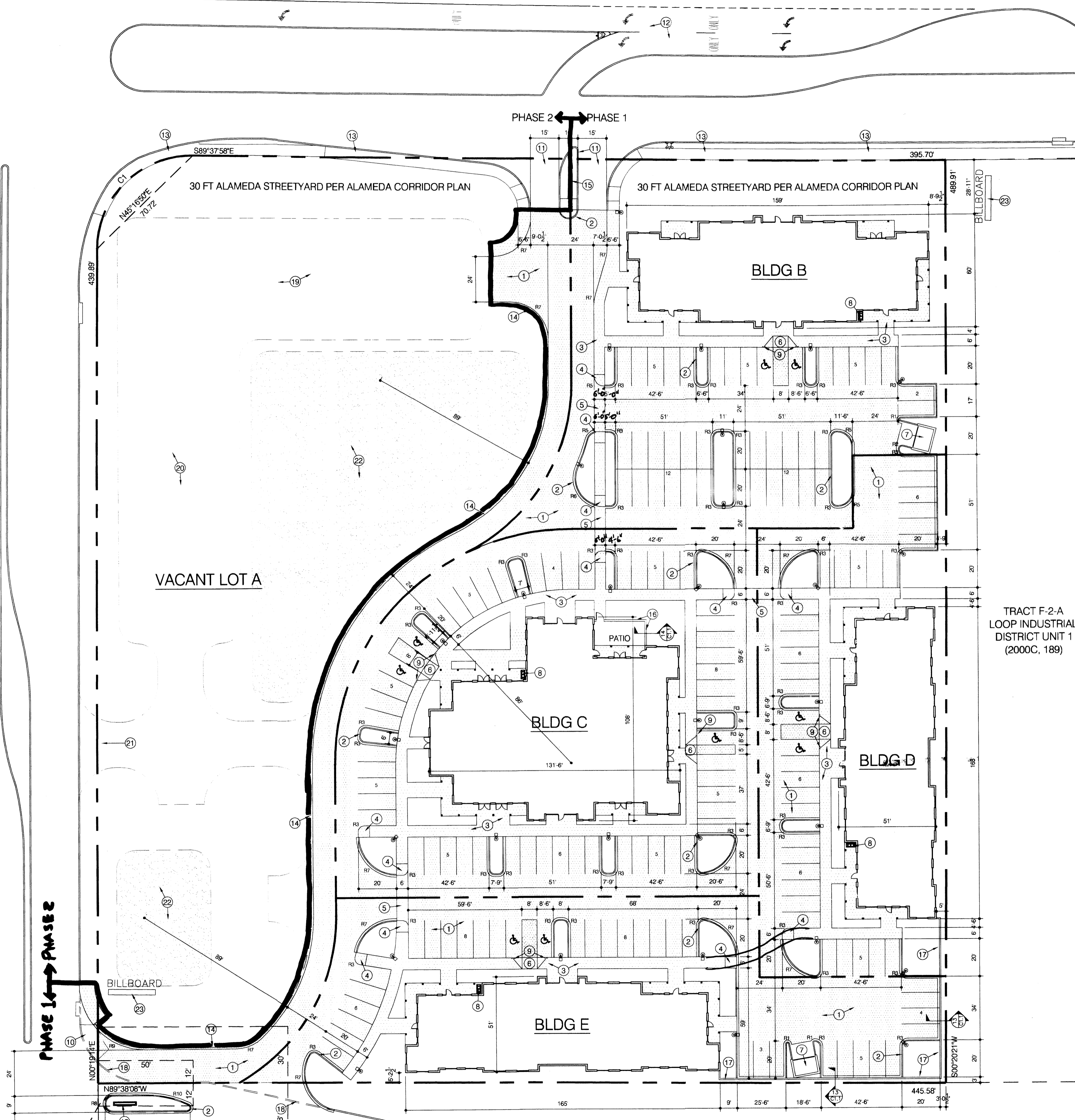


JEFFERSON ST. NE
86' R.O.W.

ALAMEDA BLVD. NE
124' R.O.W.



SITE TOTALS
 SITE AREA: 217,800 SF (5.00 ACRES)
 LANDSCAPE AREA: 63,46 SF (29%)
 BUILDING AREA: 31,47 SF (14%)
 PAVING & SIDEWALK A/E: 122,921 SF (56%)
 R.O.W. LANDSCAPING: 3,675 SF

PHASE 1 TOTALS
 SITE AREA: 129,673 SF
 LANDSCAPE AREA: 24,66 SF (19%)
 BUILDING AREA: 31,47 SF (24%)
 PAVING & SIDEWALK A/E: 74,177 SF (57%)
 R.O.W. LANDSCAPING: 1 SF

BUILDING B
 USE: OFFICE/RETAIL
 SITE AREA: 86,170 SF
 LANDSCAPE AREA (EST. MATE): 39,380 SF (46%)
 BUILDING AREA: 0 SF (0%)
 PAVING & SIDEWALK A/E: 46,790 SF (54%)
 R.O.W. LANDSCAPING: 1,675 SF

BUILDING C
 USE: OFFICE
 SITE AREA: 35,553 SF
 LANDSCAPE AREA: 9,93 SF (28%)
 BUILDING AREA: 7,320 SF (21%) (NET LEASABLE AREA: 6,965 SF)
 PAVING & SIDEWALK A/E: 18,300 SF (51%)
 R.O.W. LANDSCAPING: 1 SF
 PARKING PROVIDED: 4 SPACES
 BIKE RACK SPACES PROVIDED: 3

BUILDING D
 USE: OFFICE
 SITE AREA: 25,361 SF
 LANDSCAPE AREA: 4,615 SF (18%)
 BUILDING AREA: 7,008 SF (28%) (NET LEASABLE AREA: 6,627 SF)
 PAVING & SIDEWALK A/E: 13,708 SF (54%)
 R.O.W. LANDSCAPING: 1 SF
 PARKING PROVIDED: 3 SPACES + 2 VAN ACCESSIBLE HC SPACES
 BIKE RACK SPACES PROVIDED: 3

BUILDING E
 USE: OFFICE
 SITE AREA: 28,769 SF
 LANDSCAPE AREA: 4,53 SF (17%)
 BUILDING AREA: 7,008 SF (28%) (NET LEASABLE AREA: 6,627 SF)
 PAVING & SIDEWALK A/E: 16,848 SF (59%)
 R.O.W. LANDSCAPING: 1 SF
 PARKING PROVIDED: 3 SPACES + 2 VAN ACCESSIBLE HC SPACES
 BIKE RACK SPACES PROVIDED: 3

LEGEND

	NEW 16' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT-OFF SHOE BOX TYPE)	R1 = 1'-0"
	EXISTING FIRE HYDRANT	R2 = 2'-0"
	NEW FIRE HYDRANT - SEE SITE UTILITY PLAN	R3 = 3'-0"
	NEW WATER METER - SEE SITE UTILITY PLAN	R4 = 5'-0"
		R5 = 8'-0"
		R6 = 15'-0"
		R7 = 20'-0"
		R8 = 9'-0"
		R9 = 35'-0"
		R10 = 50'-0"

RADIUS MEASURED TO OUTSIDE FACE OF CURB

CURB RADIUS DATA

TRACT F-2-A
 LOOP INDUSTRIAL
 DISTRICT UNIT 1
 (2000C, 189)

DRB# 1000 658
 CITY APPROVALS
 Planning Department: *Sharon Matson* 7/28/03
 Transportation Department: *Paul Dault* 6/11/03
 Utility Department: *Roger J. Green* 6/10/03
 Parks Department: *Christina Grandora* 6/11/03
 Hydrology: *Bradley J. Biles* 7/25/03
 Solid Waste: *Michael Nilton* 6-2-03

PROJ 1000658

TRACT F-1-A
 LOOP INDUSTRIAL DISTRICT, UNIT 1
 PROJECTED SECTION 14.T.11.N.R.3E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

LEGAL DESCRIPTION:
 TRACT F-1-A OF LOOP INDUSTRIAL DISTRICT UNIT 1, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE RE-PLAT OF TRACTS F-1 AND F-2 OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 21, 2000 IN BOOK 2000C, PAGE 189.

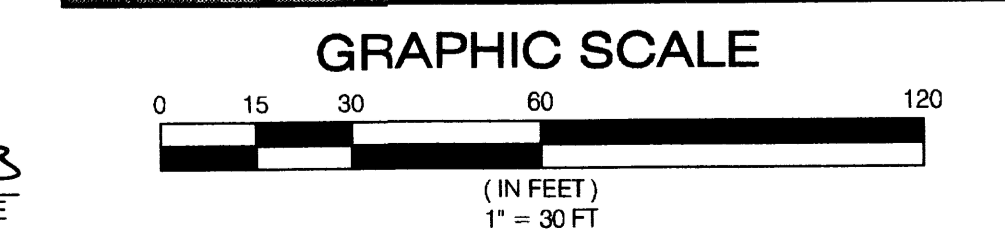
LEGAL NOTES:
 1. CITY OF ALBUQUERQUE UPC NO. 1-017-0164-398-340-1-16-20
 2. SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001C02137D, EFFECTIVE DATE, SEPTEMBER 20, 1996.

GENERAL NOTES:
 (C1.1) ALL STANDARD PARKING SPACES SHALL BE 8'-6" W X 20'-0" D
 (C1.2) ALL HANDICAP PARKING SPACES SHALL BE 8'-0" W X 20'-0" D WITH ADJACENT SW STRIPPED ACCESS AISLE (1 VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESS AISLE). ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL PAVEMENT MARKINGS.
 (C1.3) ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS AISLES SHALL BE MARKED ON PAVEMENT WITH WHITE ALLOYD STRIPING PAINT, TYP.
 (C1.4) ALL DRIVE AISLES AND DUMPSTER ENCLOSURES SHALL BE DESIGNATED AS CROSS ACCESS AND DRAINAGE EASEMENTS BETWEEN ALL PROPERTIES SUBDIVIDED FROM TRACT F-1-A

- KEYED NOTES:**
- (1) ASPHALT PAVED SURFACE - SEE DETAIL 1/C1.1
 - (2) CONCRETE CURB & GUTTER - SEE DETAILS 2/C1.1 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS
 - (3) CONCRETE SIDEWALK - SEE DETAIL 3/C1.1 - TYPICAL SIDEWALK WIDTH SHALL BE 6'-0" UNLESS NOTED OTHERWISE
 - (4) SIDEWALK RAMP - SEE DETAIL 4/C1.1
 - (5) CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/C1.1
 - (6) HANDICAP ACCESS RAMP - SEE DETAIL 8/C1.1
 - (7) CAST IN PLACE CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 9A10/C1.1
 - (8) PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/C1.1
 - (9) HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 5/C1.1
 - (10) MODIFY EXISTING CURB CUT AND SIDEWALK ACCESS RAMP PER CITY OF ALBUQUERQUE STANDARDS
 - (11) EXISTING CURB CUT
 - (12) EXISTING MEDIAN CUT
 - (13) EXISTING 6' WIDE CONCRETE PUBLIC SIDEWALK
 - (14) EDGE OF ASPHALT - EXTEND ASPHALT 12" BEYOND DIMENSIONED WIDTH
 - (15) COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS - SEE DETAIL 15 & 16/C1.1
 - (16) CAST IN PLACE CONCRETE PATIO WALL - SEE DETAIL 14/C1.1
 - (17) CAST IN PLACE CONCRETE RETAINING WALL - SEE DETAIL 13/C1.1
 - (18) REMOVE EXISTING ASPHALT AND CONCRETE CURBING AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS
 - (19) FUTURE PARKING - PARKING SHALL BE DEPRESSED AND LANDSCAPED STREETYARD SHALL BE BERMED AND LANDSCAPED SUCH AS TO PROVIDE NOT LESS THAN 36" VISUAL SCREENING OF CARS.
 - (20) FUTURE DRIVE AISLE AND PARKING
 - (21) FUTURE CURB CUT
 - (22) GENERAL LOCATION OF FUTURE, PHASE 2 BUILDING
 - (23) EXISTING BILLBOARD

SITE DEVELOPMENT PLAN APPROVAL NOTE:
 THIS PLAN IS CONFORMING WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON APPLICATION # _____ UNDER _____

VICINITY MAP/AERIAL PG. C-17 1"=1000



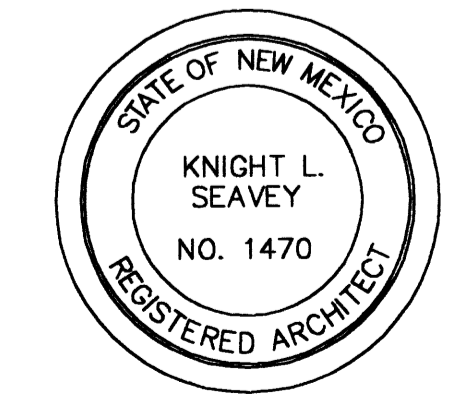
INSITE WORKS

ADDRESS	57 ROCK POINT PLACE NE
	ALBUQUERQUE, NM 87122
TELEPHONE	(505) 858-6100
FAX	(505) 858-1888
WEBSITE	www.insiteworks.com
KS email	ks@insiteworks.com
JC email	jc@insiteworks.com
CONTRACTOR	CONTRACTOR
TELEPHONE	XXXXXXXXXXXX
FAX	XXXXXXXXXXXX

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

SITE DEVELOPMENT PLAN FOR
 SUBDIVISION AND BUILDING PERMIT

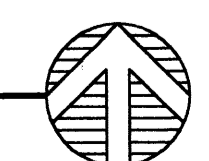
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UPDATED	06/06/03
EDITION	DRB SUBMITTAL
PROJECT ID	OTDR
FILE	OTDR-DRB-SITE.DWG
FILE PATH	C:\ACTIVE\PROJECTS
CREATED BY	JWC
SCALE	1" = 30'
DISCIPLINE	CIVIL
CONSULTANT	INSITEWORKS



C1.0drb

SITE PLAN

SCALE: 1"=30'



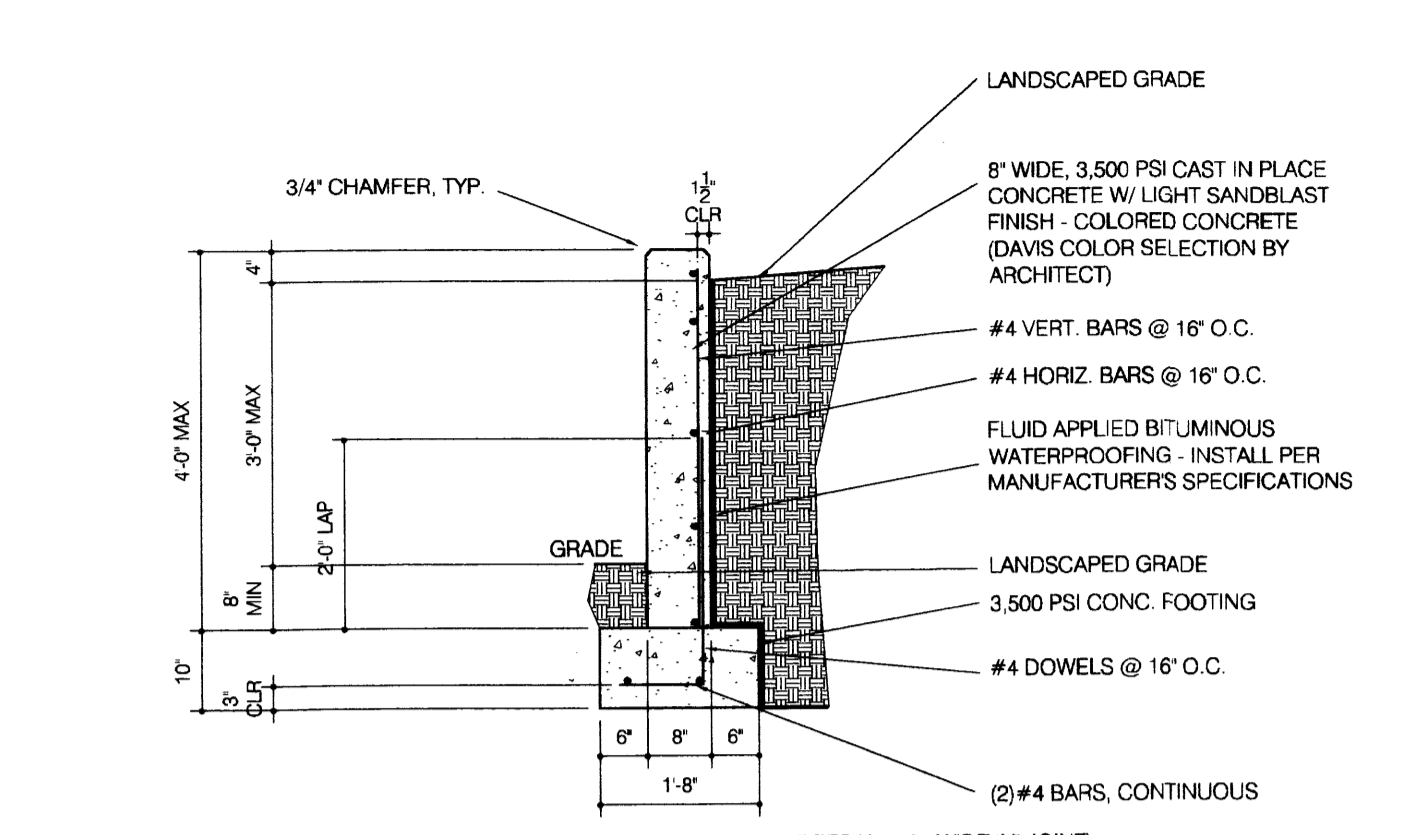
Michael Nilton
 FIRE MARSHALL
 DATE: 6.2.03

