROACHMENT INTO THE OVERHEAD ELECTRIC FACILITIES.

THE LANDSCAPE PLAN IS INTENDED TO SCREEN THE PROPOSED SECURITY WALLS AND FENCES, AND TO MIRROR THE ADJACENT LANDSCAPE ON MONTGOMERY BLVD.

PLANTING MATERIAL SHOWN WITHIN PNM RIGHT OF WAY IS SUBJECT TO PNM APPROVAL.

FOR CONCEPTUAL GRADING AND DRAINAGE PLAN, SEE SHEET 5 OF 9.

GENERAL NOTES

- A. TREES SHALL BE PLANTED PER C.O.A. STANDARD DRAWING NUMBERS 2714, 2715, 2716.
- B. SHRUBS SHALL BE PLANTED PER C.O.A. STANDARD DRAWING NUMBER 2717.

KEYED NOTES

- 1. EXISTING TREE TO REMAIN.
- 2. PONDING AREA. SEE GRADING PLAN.

NATURE OF GROUND COVER MATERIALS

- IMPERVIOUS AREAS
- PERVIOUS AREAS
- PONDING AREA. SEE GRADING PLAN.
- LIMITS OF DISTURBANCE

CONCEPTUAL LANDSCAPE PLAN
 1"=20'-0"

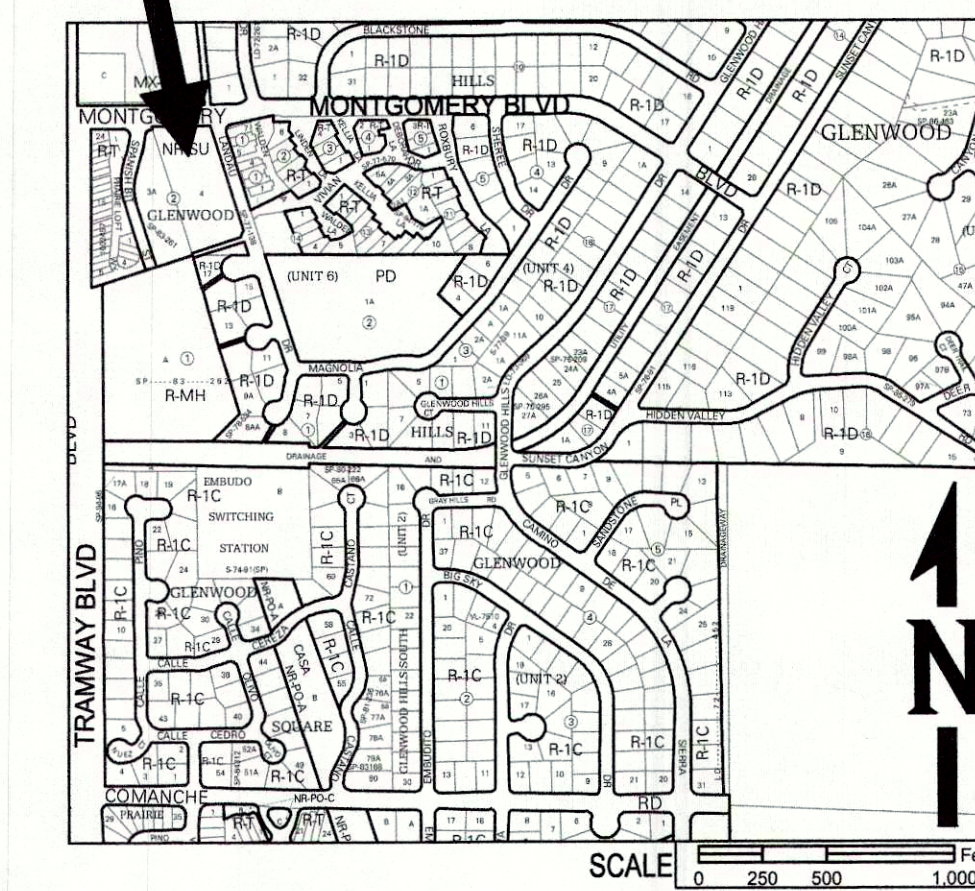
TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION
 CONCEPTUAL LANDSCAPE PLAN
 JAMES DWYER SUBSTATION PARKING

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City Project No. 6526.03 Zone Map No. G - 23 - Z Sheet 3

PROJECT LOCATION

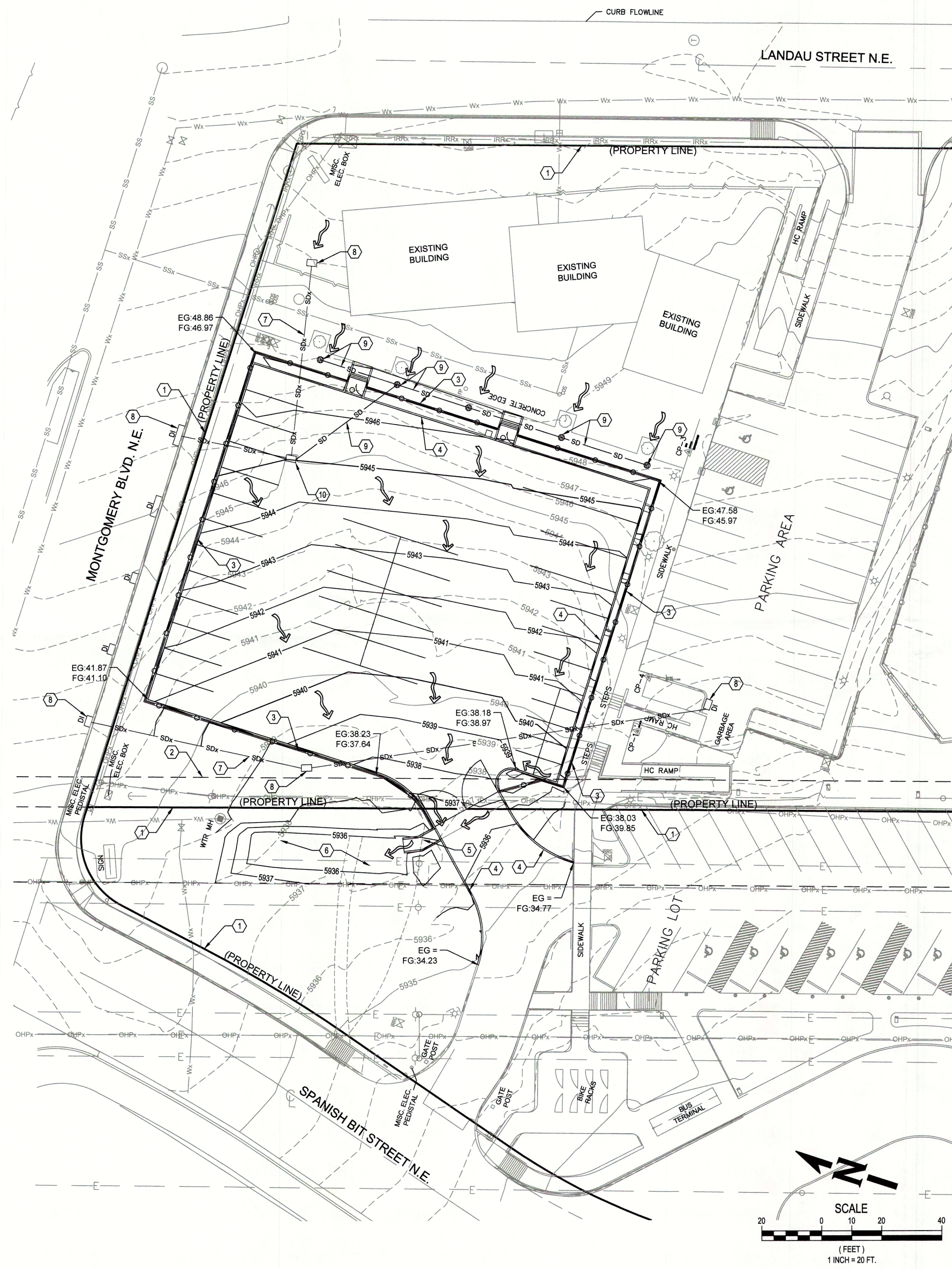


LEGEND

FIRM
FLOOD INSURANCE RATE MAP
BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS
PANEL 163 OF 825
DATE OF FIRM MAP
AUGUST 16, 2012

MAP NUMBER
35001C0163H
DATE OF MAP
AUGUST 16, 2012

PROJECT LOCATION



- KEY NOTES**
1. PROPERTY LINE.
 2. EXISTING 10' PNM EASEMENT.
 3. PROPOSED CMU & IRON FENCE / CMU RETAINING WALL.
 4. PROPOSED CONCRETE HEADER CURB.
 5. PROPOSED 4' CONCRETE RUNDOWN.
 6. PROPOSED DETENTION / RETENTION POND.
 7. EX. BASIN STORM DRAIN LINE TO REMAIN.
 8. EX. DROP INLET.
 9. PROPOSED STORM DRAIN.
 10. CONVERT EXISTING BASIN TO MANHOLE.

