

- KEYED NOTES**
- ① UNIDIRECTIONAL HC RAMP (SEE DETAIL SHEET C4)
  - ② HC PARKING PER ADA STANDARD WITH CURB STOPS & SIGNAGE (DETAIL PER SHEET C5)
  - ③ 6" CURB PER COA STD DWG 2415A
  - ④ TRUNCATED DOMES SEE DETAIL SHEET 4
  - ⑤ TRANSITION TO ZERO CURB
  - ⑥ CONCRETE SIDEWALK, WIDTH AS SHOWN ON PLAN
  - ⑦ DUMPSTER/TRASH COMPACTOR/RECYCLE
  - ⑧ BICYCLE RACK
  - ⑨ EXISTING SIDEWALK, WIDTH VARIES
  - ⑩ MONUMENT SIGN
  - ⑪ EXISTING ACCESSIBLE RAMP
  - ⑫ TAPERED HC RAMP (SEE DETAIL SHEET C5)
  - ⑬ STOP SIGN
  - ⑭ STOP BAR
  - ⑮ 6' WIDE PEDESTRIAN PATHWAY (STAMPED CONCRETE)
  - ⑯ SAWCUT 291 LF
  - ⑰ WALL LIGHT
  - ⑱ MOTORCYCLE SIGN (SEE DETAIL SHEET C5)
  - ⑲ PEDESTRIAN CROSSING SIGN (SEE DETAIL SHEET C5)
  - ⑳ CROSSWALK STRIPING (SEE DETAIL SHEET C5)

**NOTES**

1. VEHICULAR ACCESS TO THE PROPERTY WILL BE FROM WITHIN THE HOME DEPOT DEVELOPMENT OVER EXISTING CROSS ACCESS EASEMENTS WITH NO CHANGES RESULTING TO THE EXISTING CIRCULATION OR PARKING SPACES ON THE HOME DEPOT LOT.
2. A PEDESTRIAN CONNECTION TO THE EXISTING PUBLIC SIDEWALK ON ALEXANDER BLVD IS PROPOSED TO BE ADA COMPLIANT. A CROSSWALK CONNECTION TO THE EXISTING PEDESTRIAN WALKWAY WITHIN THE HOME DEPOT LOT TO THE SOUTH IS ALSO PROPOSED.

**NOTICE TO CONTRACTOR**

1. NO CONSTRUCTION VEHICLES ALLOWED ACROSS HOME DEPOT'S FRONT DRIVE. DRIVE SHALL REMAIN OPEN AT ALL TIMES.
2. STAGING AND EQUIPMENT STORAGE AREAS SHALL BE CONFINED TO THE PROJECT BOUNDARY OF TRACT 2B-2. THE HOME DEPOT PARKING AREA SHALL BE KEPT CLEAR OF CONSTRUCTION EQUIPMENT.

**SITE DATA**

ZONING: SU-1 FOR C-2 USES  
 PROPOSED USAGE: DENTAL CLINIC  
 LOT AREA: 49,083 SF (1.1268) ACRE

BUILDING AREA: 4,688 SF

PARKING REQUIRED: 5 SPACES (1 SPACE PER DOCTOR-1 DOCTOR)

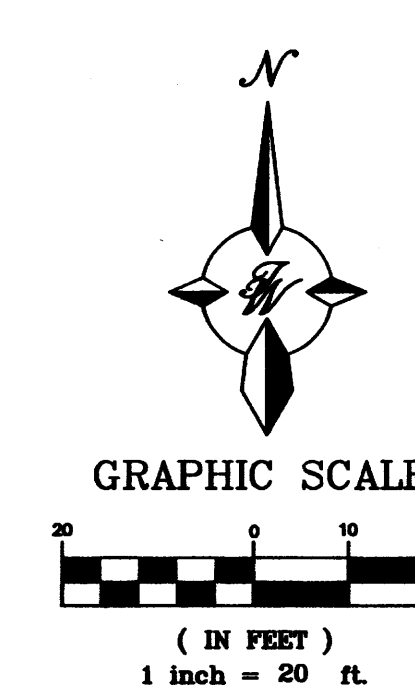
PARKING PROVIDED: 46 SPACES

HC PARKING REQUIRED: 2 SPACES  
 HC PARKING PROVIDED: 2 SPACES  
 1 SPACE VAN ACCESSIBLE

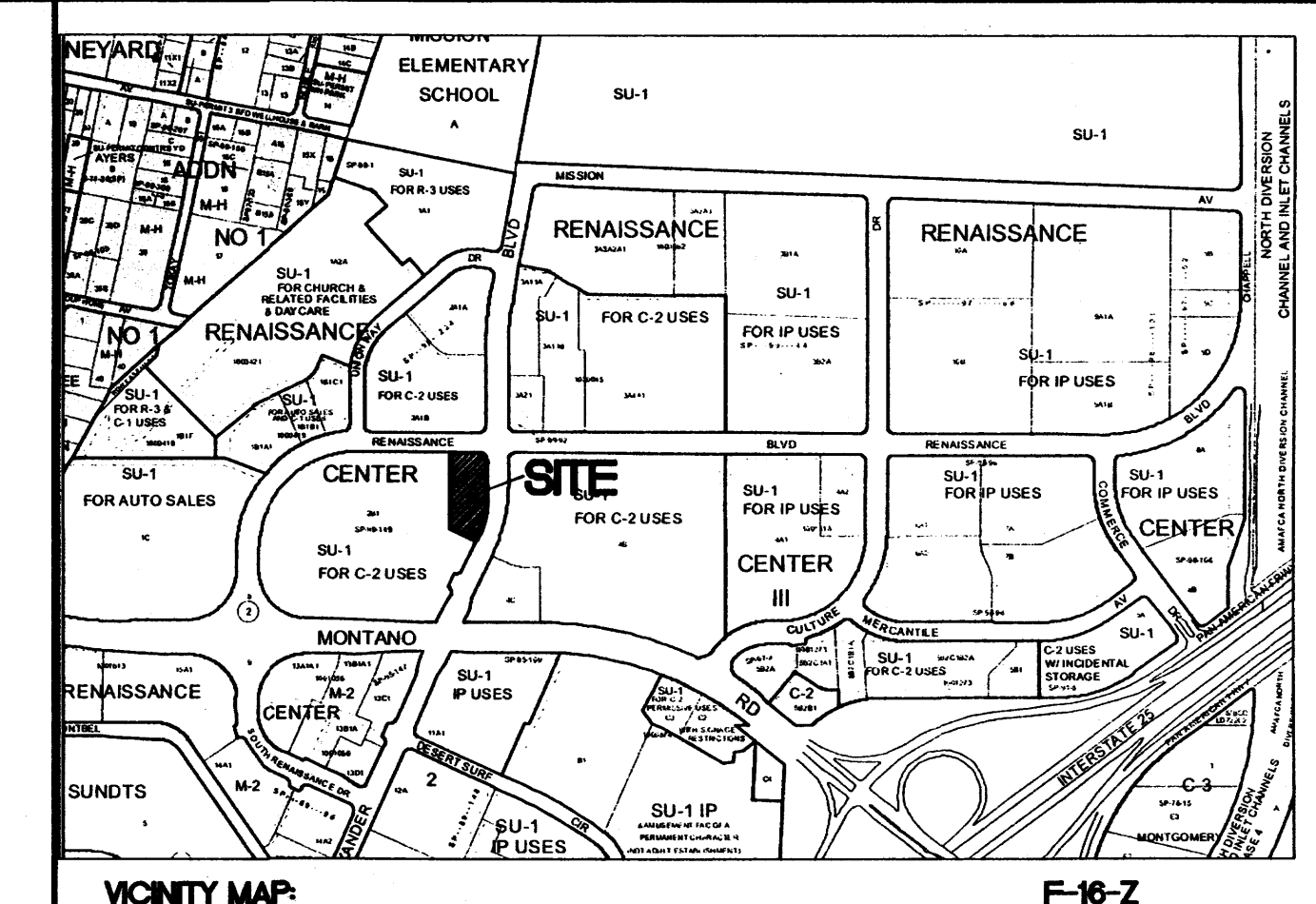
MC PARKING REQUIRED: 2 SPACES  
 MC PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 2 SPACES  
 BICYCLE PARKING PROVIDED: 5 SPACES

LANDSCAPE AREA REQUIRED: 6,659 SF



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
  - C2. MASTER UTILITY PLAN
  - C3. GRADING AND DRAINAGE PLAN
  - C4. DETAIL SHEET
  - C5. DETAIL SHEET
- L1. LANDSCAPING PLAN**
- A1. ARCHITECTURAL ELEVATIONS
  - A2. ARCHITECTURAL ELEVATIONS
  - A3. ARCHITECTURAL SIGN DETAILS



**LEGAL DESCRIPTION**  
 TRACT 2B-2 OF THE RENAISSANCE CENTER

- LEGEND**
- CURB & GUTTER
  - - - BOUNDARY LINE
  - - - EASEMENT
  - - - CENTERLINE
  - - - RIGHT-OF-WAY
  - ▭ BUILDING
  - ▭ SIDEWALK
  - STREET LIGHTS
  - - - EXISTING CURB & GUTTER
  - - - EXISTING BOUNDARY LINE
  - - - EXISTING SIDEWALK
  - - - EXISTING LANE
  - - - EXISTING STRIPING
  - - - ACCESSIBLE PEDESTRIAN PATH
  - - - SAWCUT

**PROJECT NUMBER:** 1000662  
**APPLICATION NUMBER:**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

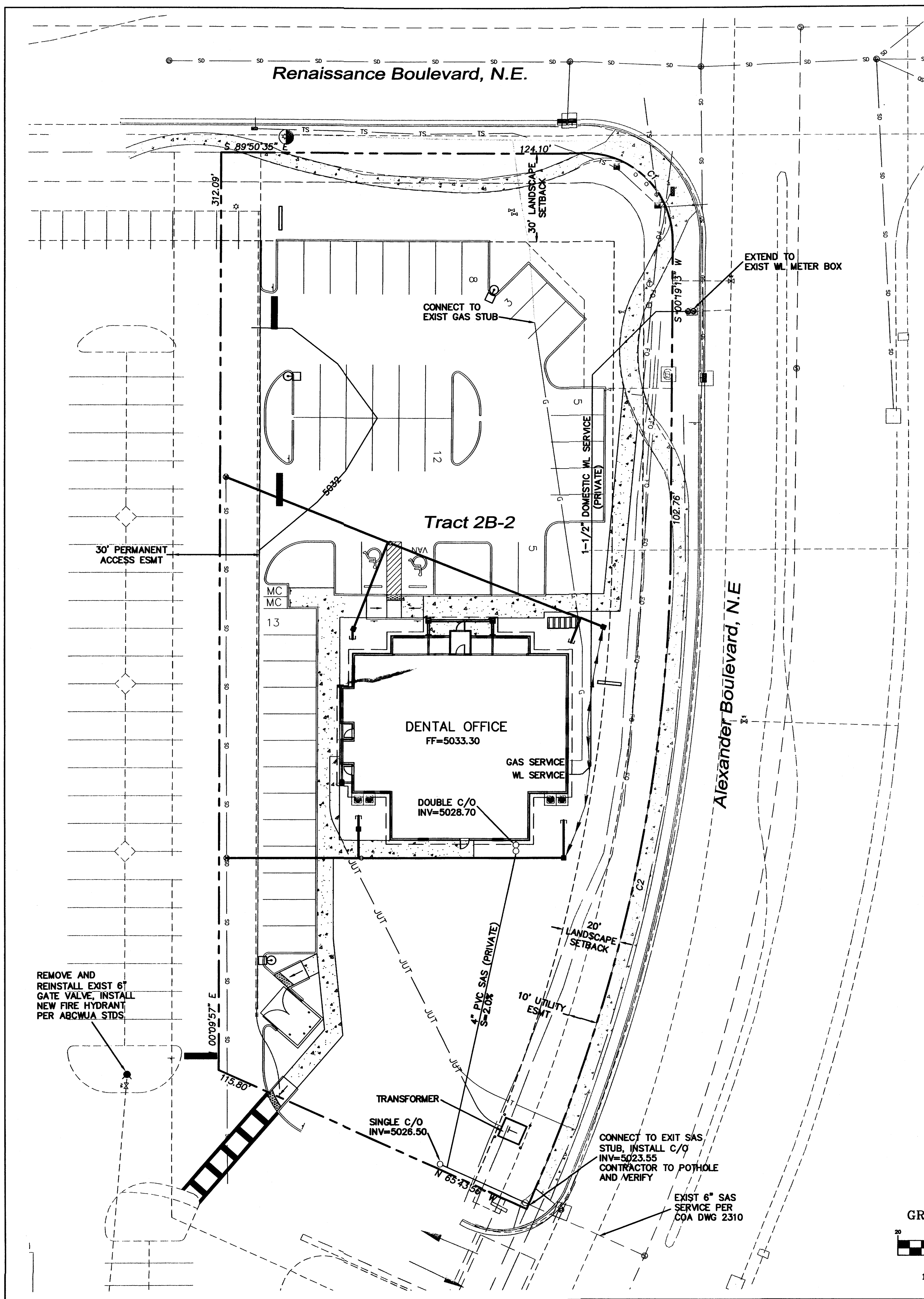
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i>	07-20-11
Traffic Engineer, Transportation Division	Date
<i>[Signature]</i>	07-20-11
Water Utility Development	Date
<i>[Signature]</i>	7/20/11
Parks & Recreation Department	Date
<i>[Signature]</i>	7-20-11
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>[Signature]</i>	08-12-11
Solid Waste Management	Date
<i>[Signature]</i>	8-11-11
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

