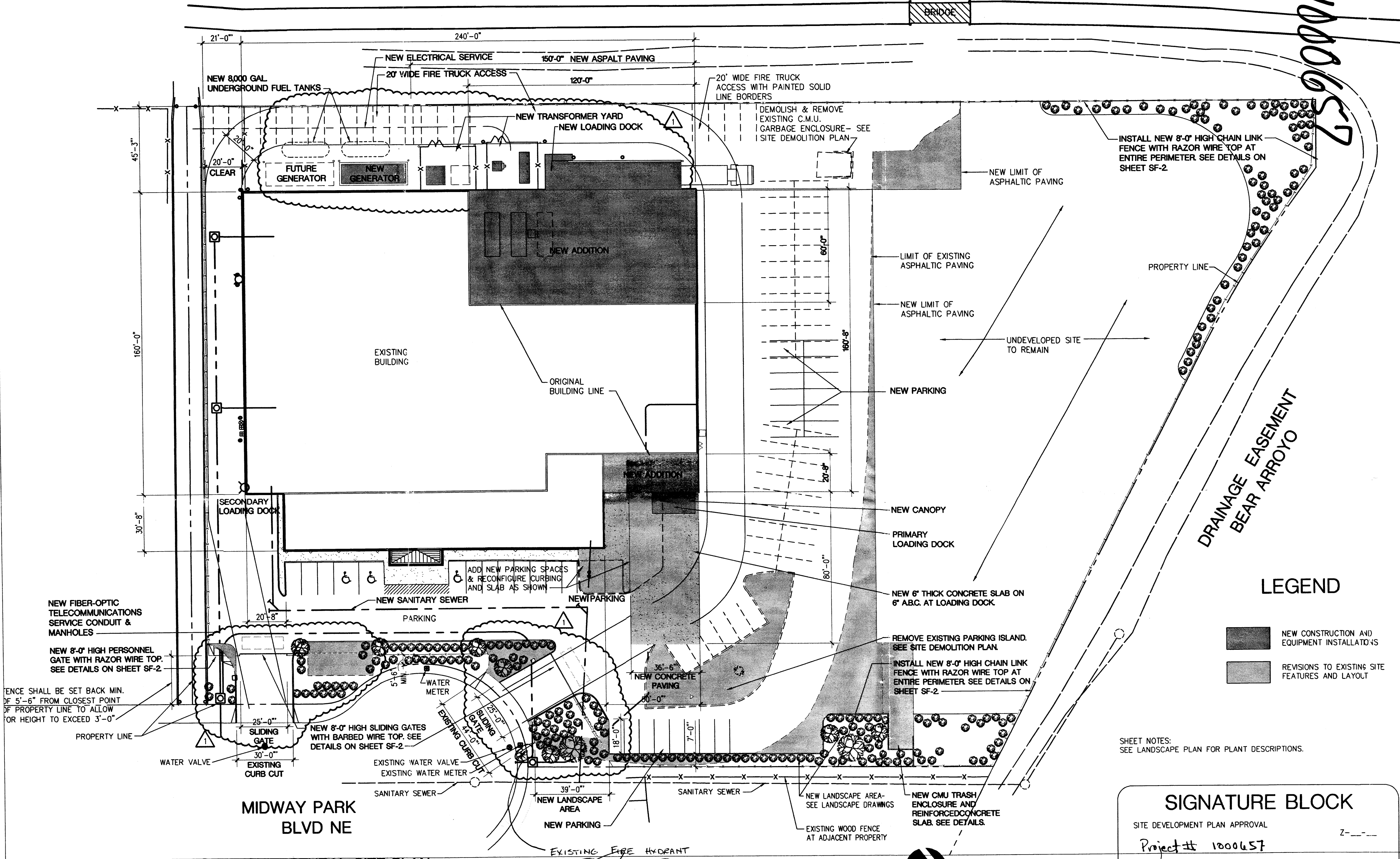


AMAF.CA NORTH DIVERSION CHANNEL



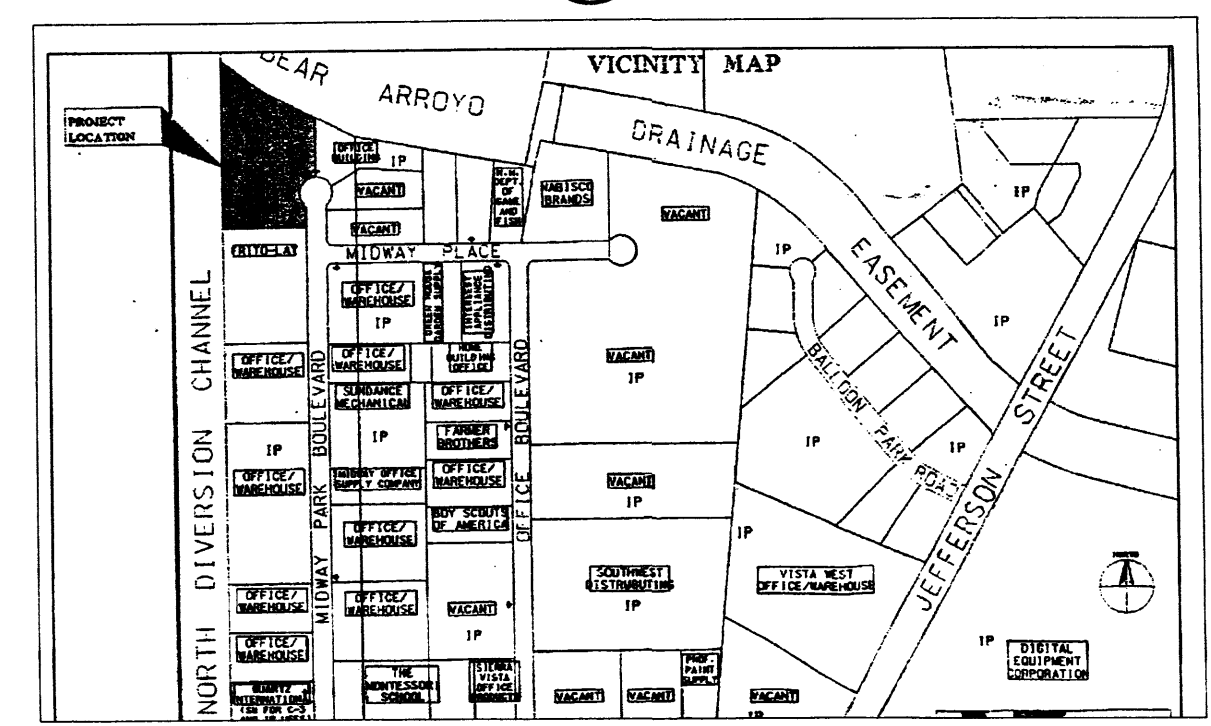
PRJ 1000657
 7/25/00

LEGEND

- NEW CONSTRUCTION AND EQUIPMENT INSTALLATIONS
- REVISIONS TO EXISTING SITE FEATURES AND LAYOUT

SHEET NOTES:
SEE LANDSCAPE PLAN FOR PLANT DESCRIPTIONS.

1 ARCHITECTURAL SITE PLAN



VICINITY MAP
N.T.S.

SCALE: 1"=30'



AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
RC March 7-29-2000
SIGNATURE & DATE

SIGNATURE BLOCK

SITE DEVELOPMENT PLAN APPROVAL
Project # 1000657
Application # 00450-00000-00935

PLANNING DIRECTOR: *[Signature]* 8/1/00 DATE

APPROVED AS TO THE REQUIREMENTS:
 Michael D. ... 7-26-00 DATE
 CITY ENGINEER: *[Signature]* 7-26-00 DATE
 AMAFCA: *[Signature]* 7-26-00 DATE

Adrienne E. Cardeais 7/24/00 DATE
 PARKS & GENERAL SERVICES Recreation
 Robert Green 7/31/00 DATE
 UTILITY DEVELOPMENT