LEGAL DESCRIPTION
LOTS 3A AND 4, BLOCK 2, UNIT 1, GLENWOOD HILLS TOGETHER

DRAINAGE BASIN AREA
0.54 ACRE, 23,489.04 SF

FLOOD ZONE DESIGNATION
NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON PANEL 163 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C0163H DATED AUGUST 16, 2012.

DRAINAGE CRITERIA
CALCULATIONS FOR EXISTING PEAK DISCHARGE AND VOLUMETRIC RUNOFF WERE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 22, SECTION 2. HYDROLOGIST'S DRAINAGE CRITERIA FOR THE 100-YR, 6 HOUR DESIGN STORM.

HYDROLOGIC STUDY

EXISTING CONDITIONS
THE SITE IS PRESENTLY LANDSCAPED AREA ON THE WEST SIDE OF THE EXISTING JAMES DWYER POLICE SUBSTATION. THERE WAS AN OPEN PAVILION NEAR THE CENTER OF THE PARCEL, AND GRAVEL TRAILS TRAVERSED THE SITE. THE GROUND SURFACE CONTAINED A MODERATE GROWTH OF GRASS AND SHRUBS. IT IS BORDERED BY MONTGOMERY BLVD. TO THE NORTH, LANDAU DRIVE TO THE EAST AND SPANISH BIT DRIVE TO THE WEST. BOTH MONTGOMERY BLVD. AND SPANISH BIT DRIVE HAVE EXISTING STORM DRAIN SYSTEMS WITH INLETS ADJACENT TO THE PROPERTY.

SITE DRAINAGE
TRENDED TO THE WEST FROM EXISTING JAMES DWYER POLICE SUBSTATION BUILDING AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 8-15%. AN INLET LOCATED AT THE EAST END OF THE SITE ACCEPTS THE EXISTING FLOWS FROM THE POLICE SUBSTATION. ANOTHER INLET LOCATED AT THE WEST END OF THE SITE ACCEPTS THE FLOW WITHIN THE SITE. BOTH INLETS COLLECT FLOWS THEN CONVEYED TO EXISTING STORM DRAIN SYSTEM LOCATED AT MONTGOMERY BLVD. THE REST OF THE AREA SURFACE FLOW TO SPANISH BIT DRIVE.

PROPOSED CONDITIONS
THE PROPOSED SITE IMPROVEMENTS FOR THE SITE WILL CONSIST OF A NEW SECURE PAVED PARKING LOT FOR LAW ENFORCEMENT VEHICLES WITH CMU RETAINING WALL / IRON FENCE, PEDESTRIAN & VEHICLE ACCESS GATES AND ONSITE PARKING LIGHTS.

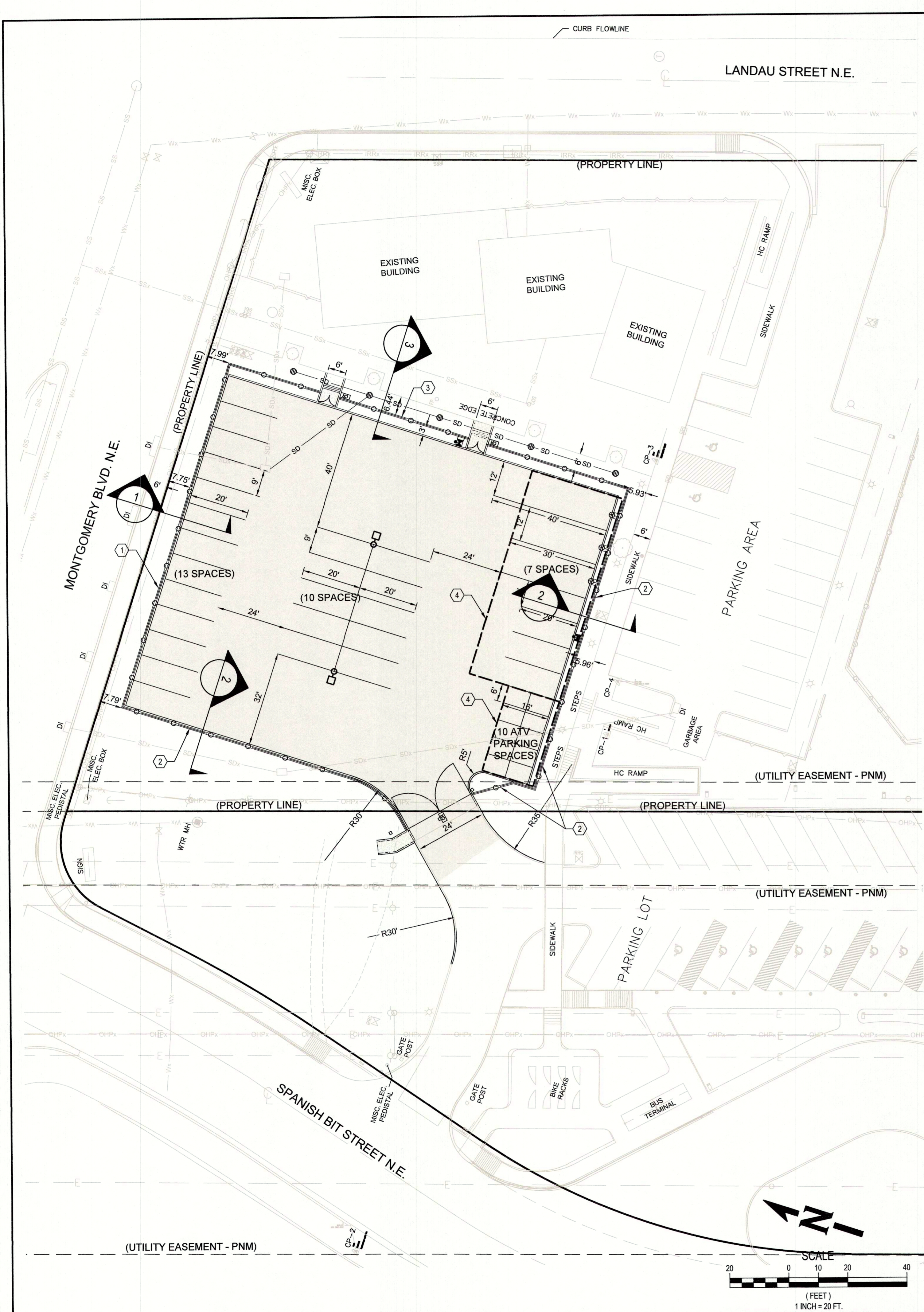
THE PROPOSED SITE WILL BE DIVIDED INTO TWO DRAINAGE BASINS, EXISTING BASIN & PROPOSED BASIN. EXISTING BASIN WILL CONSISTED AREAS OUTSIDE THE SECURED PARKING AREA. DRAINAGE FLOW WILL COLLECTED THROUGH EXISTING INLETS ONSITE THAT CONVEYED TO EXISTING STORM DRAIN SYSTEM LOCATED AT MONTGOMERY BLVD. AN PROPOSED STORM DRAIN WILL BE INSTALLED TO COLLECT RUNOFF FROM THE BUILDING AND DISCHARGE TO THE EXISTING OUTFALL. PROPOSED BASIN WILL CONSISTED AREAS WITHIN THE SECURED PARKING. ALL DRAINAGE FLOWS WILL SURFACE FLOW THROUGH PROPOSED CONCRETE RUNDOWN LOCATED AT THE FRONT PARKING ENTRANCE. A PROPOSED DETENTION / RETENTION POND WILL BE CONSTRUCTION AT THE DOWN STREAM OF THE CONCRETE RUNDOWN TO INTERCEPT THE 90 PERCENTILE RUNOFF & TO RETAIN THE DIFFERENCE OF THE HISTORIC RUNOFF FROM PRE-DEVELOPEMENT TO POST-DEVELOPMENT.

TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION
CONCEPT GRADING & DRAINAGE PLAN

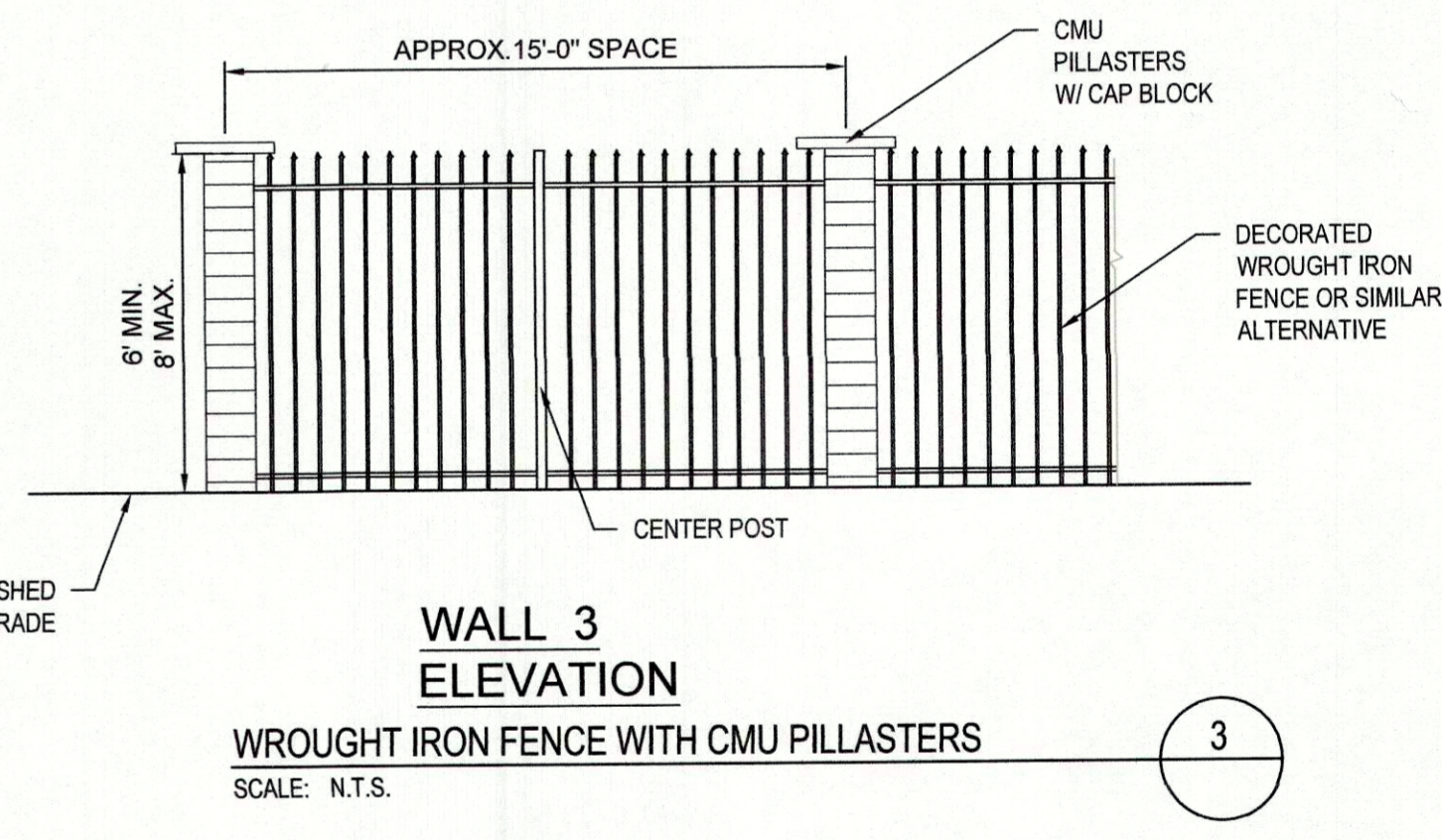
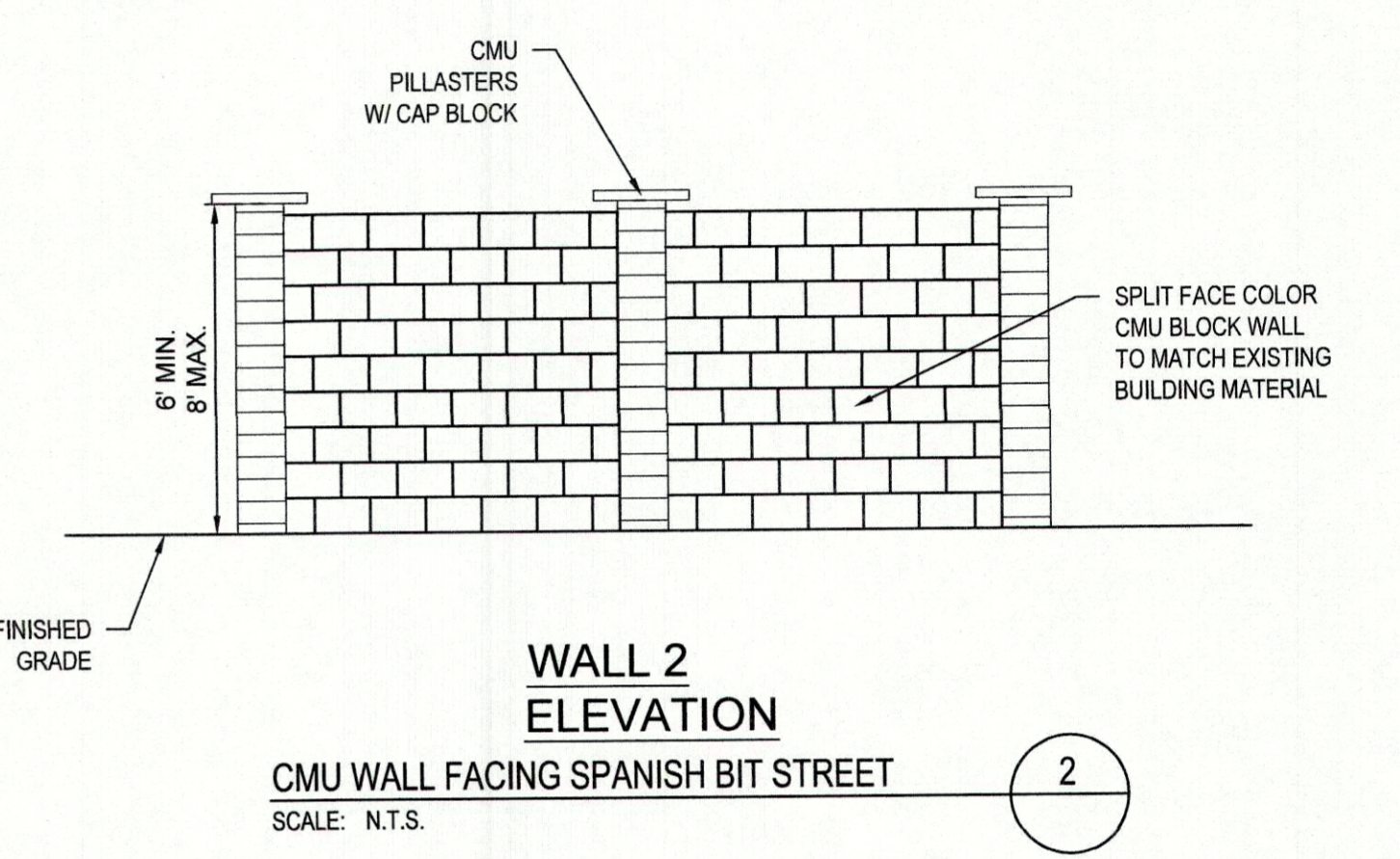