RECORDED 6/2/03
 BOOK: ASS
 PAGE: 3683, 5663

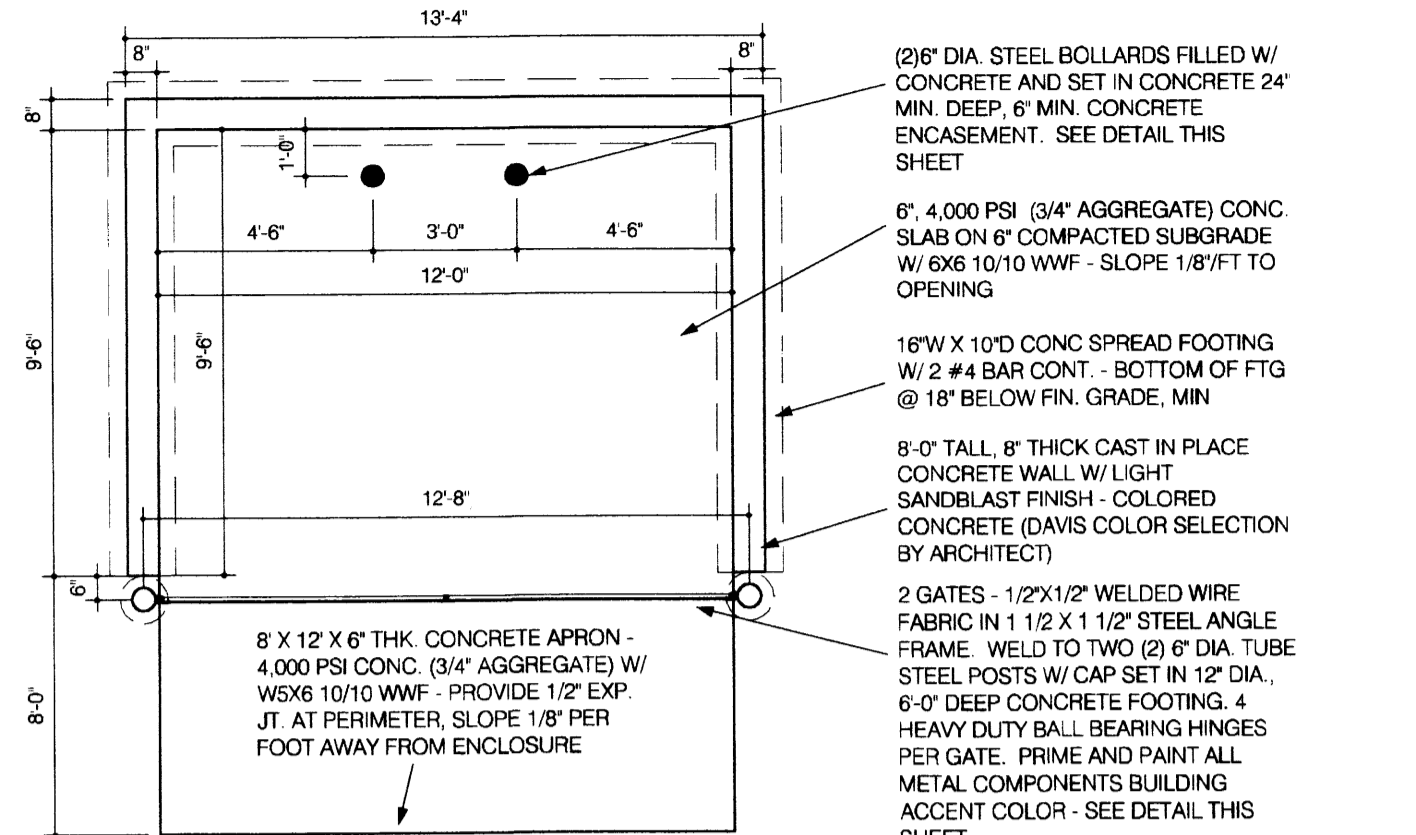
TRACT C
 LOOP INDUSTRIAL
 DISTRICT UNIT 1
 (C20, 35)

ADDRESS	57 ROCK POINT PLACE NE
	ALBUQUERQUE, NM 87122
TELEPHONE	(505) 856-0100
FAX	(505) 856-1000
WEBSITE	www.insiteworks.com
KS email	ks@insiteworks.com
JC email	jc@insiteworks.com
CONTRACTOR	XXXXXXXXXXXX
TELEPHONE	XXXXXXXXXXXX
FAX	XXXXXXXXXXXX

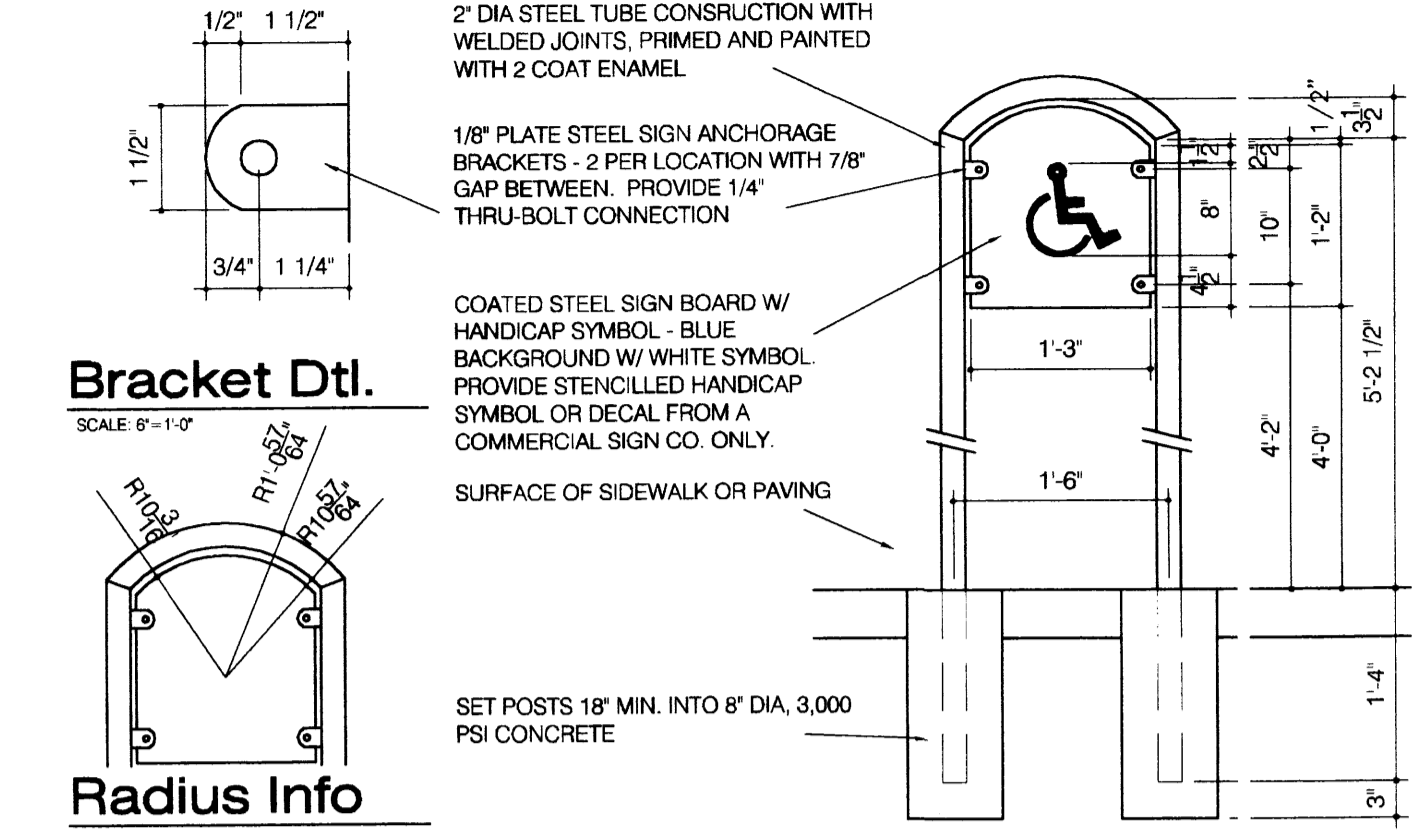
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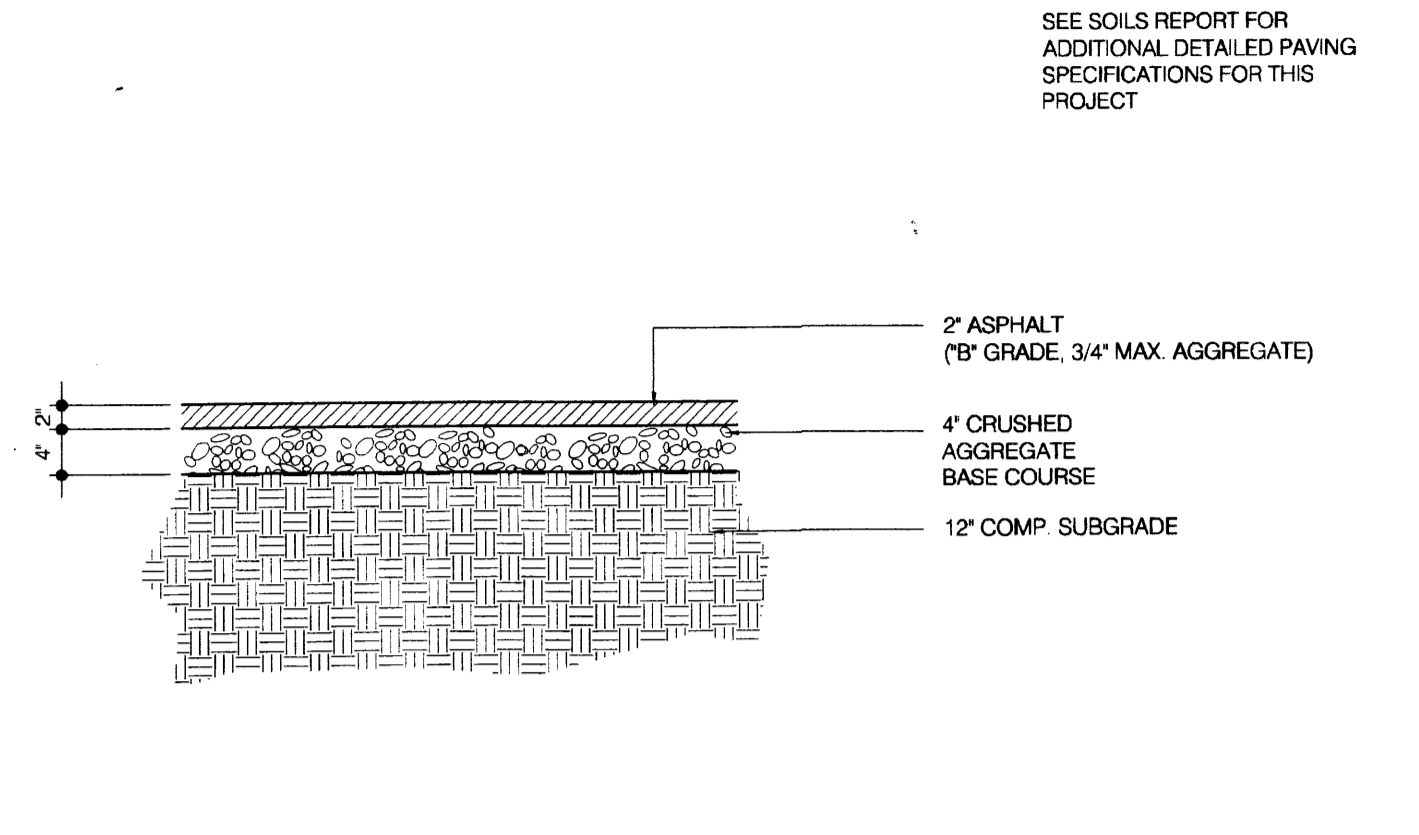
13 RETAINING WALL SEC. (3'-0" MAX)
SCALE: 1/2"=1'-0"



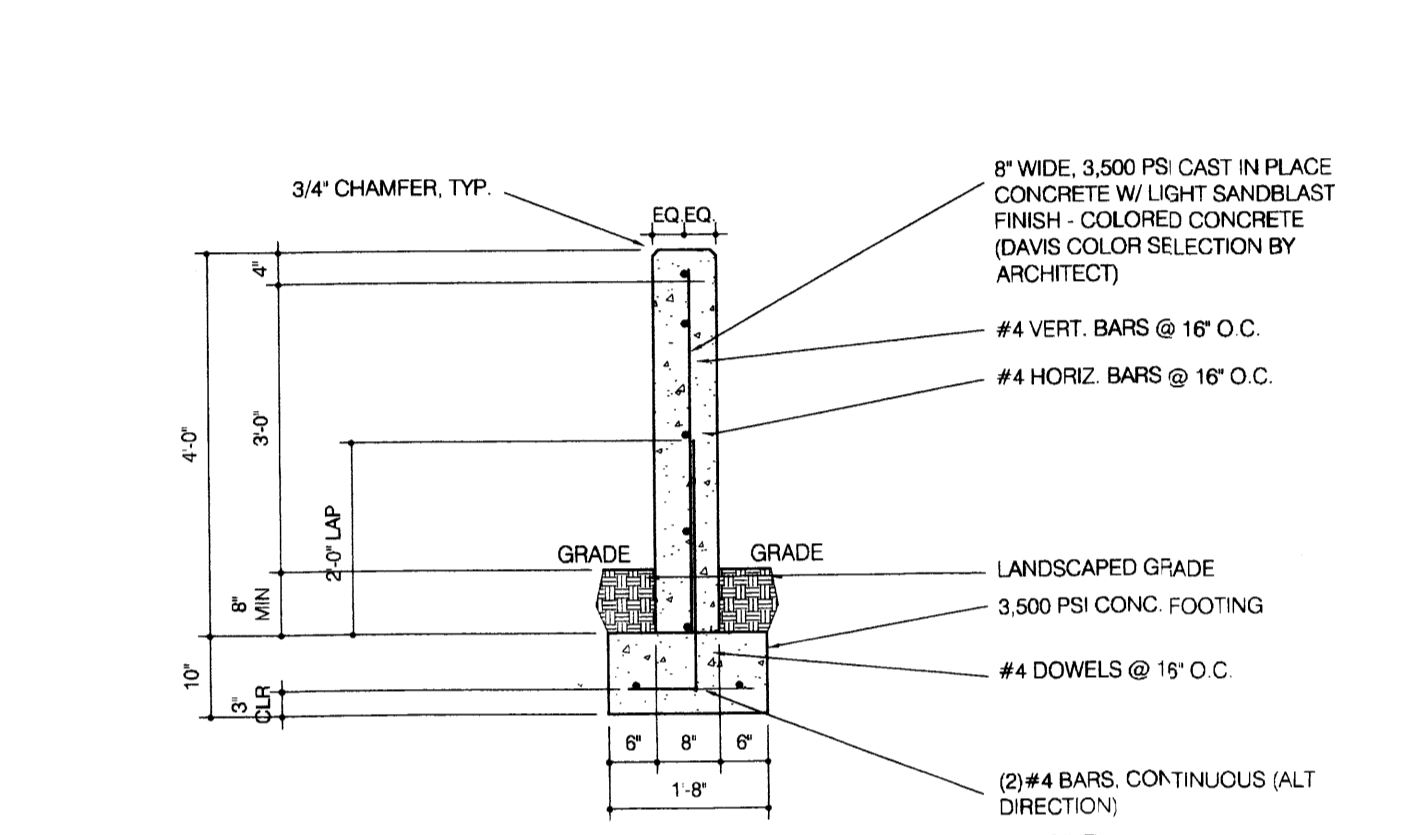
9 DUMPSTER ENCLOSURE-CONC
SCALE: 1/4"=1'-0"



