

SCALE: 1"=30'

SITE TOTALS (PHASES 1 & 2)

LANDSCAPE AREA: 22,691 (17%) BUILDING AREA: 30,367 SF (23%) PAVING & SIDEWALK AREA: 78,659 SF (61%)

LANDSCAPE AREA: 8489 SF (23%) GROSS BUILDING AREA: 6,214 SF (17%) NET LEASABLE AREA: 5,903 SF PAVING & SIDEWALK AREA: 22,850 SF (60%) R.O.W. LANDSCAPING: 0 SF PARKING SPACES REQUIRED: 5,903/200 = 30 PARKING SPACES PROVIDED: 37 + 2 VAN ACCESSIBLE HC = 39

BIKE RACK SPACES PROVIDED: 3

LANDSCAPE AREA: 4,644 SF (12%) GROSS BUILDING AREA: 10,137 SF (25%) NET LEASABLE AREA: 9,725 SF PAVING & SIDEWALK AREA: 25,253 SF (63%) R.O.W. LANDSCAPING: 0 SF PARKING SPACES REQUIRED: 9,725/200 = 49 PARKING SPACES PROVIDED: 48 + 3 HC (2 VAN ACCESSIBLE) = 51

LANDSCAPE AREA: 4,645 SF (18%) GROSS BUILDING AREA: 7,008 SF (28%) NET LEASABLE AREA: 6,627 SF PAVING & SIDEWALK AREA: 13,708 SF (54%) R.O.W. LANDSCAPING: 0 SF PARKING SPACES REQUIRED: 6,624/200 = 34 PARKING SPACES PROVIDED: 32 + 2 VAN ACCESSIBLE HC = 34 BIKE RACK SPACES PROVIDED: 3

LANDSCAPE AREA: 4,913 SF (17%) GROSS BUILDING AREA: 7,008 SF (24%) NET LEASABLE AREA: 6,627 SF PAVING & SIDEWALK AREA: 16,848 SF (59%) R.O.W. LANDSCAPING: 0 SF PARKING REQUIRED: 6,627/200 = 34 PARKING PROVIDED: 32 SPACES + 2 VAN ACCESSIBLE HC = 34 BIKE RACK SPACES PROVIDED: 3

**CURB RADIUS DATA** 

R2 = 2'-0"

R3 = 3'-0''

R4 = 5'-0''

R5 = 8'-0''

R8 = 30'-0''R9 = 35'-0"

R10 = 50'-0"

RADIUS MEASURED TO

OUTSIDE FACE OF CURB

<u>LEGAL DESCRIPTION:</u>
TRACT F-1-A OF LOOP INDUSTRIAL DISTRICT UNIT 1, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF TRACTS F-1 AND F-2 OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 21, 2000 IN BOOK 2000C, PAGE

#### <u>LEGAL NOTES:</u> 1. CITY OF ALBUQUERQUE UPC NO. 1-017-0164-398-340-1-16-20

2. SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP. BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001C02137D,

### GENERAL NOTES [C1.1] ALL STANDARD PARKING SPACES SHALL BE 8'-6"W X 20'-0"D

BE MARKED ON PAVEMENT WITH WHITE ALKYD STIPING PAINT, TYP.

[C1.2] ALL HANDICAP PARKING SPACES SHALL BE 8'-0"W X 20'-0"D WITH ADJACENT 5'W STRIPED ACCESS AISLE (1 VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESS AISLE). ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL PAVEMENT MARKINGS. [C1.3] ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS AISLES SHALL

[C1.4] ALL DRIVE AISLES AND DUMPSTER ENCLOSURES SHALL BE DESIGNATED AS CROSS ACCESS AND DRAINAGE EASEMENTS BETWEEN ALL PROPERTIES SUBDIVIDED FROM TRACT F-1-A