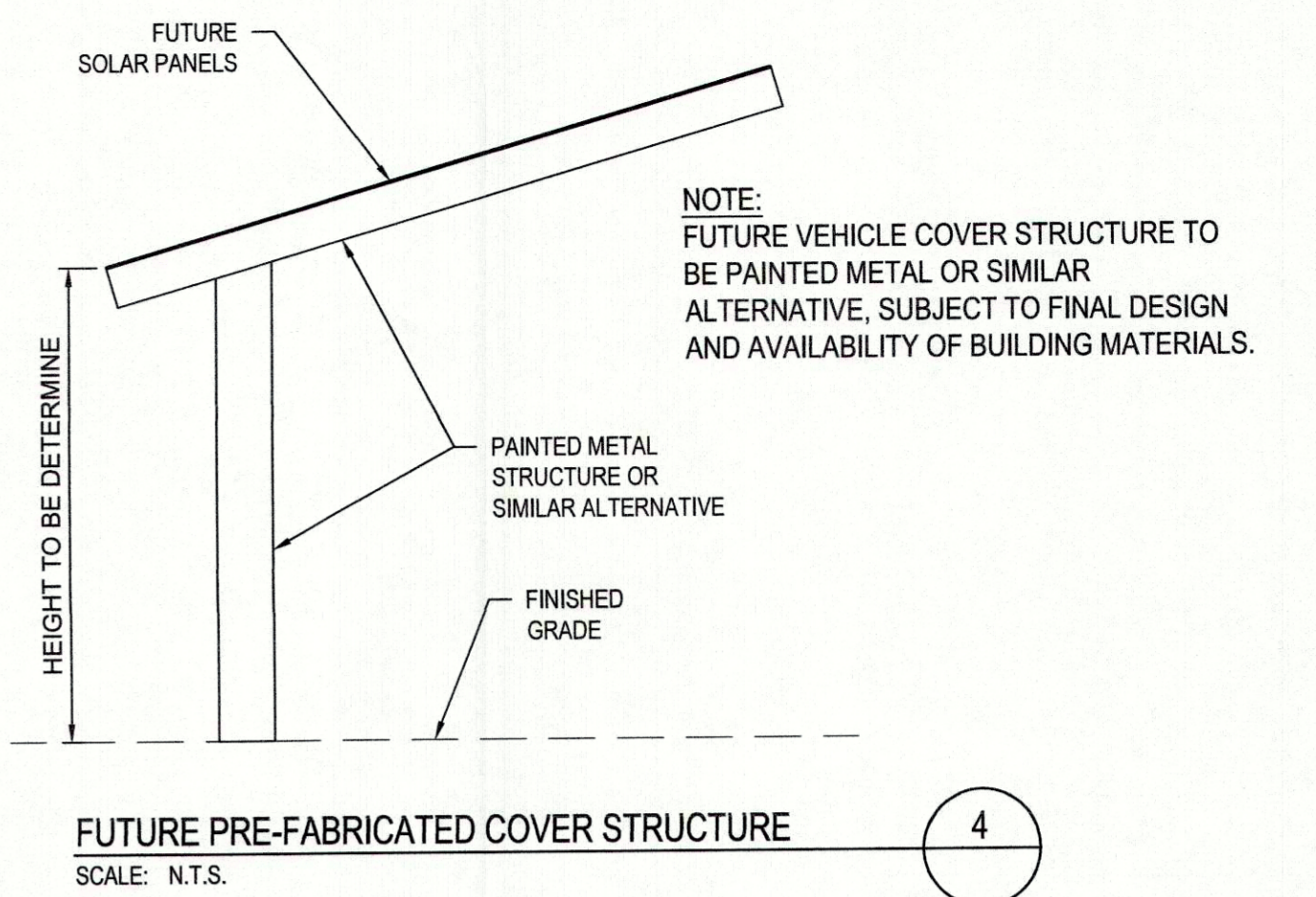
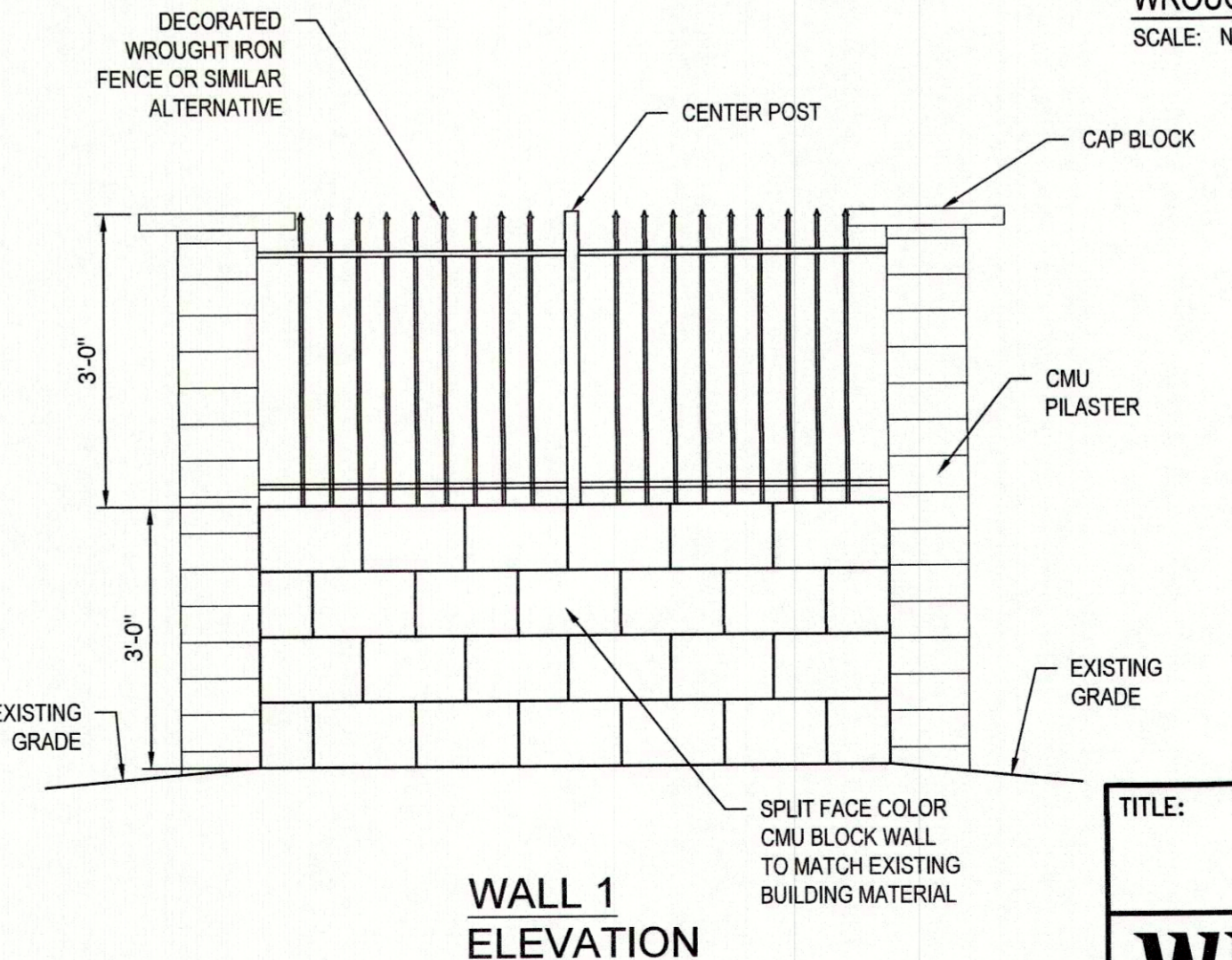
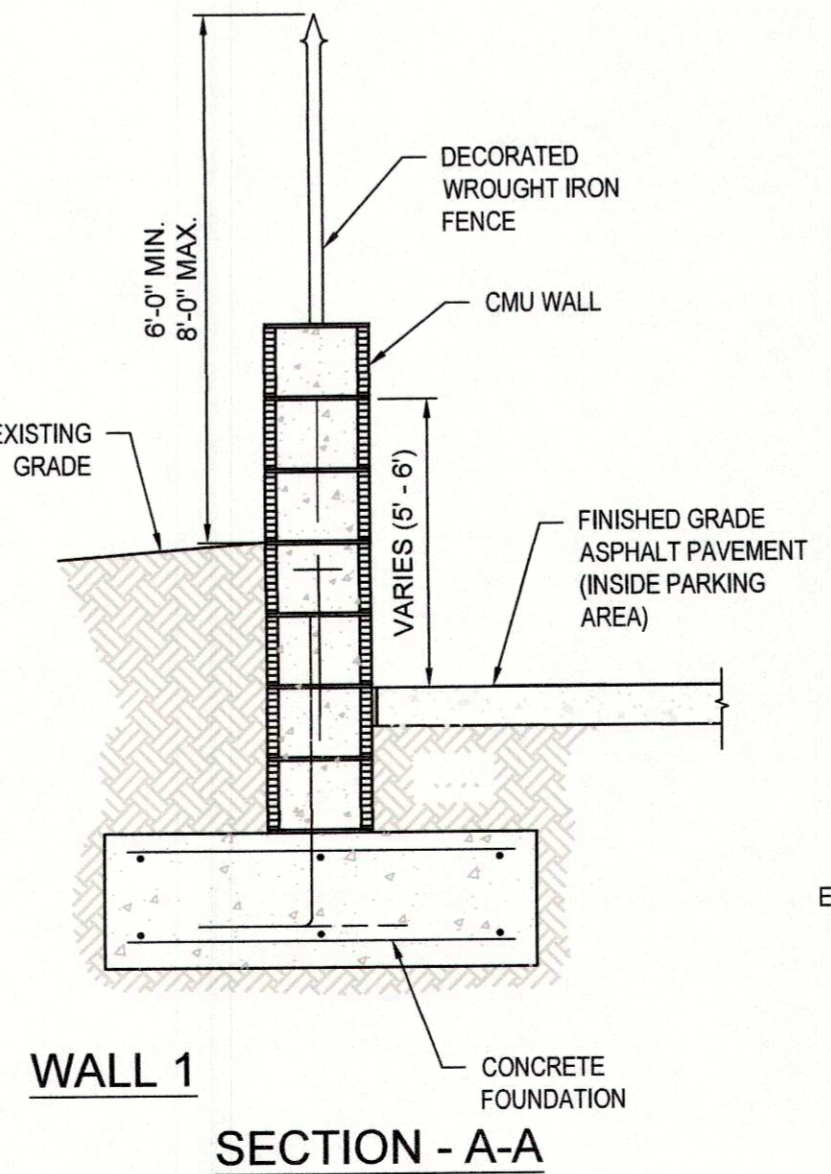
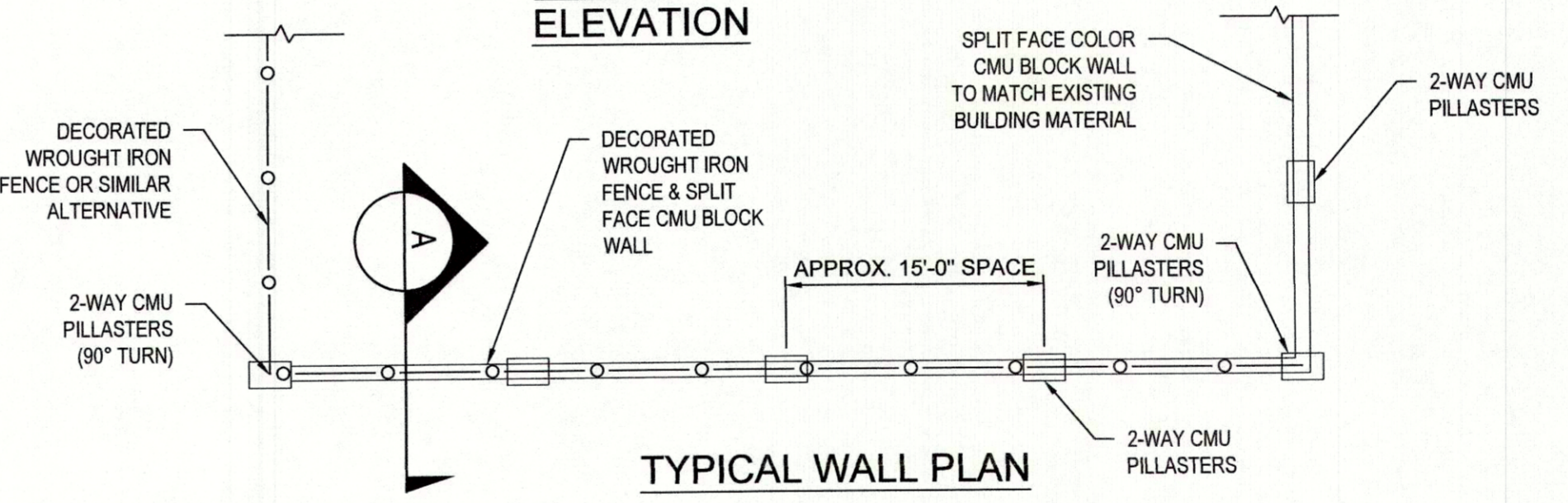