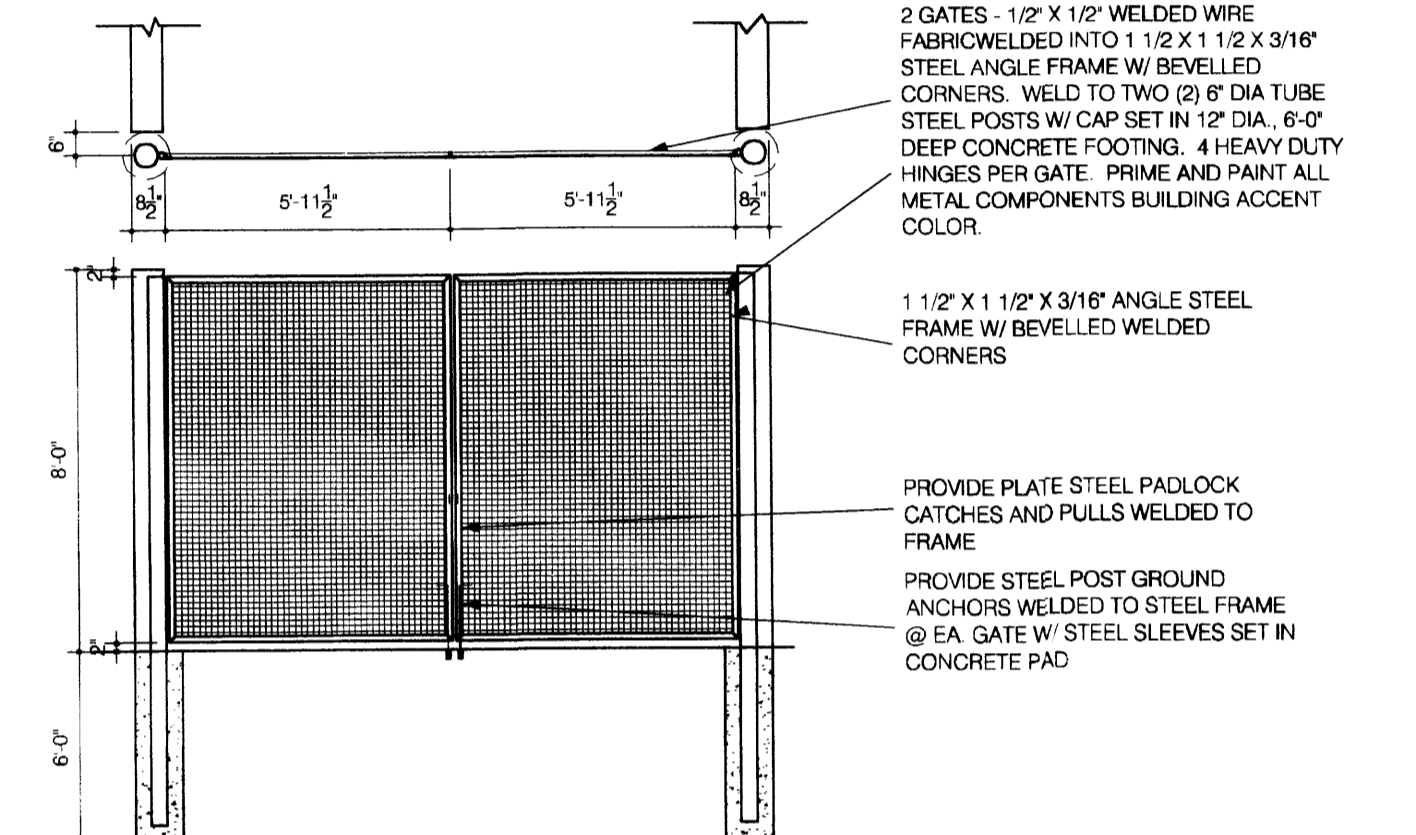
5 HANDICAP PARKING SIGN DETAIL
SCALE: 3/4"=1'-0"



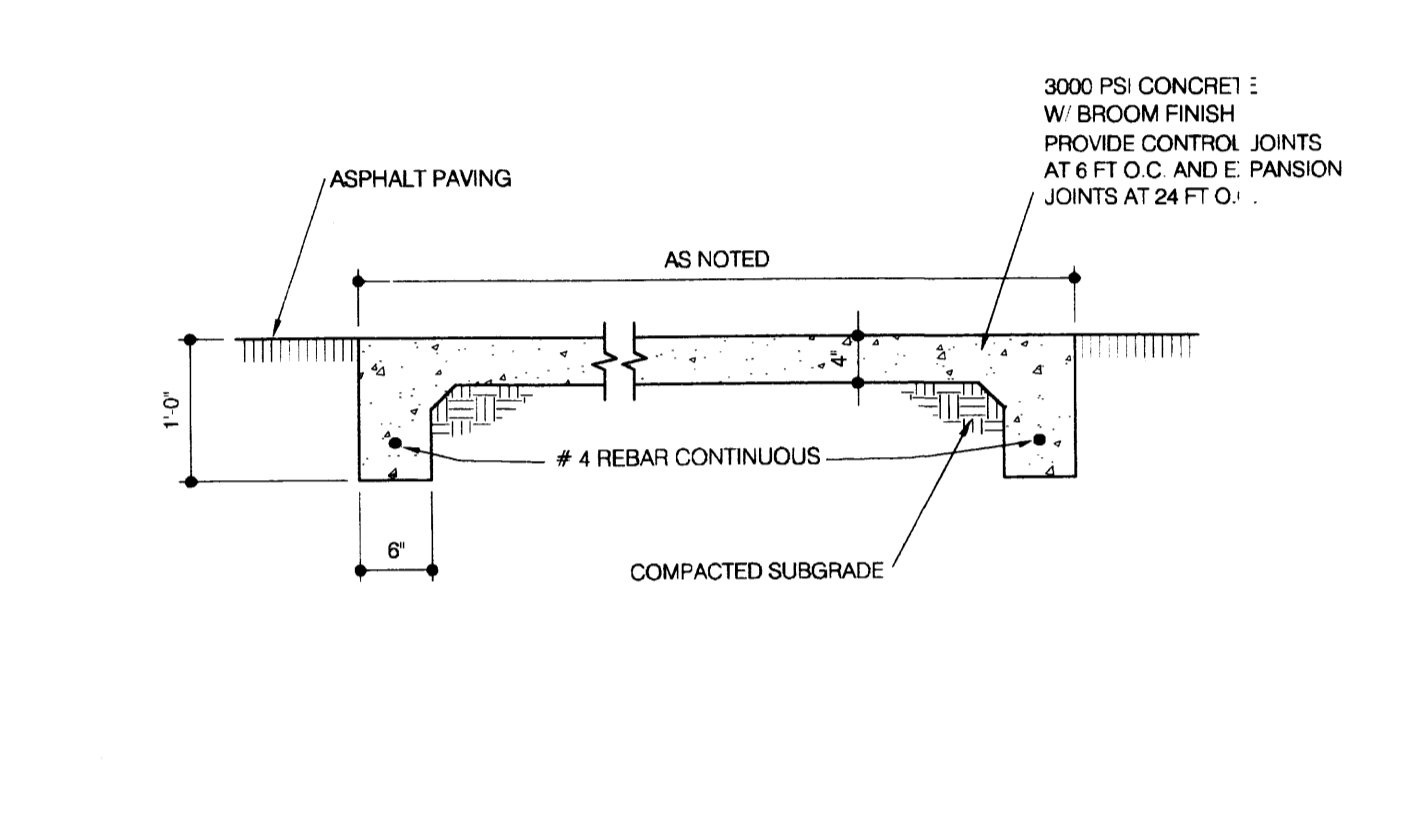
1 ASPHALT PAVING - MEDIUM
SCALE: 3/4"=1'-0"



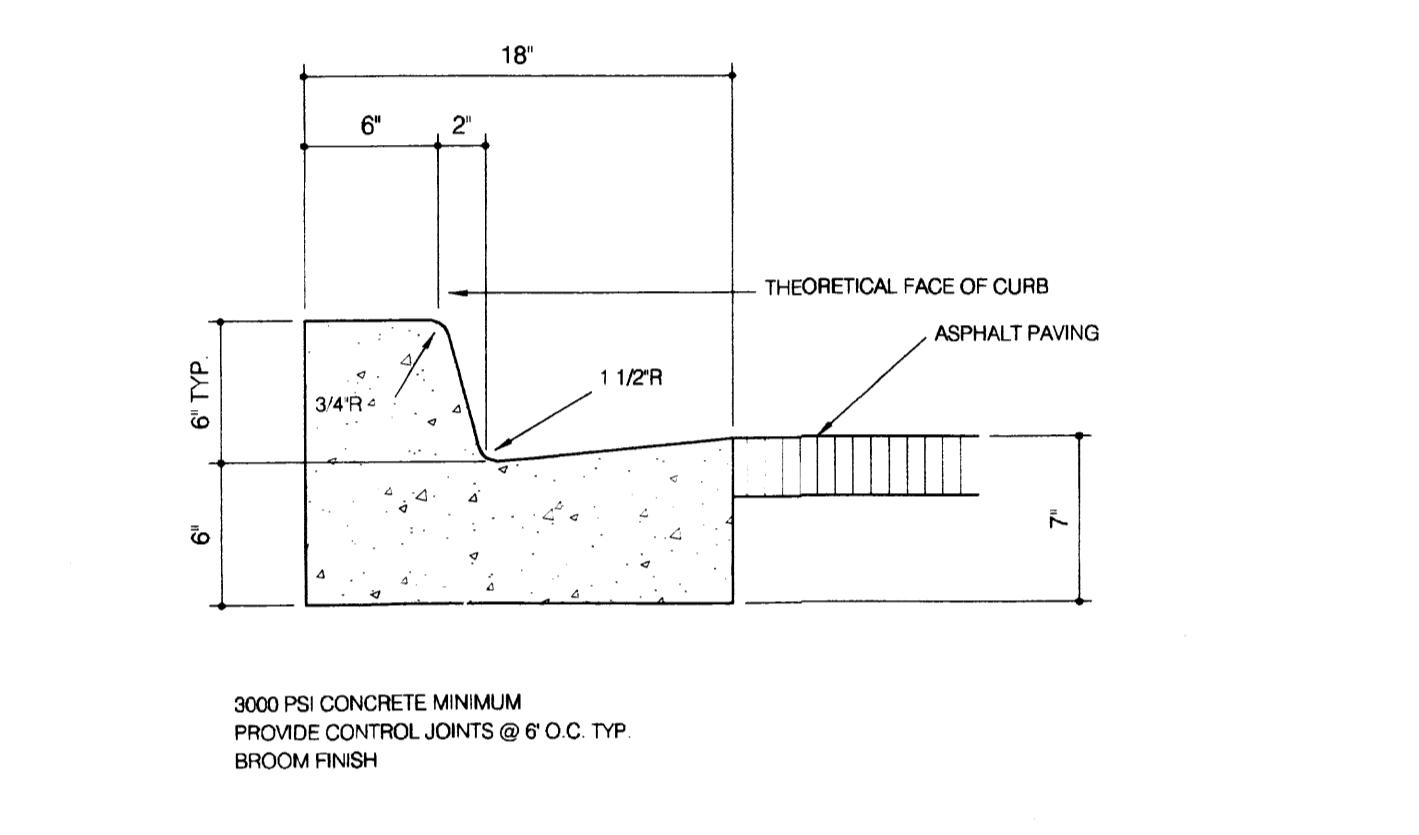
14 SITE WALL SECTION
SCALE: 1/2"=1'-0"



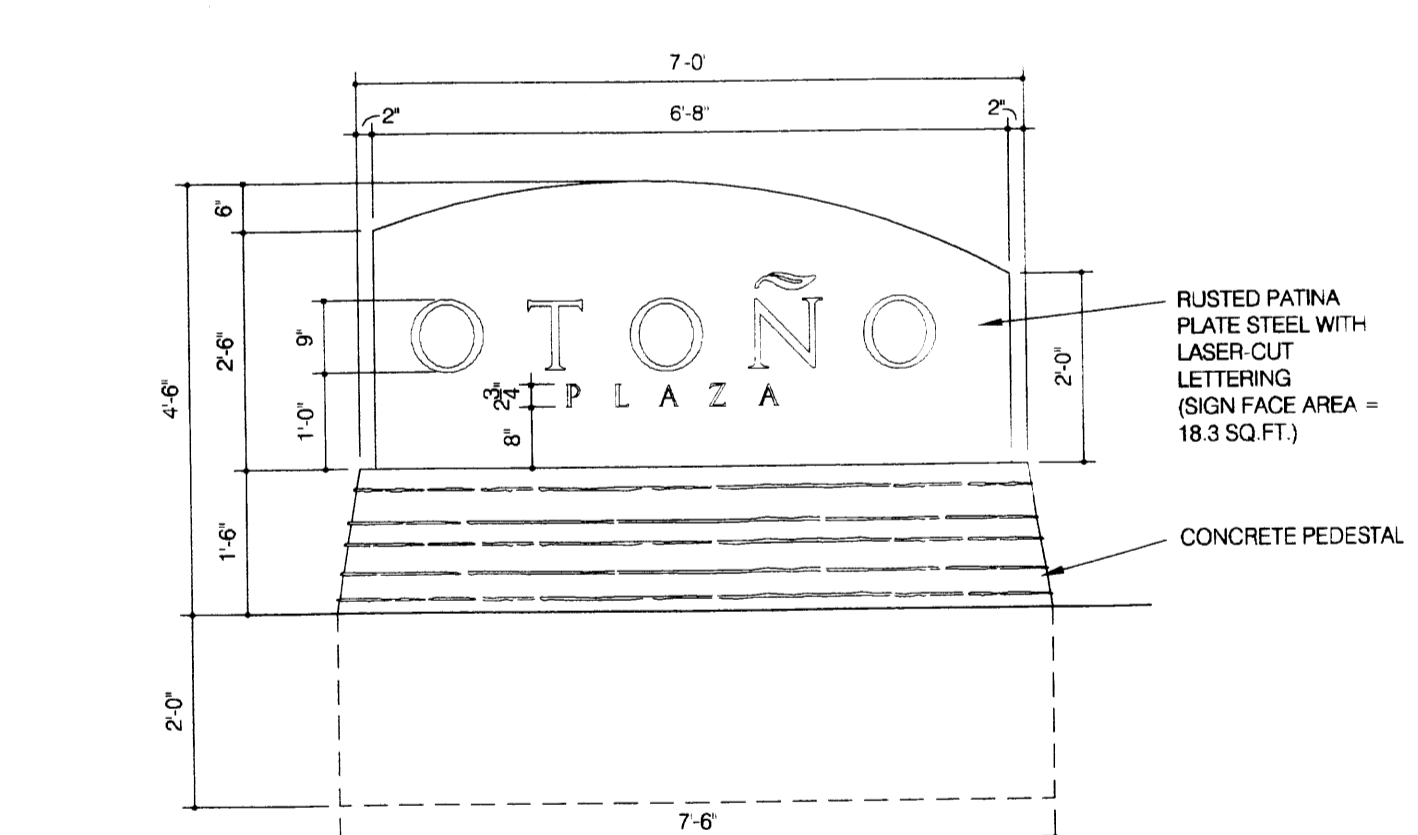
10 DUMPSTER ENCLOSURE GATE
SCALE: 1/4"=1'-0"



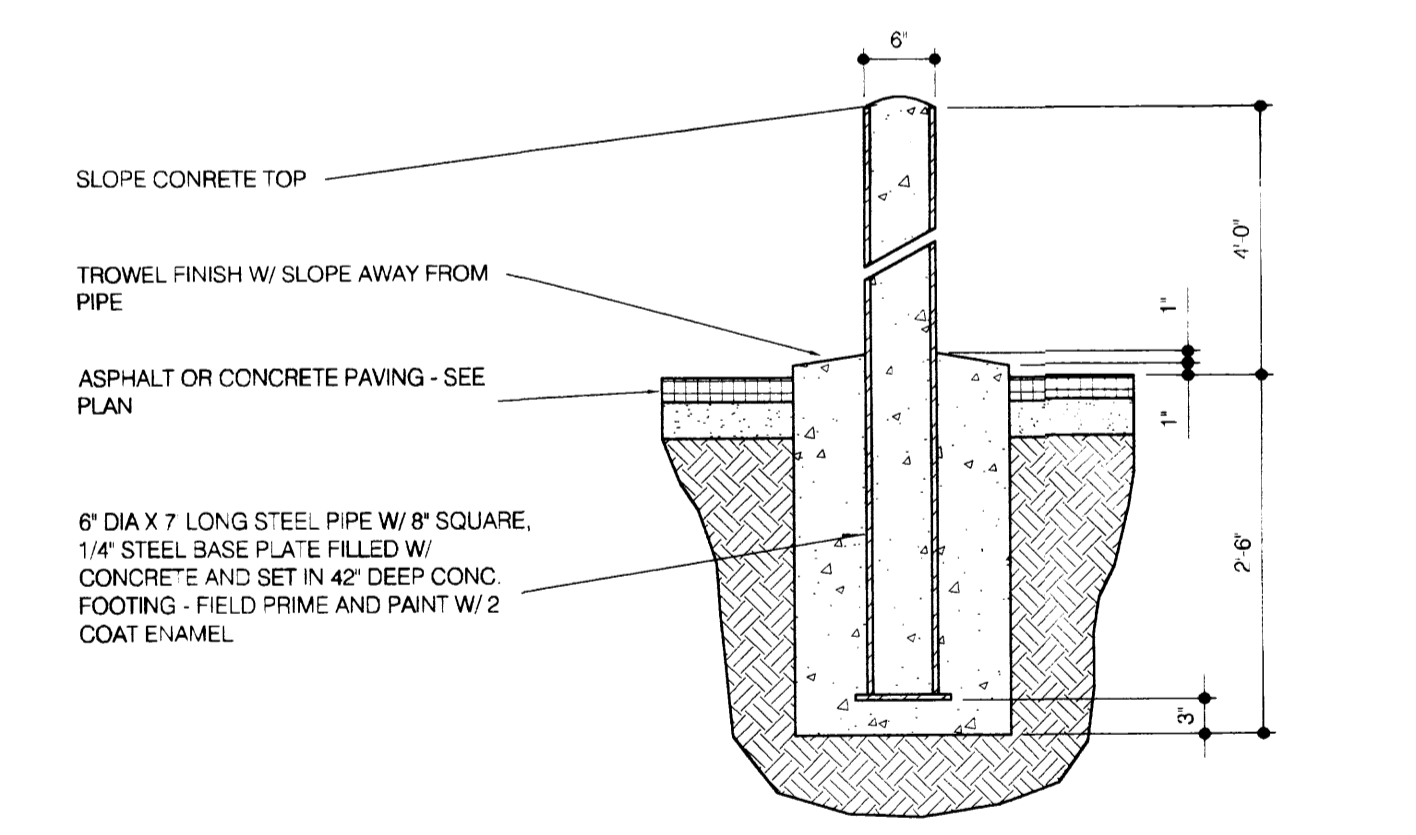
6 CROSSWALK SECTION
SCALE: 3/4"=1'-0"