ENGINEER'S SEAL	AFFORDABLE DENTURES 4821 ALEXANDER BLVD NE	DRAWN BY pm
	SITE PLAN FOR BUILDING PERMIT	DATE 7-13-11
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierawestllc.com	DRAWING 2011038-SPB.DWG
		SHEET # C1
		JOB # 2011038

2990001

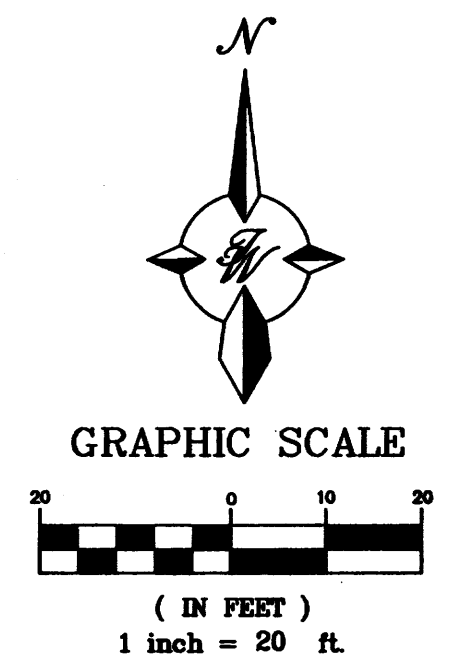


**GENERAL UTILITY NOTES:**

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

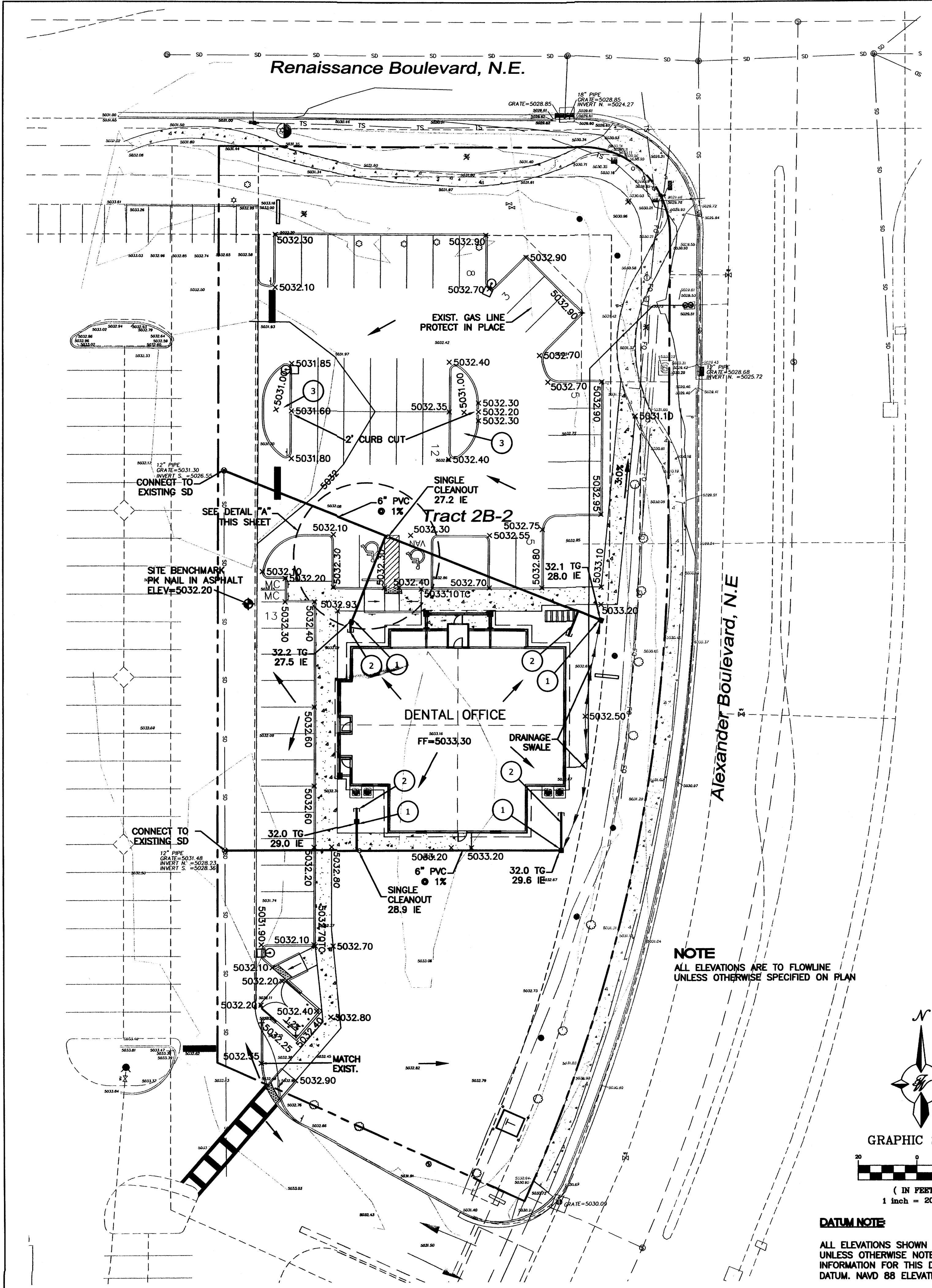
**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- EXISTING CURB & GUTTER
- 6" SAS SANITARY SEWER LINE
- 8" WL WATERLINE
- SINGLE CLEAN OUT
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EX. USE --- EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS --- EXISTING GAS
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. WL --- EXISTING WATER LINE
- EX. RCP --- EXISTING STORM SEWER LINE
- - - PROPOSED TELEPHONE LINE
- - - PROPOSED POWER



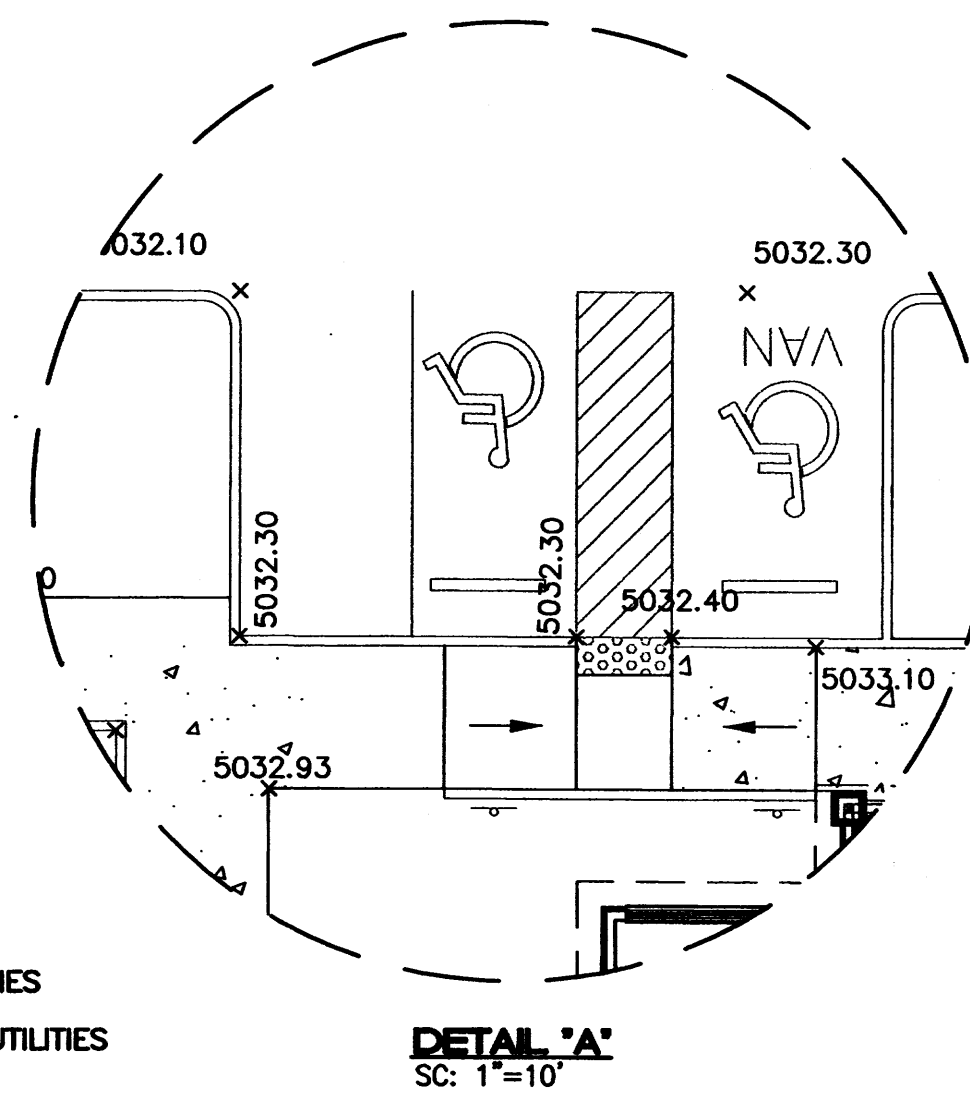
**CAUTION:**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	AFFORDABLE DENTURES 4821 ALEXANDER BLVD NE	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 5-13-11
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierawestllc.com	SHEET # <b>C2</b>
		JOB # 2011038



**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- SANITARY SEWER LINE
- WATERLINE
- SINGLE CLEAN OUT
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- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EX. UGE — EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS — EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. WL — EXISTING WATER LINE
- EX. RCP — EXISTING STORM SEWER LINE
- T — PROPOSED TELEPHONE LINE
- JUT — PROPOSED POWER
- ① — AREA DRAIN (NDS #1200 12" SQUARE CATCH BASIN) W/ATRIUM GRATE (NDS #1280)
- ② — INSTALL — ROOF DRAIN STUB 6" PVC @ 1% WITH CAP 5 FT. FROM BUILDING
- ③ — DEPRESS LANDSCAPE ISLANDS



**EROSION CONTROL NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

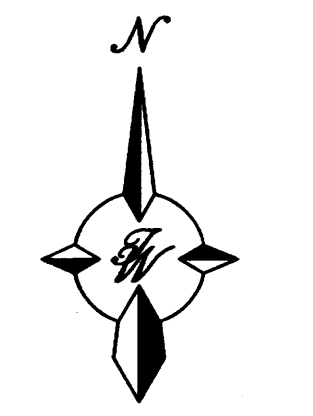
**CONCEPTUAL DRAINAGE PLAN**

The project site is the undeveloped lot for the Dome Depot located on 1220 Renaissance Blvd NE which is part of the Renaissance Master Plan and previously analyzed per Drainage Report of the Dome Depot by Tierra West, Inc. dated 12/10/13. This project proposes to develop a 4821 square foot single-story dental clinic on the 1.12 acre tract complete with parking facilities and landscaping in substantial compliance with the aforementioned report.

The site is currently vacant and does not lie within a designated Flood Hazard Zone. Drainage from the site gently slopes toward existing catch basins (CB 10 and CB 11 per the report) to the site flows are directed to the site.