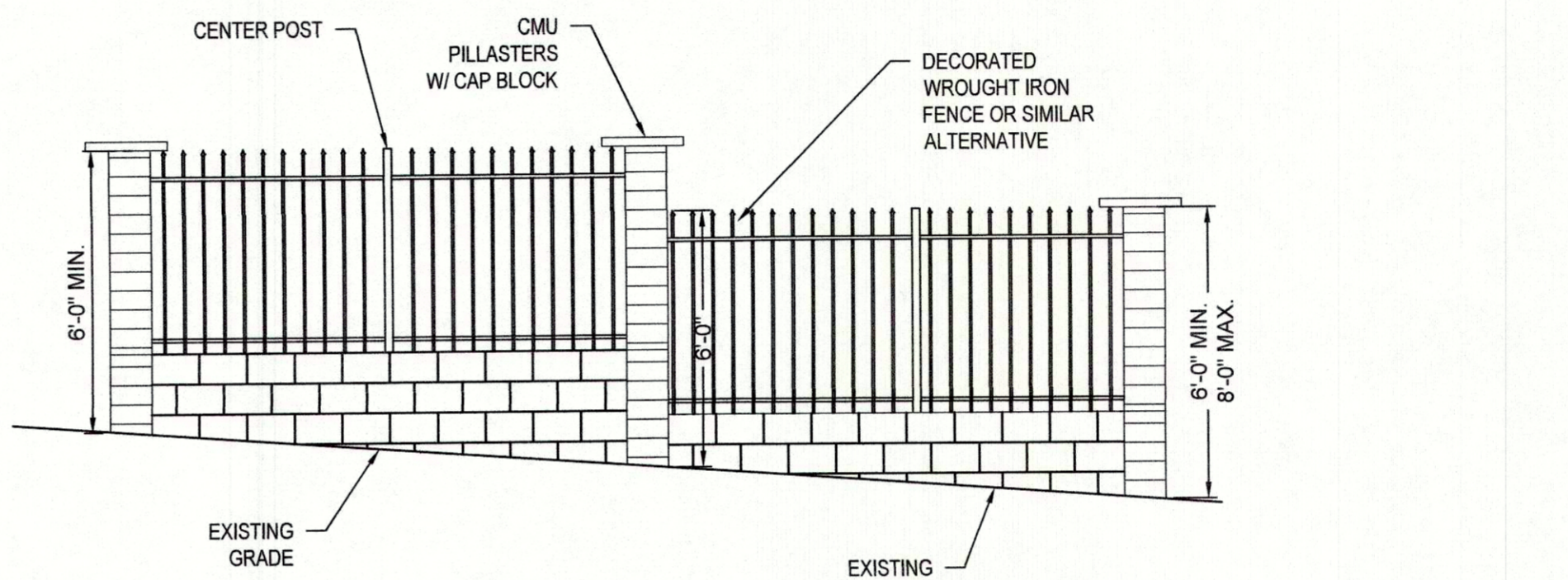
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City Project No. 6526.03 Zone Map No. G - 23 - Z Sheet 4 of 4