# [C1.5] ALL PARKING SPACES ABUTTING A SIDEWALK SHALL BE PROVIDED WITH A BUMPER LOCATED 2'-0" OFF THE SIDEWALK

## KEYED NOTES [1] ASPHALT PAVED SURFACE - SEE DETAIL 1/C1.1

[2] CONCRETE CURB & GUTTER, - SEE DETAILS 2/C1.1 - SEE GRADING PLAN FOR SPECIFIC CURB

[3] CONCRETE SIDEWALK - SEE DETAIL 3/C1.1 - TYPICAL SIDEWALK WIDTH SHALL BE 6'-0" UNLESS

#### [4] SIDEWALK RAMP - SEE DETAIL 4/C1.1

[5] CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/C1.1

[6] HANDICAP ACCESS RAMP - SEE DETAIL 8/C1.1

[7] CAST IN PLACE CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 9&10/C1.1

[8] PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/C1.1 [9] HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE

[10] MODIFY EXISTING CURB CUT AND SIDEWALK ACCESS RAMP PER CITY OF ALBUQUERQUE

STANDARDS

[11] EXISTING CURB CUT

[12] EXISTING MEDIAN CUT

[13] EXISTING 6' WIDE CONCRETE PUBLIC SIDEWALK

[14] EDGE OF ASPHALT - EXTEND ASPHALT 12" BEYOND DIMENSIONED WIDTH

[15] COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS - SEE DETAIL 15 [16] CAST IN PLACE CONCRETE PATIO WALL - SEE DETAIL 14/C1.1

[17] CAST IN PLACE CONCRETE RETAINING WALL - SEE DETAIL 13/C1.1

[18] REMOVE EXISTING ASPHALT AND CONCRETE CURBING AS NECESSARY TO CONSTRUCT NEW

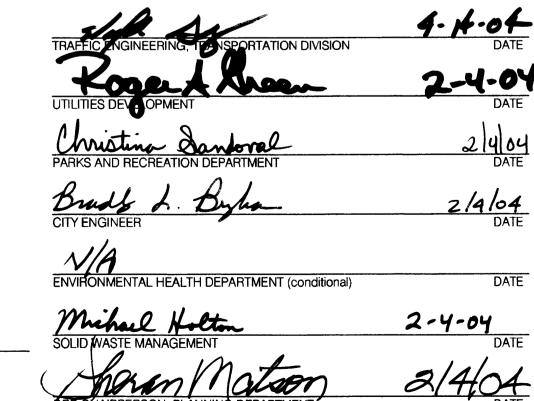
[19] DRIVE-THRU CANOPY - SEE SHEET A2.0DRB1a FOR ELEVATIONS

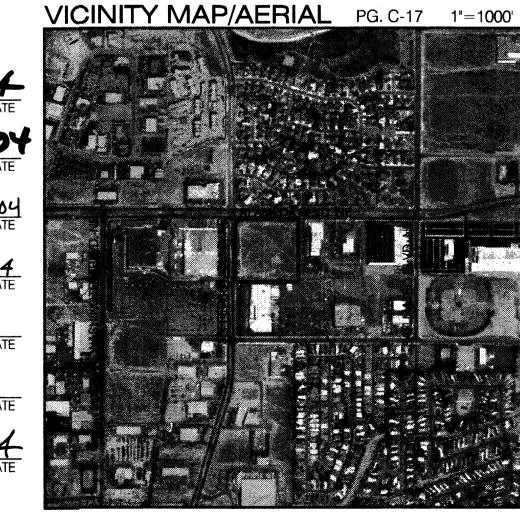
SITE DEVELOPMENT PLAN APPROVAL NOTE
THIS PLAN IS CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD AS REFLECTED IN DRB CASE # APPLICATION #

PROJECT NUMBER: / COO 658 APPLICATION NUMBER: 04-00/03

IS AND INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRCUTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF