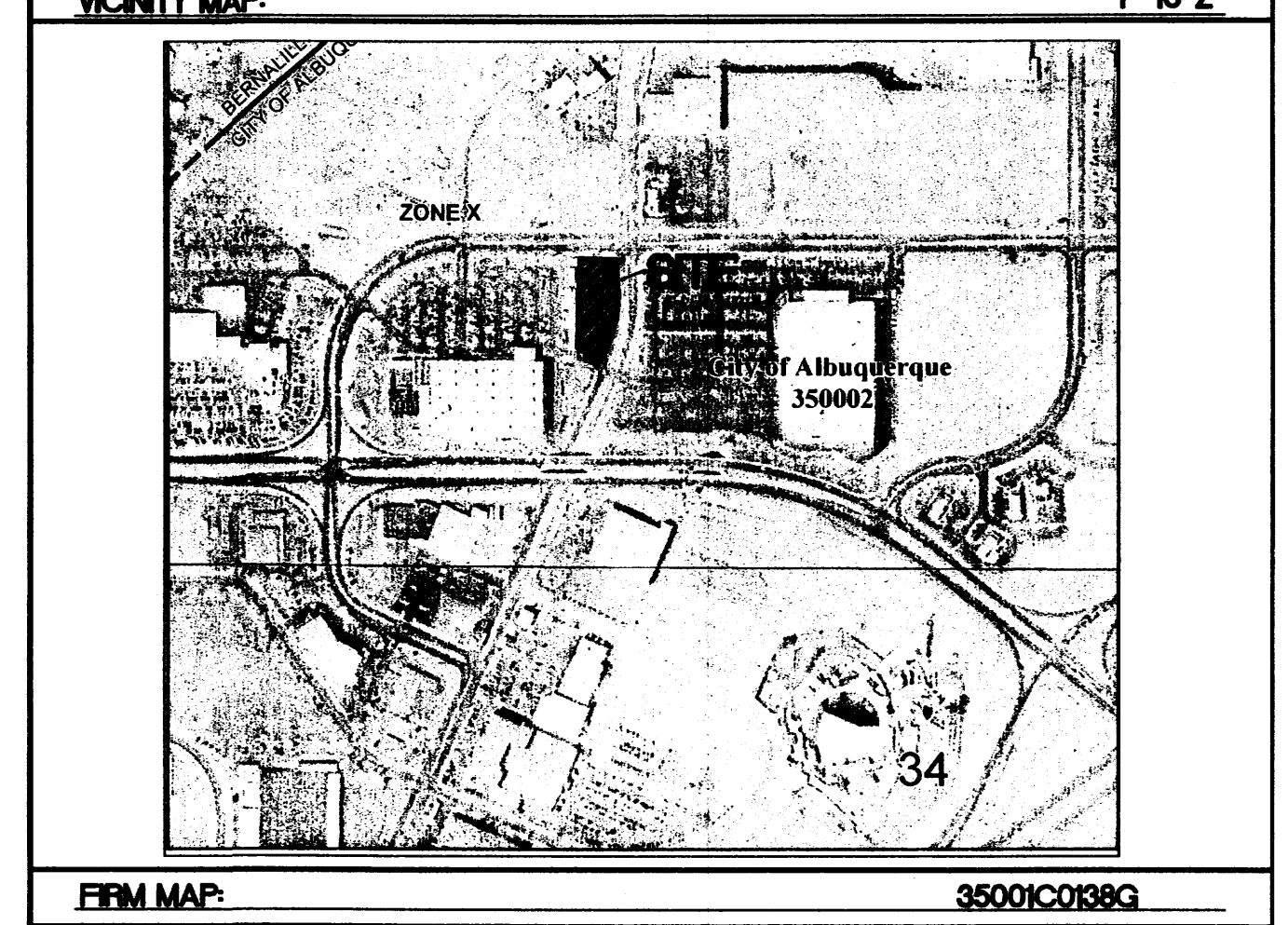
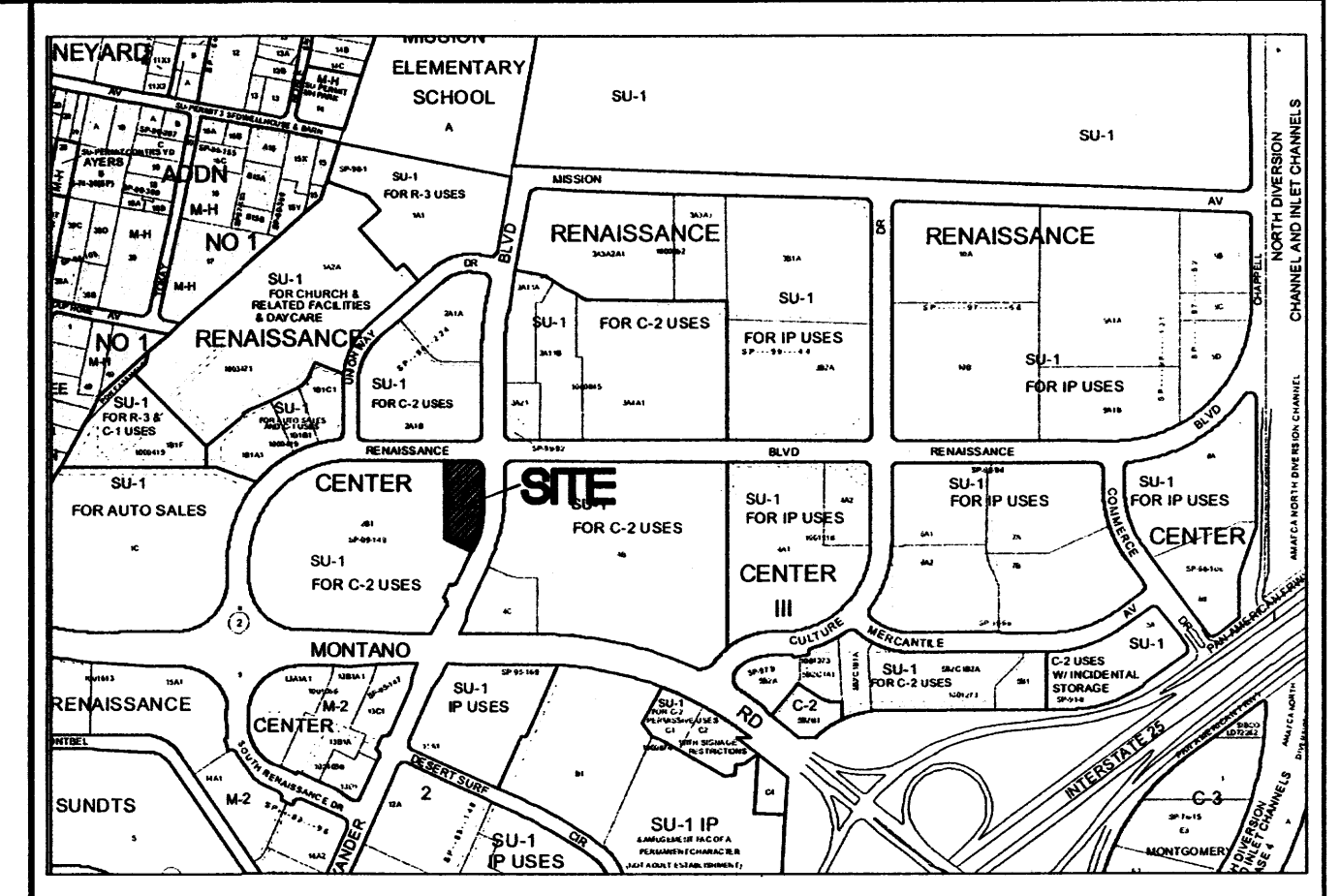
Proposed drainage will not divert drainage areas and direct flows to the existing inlets as originally designed. The finished floor elevation will be 5033.30 which is designed to exceed the 100-year water surface elevation determined by the report as 5032.00 admitted datum. The development will result in an impervious area less than 60% of treatment of 0.6000 the lot well below the D0 anticipated by the report.

**NOTE**  
ALL ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED ON PLAN



**DATUM NOTE**

ALL ELEVATIONS SHOWN ARE BASED ON NAVD 88 FROM FIELD SURVEY, UNLESS OTHERWISE NOTED. USE CAUTION WHEN REFERENCING RECORD INFORMATION FOR THIS DEVELOPMENT AS IT MAY BE BASED ON NGVD 29 DATUM. NAVD 88 ELEVATION = NGVD 29 + 2.676 ±



**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

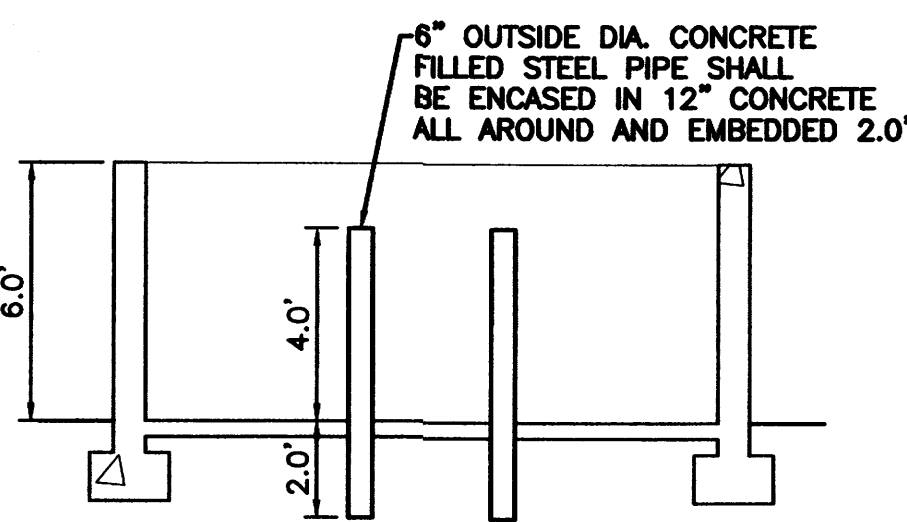
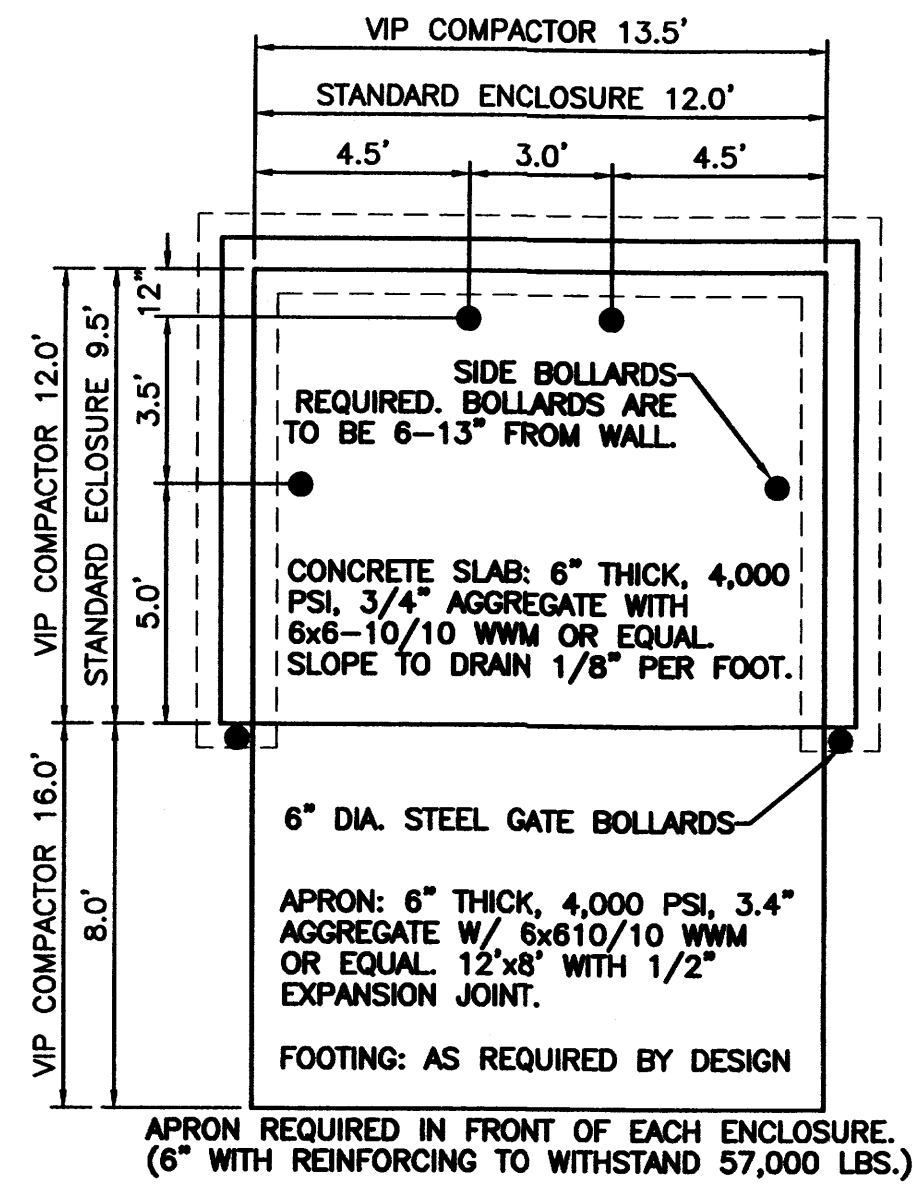
APPROVAL	NAME
INSPECTOR	

