

**SITE TOTALS (PHASES 1 & 2)**  
 SITE AREA: 217,800 SF (5.00 ACRES)

**PHASE 1 TOTALS**  
 SITE AREA: 129,673 SF  
 LANDSCAPE AREA: 22,691 (17%)  
 BUILDING AREA: 30,367 SF (23%)  
 PAVING & SIDEWALK AREA: 78,659 SF (61%)  
 R.O.W. LANDSCAPING: 0 SF

**BUILDING B**  
 USE: OFFICE/RETAIL  
 SITE AREA: 35,553 SF  
 LANDSCAPE AREA: 8,488 SF (23%)  
 GROSS BUILDING AREA: 6,214 SF (17%)  
 NET LEASABLE AREA: 5,933 SF  
 PAVING & SIDEWALK AREA: 22,850 SF (60%)  
 R.O.W. LANDSCAPING: 0 SF  
 PARKING SPACES REQUIRED: 5,903/200 = 30  
 PARKING SPACES PROVIDED: 37 + 2 VAN ACCESSIBLE HC = 39  
 BIKE RACK SPACES PROVIDED: 3

**BUILDING C**  
 USE: OFFICE  
 SITE AREA: 39,990 SF  
 LANDSCAPE AREA: 4,644 SF (12%)  
 GROSS BUILDING AREA: 10,137 SF (25%)  
 NET LEASABLE AREA: 9,725 SF  
 PAVING & SIDEWALK AREA: 25,253 SF (63%)  
 R.O.W. LANDSCAPING: 0 SF  
 PARKING SPACES REQUIRED: 9,725/200 = 49  
 PARKING SPACES PROVIDED: 48 + 3 HC (2 VAN ACCESSIBLE) = 51  
 BIKE RACK SPACES PROVIDED: 3

**BUILDING D**  
 USE: OFFICE  
 SITE AREA: 25,361 SF  
 LANDSCAPE AREA: 4,645 SF (18%)  
 GROSS BUILDING AREA: 7,008 SF (28%)  
 NET LEASABLE AREA: 6,627 SF  
 PAVING & SIDEWALK AREA: 13,708 SF (54%)  
 R.O.W. LANDSCAPING: 0 SF  
 PARKING SPACES REQUIRED: 6,624/200 = 34  
 PARKING SPACES PROVIDED: 32 + 2 VAN ACCESSIBLE HC = 34  
 BIKE RACK SPACES PROVIDED: 3

**BUILDING E**  
 USE: OFFICE  
 SITE AREA: 28,769 SF  
 LANDSCAPE AREA: 4,913 SF (17%)  
 GROSS BUILDING AREA: 7,008 SF (24%)  
 NET LEASABLE AREA: 6,627 SF  
 PAVING & SIDEWALK AREA: 16,848 SF (59%)  
 R.O.W. LANDSCAPING: 0 SF  
 PARKING REQUIRED: 6,627/200 = 34  
 PARKING PROVIDED: 32 SPACES + 2 VAN ACCESSIBLE HC = 34  
 BIKE RACK SPACES PROVIDED: 3

**LEGAL DESCRIPTION:**  
 TRACT F-1-A OF LOOP INDUSTRIAL DISTRICT UNIT 1, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPEAT OF TRACTS F-1 AND F-2 OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 21, 2000 IN BOOK 2000C, PAGE 189.

**LEGAL NOTES:**  
 1. CITY OF ALBUQUERQUE UPC NO. 1-017-0164-398-340-1-16-20  
 2. SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001C02137D, EFFECTIVE DATE, SEPTEMBER 20, 1996.

**GENERAL NOTES:**  
 (C1.1) ALL STANDARD PARKING SPACES SHALL BE 8'-6" X 20'-0"  
 (C1.2) ALL HANDICAP PARKING SPACES SHALL BE 8'-0" X 20'-0" WITH ADJACENT SW STRIPED ACCESS AISLE (1 VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESS AISLE) ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL, PAVEMENT MARKINGS.  
 (C1.3) ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS AISLES SHALL BE MARKED ON PAVEMENT WITH WHITE ALKYD STRIPING PAINT, TYP.  
 (C1.4) ALL DRIVE AISLES AND DUMPSTER ENCLOSURES SHALL BE DESIGNATED AS CROSS ACCESS AND DRAINAGE EASEMENTS BETWEEN ALL PROPERTIES SUBDIVIDED FROM TRACT F-1-A  
 (C1.5) ALL PARKING SPACES ADJUTTING A SIDEWALK SHALL BE PROVIDED WITH A BUMPER LOCATED 2'-0" OFF THE SIDEWALK.