# DRB SITE DEVELOPMENT PLAN APPROVAL:





**GRAPHIC SCALE** (IN FEET) 1" = 30 FT

DATE ISSUED 1/26/04 FILE PATH CREATED BY JWC DISCIPLINE | CIVIL CONSULTANT | INSITEWORKS

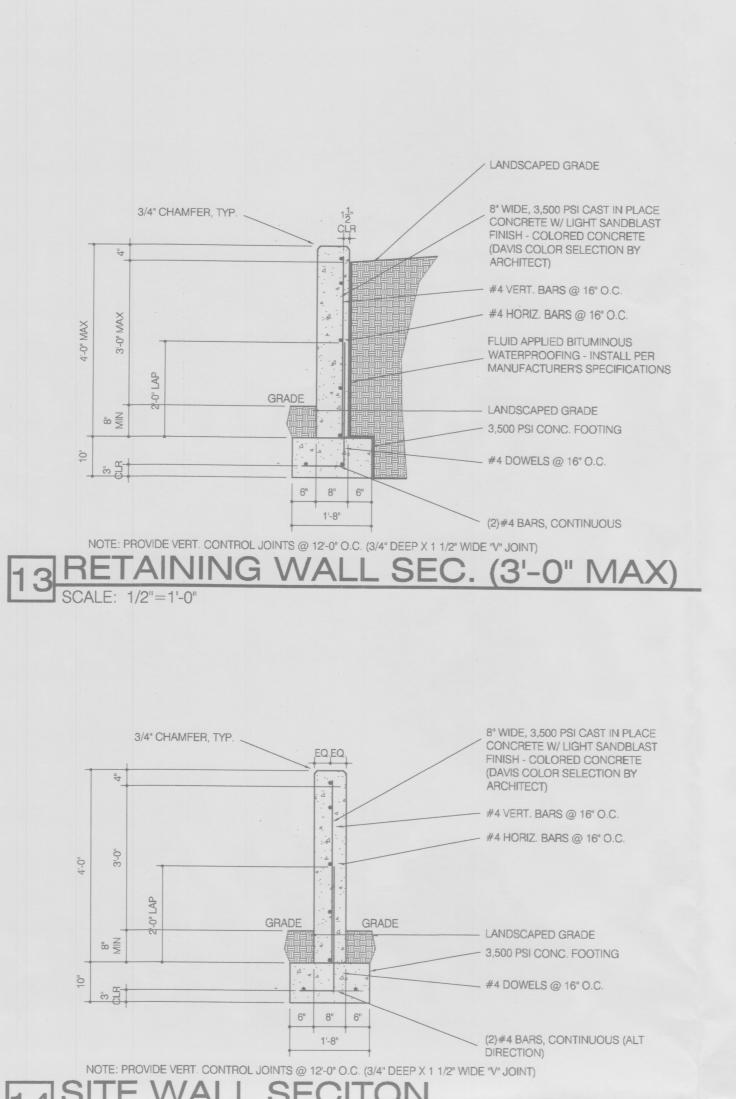
(505) 468-0522

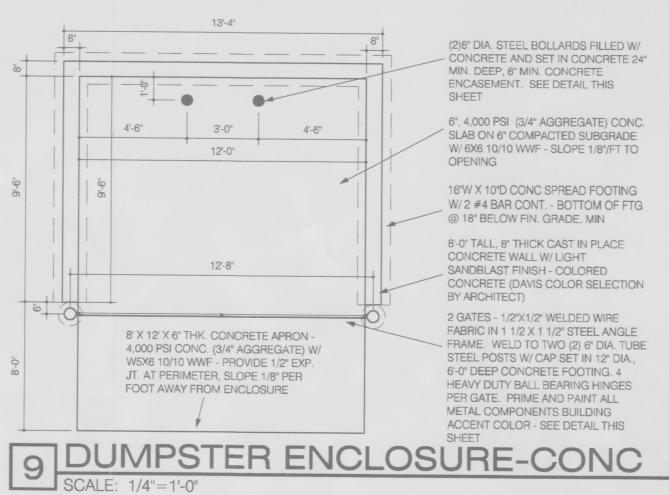
HIS DRAWING IS THE PROPERTY OF INSITEWORKS AN SHALL NOT BE REPRODUCED OR USED IN ANY WAY