**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER'S SEAL	<b>AFFORDABLE DENTURES</b> 4821 ALEXANDER BLVD NE	DRAWN BY pm
	<b>MASTER GRADING PLAN</b>	DATE 07-13-11
		2011038-GRB
		SHEET # <b>C3</b>
		JOB # 2011038
RONALD R. BOHANNAN P.E. #7868		TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrewestllc.com

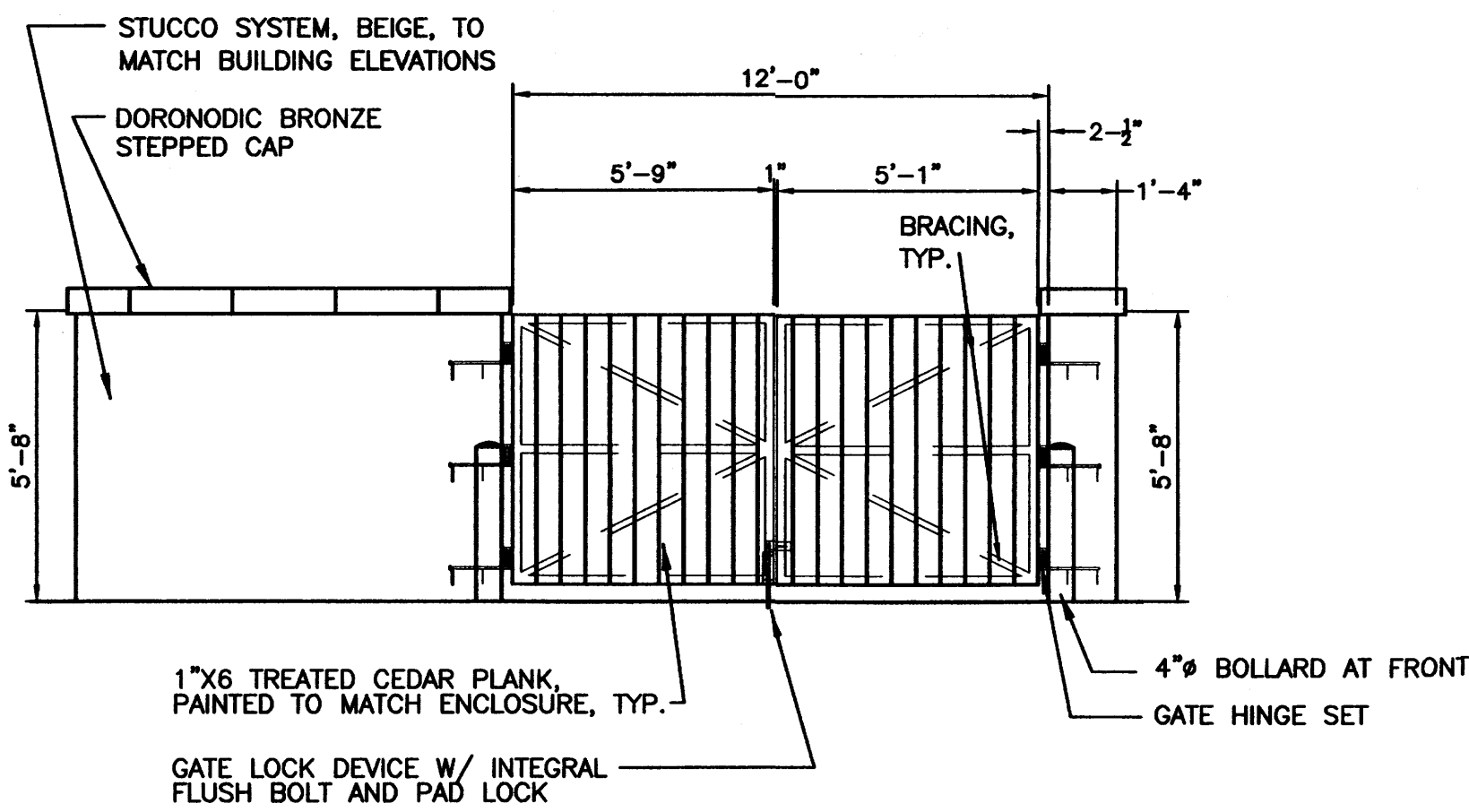
**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