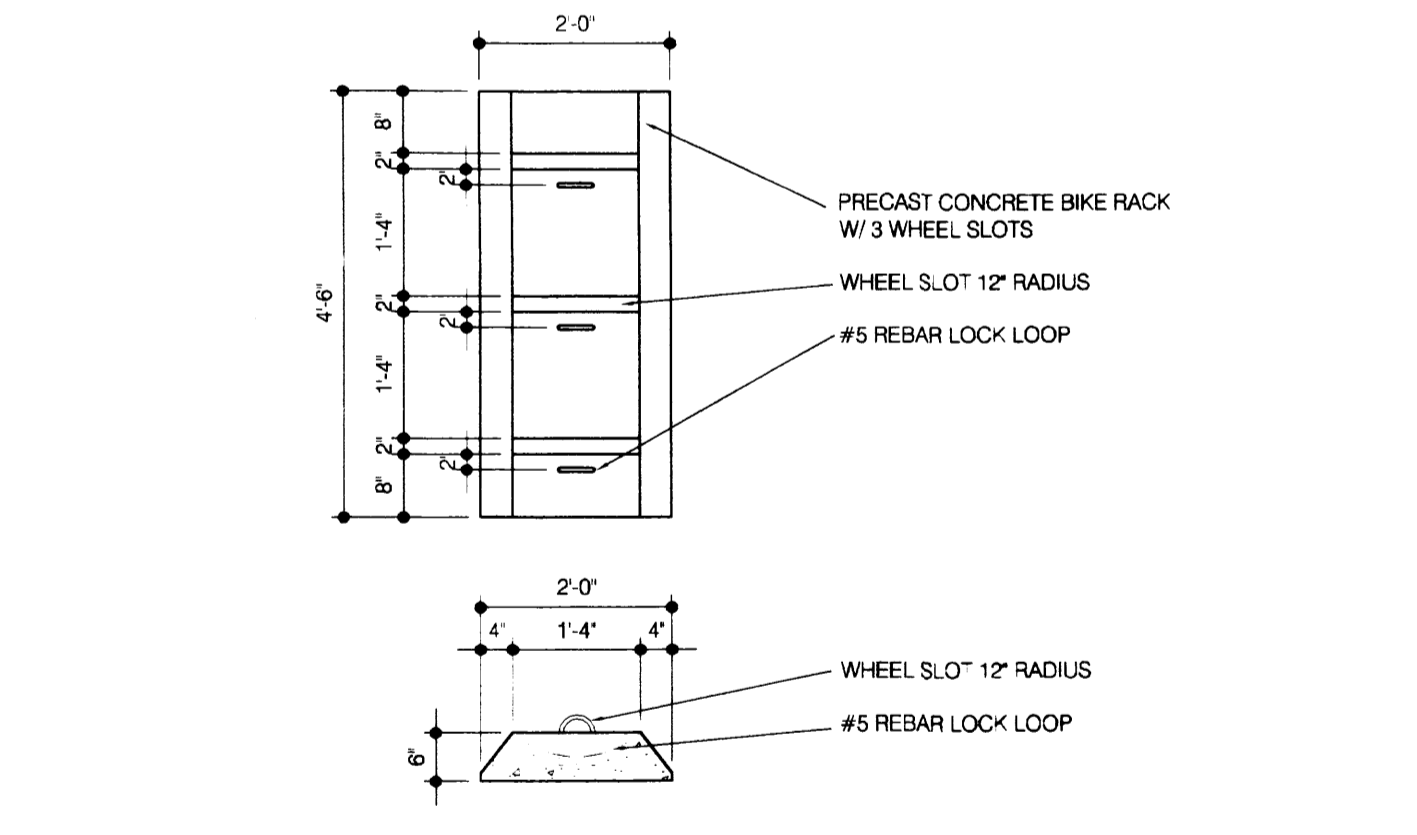
2 CURB & GUTTER SECTION
SCALE: 1 1/2"=1'-0"



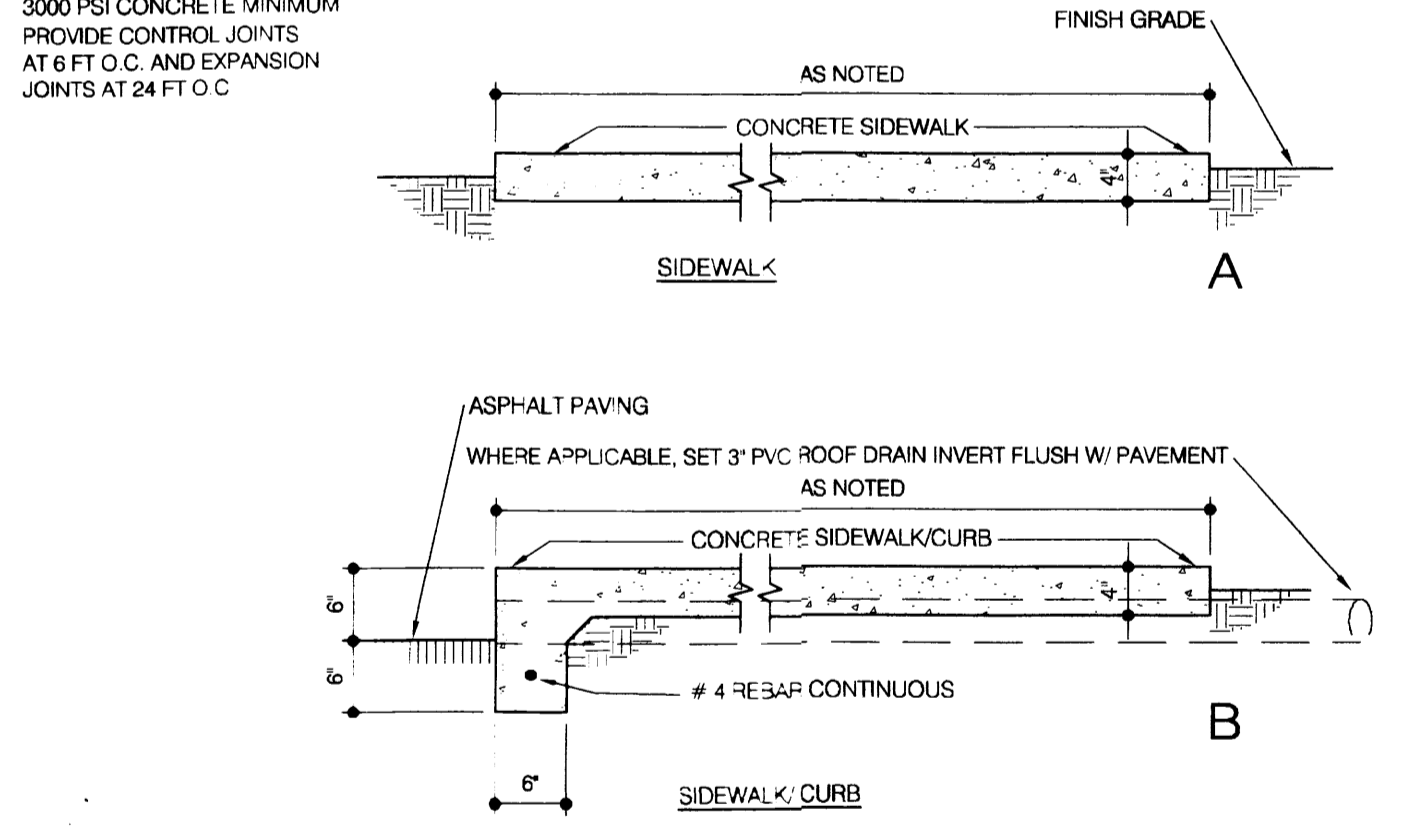
15 MONUMENT SIGN ELEVATION
SCALE: 1/2"=1'-0"



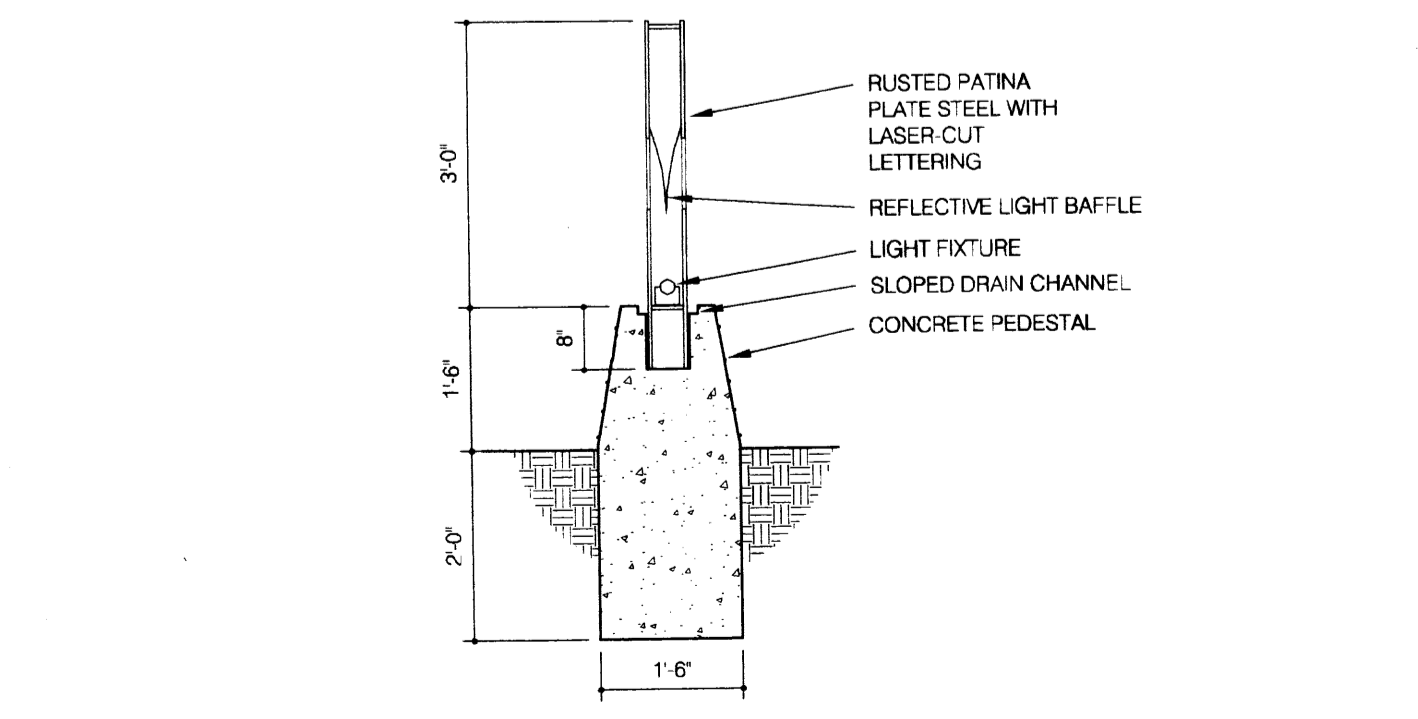
11 BOLLARD DETAIL
SCALE: 3/4"=1'-0"



7 BIKE RACK DETAIL - 3 STALL CONC
SCALE: 1/2"=1'-0"



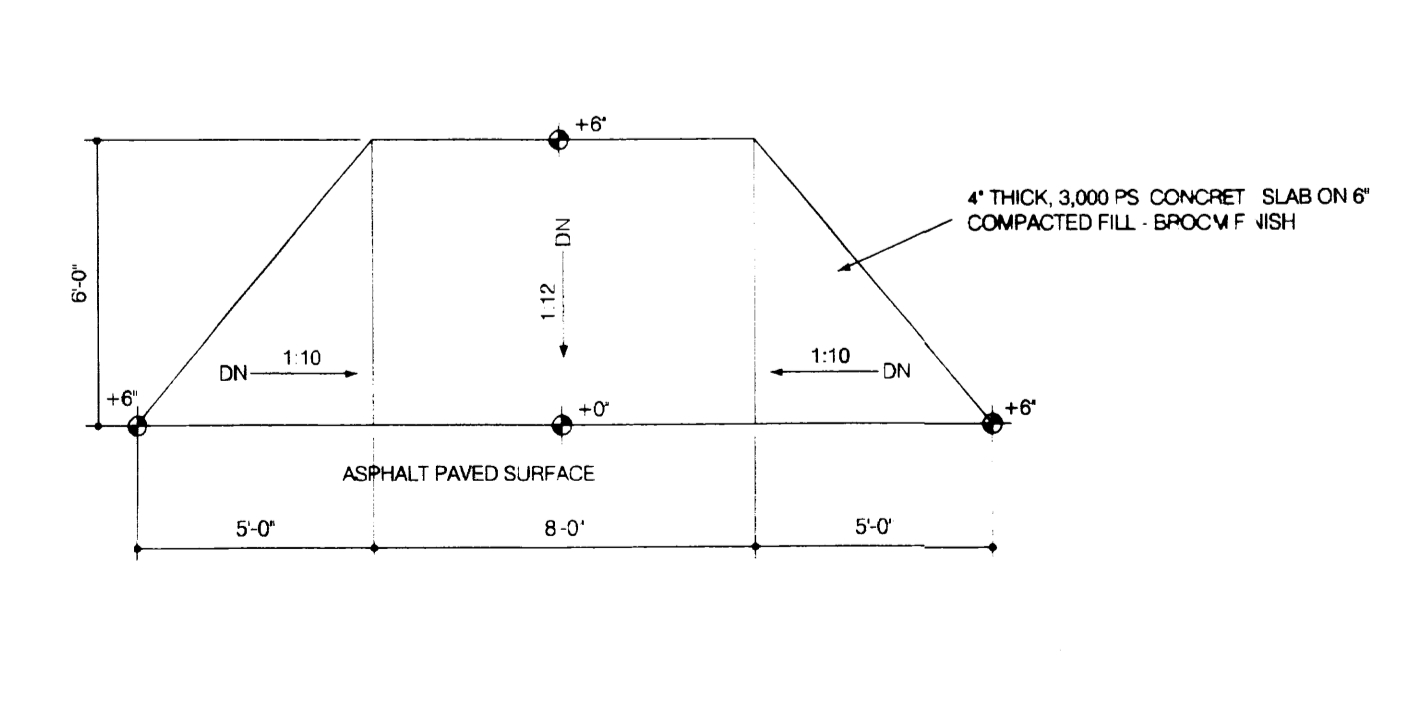
3 SIDEWALK SECTION
SCALE: 3/4"=1'-0"



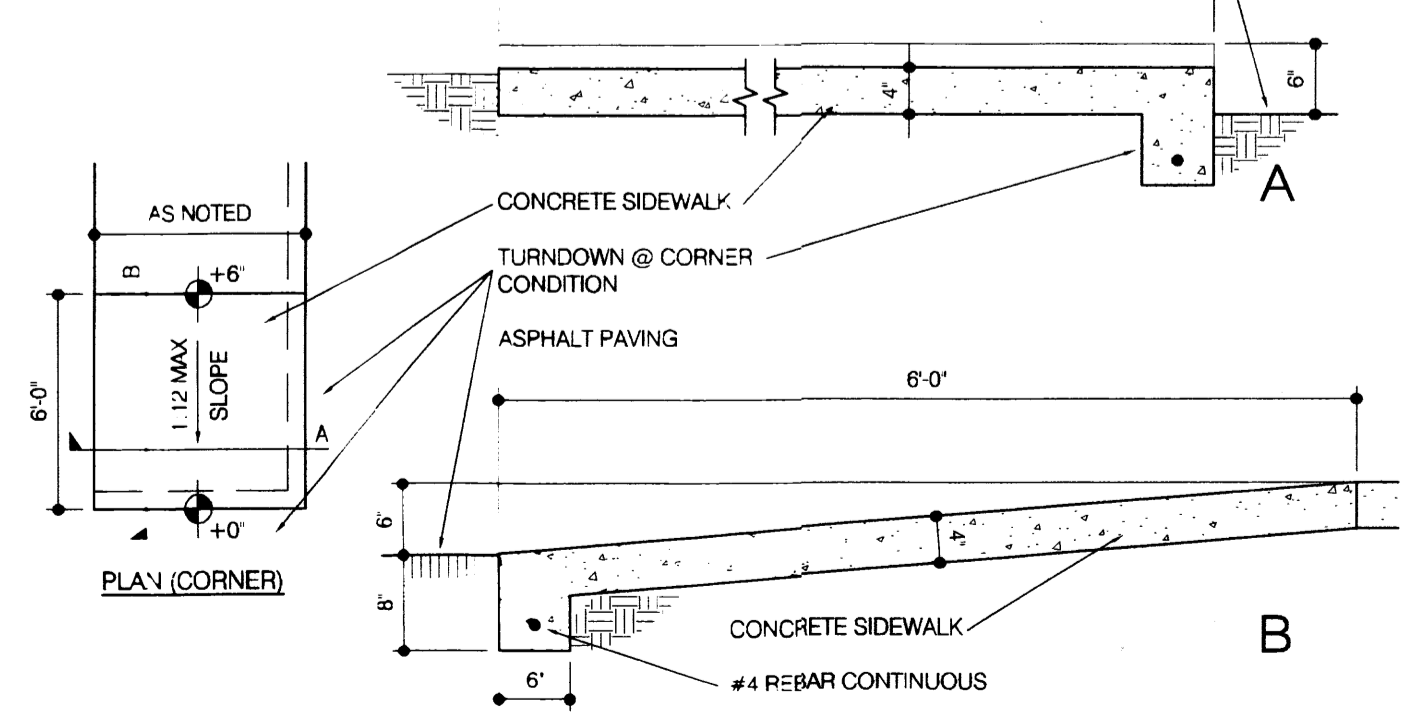
16 MONUMENT SIGN SECTION
SCALE: 1/2"=1'-0"



12 OPEN
SCALE: 1"=1'-0"

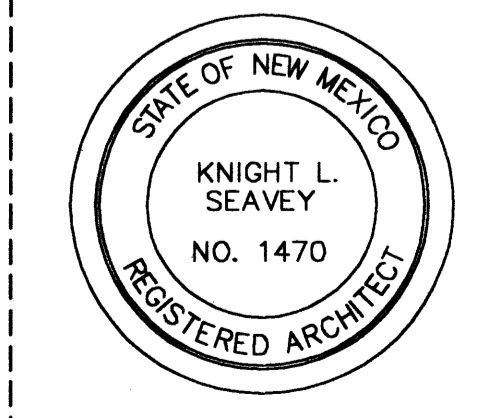


8 HC SIDEWALK RAMP
SCALE: 1/4"=1'-0"

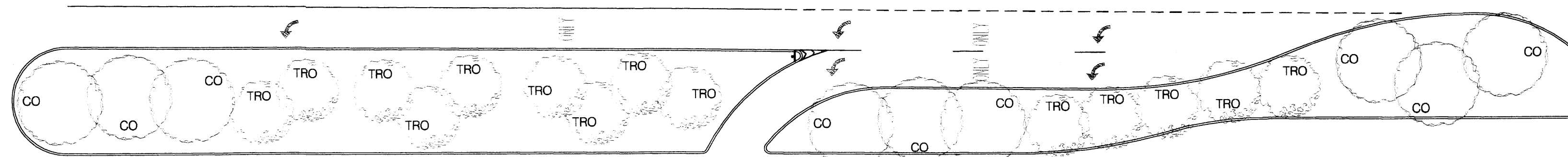


4 SIDEWALK RAMP SECTION
SCALE: 3/4"=1'-0"

TITLE	SITE DETAILS
DATE ISSUED	5/5/03
UPDATED	06/06/03
EDITION	DRB SUBMITTAL
PROJECT ID	0700
FILE	070-002-SITEDETAILS.DWG
FILE PATH	C:\ACTIVE\PROJECT\070
CREATED BY	JWC
SCALE	VARIABLE
DISCIPLINE	ARCHITECTURAL
CONSULTANT	INSITEWORKS



ALAMEDA BLVD. NE
124' R.O.W.