WITHOUT EXPRESSED WRITTEN CONSENT



**C1.0DRB1** 





2 GATES - 1/2" X 1/2" WELDED WIRE FABRICWELDED INTO 1 1/2 X 1 1/2 X 3/16" STEEL ANGLE FRAME W/ BEVELLED CORNERS. WELD TO TWO (2) 6" DIA TUBE

STEEL POSTS W/ CAP SET IN 12" DIA., 6'-0"

DEEP CONCRETE FOOTING. 4 HEAVY DUTY

HINGES PER GATE. PRIME AND PAINT ALL

METAL COMPONENTS BUILDING ACCENT

1 1/2" X 1 1/2" X 3/16" ANGLE STEEL

FRAME W/ BEVELLED WELDED

PROVIDE PLATE STEEL PADLOCK CATCHES AND PULLS WELDED TO

PROVIDE STEEL POST GROUND

ANCHORS WELDED TO STEEL FRAME @ EA. GATE W/ STEEL SLEEVES SET IN

CORNERS

CONCRETE PAD

#### 2" DIA STEEL TUBE CONSRUCTION WITH WELDED JOINTS, PRIMED AND PAINTED WITH 2 COAT ENAMEL 1/8" PLATE STEEL SIGN ANCHORAGE BRACKETS - 2 PER LOCATION WITH 7/8" GAP BETWEEN. PROVIDE 1/4" THRU-BOLT CONNECTION 3/4" 1 1/4" COATED STEEL SIGN BOARD W/ HANDICAP SYMBOL - BLUE 1'-3" BACKGROUND W/ WHITE SYMBOL. Bracket Dtl. PROVIDE STENCILLED HANDICAP SYMBOL OR DECAL FROM A COMMERCIAL SIGN CO. ONLY. 1'-6" SURFACE OF SIDEWALK OR PAVING SET POSTS 18" MIN. INTO 8" DIA, 3,000 PSI CONCRETE Radius Info

SEE SOILS REPORT FOR ADDITIONAL DETAILED PAVING SPECIFICATIONS FOR THIS PROJECT

r-----

INSITE : WORKS ....

TELEPHONE (505) 858-0100

CONTRACTOR | CONTRACTOR

WEBSITE

57 ROCK POINT PLACE NE

(505) 858-1098

www.insiteworks.com

jud@insiteworks.com

XXXXXXXXXXXXXXXXXX

XXXXXXXXXXXXXXXXXXX

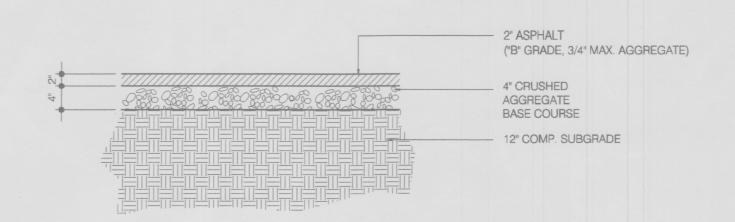
THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND