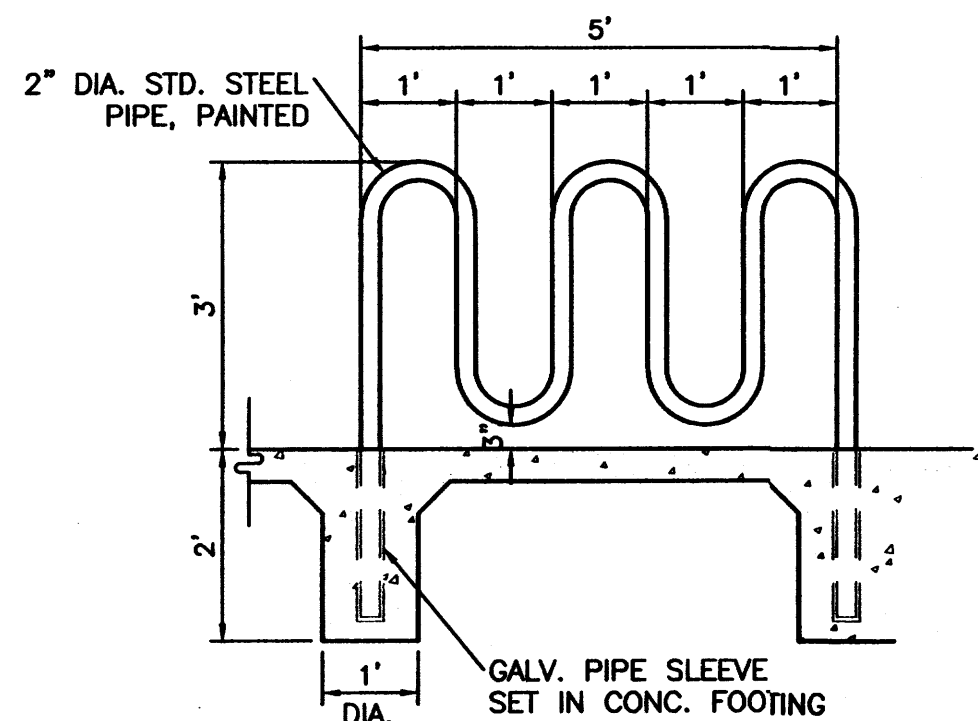


NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

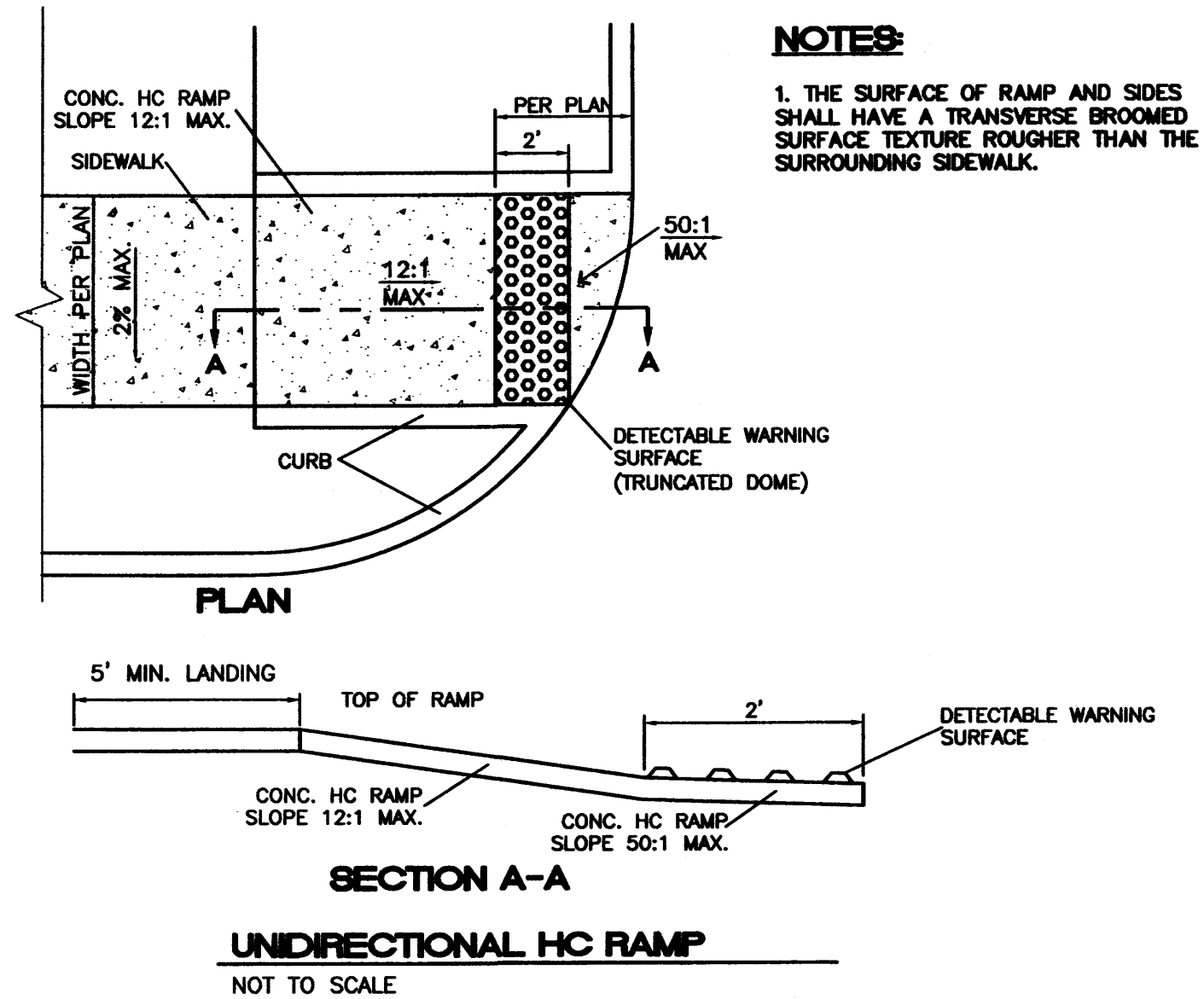
**DUMPSTER ENCLOSURE DETAIL**  
NTS



**REFUSE ENCLOSURE ELEVATION FRONT/SIDE**  
NTS

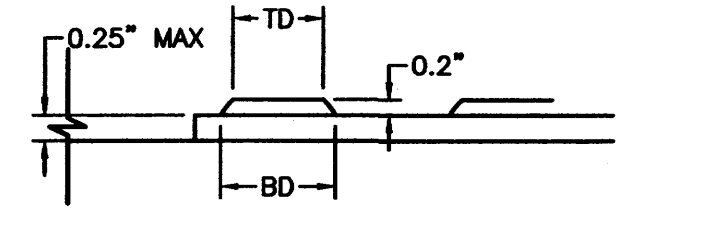


**BIKE RACK DETAIL**  
SCALE: 1/2"=1'-0"

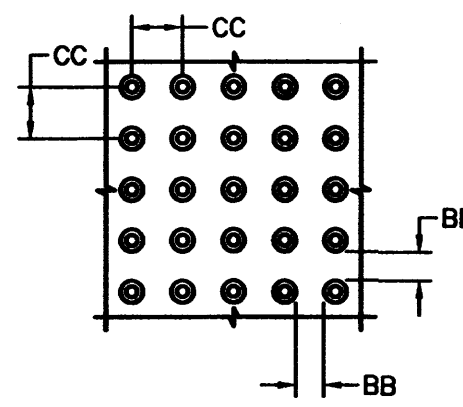


**NOTES:**  
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.

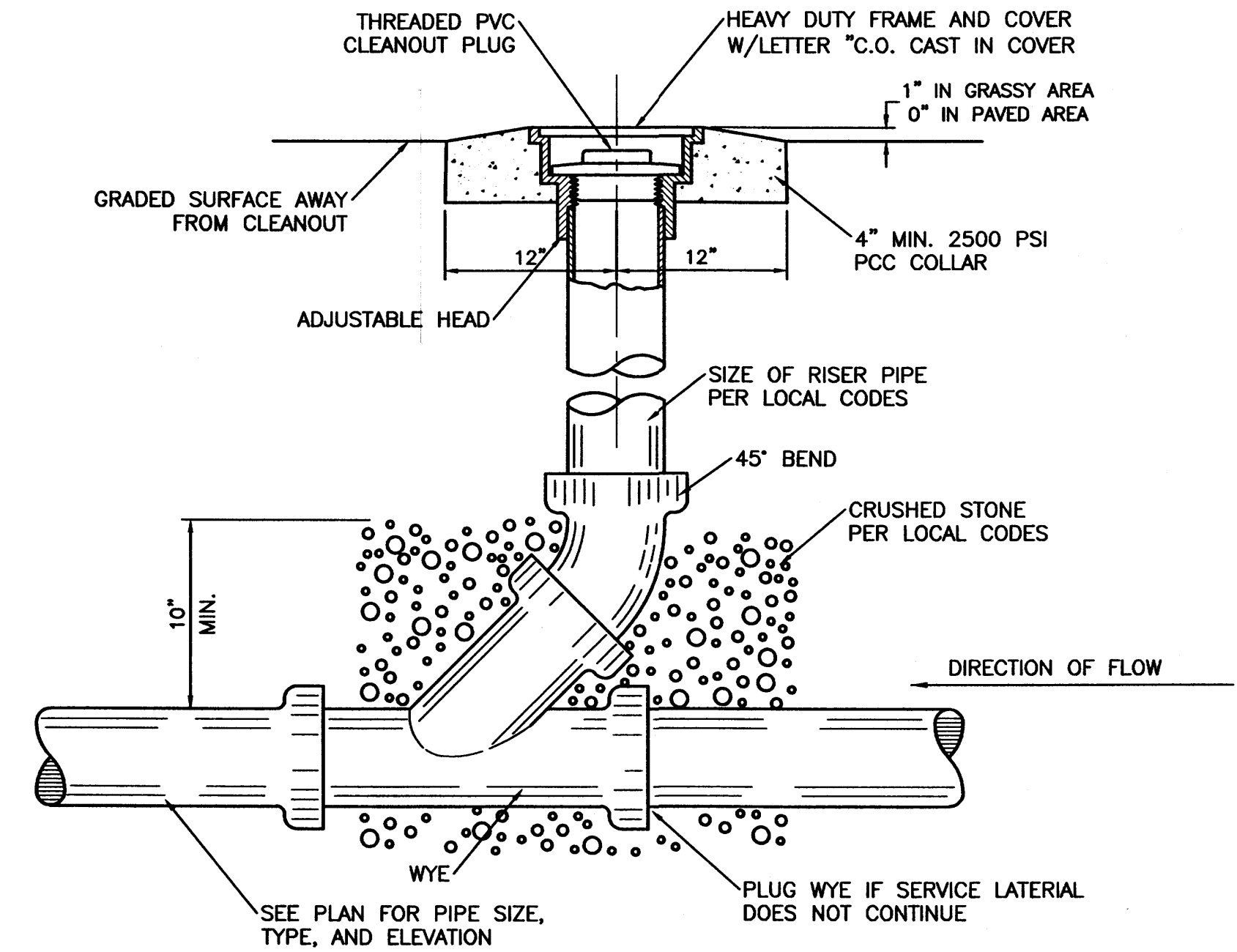
**UNIDIRECTIONAL H/C RAMP**  
NOT TO SCALE



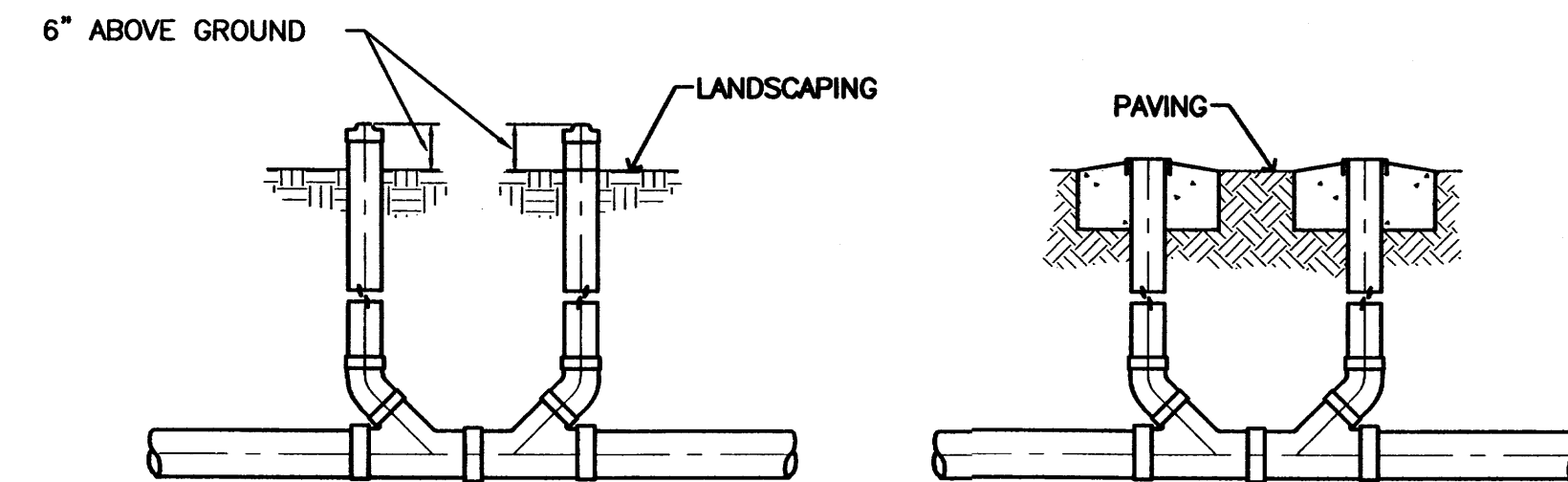
**DOME SECTION**  
BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



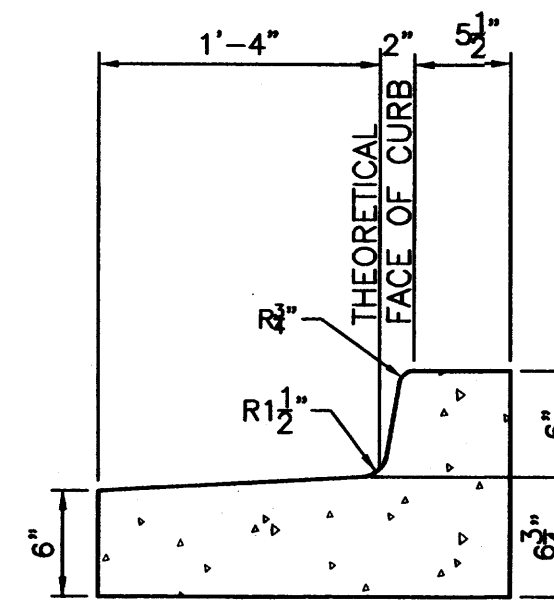
**DOME SPACING**  
CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN



**SANITARY SEWER CLEAN-OUT**  
NTS

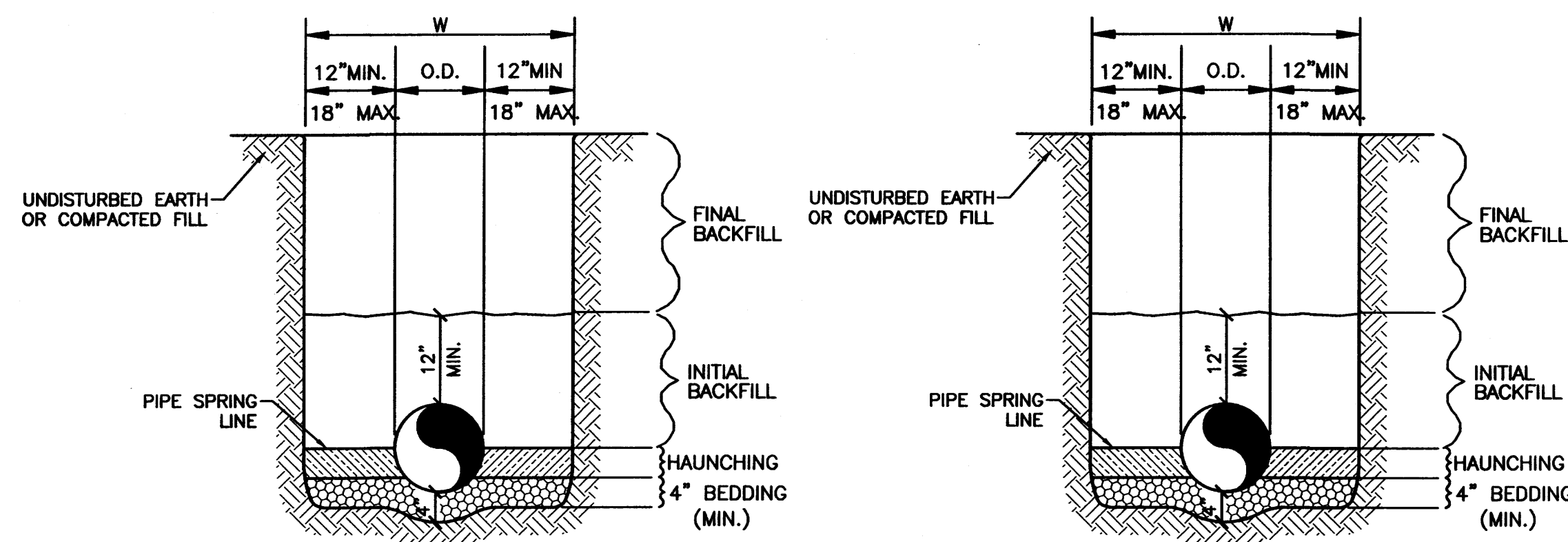


**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS



**CURB GENERAL NOTES:**  
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.  
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.  
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.  
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