- KEYED NOTES:**  
 (1) ASPHALT PAVED SURFACE - SEE DETAIL 1/C1.1  
 (2) CONCRETE CURB & GUTTER - SEE DETAILS 2/C1.1 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS  
 (3) CONCRETE SIDEWALK - SEE DETAIL 3/C1.1 - TYPICAL SIDEWALK WIDTH SHALL BE 6'-0" UNLESS NOTED OTHERWISE  
 (4) SIDEWALK RAMP - SEE DETAIL 4/C1.1  
 (5) CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/C1.1  
 (6) HANDICAP ACCESS RAMP - SEE DETAIL 8/C1.1  
 (7) CAST IN PLACE CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 9/10/C1.1  
 (8) PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/C1.1  
 (9) HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 5/C1.1  
 (10) MODIFY EXISTING CURB CUT AND SIDEWALK ACCESS RAMP PER CITY OF ALBUQUERQUE STANDARDS  
 (11) EXISTING CURB CUT  
 (12) EXISTING MEDIAN CUT  
 (13) EXISTING 6" WIDE CONCRETE PUBLIC SIDEWALK  
 (14) EDGE OF ASPHALT - EXTEND ASPHALT 12' BEYOND DIMENSIONED WIDTH  
 (15) COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS - SEE DETAIL 15 & 16/C1.1  
 (16) CAST IN PLACE CONCRETE PATIO WALL - SEE DETAIL 14/C1.1  
 (17) CAST IN PLACE CONCRETE RETAINING WALL - SEE DETAIL 13/C1.1  
 (18) REMOVE EXISTING ASPHALT AND CONCRETE CURBING AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS  
 (19) DRIVE-THRU CANOPY - SEE SHEET A2.0DRB1a FOR ELEVATIONS

**LEGEND**

- NEW 12' TALL POLE LIGHT W/ 50 WATT CERAMIC METAL HALIDE LAMPING (FULL CUT-OFF SHOE BOX TYPE)
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT - SEE SITE UTILITY PLAN

**CURB RADIUS DATA**

R1 = 1'-0"  
 R2 = 2'-0"  
 R3 = 3'-0"  
 R4 = 5'-0"  
 R5 = 8'-0"  
 R6 = 15'-0"  
 R7 = 20'-0"  
 R8 = 30'-0"  
 R9 = 35'-0"  
 R10 = 50'-0"

RADIUS MEASURED TO OUTSIDE FACE OF CURB

PROJECT NUMBER: 1000658  
 APPLICATION NUMBER: 04-00103

IS AND INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRIC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

*[Signature]* 9-1-04 DATE  
 TRAFFIC ENGINEERING & TRANSPORTATION DIVISION

*[Signature]* 2-4-04 DATE  
 UTILITIES DEVELOPMENT

*[Signature]* 2/1/04 DATE  
 CHRISTINA DANOBAL  
 PARKS AND RECREATION DEPARTMENT

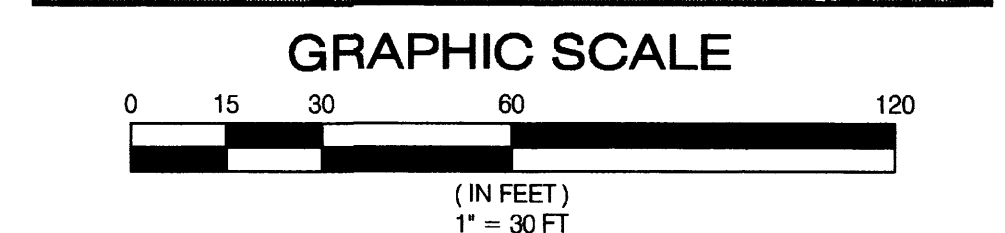
*[Signature]* 2/1/04 DATE  
 BRADY L. BYRNE  
 CITY ENGINEER

N/A DATE  
 ENVIRONMENTAL HEALTH DEPARTMENT (conditional)

*[Signature]* 2-4-04 DATE  
 MICHAEL HOLTEN  
 SOLID WASTE MANAGEMENT

*[Signature]* 2/1/04 DATE  
 SHARON MATSON  
 DRB CHAIRPERSON, PLANNING DEPARTMENT

VICINITY MAP/AERIAL PG. C-17 1"=1000'



**INSITE WORKS**

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 ALBUQUERQUE, NM 87122

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 FAX: (505) 858-0100

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 NS email: ns@insiteworks.com  
 JC email: jc@insiteworks.com

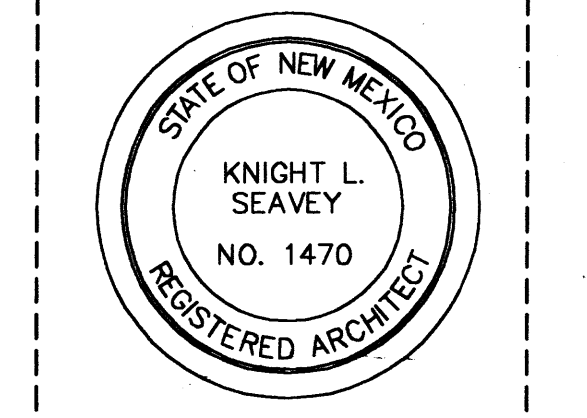
CONTRACTOR: BIRNBAUM BUILDING CONTRACTORS  
 6700 JEFFERSON, NE, BLDG. 2  
 ALBUQUERQUE, NM 87110