SHALL NOT BE REPRODUCED OR USED IN ANY WAY

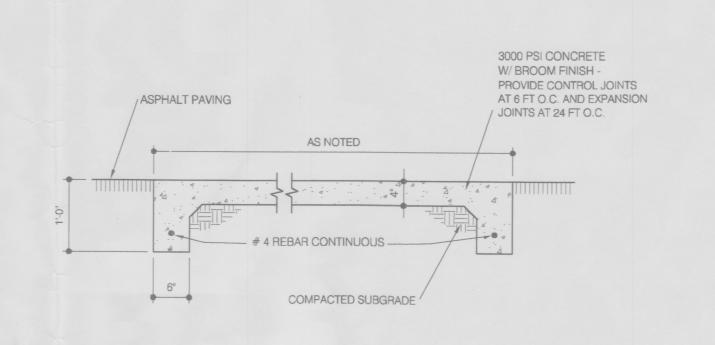
WITHOUT EXPRESSED WRITTEN CONSENT

knight@insiteworks.com

ALBUQUERQUE, NM 87122







PRECAST CONCRETE BIKE RACK

W/ 3 WHEEL SLOTS

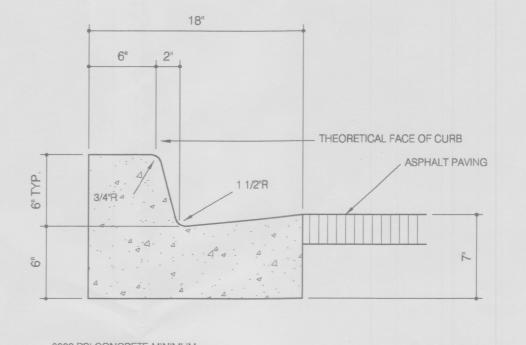
WHEEL SLOT 12" RADIUS

#5 REBAR LOCK LOOP

- WHEEL SLOT 12" RADIUS

\_ #5 REBAR LOCK LOOP

1 ASPHALT PAVING - MEDIUM
SCALE: 3/4"=1'-0"

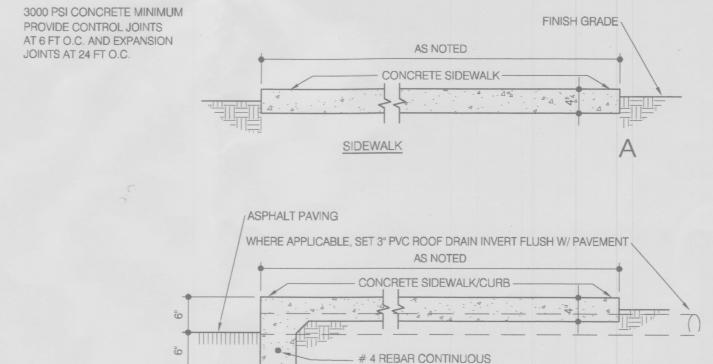


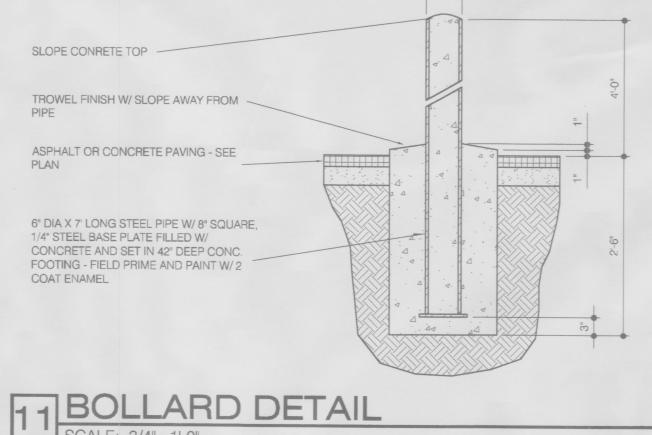
3000 PSI CONCRETE MINIMUM PROVIDE CONTROL JOINTS @ 6' O.C. TYP. BROOM FINISH