- KEY NOTES**
1. WALL 1 PER DETAIL 1.
 2. WALL 2 PER DETAIL 2.
 3. WALL 3 PER DETAIL 3.
 4. PROPOSED FUTURE COVER STRUCTURE.

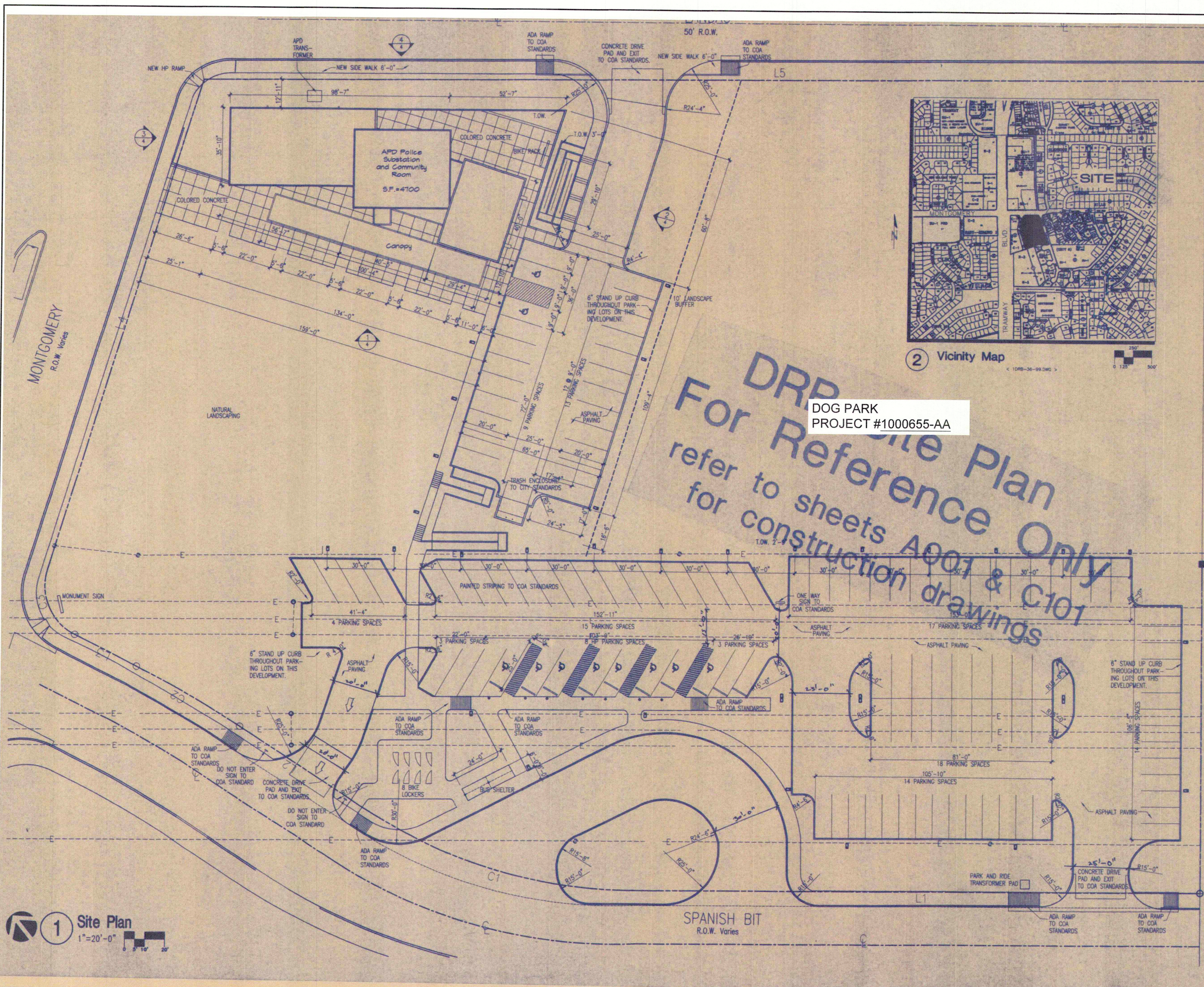


TITLE: JAMES DWYER SUBSTATION PARKING LOT EXPANSION
CONCEPT STRUCTURE ELEVATIONS

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City Project No.	6526.03	Zone Map No. G - 23 - Z
Sheet	6	Of



2 Vicinity Map

Project # 1000655 / 00450 00000 00929

Development Review Board DRB - 99-296

Site Development Plan for Z-99-72 Building Permit

THIS SITE DEVELOPMENT PLAN IS CONSISTENT WITH THE PLAN APPROVED AT THE JUNE 17TH 1999 ENVIRONMENTAL PLANNING COMMISSION HEARING.

<i>Michael Deane</i>	10-27-99
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Ann Calagan</i>	4-17-00
CITY ENGINEER/AM/CA	DATE
<i>Bradley S. Bingham</i>	10-27-99
PUBLIC WORKS, UTILITY DIVISION	DATE
<i>Edward A. Hwang</i>	10-27-99
REGIONAL DEVELOPMENT DEPARTMENT, PARKS AND RECREATION	DATE
<i>John J. ...</i>	8/31/00
CITY PLANNER, PLANNING DIVISION	DATE

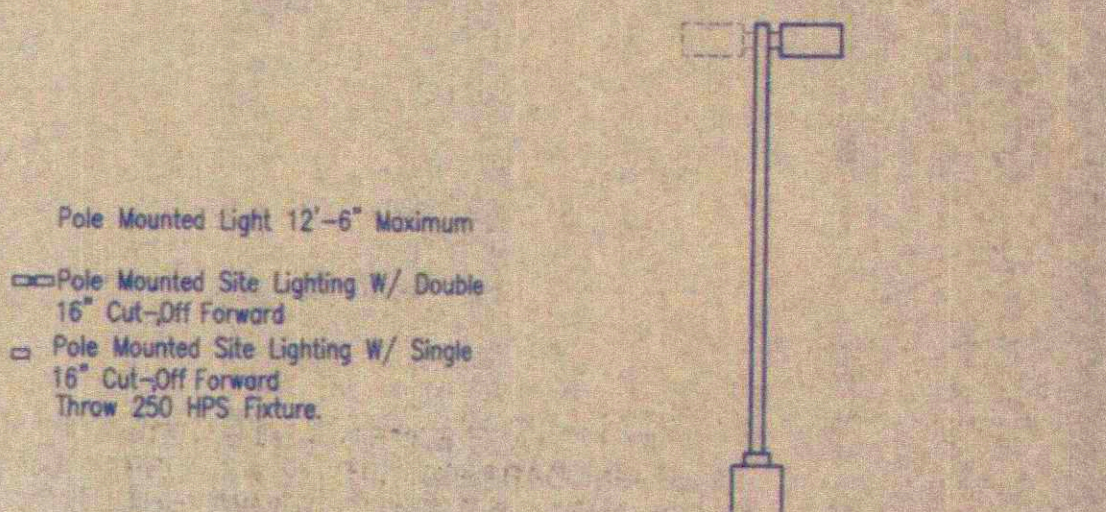
Project Data Police Substation & Transit Park and Ride.

LEGAL DESCRIPTION: LOTS 3A AND 4, BLOCK 2 GLENWOOD HILLS, ON MONTGOMERY BETWEEN SPANISH BIT AND LANDAU DRIVE. ZONE ATLAS PAGE - G-23-Z

PROPOSED USES
SU-1 ALBUQUERQUE POLICE AND COMMUNITY SUBSTATION, 4,700 S.F.
CITY OF ALBUQUERQUE, TRANSIT DEPARTMENT PARK AND RIDE

PARKING REQUIREMENTS	
APD COMMUNITY SUBSTATION	
Required Parking: 4,700sf/200	23 spaces
Parking Provided:	23 spaces
Required Accessible Spaces:	2 spaces
Accessible Provided:	2 spaces
Required Van Accessible Spaces:	1 space
Van Accessible Provided:	1 space
Required Bicycle Spaces/per 20 Parking Spaces	2 spaces
PARKING REQUIREMENTS	
ALBUQUERQUE TRANSIT DEPARTMENT PARK AND RIDE	
Parking Provided:	96 spaces
Required Accessible Spaces:	8 spaces
Accessible Provided:	8 spaces

- GENERAL NOTES:
- AREA LIGHTING SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHT FIXTURES TOGETHER WITH THE CUT OFF ANGLE SHALL NOT SHINE INTO THE PUBLIC RIGHT OF WAY.
 - REFER TO GRADING AND DRAINAGE PLAN FOR ALL REQUIRED UTILITY INFORMATION.
 - CROSS ACCESS AND PARKING AGREEMENTS WILL BE PROVIDED IF REQUIRED.
 - PUBLIC PARKING WILL BE PROVIDED TO THE PUBLIC AT THE ALBUQUERQUE TRANSIT DEPARTMENT'S PARK AND RIDE FOR ACCESS AND USE OF THE ADJACENT BIKEWAYS AND TRAILS.
 - ALL CORNERS AT PUBLIC STREETS WILL MAINTAIN A 35 FT CLEAR SITE TRIANGLE AS PER COA STANDARDS.



3 Light Pole Elevation

NOTICE OF EXTENDED PAYMENT PROVISION - THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.