TELEPHONE: (505) 468-0823  
 FAX: (505) 468-0822

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**SITE DEVELOPMENT PLAN FOR  
 BUILDING PERMIT -  
 PHASE 1 AMENDMENT**

TITLE	SITE PLAN
DATE ISSUED	1/26/04
UPDATED	06/06/00
EDITION	DRB SUBMITTAL - PHASE 1A
PROJECT ID	07080
FILE	070-DRB1A-C1.1.DWG
FILE PATH	C:\ACTIVE\PROJECTS
CREATED BY	JWC
SCALE	1" = 30'
DISCIPLINE	CIVIL
CONSULTANT	INSTITUTEWORKS



**C1.0DRB1a**

**SITE PLAN - PHASE 1**  
 SCALE: 1"=30'

*[Signature]* 2/1/04 DATE  
 FIRE MARSHALL

JEFFERSON ST. NE  
86' R.O.W.

ALAMEDA BLVD. NE  
124' R.O.W.

PHASE 2

PHASE 1

EXISTING 24' X 50'  
PRIVATE ACCESS  
EASEMENT (C20, 35)

NEW 100' X 68' RECIPROCAL  
CROSS ACCESS EASEMENT  
(RECORDED 5/2/03 IN BOOK  
A55, PAGES 3683 & 5663)

LANDSCAPE PLAN - PHASE 1

SCALE: 1"=30'

SITE TOTALS (PHASES 1 & 2)  
SITE AREA: 217,800 SF (5.00 ACRES)

PHASE 1 TOTALS  
SITE AREA: 129,873 SF  
LANDSCAPE AREA: 22,891 (17%)  
BUILDING AREA: 30,367 SF (23%)  
PAVING & SIDEWALK AREA: 78,609 SF (61%)  
R.O.W. LANDSCAPING: 0 SF

BUILDING B  
USE: OFFICE/RETAIL  
SITE AREA: 35,553 SF  
LANDSCAPE AREA: 8489 SF (24%)  
GROSS BUILDING AREA: 6,214 SF (17%)  
NET LEASABLE AREA: 5,900 SF  
PAVING & SIDEWALK AREA: 22,850 SF (60%)  
R.O.W. LANDSCAPING: 0 SF  
PARKING SPACES REQUIRED: 5,903/200 = 30  
PARKING SPACES PROVIDED: 37 + 2 VAN ACCESSIBLE HC = 39  
BIKE RACK SPACES PROVIDED: 3

BUILDING C  
USE: OFFICE  
SITE AREA: 38,980 SF  
LANDSCAPE AREA: 4,644 SF (12%)  
GROSS BUILDING AREA: 10,137 SF (26%)  
NET LEASABLE AREA: 9,725 SF  
PAVING & SIDEWALK AREA: 25,253 SF (65%)  
R.O.W. LANDSCAPING: 0 SF  
PARKING SPACES REQUIRED: 9,725/200 = 49  
PARKING SPACES PROVIDED: 48 + 3 HC (2 VAN ACCESSIBLE) = 51  
BIKE RACK SPACES PROVIDED: 3

BUILDING D  
USE: OFFICE  
SITE AREA: 25,361 SF  
LANDSCAPE AREA: 4,845 SF (19%)  
GROSS BUILDING AREA: 7,008 SF (28%)  
NET LEASABLE AREA: 6,627 SF  
PAVING & SIDEWALK AREA: 13,708 SF (54%)  
R.O.W. LANDSCAPING: 0 SF  
PARKING SPACES REQUIRED: 6,627/200 = 34  
PARKING SPACES PROVIDED: 32 + 2 VAN ACCESSIBLE HC = 34  
BIKE RACK SPACES PROVIDED: 3

BUILDING E  
USE: OFFICE  
SITE AREA: 28,789 SF  
LANDSCAPE AREA: 4,913 SF (17%)  
GROSS BUILDING AREA: 7,008 SF (24%)  
NET LEASABLE AREA: 6,627 SF  
PAVING & SIDEWALK AREA: 16,848 SF (59%)  
R.O.W. LANDSCAPING: 0 SF  
PARKING REQUIRED: 6,627/200 = 34  
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TREE SCHEDULE