O DUMPSTER ENCLOSURE GATE





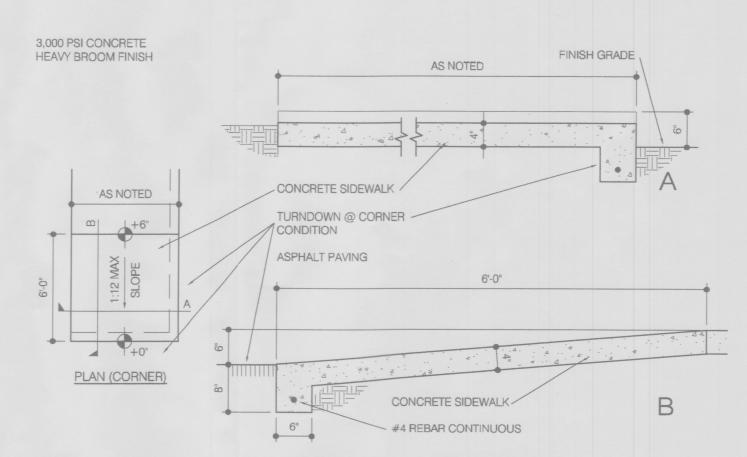


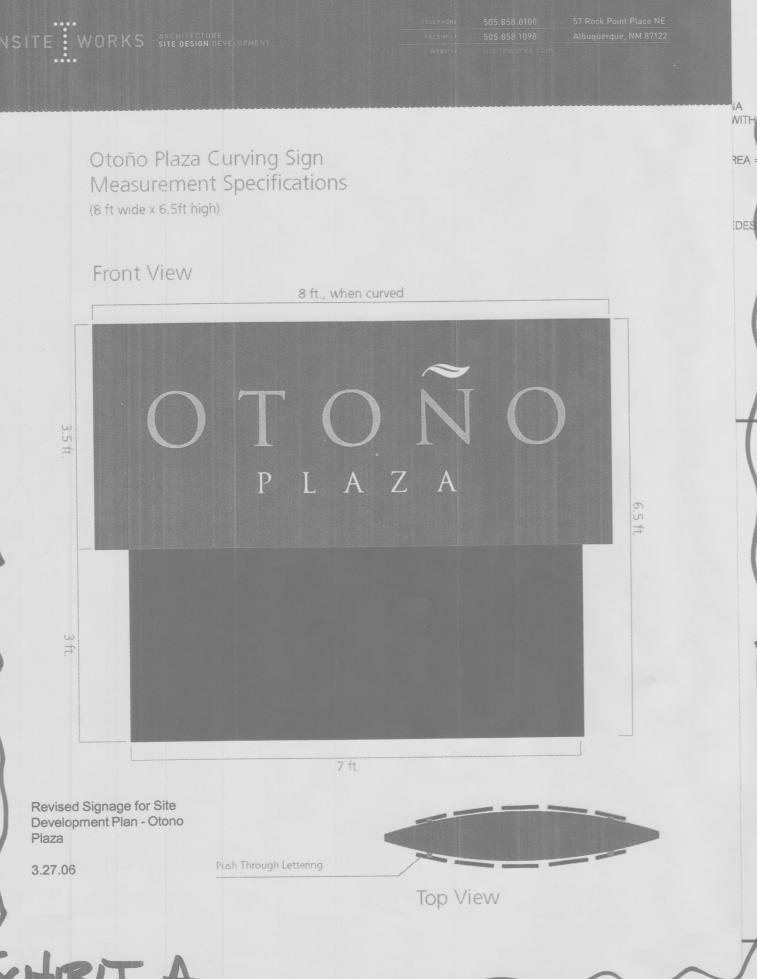


BIKE RACK DETAIL - 3 STALL CONC

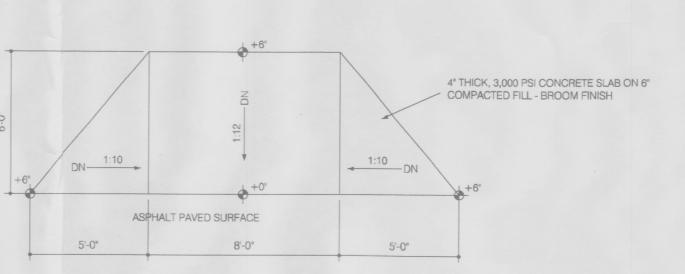
SCALE: 1/2"=1'-0"

# SIDEWALK/ CURB





- AMENDED MONUMENT SIGN DETAIL 3.29.06



8 HC SIDEWALK RAMP

4 SIDEWALK RAMP SECTION
SCALE: 3/4"=1'-0"

12 OPEN SCALE: 1"=1"

PROJECT ID OTO-DD2-SITEDTLS.DWG FILE PATH C:\ACTIVE\PROJECT\CD CREATED BY VARIES DISCIPLINE | ARCHITECTURAL CONSULTANT | INSITEWORKS KNIGHT SEAVEY

SITE DETAILS

00/00/00 DRB SUBMITTAL

DATE ISSUED | 5/5/03

NO. 1470