**STANDARD CURB / GUTTER**  
NTS



**WATER LINE**

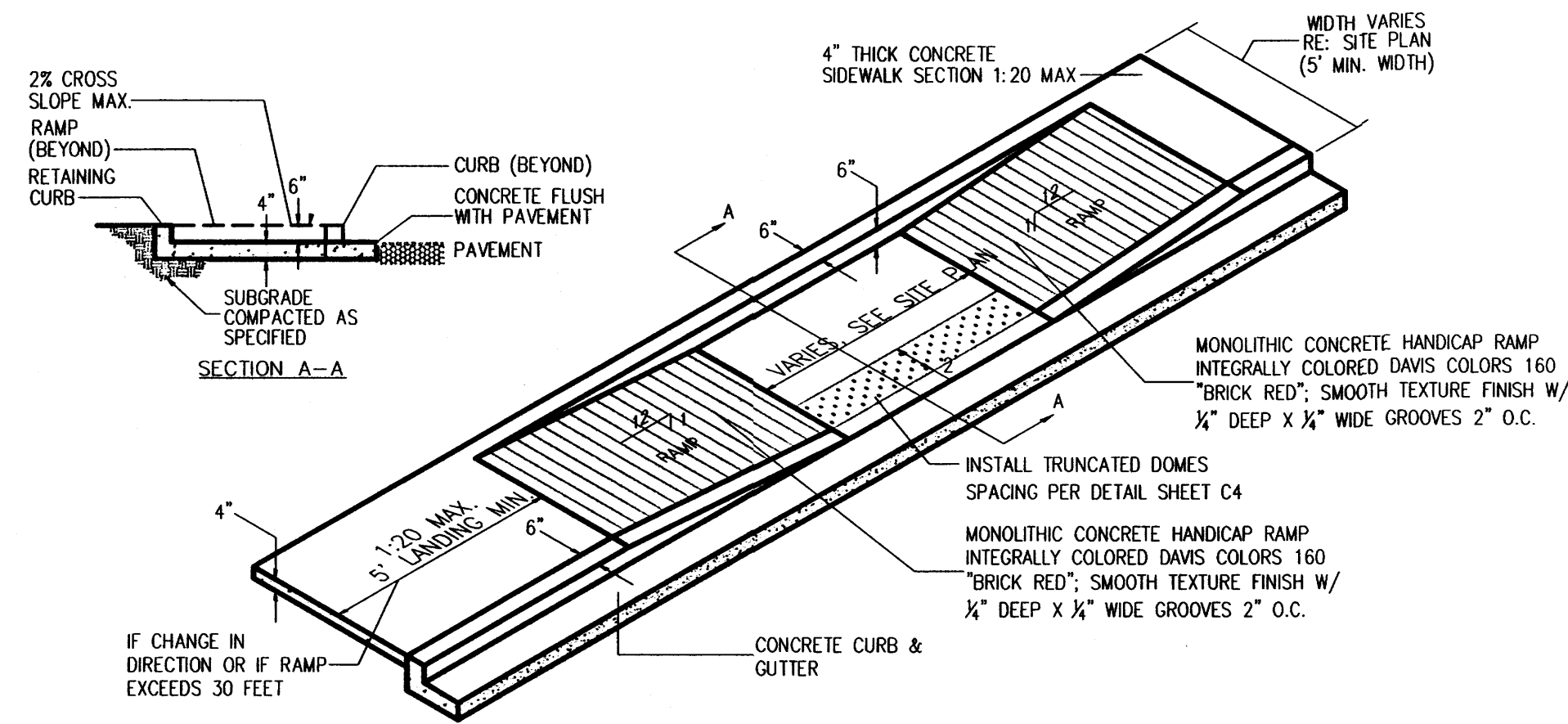
**SANITARY SEWER**

**GENERAL NOTES**

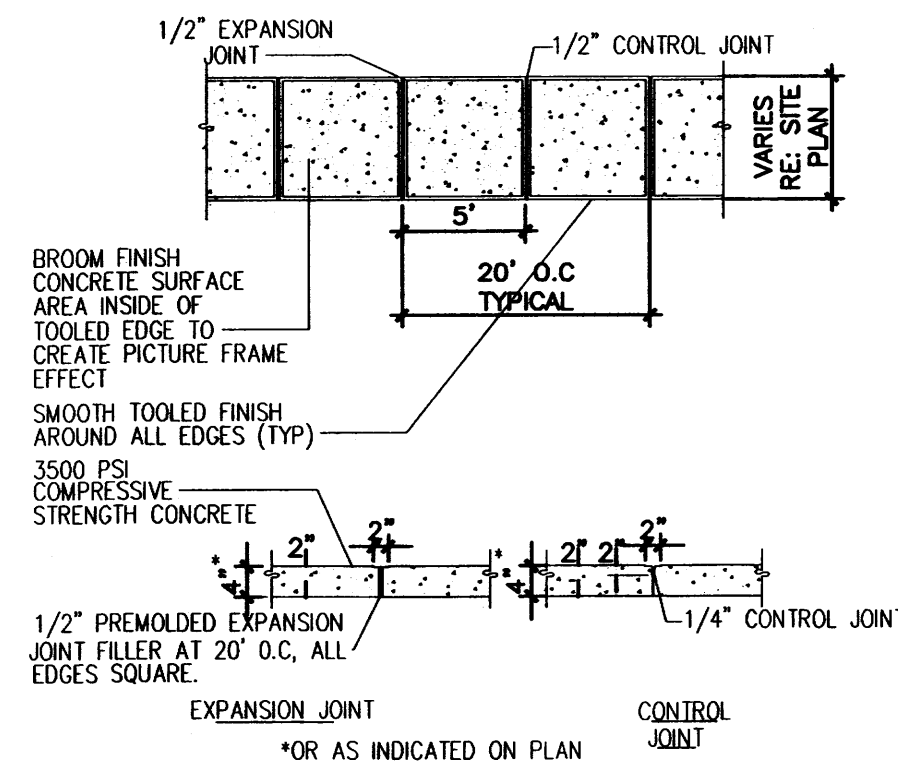
- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

**UTILITY TRENCH AND BEDDING DETAIL**  
NTS

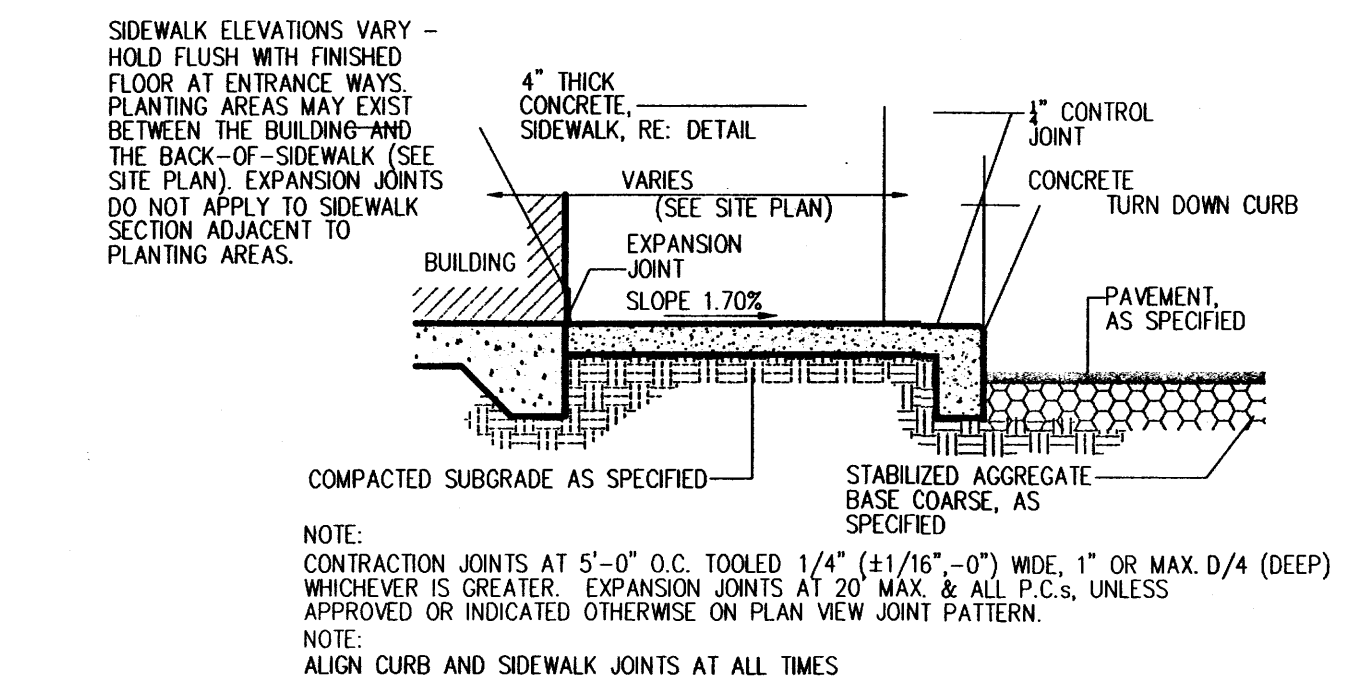
ENGINEER'S SEAL	<b>AFFORDABLE DENTURES</b> 4821 ALEXANDER BLVD NE	DRAWN BY pm
	<b>CONSTRUCTION DETAILS</b>	DATE 7-11-11
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C4</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2011038



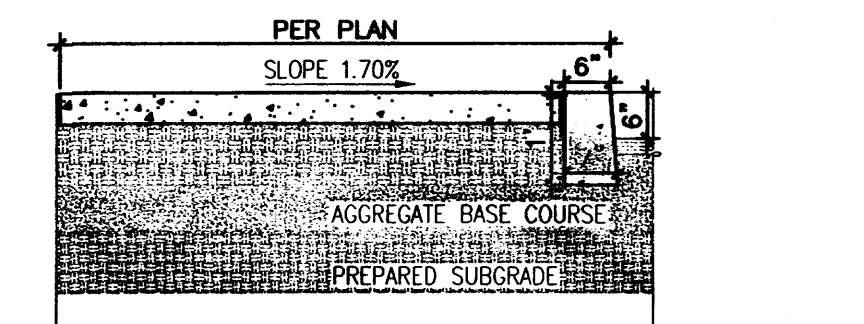
**1 TAPERED H.C. RAMP**  
Scale: N.T.S.



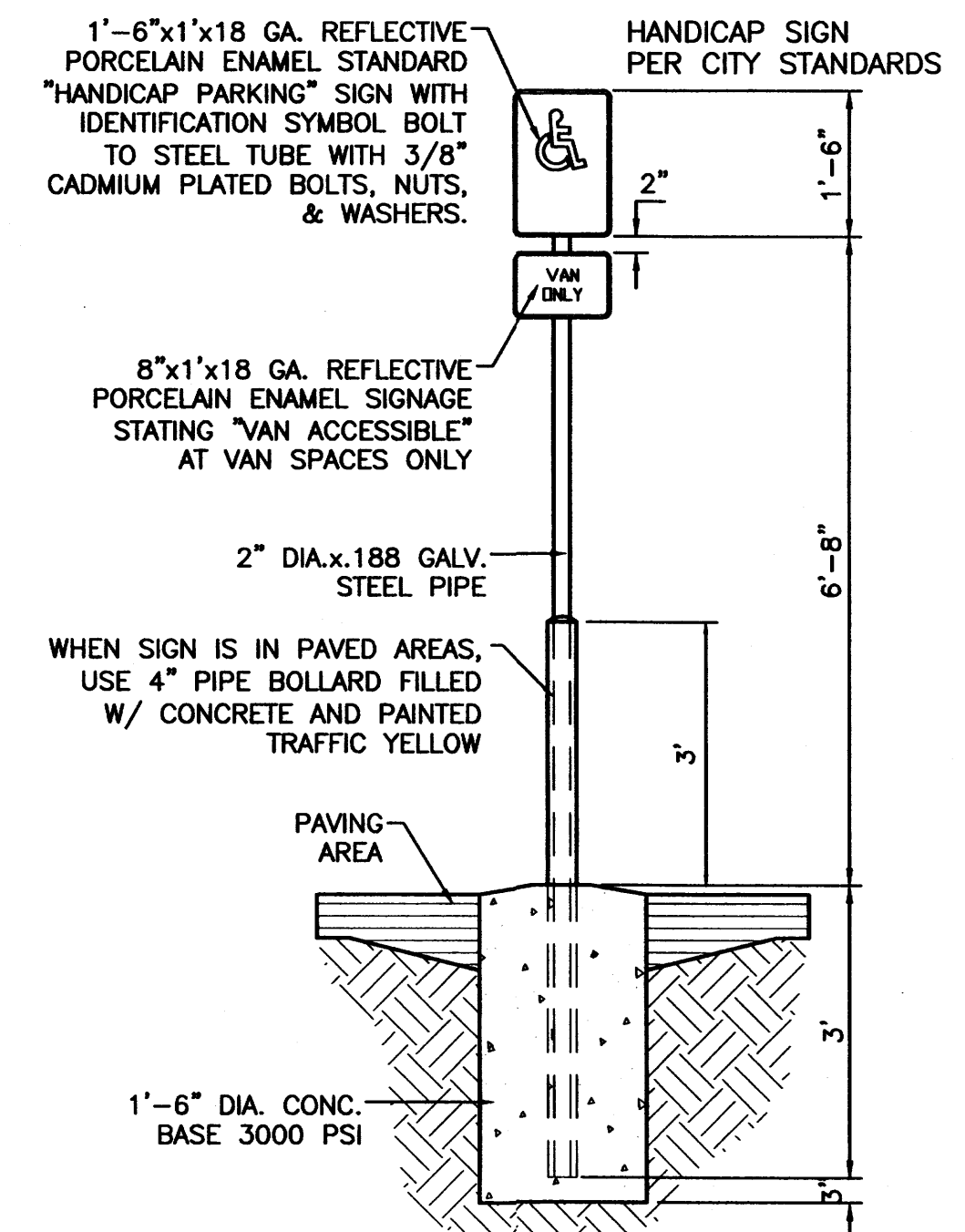
**11 TYPICAL SIDEWALK**  
Scale: N.T.S.



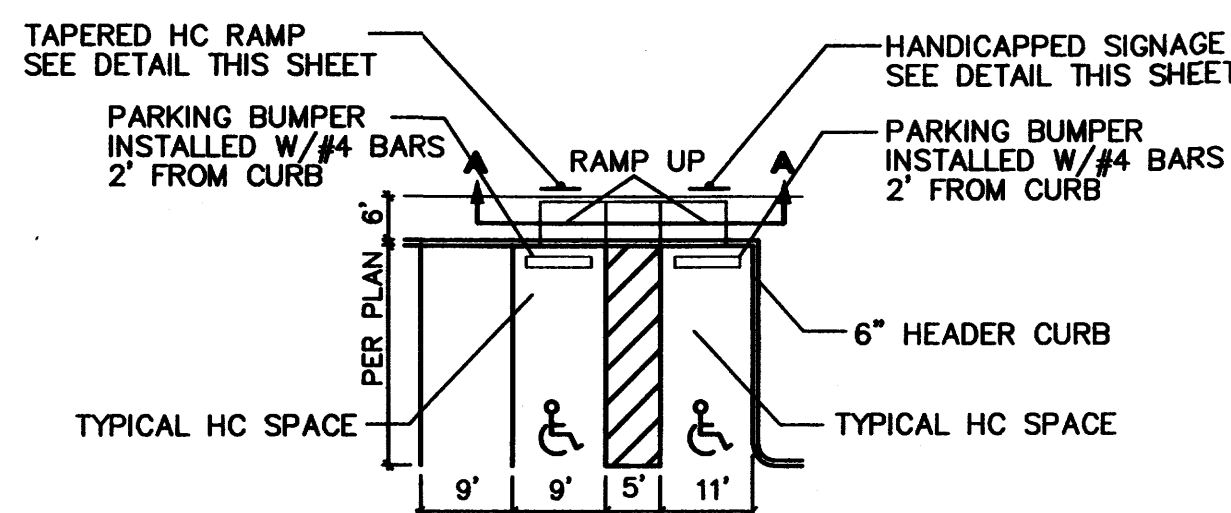
**10 SIDEWALK W/ TURNDOWN CURB SECTION**  
Scale: N.T.S.