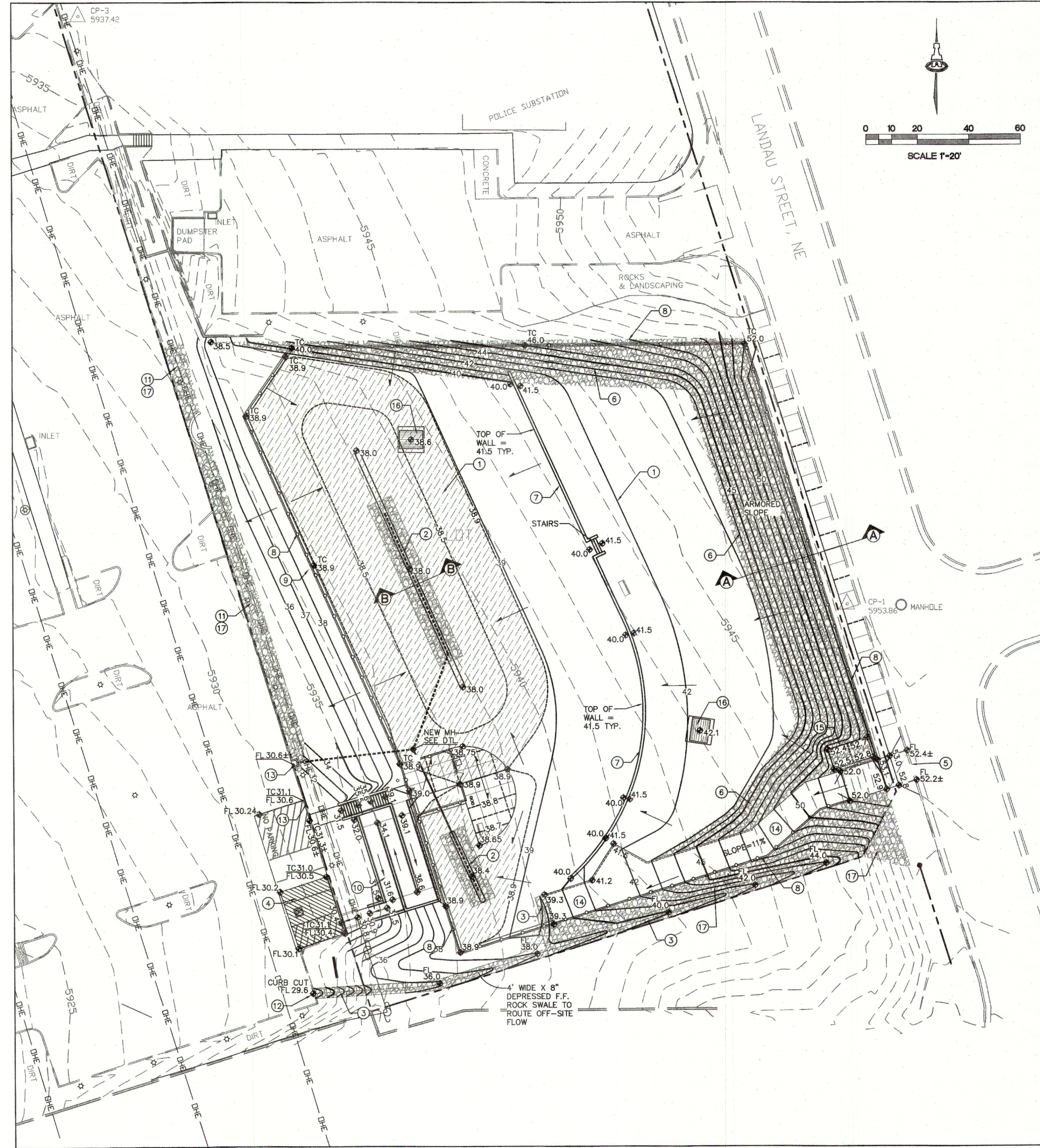
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 505 761-9700, fax 761-4222

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TITLE: **Montgomery & Tramway Police Substation DRB Site Development Plan for Building Permi**