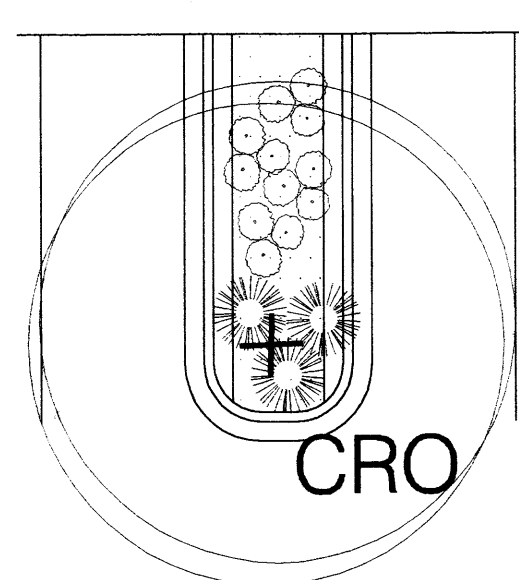
	<b>REDBUD</b> ( <i>CERCIS OCCIDENTALIS</i> ) KEY: RE SIZE: 2" CALIPER REMARKS: MULTI-TRUNK		<b>DESERT WILLOW (MIMBRE)</b> ( <i>CHILOPSIS LINEARIS</i> ) KEY: DW SIZE: 2" CALIPER REMARKS: p. 53 b.m.
	<b>CHISOS RED OAK</b> ( <i>QUERCUS GRAVESII</i> ) KEY: CRO SIZE: 18" ROOT CONTROL BAG REMARKS: 35-40 AT MATURITY, FALL COLOR CRIMSON, LONG LASTING		<b>CHINGUAPIN OAK</b> ( <i>QUERCUS MUHLENBERGII</i> ) KEY: CO SIZE: 18" ROOT CONTROL BAG REMARKS: 45-50 AT MATURITY, FALL COLOR ORANGE/DEEP BURGANDY
	<b>BIGTOOTH MAPLE</b> ( <i>ACER GRANDIDENTATUM</i> ) KEY: BM SIZE: 18" ROOT CONTROL BAG REMARKS: 30' AT MATURITY, FALL COLOR RED W/ YELLOW		<b>AUSTRIAN BLACK PINE</b> ( <i>PINUS NIGRA</i> ) KEY: AP SIZE: 2" CALIPER REMARKS:
			<b>TEXAS RED OAK</b> ( <i>QUERCUS BUCKLEYI</i> ) KEY: TRO SIZE: 2" CALIPER REMARKS:

SHRUB SCHEDULE

	<b>SILVER MOUND/CAT MINT</b> ( <i>ARTEMISIA</i> ) KEY: SM SIZE: 1 GAL REMARKS:		<b>LAVENDER</b> ( <i>LAURENDA ANGUSTIFOLIA 'MUNSTEAD'</i> ) KEY: LAV SIZE: 1 GAL REMARKS:
	<b>SILVER SAGE</b> ( <i>ARTEMISIA 'POWIS CASTLE'</i> ) KEY: SS SIZE: 1 GAL REMARKS: hcg p. 10		<b>MAY NIGHT MEADOW SAGE</b> ( <i>SALVIA NEMEROSA</i> ) KEY: SN SIZE: 1 GAL REMARKS: hcg p. 10
	<b>SUNRAY</b> ( <i>COREOPSIS GRANDIFLORA</i> ) KEY: SR SIZE: 1 GAL REMARKS: hcg p. 10		<b>REGAL MIST</b> ( <i>MUHLENBERGIA CAPILLARIS</i> ) KEY: RM SIZE: 1 GAL REMARKS:
	<b>VIRGINIA CREEPER</b> ( <i>PARTHEOCISSUS QUINQUEFOLIA</i> ) KEY: VC SIZE: 1 GAL REMARKS: PLANT 12" J.C.		<b>KOREAN HYSSOP</b> ( <i>AGASTACHE RUGOSUM</i> ) KEY: RH SIZE: 1 GAL REMARKS:
	<b>SILVER BEARDGRASS</b> ( <i>ANDROPOGON SACCHAROIDES</i> ) KEY: SBG SIZE: 1 GAL REMARKS: hcg p. 63		<b>CHERRY SAGE</b> ( <i>SALVIA GREGGII</i> ) KEY: CS SIZE: 1 GAL REMARKS: hcg p. 15
	<b>BLUE FESCUE</b> ( <i>FESTUCA OVINA GLAUCA</i> ) KEY: FES SIZE: 1 GAL REMARKS: PLANT 18" O.C., hcg p. 65		<b>CREeping ROSEMARY</b> ( <i>ROSMARINUS OFFICINALIS 'PROSTRATUS'</i> ) KEY: CR SIZE: 1 GAL REMARKS:
			<b>BLUE CATMINT</b> ( <i>NEPETA 'FAASSENI'</i> ) KEY: FA SIZE: 1 GAL REMARKS: hcg p. 10