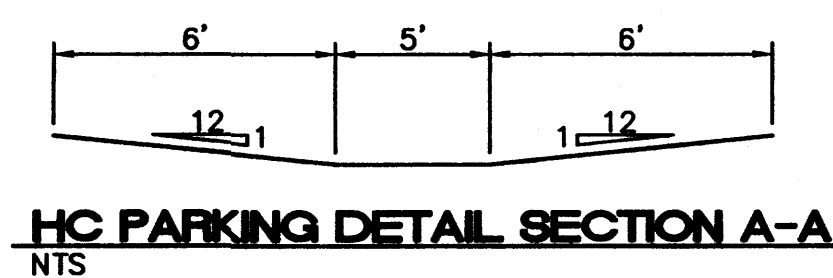
**12 HEADER CURB W/ SIDEWALK (6' MIN., WIDTH PER PLAN)**  
Scale: N.T.S.



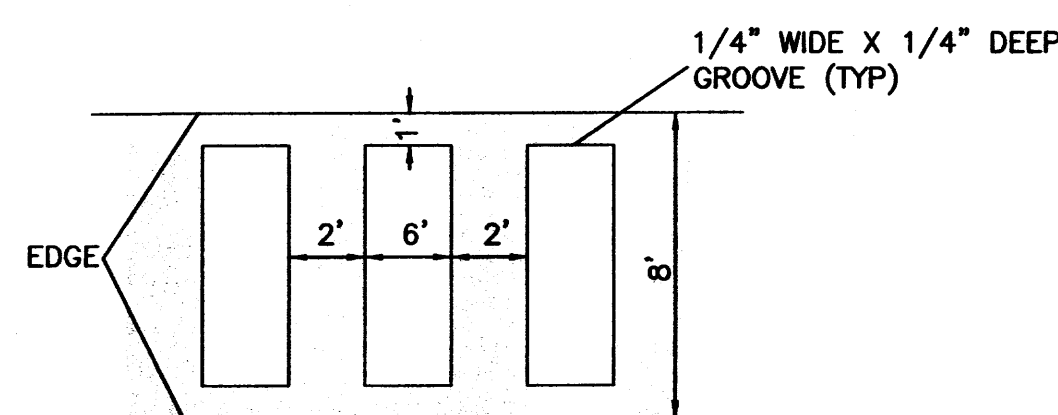
**HANDICAP SIGN**  
NTS



**HC PARKING DETAIL**  
NTS

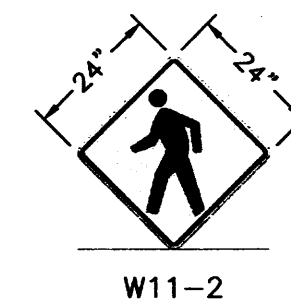


**HC PARKING DETAIL SECTION A-A**  
NTS



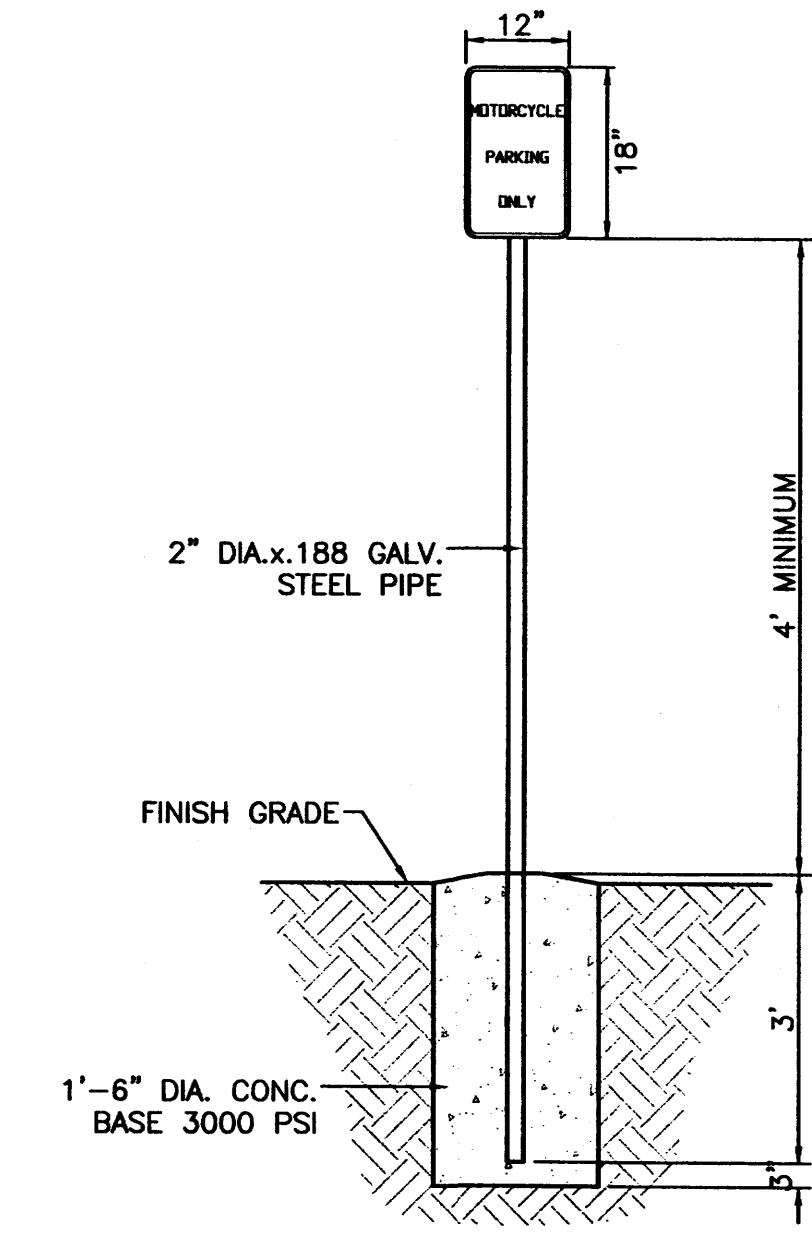
**CROSSWALK PATTERN DETAIL**  
NTS

**SIGN KEY:**



\* SIGN FACES SHOWN FOR REFERENCE; CONTRACTOR SHALL VERIFY DIRECTION OF ARROW TO CORRELATE WITH INSTALLATION LOCATION AND TRAFFIC MOVEMENTS.

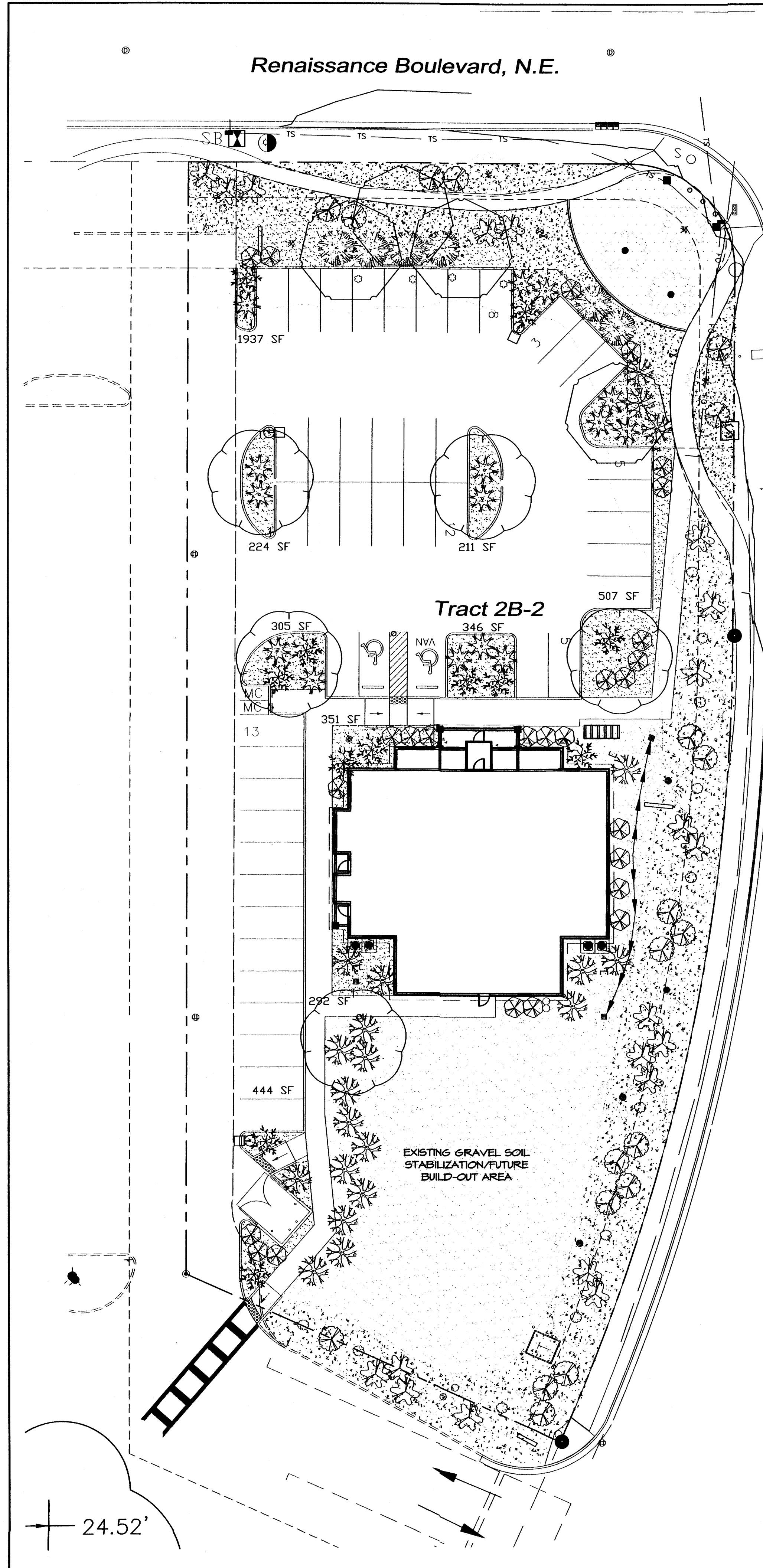
\*\* CONTRACTOR SHALL COORDINATE WITH TRAFFIC OPERATIONS PRIOR SIGNING AND STRIPING



**MOTORCYCLE PARKING SIGN**  
NTS

ENGINEER'S SEAL	<b>AFFORDABLE DENTURES</b> 4821 ALEXANDER BLVD NE	DRAWN BY DY
	<b>CONSTRUCTION DETAILS</b>	DATE 7-11-11
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2011038-DET2
		SHEET # <b>C5</b>
		JOB # 2011038

Renaissance Boulevard, N.E.