PROJECT DATA

PROJECT:
NEW ADDITION AND ALTERATIONS TO EXISTING OFFICE/WAREHOUSE BUILDING

LOCATION:
6001 MIDWAY PARK BLVD. N.E. ALBUQUERQUE, NM

OWNER:
MCI WORLD.COM NETWORK SERVICES
2270 LAKESIDE BOULEVARD
RICHARDSON TEXAS 75082

CONTACT:
TONY LEFAN, PROJECT MANAGER
TEL. (972) 656-5917
FAX (972) 656-5930

ARCHITECT:
SMITHGROUP INCORPORATED
2800 NORTH CENTRAL AVENUE, SUITE 1200
PHOENIX ARIZONA, 85004

CONTACT:
DAVID SLATTERY, AIA, PROJECT MANAGER
TEL. (602) 265-2200
FAX (602) 265-2244

CONTRACTOR:
DPR CONSTRUCTION COMPANY
3020 E. CAMELBACK ROAD, SUITE 100
PHOENIX, ARIZONA 85016

CONTACT:
LOUIE SARRACINO
TEL. (602) 808-0500
FAX (602) 808-8843

LEGAL DESCRIPTION: LOT 15A
MIDWAY BUSINESS PARK
E-16/17-Z

ZONING ATLAS MAP: E-16/17-Z

CURRENT ZONING CLASSIFICATION: IP, INDUSTRIAL PARK

PROPOSED ZONING CLASSIFICATION: NO CHANGE

BUILDING FUNCTION: OFFICE/WAREHOUSE

OCCUPANCY TYPE: B-2

CONSTRUCTION TYPE: OFFICE - TYPE II-N
WAREHOUSE - TYPE II-N
FULLY SPRINKLERED THROUGHOUT

TOTAL BUILDING AREA: 43,612 GSF

TOTAL LOT AREA: 174,219 SF OR 3.99 ACRES

NET LOT AREA: 130,607 SF OR 2.99 ACRES

TOTAL PARKING / PAVED AREA: 5058/61,805 SF

TOTAL LANDSCAPE AREA PROVIDED: 11,510 SF PROVIDED

LANDSCAPE TO PARKING AREA RATIO: 15.2%

PARKING ANALYSIS:
OFFICE AREA - 200 SF PER PERSON - 15
WAREHOUSE AREA - 2,000 SF PER PERSON - 17

PARKING SPACES REQUIRED:
32 - 29 REG, 3 ACCESSIBLE SPACES

PARKING SPACES PROVIDED:
32 - 29 REG, 2 ACCESSIBLE CARS, 1 ACCESSIBLE VAN

PARKING SPACE SIZES: 8'-6" MIN. x 18'-0" MIN.
13'-0" MIN. x 20'-0" MIN.

BICYCLE SPACES REQUIRED: 4 SPACES REQUIRED

BICYCLE SPACES PROVIDED: 4 SPACES REQUIRED
(2 POSTS SUPPORT 2 BICYCLES EACH = 4)

SITE LIGHTING: SITE PERIMETER LIGHTING SHALL BE LOCATED ON THE BUILDING AND SHALL BE MOUNTED SO AS NOT TO ALLOW GLARE ONTO ADJACENT SITES.

CITY REFERENCE NUMBERS:

PROGRESS PRINT
07/19/00

GENERAL NOTE

CONTRACTOR SHALL BE REQUIRED TO OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO THE STABILIZATION OF DISTURBED AREAS WILL BE COORDINATED AS PART OF THE PERMIT PROCESS. UPDATED DRAINAGE PLAN IS REQUIRED PRIOR TO BUILDING PERMIT.

MCI WORLD.COM
Network Services
6001 MIDWAY PARK BLVD. N.E.
Albuquerque, New Mexico

DPR
Construction Inc.
DPR Construction Company
3020 E. CAMELBACK ROAD
Suite 100
Phoenix, Arizona 85016
7602.808.0500
602.808.8843

SmithGroup
SmithGroup Incorporated
2800 North Central Avenue
Suite 1200
Phoenix, Arizona 85004
602.265.2200
602.265.2244

PAUL KOEHLER
consulting structural engineers, inc.
770 E. McDonald Drive, Suite 6
Scottsdale, Arizona 85253
480.922.8564 480.922.3739

DIBBLE & ASSOCIATES
CONSULTING ENGINEERS
2633 E. Indian School Rd. Phoenix, AZ 85016
Phone: (602) 937-1123

G.K. FLANAGAN
Landscape Architect
4646 N. 34th PLACE
PHOENIX, AZ 85018
602-912-9691
602-912-9693 fax