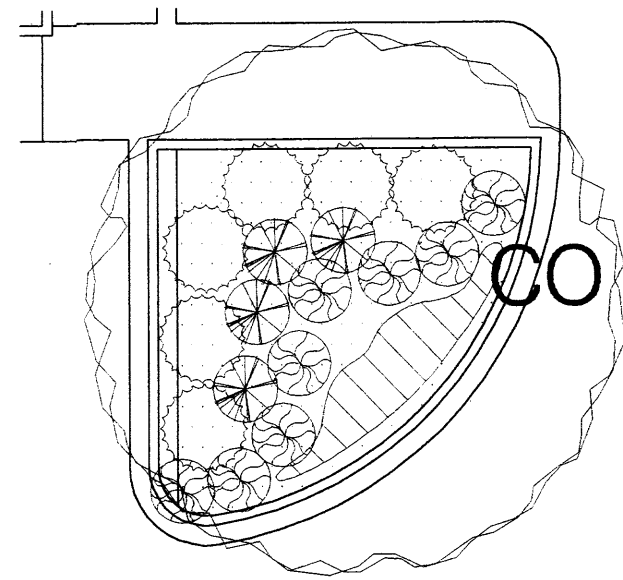
GROUNDCOVER/EDGING SCHEDULE

	<b>REITER CREEPING THYME</b> ( <i>THYMUS 'REITER'</i> ) KEY: RE QUANTITY: 1 POUND/150 SF REMARKS:		<b>BLUE GRAMA GRASS</b> ( <i>BOUTELOUA GRACILIS</i> ) KEY: BG QUANTITY: 1 POUND/200 SF REMARKS:
	<b>COBBLE - SANTA ANA TAN</b> KEY: COB SIZE: 2-4"		<b>EARTH BERM</b> - BERMS ARE DESIGNATED AT STREET FRONTAGE BY FREE-FORM OUTLINE AREAS - SEE GRADING/DRAINAGE PLAN FOR SPECIFIC DATA
	<b>SANTA FE BROWN GRAVEL</b> KEY: SFBG SIZE: 3/4" OR 1/4" AS INDICATED REMARKS: ALL PLANTER BED AREAS NOT SPECIFIED OTHERWISE SHALL BE THIS MATERIAL		<b>CRUSHER FINES - SANTA ANA TAN</b> KEY: CF SIZE:



TYP. PLANTER "A"

SCALE: 1"=10'



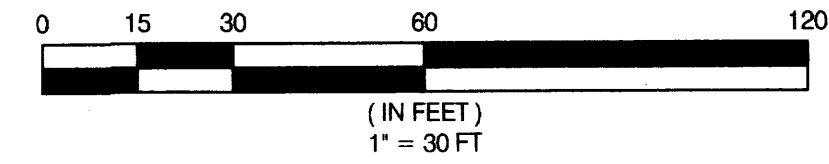
TYP. PLANTER "B"

SCALE: 1"=10'

GENERAL LANDSCAPE NOTES

- [C2.1] MAINTENANCE OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- [C2.2] ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - SCHEDULE 40 PIPING, TYP.
- [C2.3] THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. SPECIFICALLY 75% OF ALL PLANTING BEDS SHALL BE COVERED BY LIVE VEGETATIVE COVER WHICH INCLUDES SHRUBS AND/OR LIVE GROUNDCOVERS.
- [C2.4] ALL TREES SHALL BE A MINIMUM OF 2" CALIPER, AS REQUIRED BY THE CABQ ZONING CODE.
- [C2.5] OWNER SHALL MAINTAIN UNDEVELOPED AREAS OF THE SITE FREE OF WEEDS AS REQUIRED BY CITY OF ABQ ORDINANCES. DISTURBED AREAS WILL BE RESEED AS REQUIRED.
- [C2.6] NO HIGH WATER USE TURF SHALL BE USED
- [C2.7] NUMBERS ADJACENT TO EACH PLANTER INDICATED THE SQUARE FOOT AREA OF EACH
- [C2.8] ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION LANDSCAPING & WATER WASTE ORDINANCE.