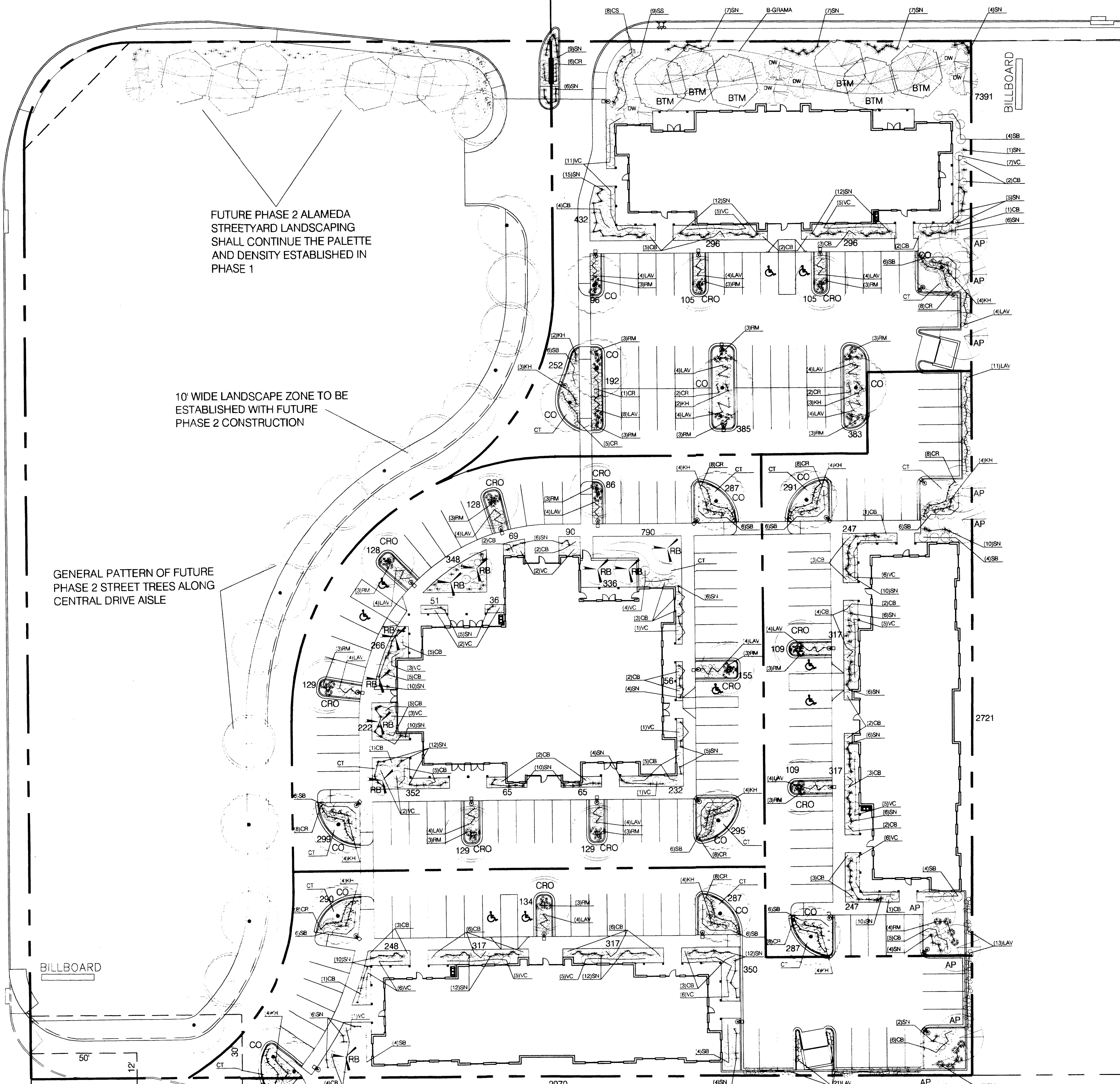


PHASE 2 ← PHASE 1

FUTURE PHASE 2 ALAMEDA STREET YARD LANDSCAPING SHALL CONTINUE THE PALETTE AND DENSITY ESTABLISHED IN PHASE 1

10' WIDE LANDSCAPE ZONE TO BE ESTABLISHED WITH FUTURE PHASE 2 CONSTRUCTION

GENERAL PATTERN OF FUTURE PHASE 2 STREET TREES ALONG CENTRAL DRIVE AISLE



JEFFERSON ST. NE
86' R.O.W.

EXISTING 24' X 50' PRIVATE ACCESS EASEMENT (C20, 35)

NEW 100' X 66' RECIPROCAL CROSS ACCESS EASEMENT

LANDSCAPE PLAN

SCALE: 1" = 30'

TREE SCHEDULE

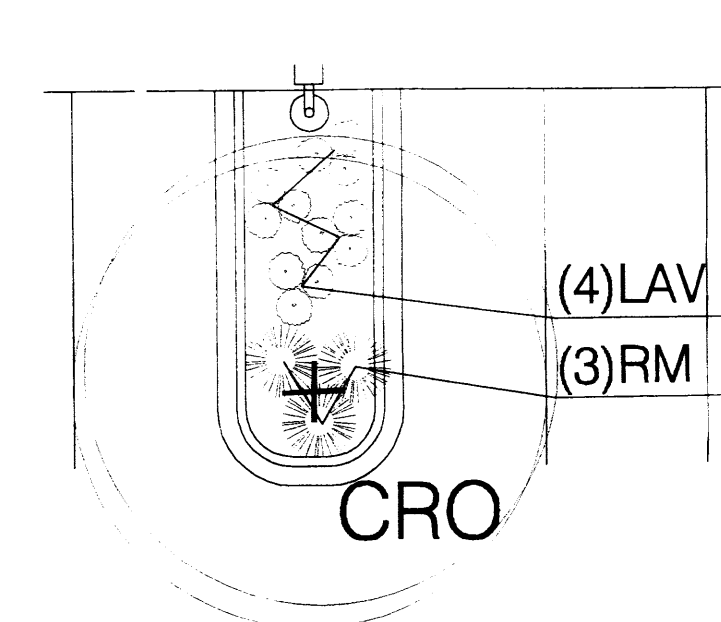
BTM BI YTOOTH MAPLE (A. ER GRANDIDENTATUM) KEY: BM SI E: 18" ROOT CONTROL BAG RE MARKS: 30' AT MATURITY, FALL CLOR RED W. YELLOW	RB REDBUD (CERCIS OCCIDENTALIS) KEY: RB SIZE: 2" CALIPER REMARKS: MULTI-TRUNK	DW DESERT WILLOW (NIMBRE) (CHILOPSIS LINEARIS) KEY: DW SIZE: 2" CALIPER REMARKS: p.53 dm
AP AI STRIAN BLACK PINE (P. VUS AEGRA) KEY: AP SI E: 2" CALIPER RE MARKS:	CRO CHISOS RED OAK (QUERCUS GRAVESII) KEY: CRO SI E: 18" ROOT CONTROL BAG REMARKS: 35-40' AT MATURITY, FALL COLOR CRIMSON, LONG-LASTING	CO CHINQUAPIN OAK (QUERCUS MUHLBERGII) KEY: CO SI E: 18" ROOT CONTROL BAG REMARKS: 45-50' AT MATURITY, FALL COLOR ORANGE/DEEP-BURGANDY
TRO TI KAS RED OAK (C. JERCUS BUCKLEII) KEY: TRO SI E: 2" CALIPER RE MARKS:		

SHRUB SCHEDULE

SS SILVER BEANSPRASS (ANDR. OGVON SACCHAROIDES) KEY: SS SI E: 3" REMARKS: S. hcp p. 63	SM SILVER MOUND/CAT MINT (ARTEMISA) KEY: SM SI E: 1" REMARKS:	LAV LAVENDER (LAVENDULA ANGSTIFOLIA MUNSTEAD) KEY: LAV SI E: 1" REMARKS:
SS BLUE Y SCUE (FESTUA X OVINA GLAUCA) KEY: SS SI E: 3" REMARKS: S. PLANT 18" O.C. hcp p. 65	SS SILVER SAGE (ARTEMISA X POWIS CASTLE) KEY: SS SI E: 1" REMARKS: hcp p. 10	SN MAY NIGHT MEADOW SAGE (SAVIA NEMEROSA) KEY: SN SI E: 1" REMARKS: hcp p. 10
SS CHERR Y SAGE (SAVIA BREGGII) KEY: SS SI E: 3" REMARKS: S. hcp p. 15	SM SUNRAY (COREOPSIS GRANDIFLORA) KEY: SM SI E: 1" REMARKS: hcp p. 10	RM REGAL MIST (MUEHLBERGIA CAPILLARIS) KEY: RM SI E: 1" REMARKS:
SS CREEP NG ROSEMARY (ROSMA. INUS OFFICINALIS PROSTRATUS) KEY: SS SI E: 3" REMARKS: S.	VC VIRGINIA CREEPER (PARTHEOCISSUS QUINQUEFOLIA) KEY: VC SI E: 1" REMARKS: PLANT 12" O.C.	KH KOREAN HYSSOP (AGASTACHE HUGOSUM) KEY: KH SI E: 1" REMARKS:
SS BLUE Y TWINN (NEPET. X FAASSENI) KEY: SS SI E: 3" REMARKS: S. hcp p. 10		

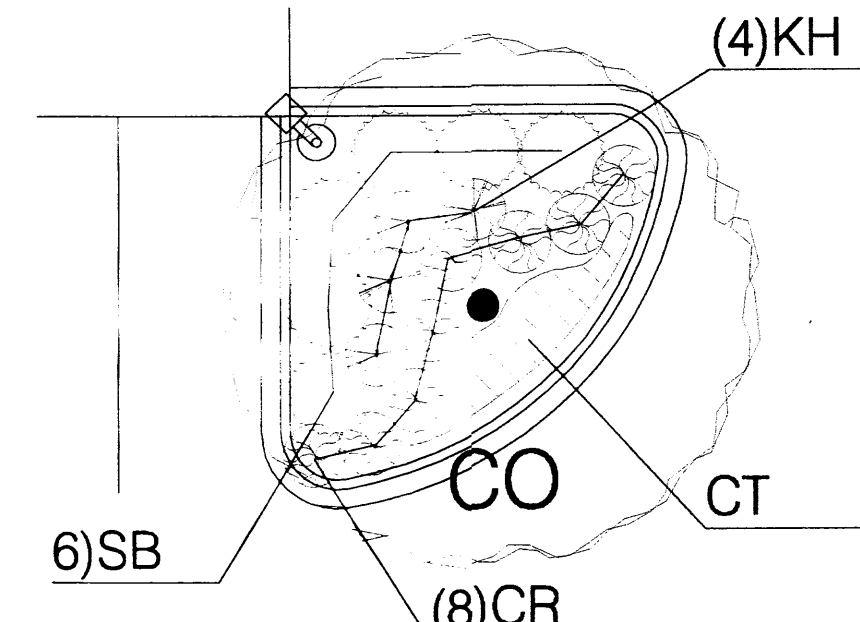
GROUND COVER/EDGING SCHEDULE

SB SANTA FE BROWN GRAVEL KEY: SB SI E: 3" OR 1/4" AS INDICATED REMARKS: S. ALL PLANTER BED AREAS NOT SPEC'D OTHERWISE SHALL BE THIS MATERIAL	CT REITER CREEPING THYME (THYMUS REITERI) KEY: CT QUANTITY: 1 POUND/150 SF REMARKS:	GR BLUE GRAMA GRASS (BOULBOULIA GRACILIS) KEY: GR QUANTITY: 1 POUND/200 SF REMARKS:
SB CRUSH YR FINES - SANTA ANA TAN KEY: SB SI E:	CT COBBLE - SANTA ANA TAN KEY: CT SI E: 2-4"	BERM EARTH BERM - BERMS ARE DESIGNATED AT STREET FRONTAGE BY FREEFORM OUTLINE AREAS - SEE GRADING/DRAINAGE PLAN FOR SPECIFIC DATA



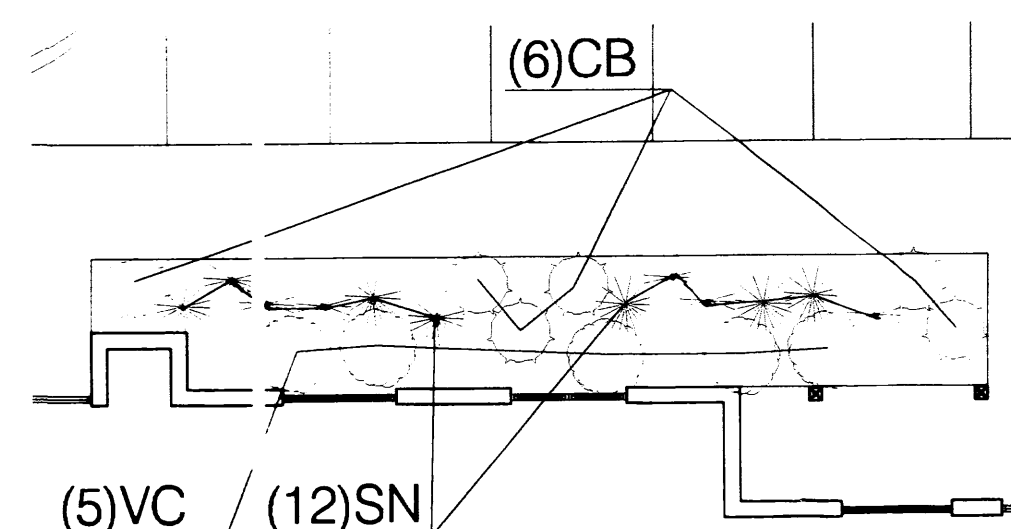
TYP. PLANTER "A"

SCALE: 1" = 10'



TYP. PLANTER "B"

SCALE: 1" = 10'



TYP. PLANTER "C"

SCALE: 1" = 10'

GENERAL LANDSCAPE NOTES

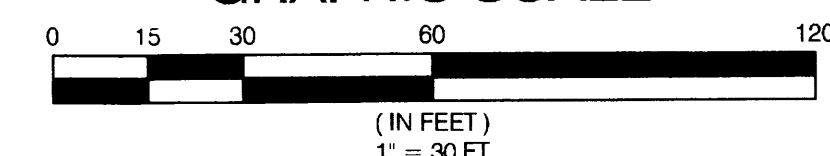
- [C2.1] MAINTENANCE: 10% OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER
- [C2.2] ALL LANDSCAPING AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - SCHEDULE 40 PIPING, TYP.
- [C2.3] THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE SPECIFICALLY 75% OF ALL PLANTING BEDS SHALL BE COVERED BY LIVE VEGETATIVE COVER WHICH INCLUDES SHRUBS AND OR LIVE GROUNDCOVERS
- [C2.4] ALL TREES SHALL BE A MINIMUM OF 2" CALIPER AS REQUIRED BY THE CABO ZONING CODE
- [C2.5] OWNER SHALL MAINTAIN UNDEVELOPED AREAS OF THE SITE FREE OF WEEDS AS REQUIRED BY CITY OF ABQ ORDINANCES DISTURBED AREAS WILL BE RESEED AS REQUIRED
- [C2.6] NO HIGH WATER TURF SHALL BE USED
- [C2.7] NUMBERS ADJACENT TO EACH PLANTER INDICATED THE SQUARE FOOT AREA OF EACH

KEYED LANDSCAPE NOTES

[1]

[13]

GRAPHIC SCALE



INSITE WORKS

ADDRESS	57 ROCK POINT PLACE NE
	ALBUQUERQUE, NM 87122
TELEPHONE	(505) 858-0100
FAX	(505) 858-1000
WEBSITE	www.insiteworks.com
KS email	ks@insiteworks.com
JC email	jc@insiteworks.com
CONTRACTOR	CONTRACTOR
TELEPHONE	XXXXXXXXXX
FAX	XXXXXXXXXX

THIS DRAWING IS THE PROPERTY OF INSTANTWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