PROJECT NO. 623091	MAP NO. G-23-Z	SHEET OF 4B
DRB SUBMITTAL		SDP-1

1 Site Plan
 1"=20'-0"



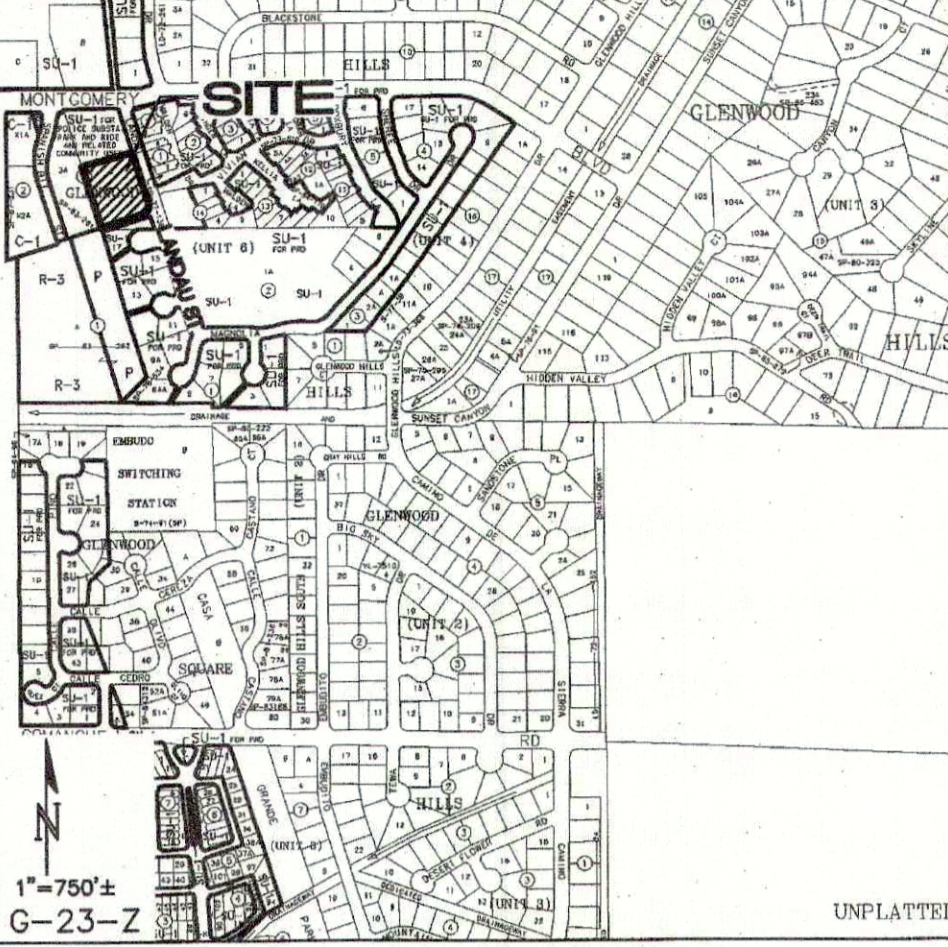
KEYED NOTES

1. CONSTRUCT MAIN PARK AREA AT ELEVATIONS SHOWN. SLOPE AT 3% AS SHOWN.
2. CONSTRUCT PIPE UNDERDRAIN SYSTEM. SEE 'GRADING AND DRAINAGE DETAILS' FOR DETAIL. PROTECT SYSTEM DURING CONSTRUCTION.
3. CONSTRUCT 4' WIDE FRACTURED FACE ROCK SWALE AT FLOWLINE ELEVATIONS SHOWN ALONG EDGE OF CONSTRUCTION LIMITS THIS AREA. TOP OF ROCK TO BE AT GRADE TO PERMIT OFFSITE FLOW TO PASS TO SWALE. SEE 'GRADING AND DRAINAGE DETAILS'.
4. OVERLAY EXISTING ASPHALT PAVING (1.5" THICK MINIMUM). SEE 'GRADING AND DRAINAGE DETAILS' SHEET FOR ADDITIONAL INFORMATION.
5. CONSTRUCT MAINTENANCE VEHICLE ACCESS DRIVEPAD PER C.O.A. STD. DWG. 2425. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
6. TRANSITION SLOPES WITHIN PARK FENCE PERIMETER: GRADE PARK PERIMETER AS SHOWN (MIN. 3:1 SLOPE, MAX. 2:1 SLOPE) IN ORDER TO MAXIMIZE USABLE AREA. ARMOR ALL PARK INTERIOR TRANSITION SLOPES WITH PERMANENT EROSION PROTECTION. SEE 'GRADING AND DRAINAGE DETAILS' FOR ADDITIONAL INFORMATION.
7. CONSTRUCT GARDEN WALL (RETAINING: 18" HIGH) BETWEEN LEVELS. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
8. CONSTRUCT NEW FENCE AT TOP OF TRANSITION SLOPE. SEE ARCHITECTURAL FOR MATERIAL / DESIGN AND ADDITIONAL INFORMATION.
9. PROVIDE COMPACTED EARTH BERM ALONG WEST EDGE OF PARK TO ELEVATIONS SHOWN.
10. CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS.
11. EXISTING WEST LINES AND POWER LINES THIS AREA. CONTRACTOR TO REESTABLISH 2:1 SLOPES TO PROVIDE COVER AND ARMOR WITH FRACTURED FACE ROCK. SEE 'GRADING AND DRAINAGE DETAILS' FOR DETAIL (SIM).
12. SAWCUT 2' CURB OPENING. SEE 'GRADING AND DRAINAGE DETAILS' SHEET FOR DETAIL.
13. CONSTRUCT CURB CUT / CONCRETE RUNDOWN TO RELEASE UNDERDRAIN SYSTEM DISCHARGE TO PAVEMENT. SEE 'GRADING AND DRAINAGE DETAILS' SHEET FOR DETAIL.
14. PROPOSED MAINTENANCE VEHICLE ACCESS DRIVE. SLOPE AS SHOWN. PROVIDE 1% CROSS-SLOPE TO DRAIN TO SOUTH. SEE ARCHITECTURAL FOR JOINTS AND DETAILS.
15. CONCRETE PAD FOR IRRIGATION CONTROL. SEE ARCHITECTURAL.
16. CONSTRUCT SHELTER PAD WITH 1% CROSS SLOPE TO DRAIN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
17. TRANSITION SLOPES OUTSIDE OF PARK FENCE PERIMETER: GRADE AS SHOWN. ARMOR SLOPES >= 3:1 WITH PERMANENT EROSION PROTECTION. SEE 'GRADING AND DRAINAGE DETAILS' FOR ADDITIONAL INFORMATION. SEE KEYED NOTE 6 FOR TREATMENT OF TRANSITION SLOPES WITHIN FENCE PERIMETER.

LEGEND

- - - - - EXISTING CONTOUR
- - - - - EXISTING WATERLINE
- - - - - PROPOSED CONTOUR
- PROPOSED FLOW ARROW
- ◆ 33.0 PROPOSED SPOT ELEVATION
- [Hatched Area] PROPOSED FRACTURED FACE ROCK
- [Dashed Area] PROPOSED POND EXTENTS

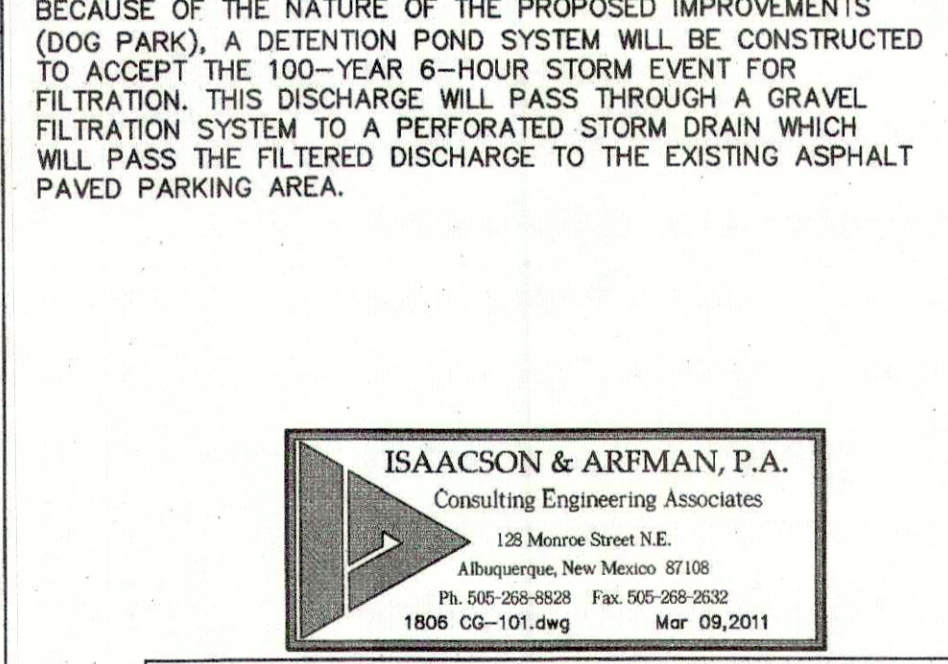
VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: LOT 4, BLK 2, GLENWOOD HILLS UNIT 1
SITE AREA: 0.79± AC.
PROPERTY INFORMATION: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP G-23. THE SITE IS BOUND TO THE EAST BY LANDAU ST. NE, TO THE WEST BY AN ASPHALT PAVED COA PARK AND RIDE PARKING AREA., TO THE NORTH BY DEVELOPED CITY PROPERTY AND TO THE SOUTH BY DEVELOPED RESIDENTIAL PROPERTY.
PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS ARE FOR A NEW DOG PARK WITH ASSOCIATED ACCESS (PEDESTRIAN AND MAINTENANCE VEHICLE), AND LANDSCAPING (PHASE II).
FLOOD ZONE: NO PORTION OF THIS SITE LIES WITHIN THE 100-YEAR FLOOD ZONE PER FEMA FIRM MAP NO. 35001C0163G, DATED 09/26/08.
ENGINEER: FRED C. ARFMAN, PE
 ISAACSON & ARFMAN, P.A.
 128 MONROE ST NE, ABO. NM 87108
 PHONE: (505) 268-8828
SURVEYOR: PAKI, A NATIVE AMERICAN A/E FIRM
 2901 JUAN TABO NE, STE 101, ABO. NM 87112
 PHONE: (505) 332-1125
 ATTN: PHILLIP TURNER, PLS
BENCHMARK: SEE CONTROL POINTS PROVIDED BY SURVEYOR - NOTED AS CP-1, CP-2 AND CP-3 ON PLAN.
OFF-SITE DRAINAGE: MINOR OFFSITE DRAINAGE FROM THE PROPERTY TO THE SOUTH WILL BE ACCEPTED WITHIN A PROPOSED ROCK SWALE FOR ROUTING TO THE EXISTING PAVED PARKING AREA.
DRAINAGE PLAN CONCEPT:
 ALTHOUGH FREE DISCHARGE IS APPROPRIATE FOR THIS SITE, BECAUSE OF THE NATURE OF THE PROPOSED IMPROVEMENTS (DOG PARK), A DETENTION POND SYSTEM WILL BE CONSTRUCTED TO ACCEPT THE 100-YEAR 6-HOUR STORM EVENT FOR FILTRATION. THIS DISCHARGE WILL PASS THROUGH A GRAVEL FILTRATION SYSTEM TO A PERFORATED STORM DRAIN WHICH WILL PASS THE FILTERED DISCHARGE TO THE EXISTING ASPHALT PAVED PARKING AREA.

ENGINEERS SEAL



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1808 CO-101.dwg Mar 09, 2011

Dekker/Perich/Sabatini
 architects - interiors - landscape - planning - engineering
 701 Johnson St., Suite 100 Albuquerque, NM 87102
 505-761-9999 fax 505-761-9222

CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PARK DESIGN AND CONSTRUCTION DIVISION	
TITLE: LANDAU OFF-LEASH DOG AREA GRADING AND DRAINAGE PLAN	
Design Review Committee	City Engineer Approval
NO. DATE	REVISIONS
DESIGNED BY: BLB	DATE: 3/9/2011
DRAWN BY: BLB	DATE: 3/9/2011
CHECKED BY: PCA	DATE: 3/9/2011
City Project No. 783708	Zone Map No. G-23-Z
Sheet 5	of 13

AS-BUILT INFORMATION	
CONTRACTOR	DATE
STARTED BY	DATE
APPROVED BY	DATE
FIELD NOTES BY	DATE
DRAWINGS BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	
BENCH MARKS	
BENCHMARK:	NON PROVIDED
SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY
ENGINEERS SEAL	
NO.	DATE
BY	DATE
REVISIONS	DATE
DESIGN	DATE

FINAL FOR CONSTRUCTION
 LANDAU OFF-LEASH DOG AREA
 PROJECT #783708
 MARCH 9, 2011
 RECORD DRAWINGS