Issued for	Rev.	Date
CITY SUBMITTAL	1	07-26-00
FOUNDATION & FENCE PERMIT	7	06-06-00
FENCE PERMIT SUBMITTAL	6	06-28-00

STATE OF NEW MEXICO
STEPHEN W. SMITH
NO. 1929
[Signature]
Professional Engineer

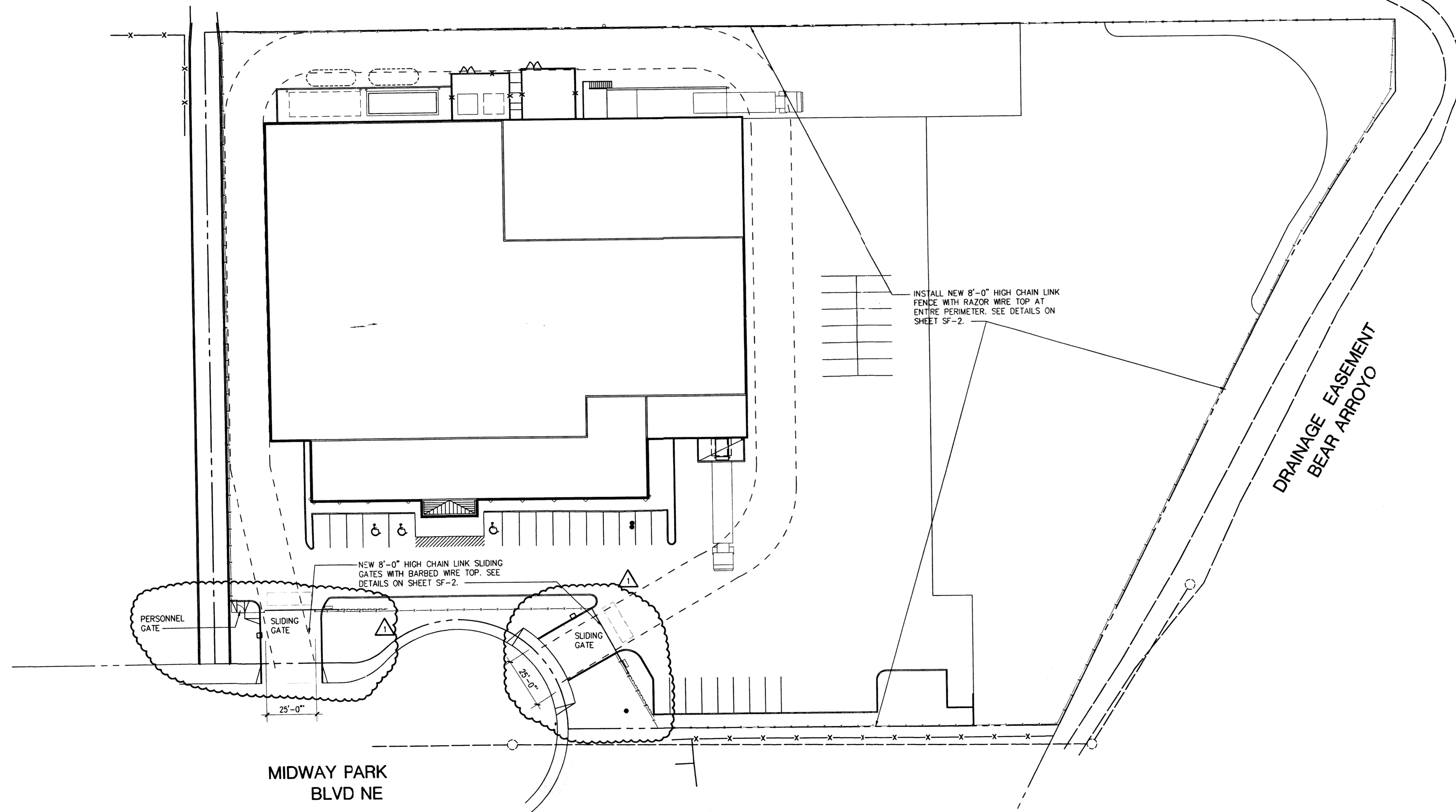
Key Plan
Project North

Drawing Title
ARCHITECTURAL SITE PLAN

19335.00
Project No.
Drawn By
1"=30'
Scale
A1-0
Drawing No.

AMA.F.C.A. NORTH DIVERSION CHANNEL

BRIDGE



1 SITE FENCE LAYOUT

SCALE: 1"=30'
NORTH

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SmithGroup Incorporated
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Phoenix, Arizona 85004
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602.265.2244

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770 E. McDonald Drive, Suite 6
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2033 E. Indian School Rd. Phoenix, AZ 85016
PHON: (602) 957-1150

LANDSCAPE
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ASSOCIATES, INC.
4646 N. 34th PLACE
PHOENIX, AZ 85018
602-912-9691
602-912-9693 fax

Issued for	Rev.	Date
QTY. RESUBMITTAL	1	02-28-00
FOUNDATION & FENCE PERMIT		7-06-00
FENCE PERMIT SUBMITTAL		6-28-00
BID		6-20-00

STATE OF NEW MEXICO
STEPHEN W. SMITH
NO. 1929
Professional Engineer
1.26.00

Key Plan Project North

Drawing Title
SITE FENCE LAYOUT

19335.00
Project No.

Drawn By
1"=30'
Scale

SF-1
Drawing No.