SITE TOTALS
SITE AREA: 217,800 SF (0.00 ACRES)
LANDSCAPE AREA: 63,546 SF (29%)
BUILDING AREA: 31,473 SF (14%)
PAVING & SIDEWALK AREA: 122,921 SF (56%)
R.O.W. LANDSCAPING: 3,675 SF

PHASE 1 TOTALS
SITE AREA: 129,673 SF
LANDSCAPE AREA: 24,166 SF (19%)
BUILDING AREA: 31,473 SF (24%)
PAVING & SIDEWALK AREA: 74,177 SF (57%)
R.O.W. LANDSCAPING: 0 SF

VACANT LOT A
USE: OFFICE/RETAIL
SITE AREA: 66,170 SF
LANDSCAPE AREA (ESTIMATE): 39,380 SF (46%)
BUILDING AREA: 0 SF (0%)
PAVING & SIDEWALK AREA: 46,790 SF (54%)
R.O.W. LANDSCAPING: 0 SF

BUILDING B
USE: OFFICE/RETAIL
SITE AREA: 35,553 SF
LANDSCAPE AREA: 9,933 SF (28%)
BUILDING AREA: 7,320 SF (21%)
PAVING & SIDEWALK AREA: 18,300 SF (51%)
R.O.W. LANDSCAPING: 0 SF

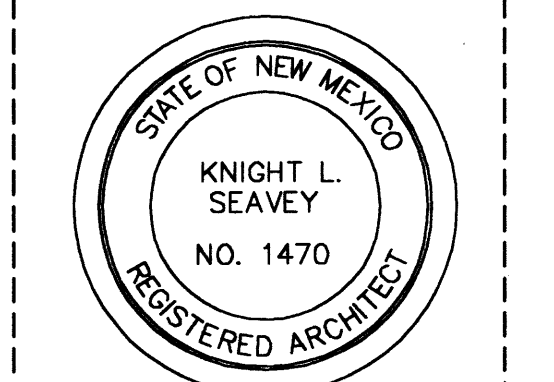
BUILDING C
USE: OFFICE
SITE AREA: 39,990 SF
LANDSCAPE AREA: 4,644 SF (12%)
BUILDING AREA: 10,137 SF (25%)
PAVING & SIDEWALK AREA: 25,253 SF (63%)
R.O.W. LANDSCAPING: 0 SF

BUILDING D
USE: OFFICE
SITE AREA: 29,361 SF
LANDSCAPE AREA: 4,645 SF (16%)
BUILDING AREA: 7,008 SF (24%)
PAVING & SIDEWALK AREA: 13,709 SF (46%)
R.O.W. LANDSCAPING: 0 SF

BUILDING E
USE: OFFICE
SITE AREA: 28,769 SF
LANDSCAPE AREA: 4,913 SF (17%)
BUILDING AREA: 7,008 SF (24%)
PAVING & SIDEWALK AREA: 16,848 SF (59%)
R.O.W. LANDSCAPING: 0 SF

BUILDING OWNER(S) FOR THE PROJECT APPROVED BY THESE DRAWINGS SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.

TITLE	LANDSCAPE PLAN
DATE ISSUED	8/5/03
UPDATED	06/06/00
EDITION	DRS SUBMITTAL
PROJECT ID	07000
FILE	070-002-30ITE.DWG
FILE PATH	C:\ACTIVE\PROJECTS
CREATED BY	JWC
SCALE	1" = 30'
DISCIPLINE	CIVIL
CONSULTANT	INSITEWORKS



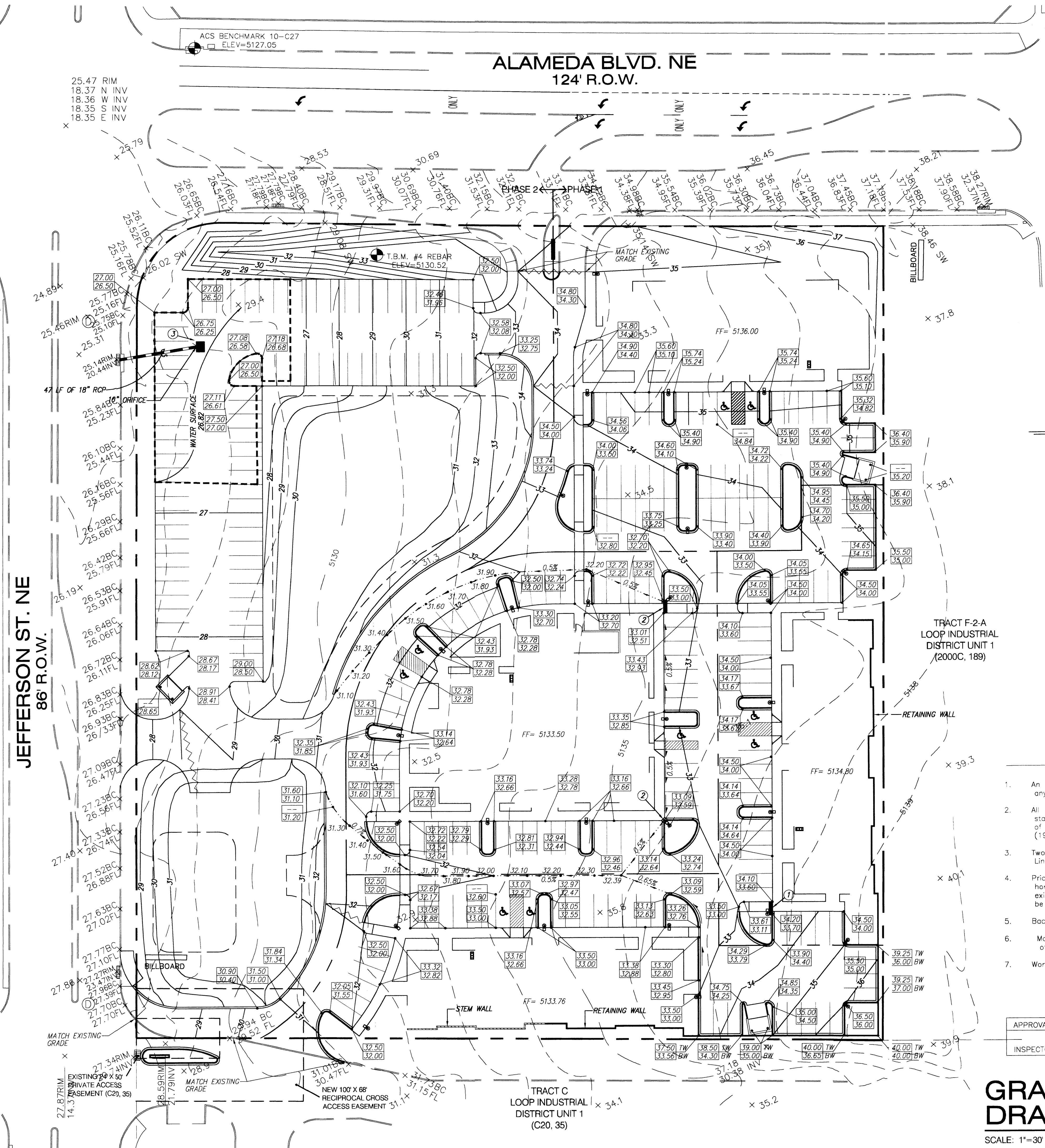
C2.0drb

ALAMEDA BLVD. NE
124' R.O.W.

ACS BENCHMARK 10-C27
ELEV=5127.05

- DRAINAGE NOTES:**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 - SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.

- KEYED NOTES**
- PROPOSED 1' WIDE SIDEWALK CULVERT
 - PROPOSED 1' WIDE CURB OPENING
 - PROPOSED 2-DOUBLE "D" INLETS
GRATE= 26.00
INV.= 22.00



VICINITY MAP ZONE MAP: C17

LEGAL DESCRIPTION
TRACT F-1-A, LOOP INDUSTRIAL DISTRICT, UNIT 1.