GRAPHIC SCALE

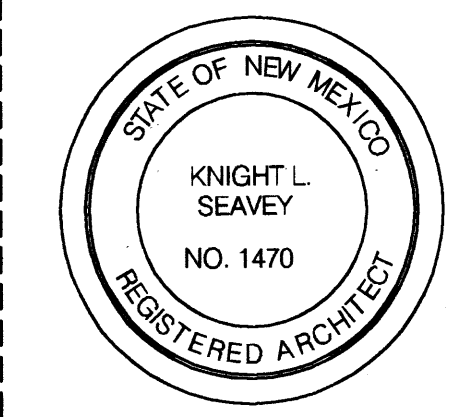


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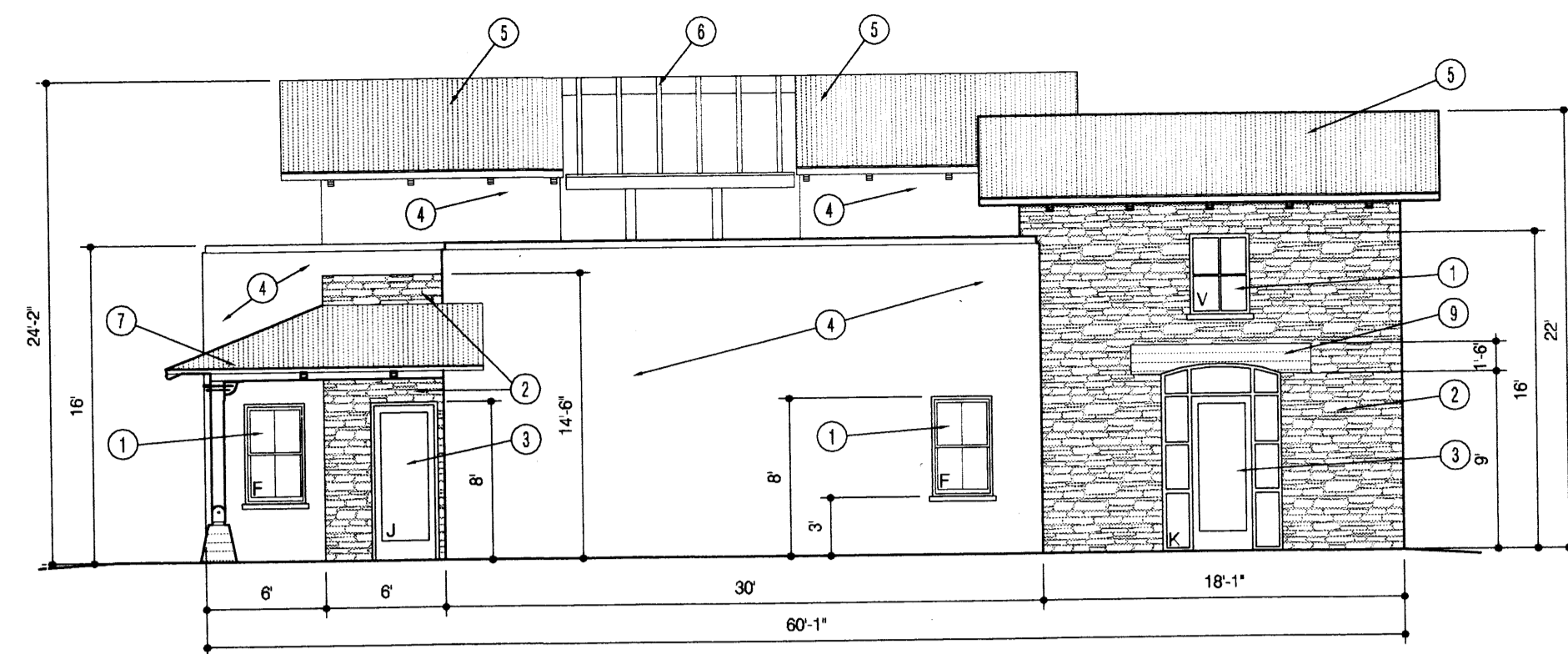
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SITE DEVELOPMENT PLAN FOR  
BUILDING PERMIT -  
PHASE 1 AMENDMENT

TITLE	LANDSCAPE PLAN
DATE ISSUED	1/25/04
UPDATED	06/06/06
EDITION	DRB SUBMITTAL - PHASE 1A
PROJECT ID	0700
FILE	070-DRB1A-C2.LDWG
FILE PATH	C:\ACTIVE\PROJECTS
CREATED BY	JWC
SCALE	1" = 30'
DISCIPLINE	CIVIL
CONSULTANT	INSITEWORKS