LEGEND

— 5320 —	EXISTING CONTOUR MAJOR
- - - 5321 - - -	EXISTING CONTOUR MINOR
- - - - -	EXISTING CURB
00.00 +	EXISTING GROUND ELEVATION
+1.00.00 BC	EXISTING FINISHED SURFACE ELEVATION
+7.00.00 FL	EXISTING BACK OF CURB ELEVATION
- - - - -	EXISTING FLOWLINE ELEVATION
00.00 •	PROPOSED SPOT ELEVATION
25.15	PROPOSED TOP OF CURB ELEVATION
24.65	PROPOSED FLOWLINE ELEVATION
=====	PROPOSED HEADER CURB
=====	EXISTING STEM WALL
=====	PROPOSED RETAINING WALL
— 25 —	PROPOSED CONTOUR LINE
~~~~~	PROPOSED WATERBLOCK

- NOTICE TO CONTRACTOR**
- An excavation/construction permit will be required before beginning any work within City right of way.
  - All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1985 Edition).
  - Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
  - Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
  - Backfill compaction shall be according to traffic/street use.
  - Maintenance of these facilities shall be the responsibility of the Owner of the property served.
  - Work on arterial streets shall be performed on a 24 hour basis.

APPROVAL	NAME	DATE
INSPECTOR		

**GRADING & DRAINAGE PLAN**

SCALE: 1"=30'

**INSITE WORKS**

ADDRESS: 57 ROCK POINT PLACE NE  
ALBUQUERQUE, NM 87122

TELEPHONE: (505) 958-9100  
FAX: (505) 958-1088  
WEBSITE: www.insiteworks.com  
MS email: info@insiteworks.com  
JC email: jcd@insiteworks.com  
CONTRACTOR: [REDACTED]

TELEPHONE: [REDACTED]  
FAX: [REDACTED]

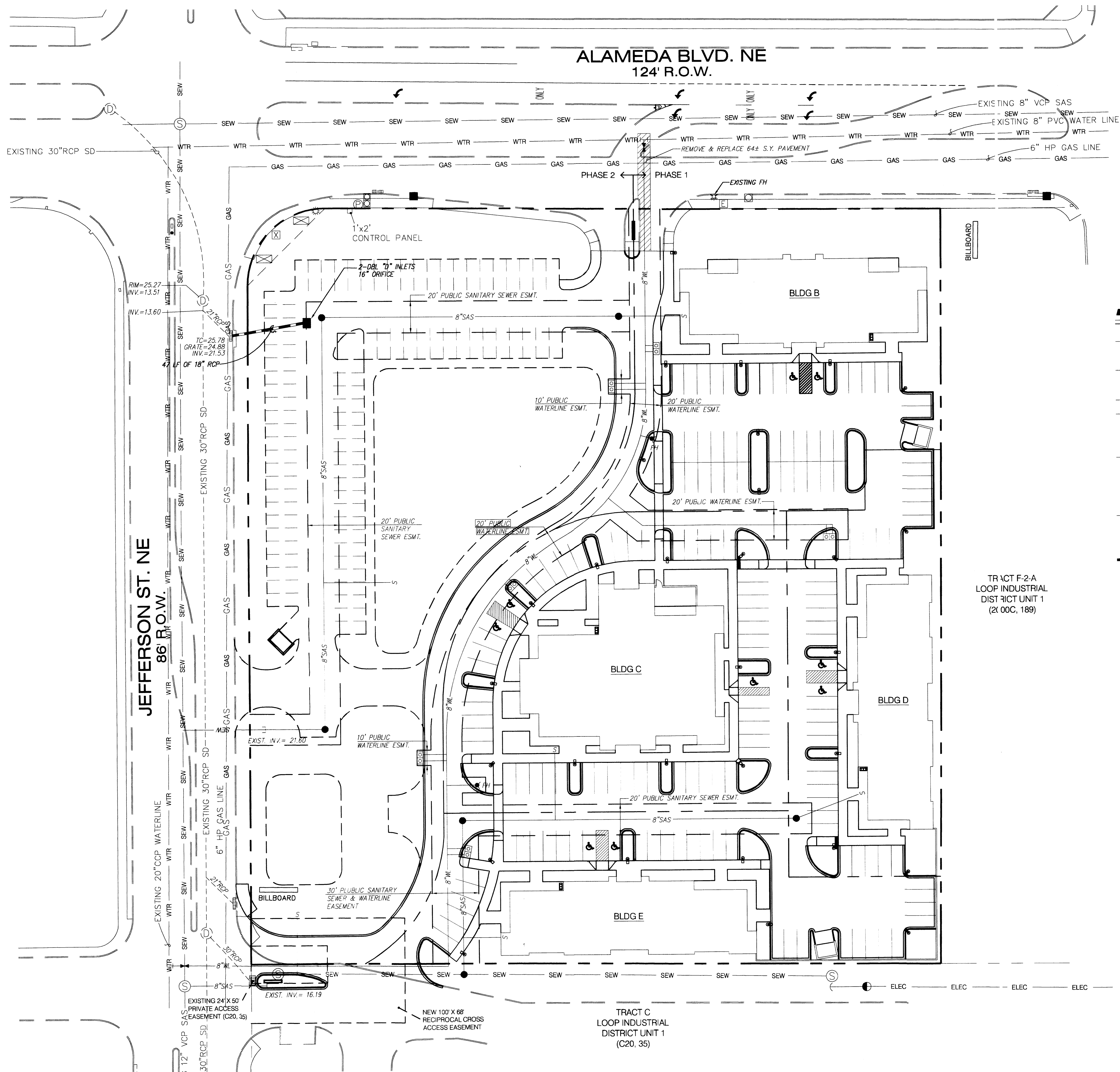
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MARK COODIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 6506  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 262-2800, FAX: (505) 767-8539

**TITLE: CONCEPTUAL GRADING & DRAINAGE PLAN**

DATE ISSUED	5/8/05
UPDATED	06/06/05
EDITION	DRB SUBMITTAL
PROJECT ID	OTDR0
FILE	A3047cpd.dwg
FILE PATH	A03\plan\A3047.dwg
CREATED BY	DER
SCALE	1" = 30'
DISCIPLINE	CIVIL
CONSULTANT	INSITEWORKS

**C3.0 DRB**



**LEGEND**

- WTR — EXISTING WATERLINE
- ⊗ — EXISTING FIRE HYDRANT
- SEW — EXISTING SANITARY SEWER LINE
- ⊙ — EXISTING SANITARY SEWER MANHOLE
- GAS — EXISTING GAS LINE
- - - - EXISTING STORM SEWER LINE
- ⊙ — EXISTING STORM SEWER MANHOLE
- ⊙ — EXISTING STORM SEWER INLET
- 8" W. — PROPOSED WATERLINE
- FH — PROPOSED FIRE HYDRANT
- ⊙ — PROPOSED GATE VALVE
- ⊙ — PROPOSED DOUBLE WATER METER
- 8" SAS — PROPOSED SANITARY SEWER LINE
- ⊙ — PROPOSED SANITARY SEWER MANHOLE
- ⊙ — PROPOSED SANITARY SEWER SERVICE LINE
- - - - PROPOSED STORM DRAIN LINE
- ⊙ — PROPOSED STORM DRAIN INLET

TRACT F-2-A  
LOOP INDUSTRIAL  
DISTRICT UNIT 1  
(21 00C, 189)

TRACT C  
LOOP INDUSTRIAL  
DISTRICT UNIT 1  
(20, 35)

**INSITE WORKS**

ADDRESS	57 ROCK POINT PLACE NE
ALBUQUERQUE, NM	87122
TELEPHONE	(505) 858-0100
FAX	(505) 858-1000
WEBSITE	www.insiteworks.com
KS email	ks@insiteworks.com
JC email	jc@insiteworks.com
CONTRACTOR	XXXXXXXXXXXX
TELEPHONE	XXXXXXXXXXXX
FAX	XXXXXXXXXXXX

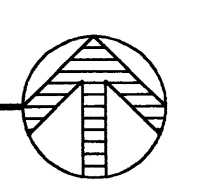
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dmg  
MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 9499  
ALBUQUERQUE, NEW MEXICO 87198  
(505) 228-2200, FAX (505) 977-8539

PRELIMINARY - NOT FOR CONSTRUCTION

TITLE	UTILITY PLAN
DATE ISSUED	5/5/03
UPDATED	06/06/00
EDITION	DRB SUBMITTAL
PROJECT ID	07080
FILE	A3047ap.dwg
FILE PATH	AG3\job\A3047\
CREATED BY	DER
SCALE	1" = 30'
DISCIPLINE	CIVIL
CONSULTANT	INSITEWORKS

**UTILITY PLAN**  
SCALE: 1"=30'



**C4.0 DRB**

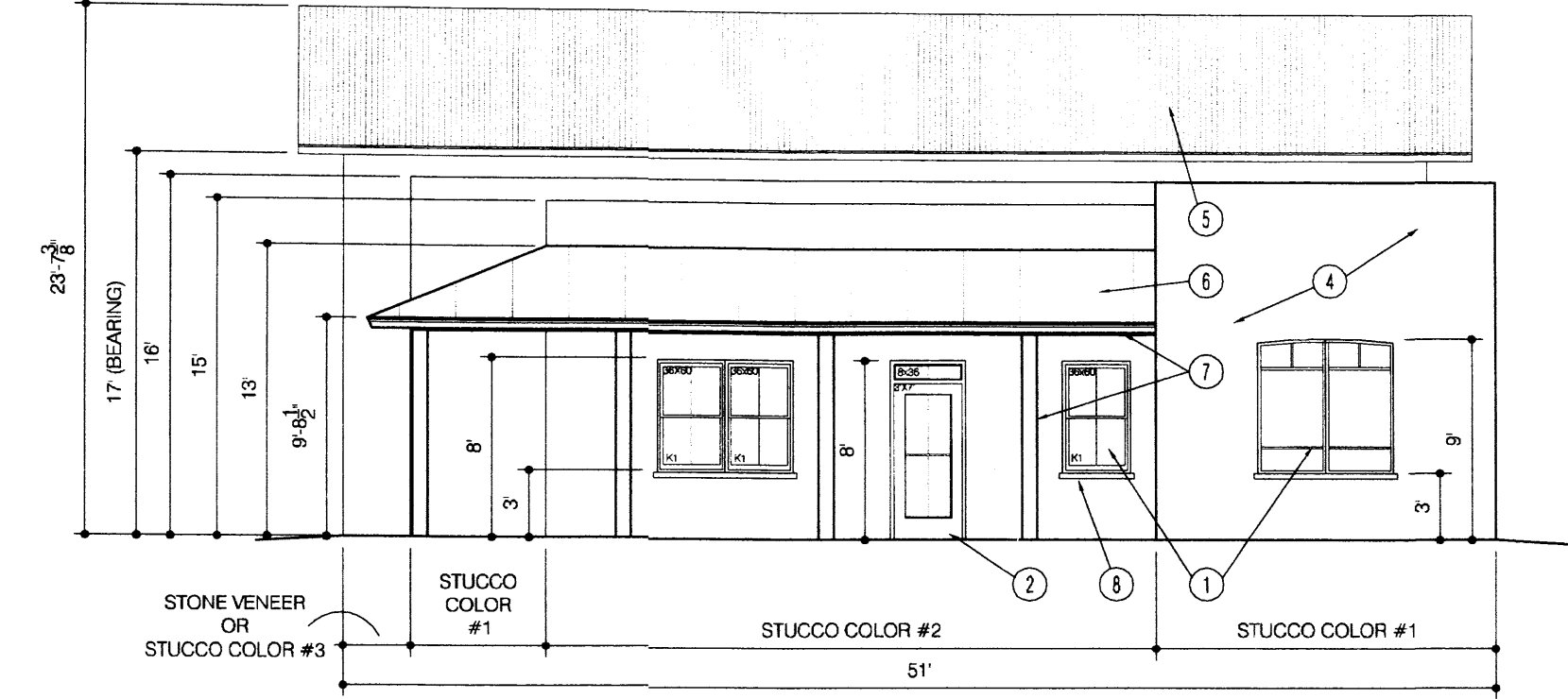
KEYED NOTES

- [1] ALUMINUM CLAD WOOD FRAME WINDOW.
- [2] ALUMINUM CLAD WOOD FRAME DOOR WITH FULL-LIGHT GLASS
- [3] ALUMINUM STOREFRONT SYSTEM DOOR AND WINDOWS
- [4] (3) COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, TYPICAL UNLESS NOTED OTHERWISE
- [5] CORRUGATED STEEL ROOF PANELS
- [6] STANDING SEAM ROOF PANELS
- [7] HEAVY TIMBER COLUMN AND BEAM WITH EXPOSED STEEL CONNECTORS AND CONCRETE BASE, TYPICAL
- [8] PRECAST CONCRETE SILL, TYPICAL
- [9] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS. 1'-6" HIGH X 8'-0" LONG (12 SQ. FT. OF AREA)
- [10] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS. 1'-4" HIGH X 6'-0" LONG (8 SQ. FT. OF AREA)



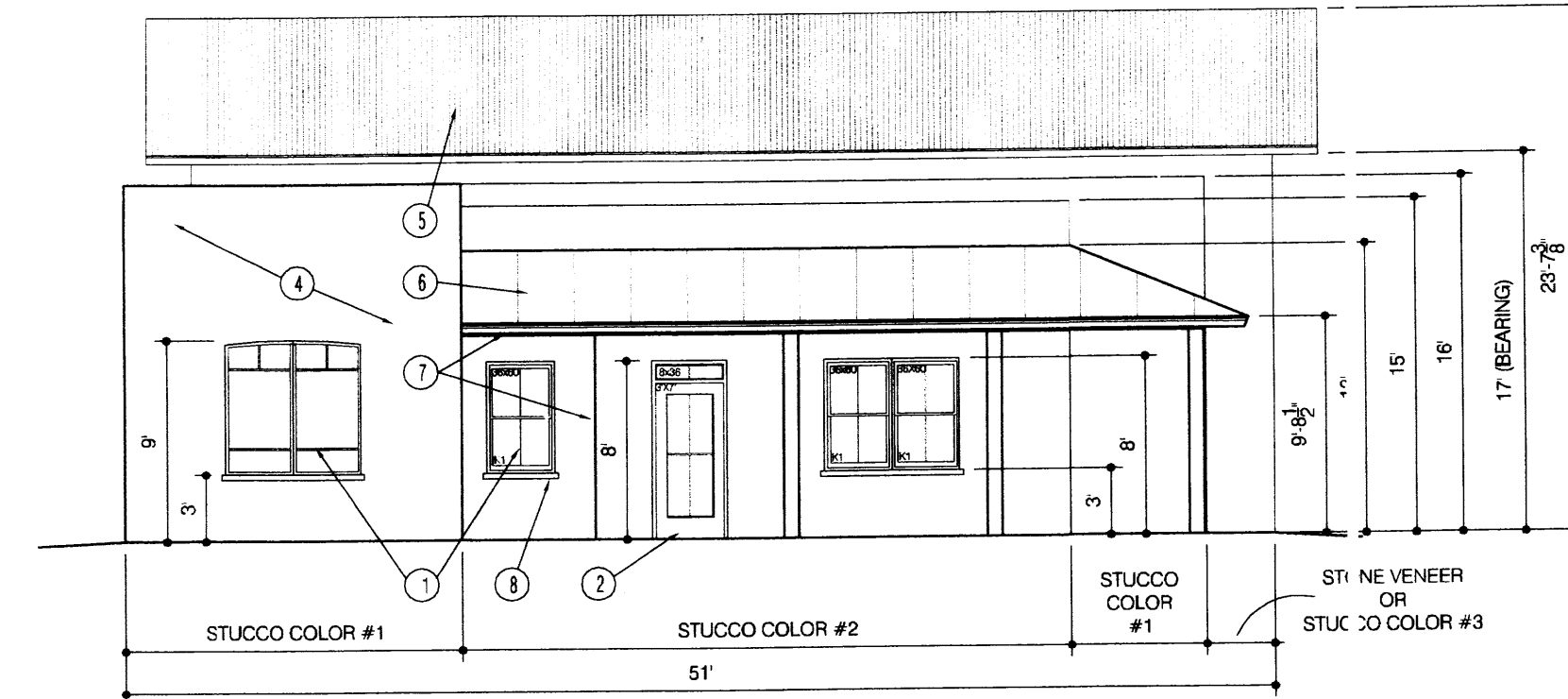
ADDRESS	87 ROCK POINT PLACE
TELEPHONE	ALBUQUERQUE, NM 87122
TELEPHONE	(505) 858-6180
FAX	(505) 858-1988
WEBSITE	www.insiteworks.com
IC email	insite@insiteworks.com
CONTRACTOR	CONTRACTOR
TELEPHONE	XXXXXXXXXXXX
FAX	XXXXXXXXXXXX

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT



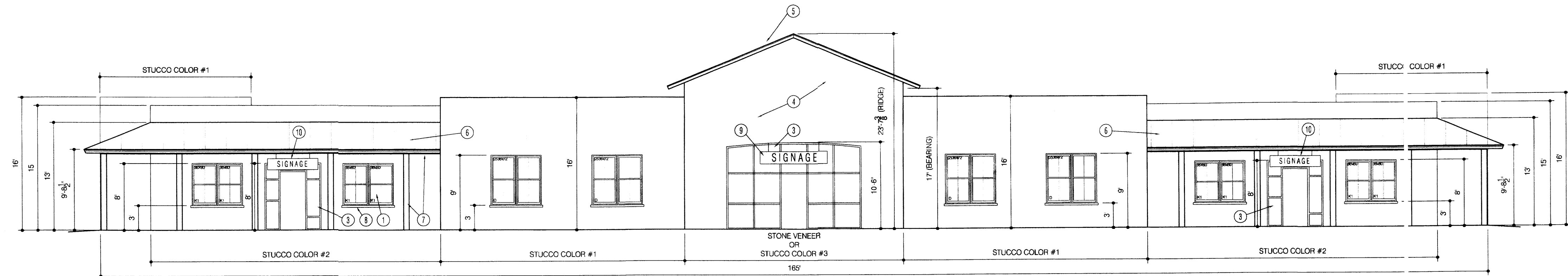
**WEST ELEVATION (A) / SOUTH ELEVATION (B)**

SCALE: 1/8"=1'-0"



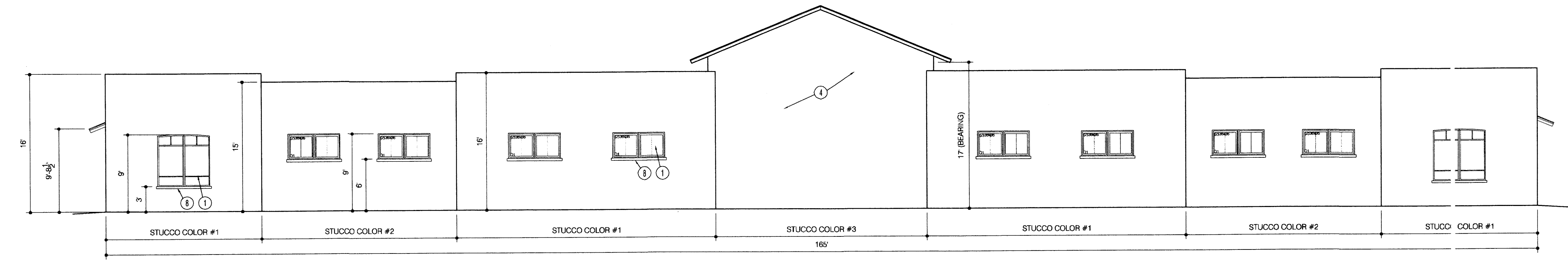
**EAST ELEVATION (A) / NORTH ELEVATION (B)**

SCALE: 1/8"=1'-0"



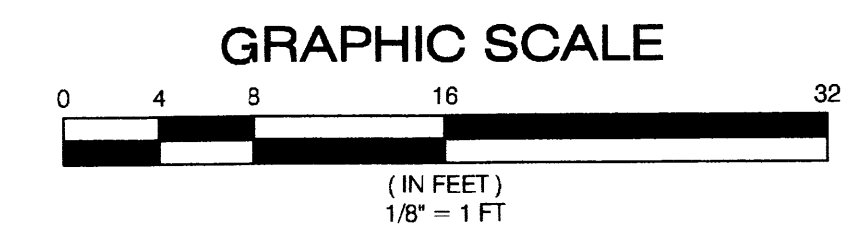
**NORTH ELEVATION (A) / WEST ELEVATION (B)**

SCALE: 1/8"=1'-0"

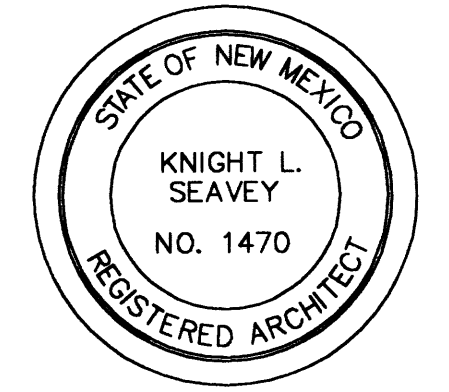


**SOUTH ELEVATION (A) / EAST ELEVATION (B)**

SCALE: 1/8"=1'-0"



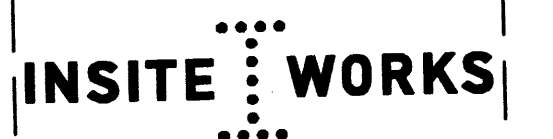
TITLE	BUILDING ELEVATIONS
DATE ISSUED	8/5/03
UPDATED	06/06/00
EDITION	DRG SUBMITTAL
PROJECT ID	07080
FILE	0708-00-RELEV.DWG
FILE PATH	C:\ACTIVE PROJECT\0708
CREATED BY	WYS
SCALE	1/8"=1'-0"
DISCIPLINE	ARCHITECTURAL
CONSULTANT	INSITEWORKS



**A2.0 drb**

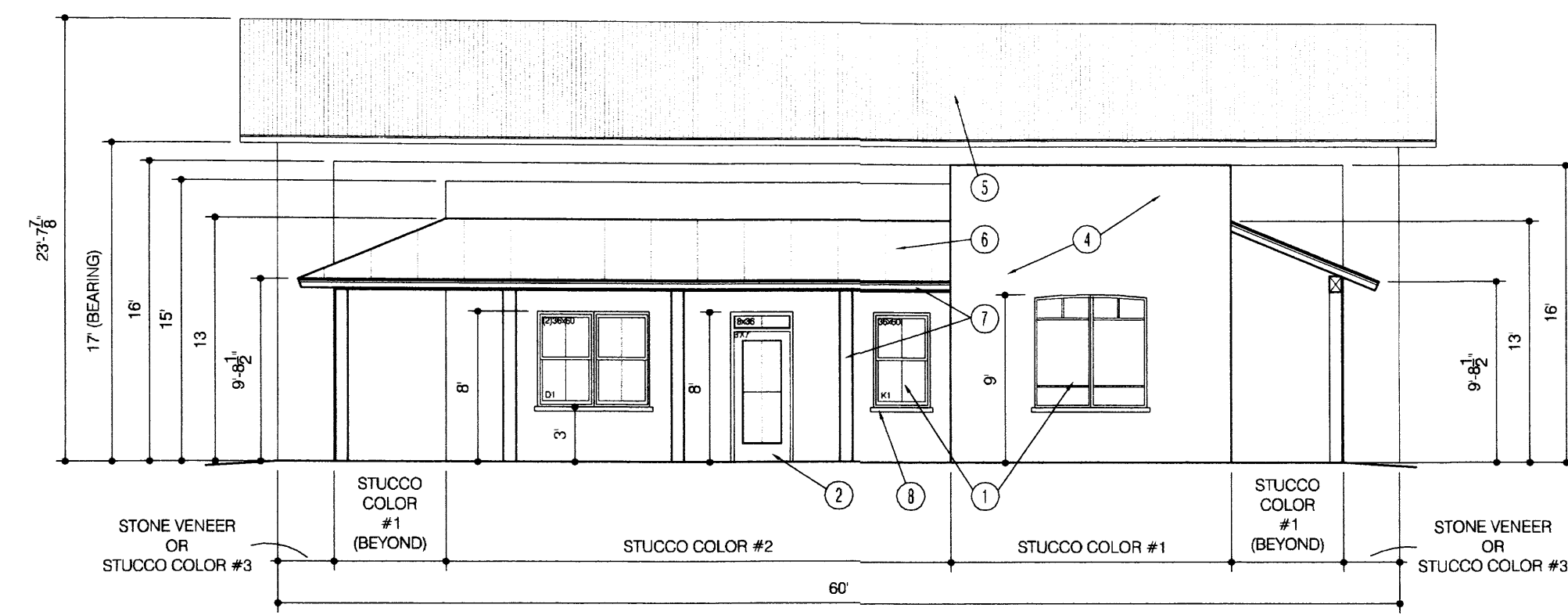
KEYED NOTES

- [1] ALUMINUM CLAD WOOD FRAME WINDOW.
- [2] ALUMINUM CLAD WOOD FRAME DOOR WITH FULL-LIGHT GLASS
- [3] ALUMINUM STOREFRONT SYSTEM DOOR AND WINDOWS
- [4] (3) COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, TYPICAL UNLESS NOTED OTHERWISE.
- [5] CORRUGATED STEEL ROOF PANELS.
- [6] STANDING SEAM ROOF PANELS.
- [7] HEAVY TIMBER COLUMN AND BEAM WITH EXPOSED STEEL CONNECTORS AND CONCRETE BASE, TYPICAL.
- [8] PRECAST CONCRETE SILL, TYPICAL.
- [9] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS. 1'-6" HIGH X 8'-0" LONG (12 SQ. FT. OF AREA)
- [10] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS. 1'-4" HIGH X 6'-0" LONG (8 SQ. FT. OF AREA)

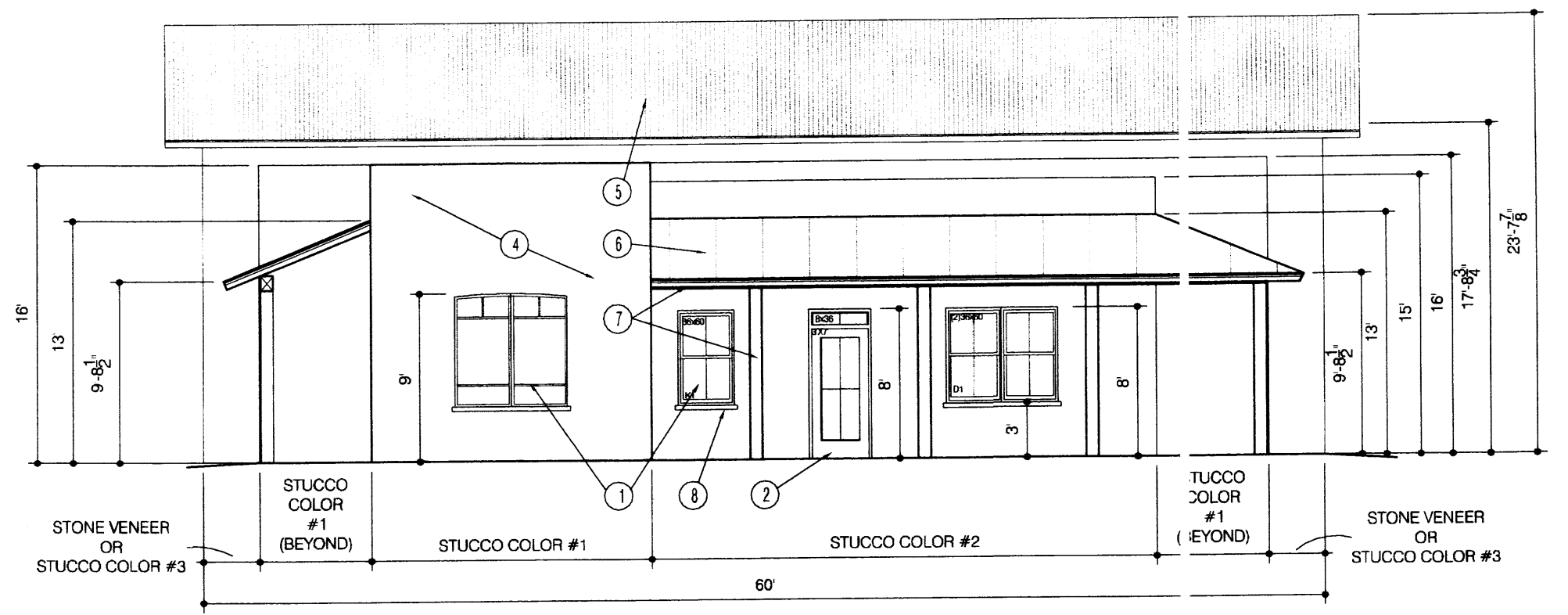


ADDRESS	57 ROCK POINT PLACE NE
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JC email	jed@insiteworks.com
CONTRACTOR	XXXXXXXXXXXX
TELEPHONE	XXXXXXXXXXXX
FAX	XXXXXXXXXXXX

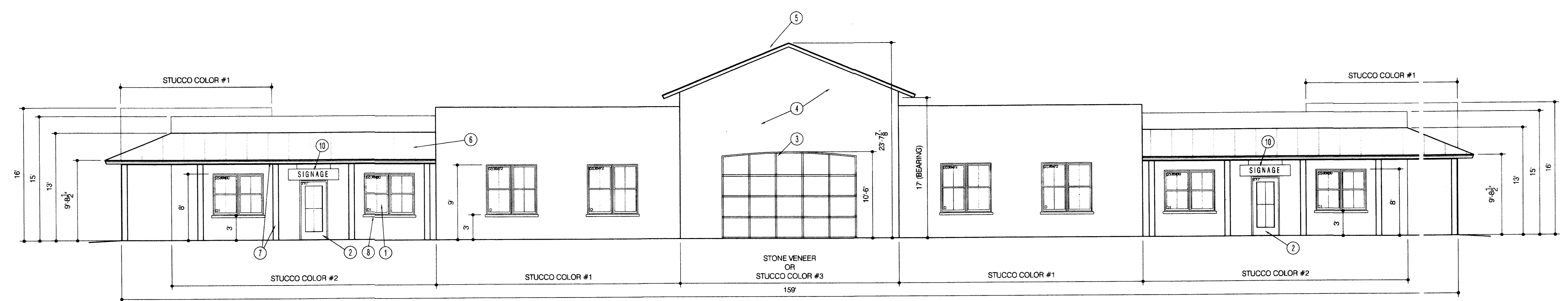
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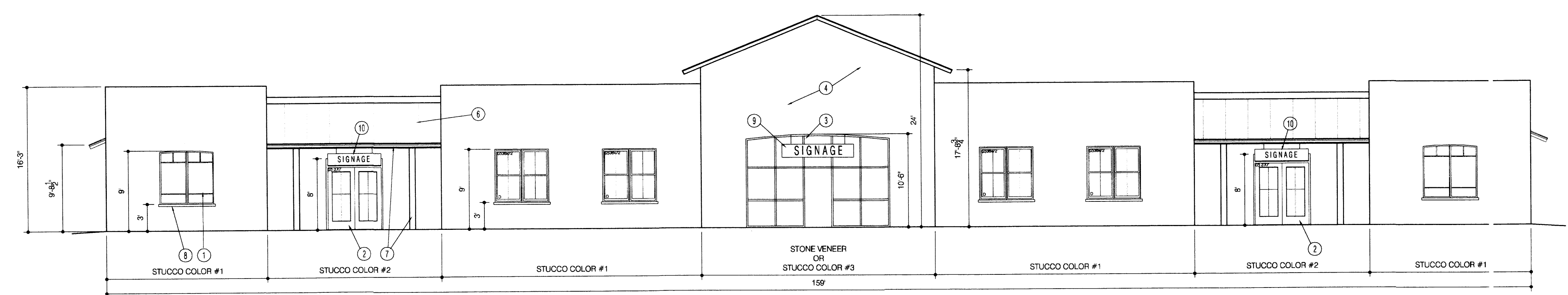
**EAST ELEVATION**  
SCALE: 1/8"=1'-0" BUILDING 'C'



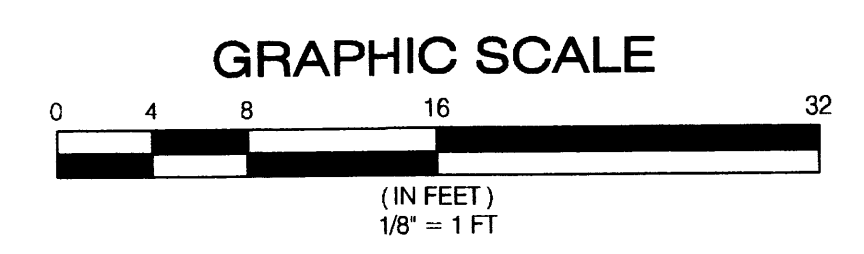
**WEST ELEVATION**  
SCALE: 1/8"=1'-0" BUILDING 'C'



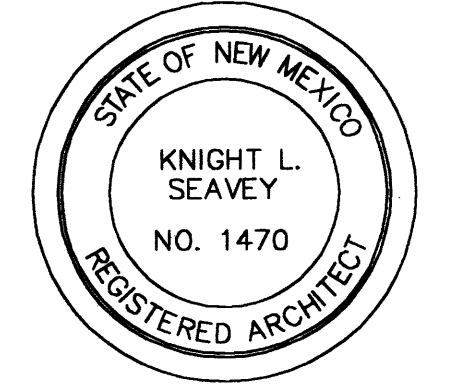
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0" BUILDING 'C'



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0" BUILDING 'C'



TITLE	BUILDING ELEVATIONS
DATE ISSUED	01/03/09
UPDATED	00/00/00
EDITION	DRS SUBMITTAL
PROJECT ID	01010
FILE	010-00-ELEV.DWG
FILEPATH	C:\ACTIVE\PROJECT\CD
CREATED BY	WTS
SCALE	1/8"=1'-0"
DISCIPLINE	ARCHITECTURAL
CONSULTANT	INSITEWORKS



**A2.1 drb**

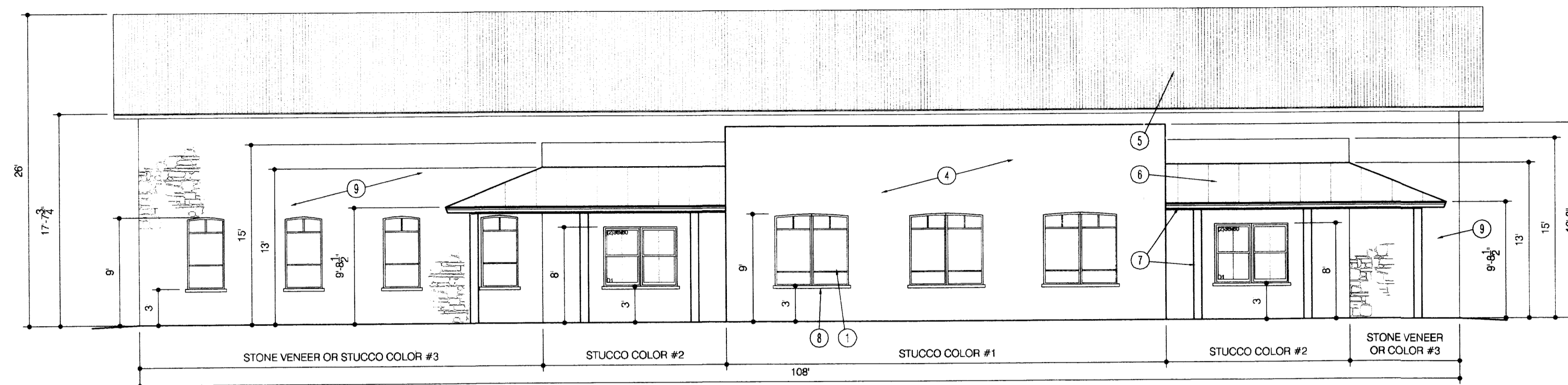
**KEYED NOTES**

- [1] ALUMINUM CLAD WOOD FRAME WINDOW
- [2] ALUMINUM CLAD WOOD FRAME DOOR WITH FULL-LIGHT GLASS
- [3] ALUMINUM STOREFRONT SYSTEM DOOR AND WINDOWS
- [4] COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, TYPICAL UNLESS NOTED OTHERWISE
- [5] CORRUGATED STEEL ROOF PANELS
- [6] STANDING SEAM ROOF PANELS
- [7] HEAVY TIMBER COLUMN AND BEAM WITH EXPOSED STEEL CONNECTORS AND CONCRETE BASE, TYPICAL
- [8] PRECAST CONCRETE SILL, TYPICAL
- [9] CULTURED STONE VENEER
- [10] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS: 1'-6" HIGH X 8'-0" LONG (12 SQ. FT. OF AREA)
- [11] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS: 1'-4" HIGH X 6'-0" LONG (8 SQ. FT. OF AREA)



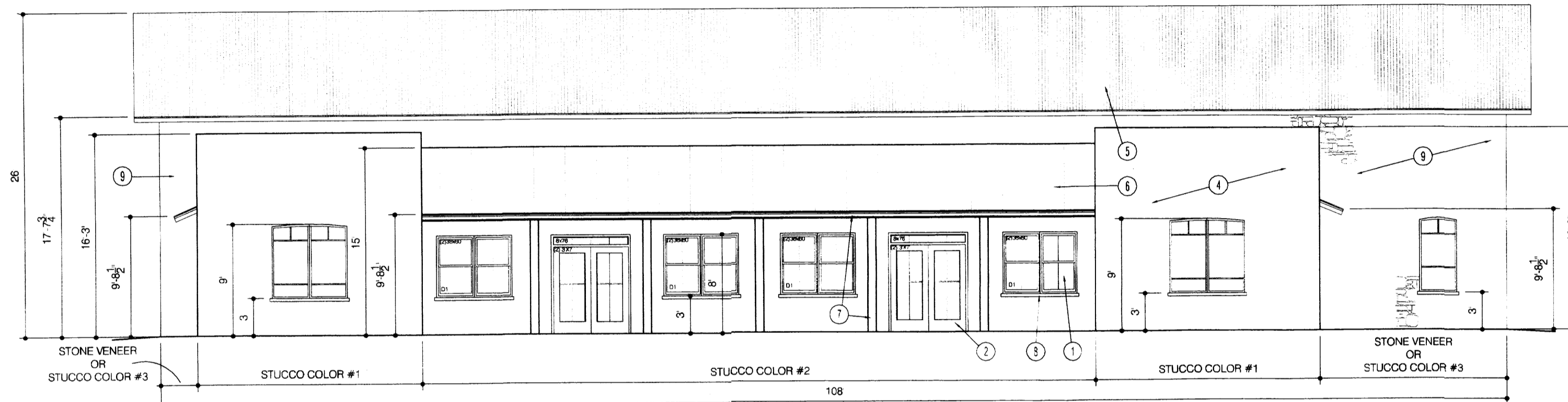
ADDRESS	87 ROCK POINT PLACE NE ALBUQUERQUE, NM 87122
TELEPHONE	(505) 556-0100
FAX	(505) 556-1099
WEBSITE	www.insteetworks.com
KC email	knightl@insteetworks.com
JC email	jack@insteetworks.com
CONTRACTOR	XXXXXXXXXXXX
TELEPHONE	XXXXXXXXXXXX
FAX	XXXXXXXXXXXX

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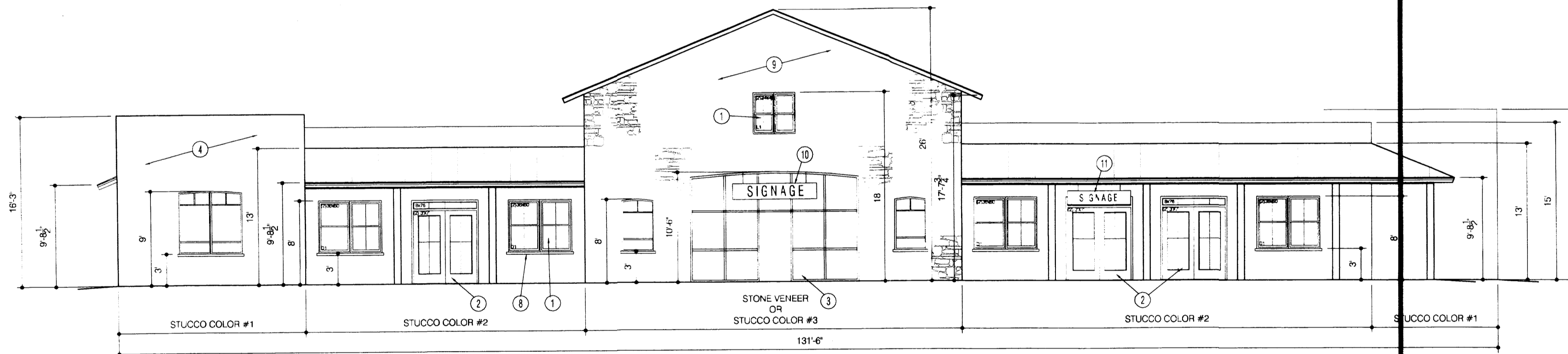
**WEST ELEVATION**

SCALE: 1/8"=1'-0" BUILDING 'D'



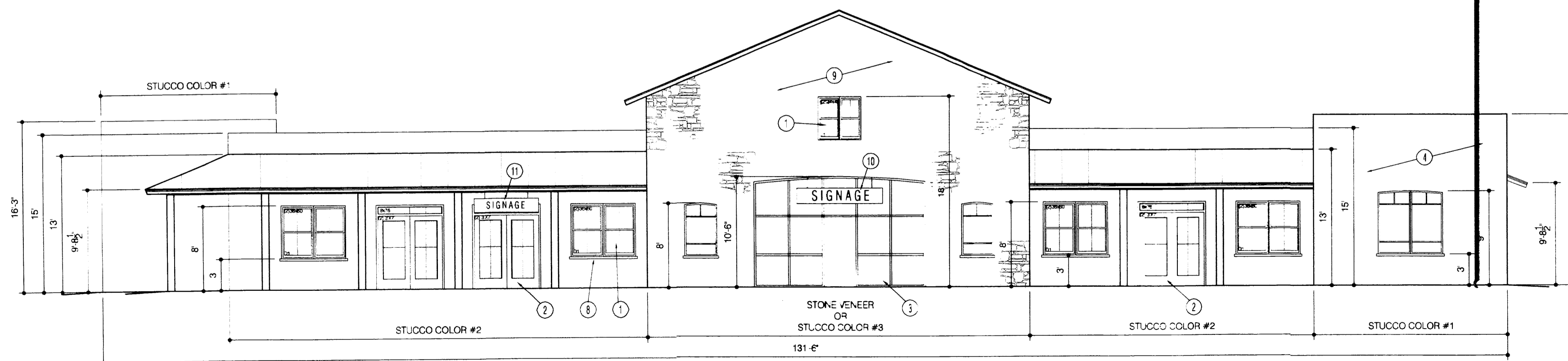
**EAST ELEVATION**

SCALE: 1/8"=1'-0" BUILDING 'D'



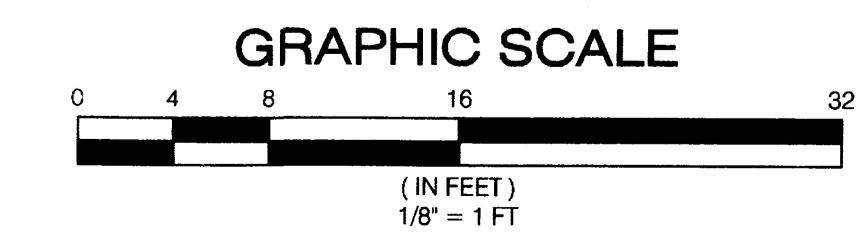
**NORTH ELEVATION**

SCALE: 1/8"=1'-0" BUILDING 'D'

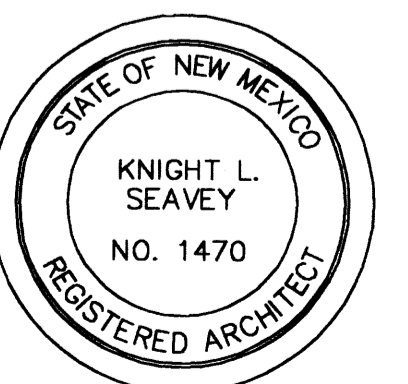


**SOUTH ELEVATION**

SCALE: 1/8"=1'-0" BUILDING 'D'



TITLE	BUILDING ELEVATIONS
DATE ISSUED	5/5/03
UPDATED	00/00/00
EDITION	000 SUBMITTAL
PROJECT ID	07000
FILE	070-00-RELEV.AVR
FILE PATH	C:\ACTIVE\PROJECTS
CREATED BY	WTR
SCALE	1/8"=1'-0"
DISCIPLINE	ARCHITECTURAL
CONSULTANT	INSTEWORKS



**A2.2 drb**