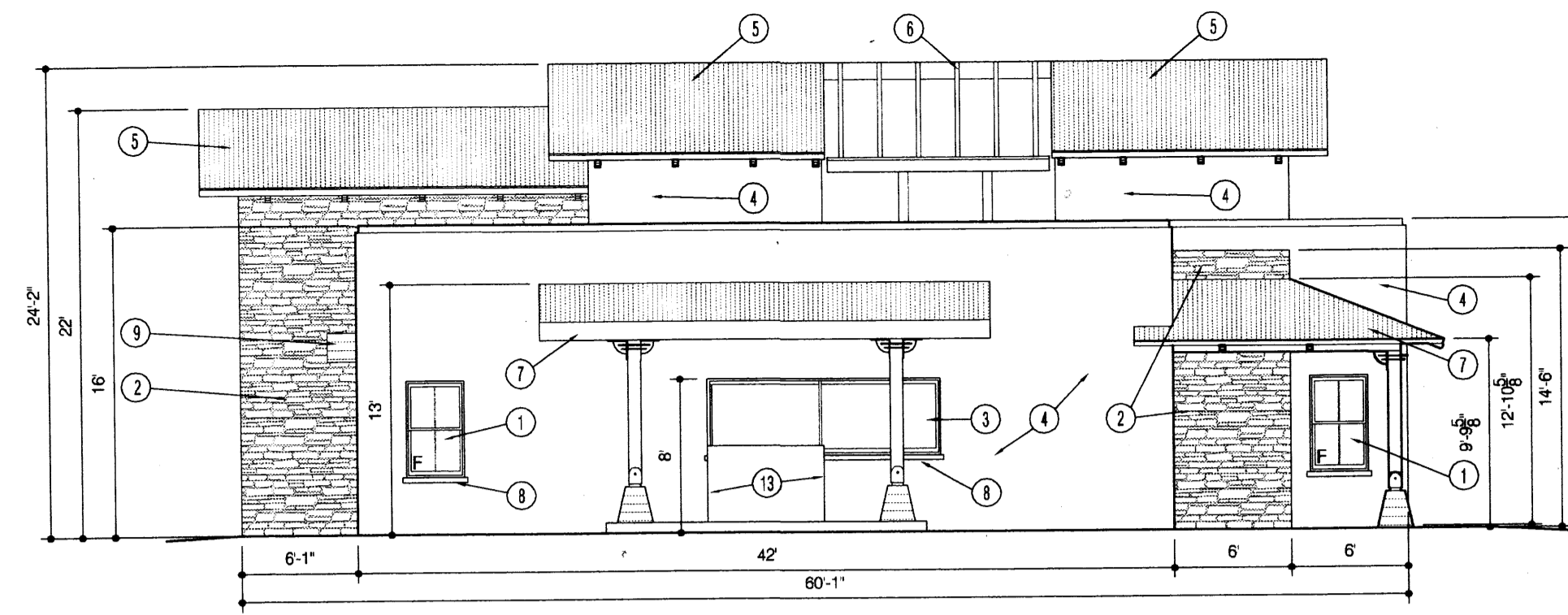
C2.0DRB1a



**WEST ELEVATION**

SCALE: 1/8"=1'-0"

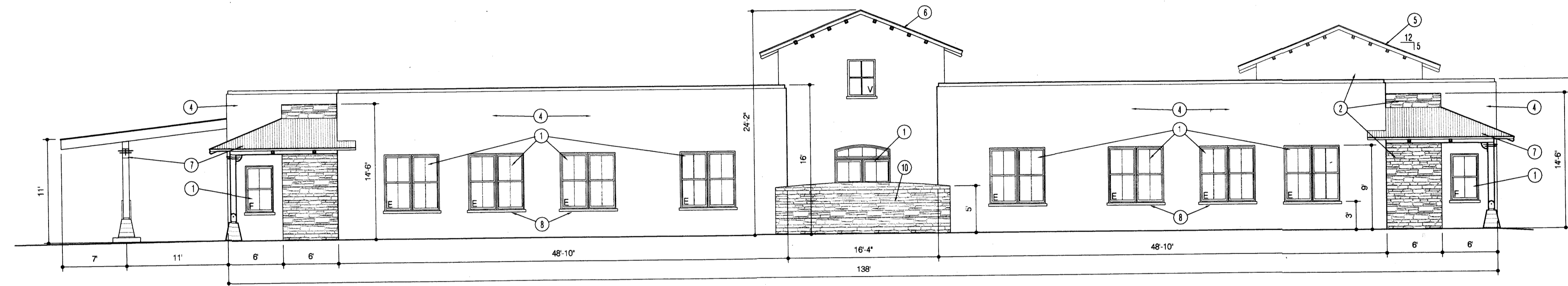
BUILDING B'



**EAST ELEVATION**

SCALE: 1/8"=1'-0"

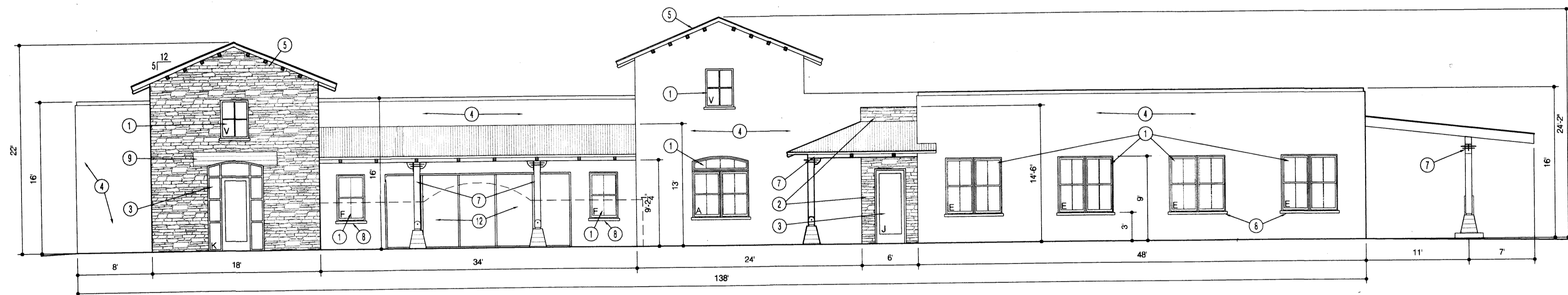
BUILDING B'



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"

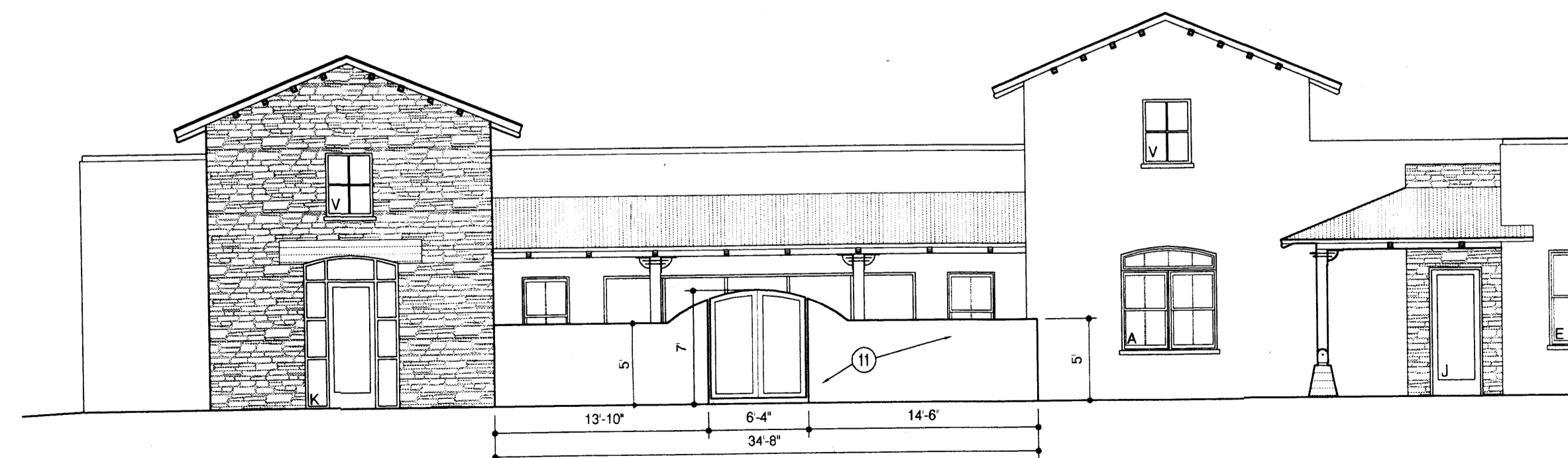
BUILDING B'



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"

BUILDING B'



**PARTIAL SOUTH ELEVATION**

SCALE: 1/8"=1'-0"

BUILDING B'

**KEYED NOTES**

- [1] ALUMINUM CLAD WOOD FRAME WINDOW.
- [2] MANUFACTURED STONE VENEER ON STUCCO SCRATCH COAT ON METAL LATH ON WATERPROOF MEMBRANE.
- [3] ALUMINUM STOREFRONT SYSTEM.
- [4] (3) COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, TYPICAL, UNLESS NOTED OTHERWISE.
- [5] CORRUGATED STEEL ROOF PANELS.
- [6] TUBE STEEL FRAME TRELIS STRUCTURE.
- [7] PORTAL ASSEMBLY:  
20 GA. CORRUGATED MEYERS WEATHERING ROOF DECK ON 1-1/2" T&G DECKING ON 4X4 WOOD RAFTERS (FIR OR SPRUCE) ON 8X10 WOOD BEAM ON 8X8 WOOD POSTS ON CONCRETE BASE.
- [8] PRECAST CONCRETE SILL, TYPICAL.
- [9] FORM CAST COLORED CONCRETE LINTEL WITH 'OOZE' FINISH.
- [10] LANDSCAPE WALL WITH MANUFACTURED STONE VENEER.
- [11] LANDSCAPE WALL WITH STUCCO FINISH AND STEEL GATE.
- [12] ALUMINUM FOLDING PATIO DOOR.
- [13] PNEUMATIC TELLER TUBE.

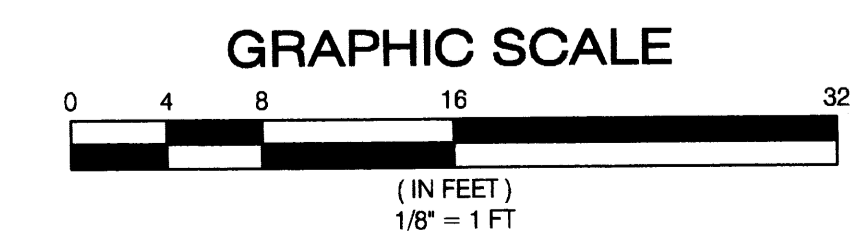
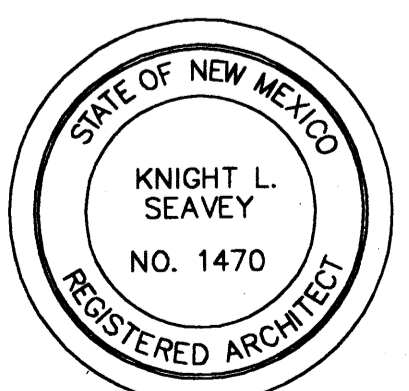


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**SITE DEVELOPMENT PLAN FOR  
 BUILDING PERMIT -  
 PHASE 1 AMMENDMENT**

TITLE	BUILDING ELEVATIONS
DATE ISSUED	1/12/04
UPDATED	06/06/00
EDITION	DBS SUBMITTAL - PHASE 1A
PROJECT ID	07080
FILE	070-0001A-A2.0.DWG
FILE PATH	C:\ACTIVE\PROJECT\070\DWG\070\070A\A2.0.DWG
CREATED BY	WTD
SCALE	1/8"=1'-0"
DISCIPLINE	ARCHITECTURAL
CONSULTANT	INSITEWORKS



**A2.0DRB1a**