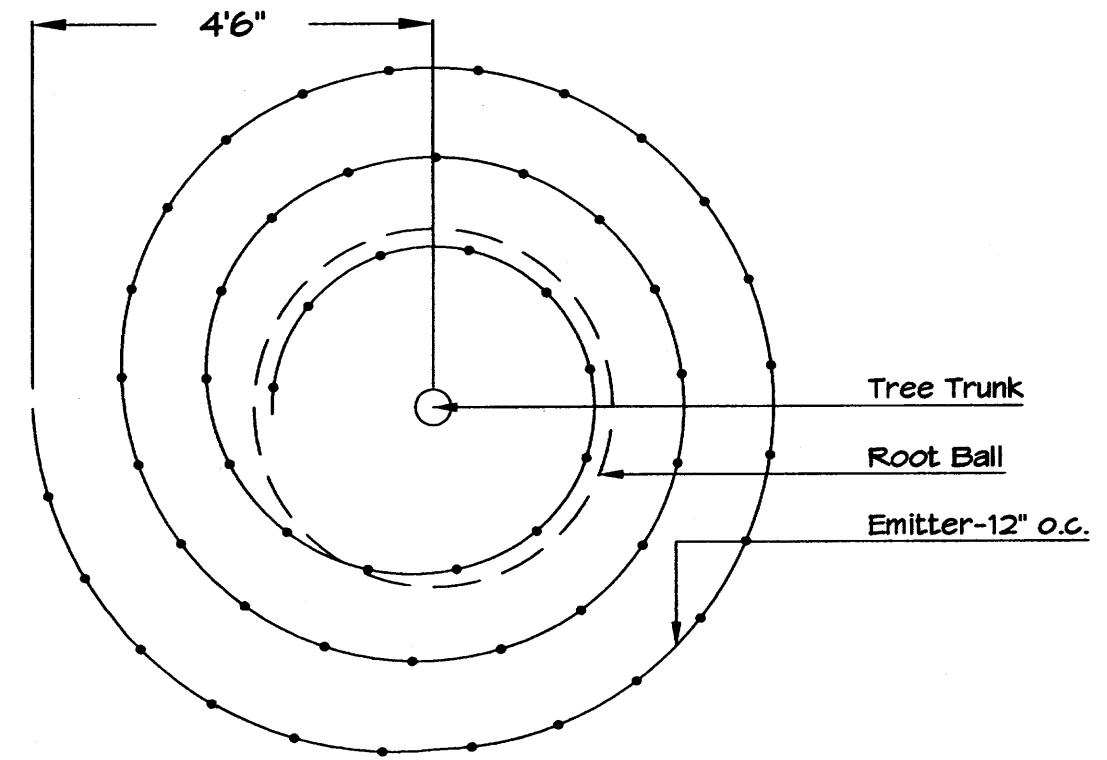
Alexander Boulevard, N.E.

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation measurement should be by spread of roots rather than by the height of the plant.

- AUTUMN PURPLE ASH 5**  
Fraxinus americana  
2" Gal., 12-14" Inst./60" x 60" maturity  
Water (M) Allergy (H) Osf
- COMMON HACKBERRY 4**  
Celtis occidentalis  
2" Gal., 12-14" Inst./40" x 40" maturity  
Water (M) Allergy (L) Osf
- WILLOWLEAF COTONEASTER 6**  
Cotoneaster salicifolius  
5 Gal., 2-4" Inst./6" x 10" maturity  
Water (M) Allergy (L) 10Osf
- PHOTINIA 21**  
Photinia Fraseri  
5 Gal., 2-4" Inst./8" x 8" maturity  
Water (M+) Allergy (L) 64sf
- INDIAN HAWTHORN 26**  
Raphiolepis indica  
5 Gal., 18"-3" Inst./6" x 6" maturity  
Water (M) Allergy (L) 36sf
- GREYLEAF COTONEASTER 12**  
Cotoneaster glaucophyllus  
5 Gal., 24"-4" Inst./2" x 9" maturity  
Water (M) Allergy (L) 81sf
- LADY BANKS ROSE 15**  
Rosa banksiae  
5 Gal., 24"-4" Inst./3" x 20" maturity  
Water (M) Allergy (L) 400sf  
Unstaked Groundcover
- WINTER JASMINE 20**  
Jasminum nudiflorum  
1 Gal., 6"-15" Inst./4" x 12" maturity  
Water (L+) Allergy (L) 144sf
- HONEYSUCKLE 19**  
Lonicera Japonica Halliana  
1 Gal., 6"-15" Inst./3" x 12" maturity  
Water (M) Allergy (L) 144sf  
Unstaked Groundcover

- HARDSCAPES**
- EXISTING SOD EDGE
  - COMMERCIAL GRADE STEEL EDGING
  - EXISTING GRAVEL TO REMAIN
  - SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
  - EXISTING TURF TO REMAIN
  - EXISTING TURF DEMO/ NEW SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
  - COBBLESTONE FLOWLINE STABILIZATION



Netafim Spiral Detail

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive new lawn, or preserve existing lawn or existing grey gravel.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with new Trees not in lawn area to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Lawn irrigation shall be capped at property line and retrofitted to run off new irrigation system solely for this property.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

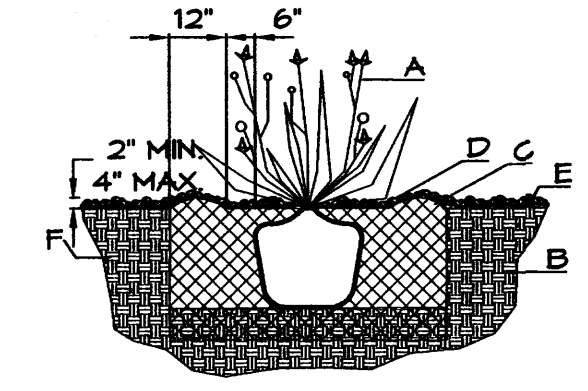
Water and Power source shall be the responsibility of the Developer/Builder.

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**LANDSCAPE CALCULATIONS**

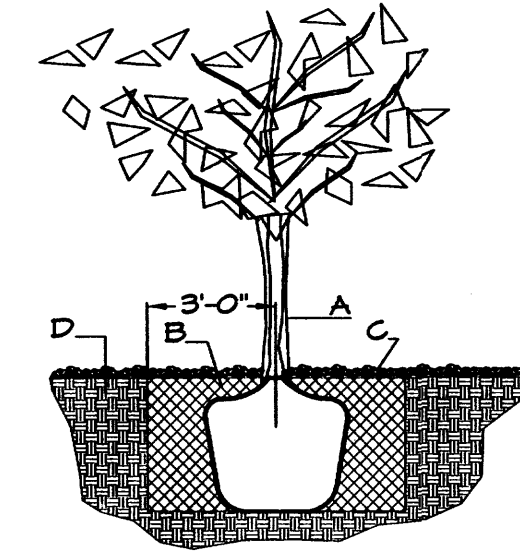
TOTAL LOT AREA	49026	square feet
TOTAL BUILDINGS AREA	4570	square feet
NET LOT AREA	44456	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	6668	square feet
TOTAL BED PROVIDED	15530.0000	square feet
TOTAL NEW BED PROVIDED	4617	square feet
TOTAL EXISTING GRAVEL BED AREA	2179	square feet
TOTAL EXISTING SOD DEMO/ NEW BED	8742	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	11653	square feet
TOTAL GROUNDCOVER PROVIDED	11744 (75%)	square feet
TOTAL EXISTING SOD TO REMAIN	1419 (8%)	square feet
TOTAL LANDSCAPE PROVIDED	16750.0000	square feet
TOTAL EXISTING TEMPORARY GRAVEL AREA	6346	square feet

ZONING ENFORCEMENT  
City of Albuquerque



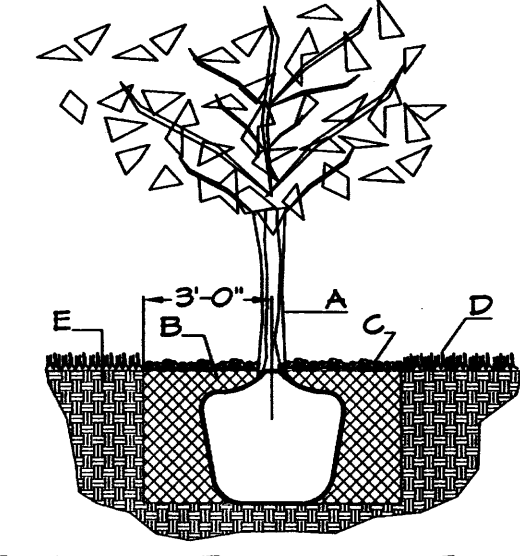
**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
**CONSTRUCTION NOTES:**  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.



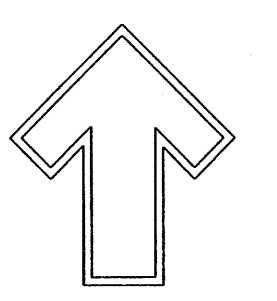
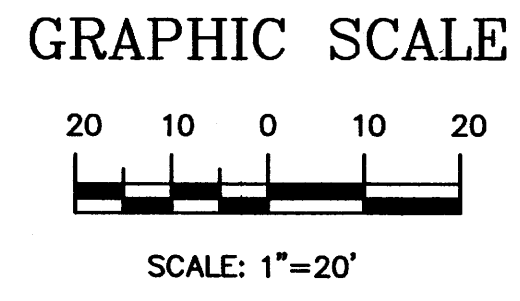
**TREE PLANTING DETAIL**

**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
**CONSTRUCTION NOTES:**  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.



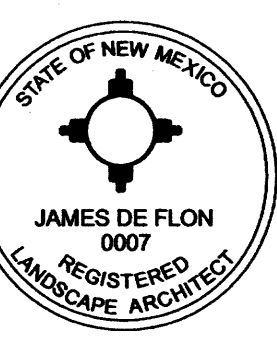
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**CONSTRUCTION NOTES:**  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. TURF AT FINISH GRADE.  
E. UNDISTURBED SOIL.



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

AFFORDABLE CARE

LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless appropriate written permission has been given in order please.



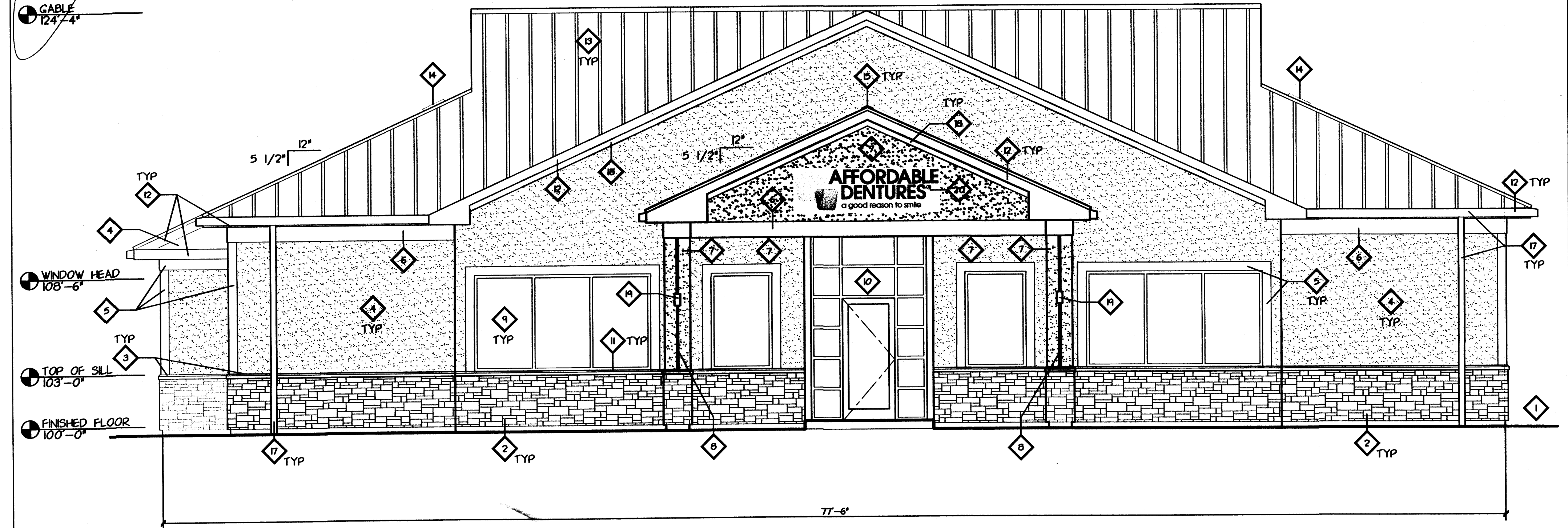
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REVISION # 3/4-19-17  
DATE 5-11-17

SHEET # L1 OF L1

# EXTERIOR ELEVATION LEGEND

- ◇ REFER TO CIVIL DOCUMENTS BY OTHERS FOR ALL SITE INFORMATION
- ◇ MANUFACTURED STONE VENEER
- ◇ MANUFACTURED STONE WATER TABLE - COLOR TO MATCH MANUFACTURED STONE
- ◇ EIFS WALL FINISH
- ◇ 6" EIFS TRIM
- ◇ 12" EIFS TRIM
- ◇ 1 1/2" EIFS WALL FINISH
- ◇ V-NOTCH REVEAL - REFER TO DETAIL 15/A9
- ◇ THERMALLY BROKEN ANODIZED ALUMINUM WINDOW FRAME W/ 1" INSULATED GLASS
- ◇ THERMALLY BROKEN ANODIZED ALUMINUM STOREFRONT W/ 1" INSULATED GLASS
- ◇ PREFINISHED METAL WINDOW SILL FLASHING
- ◇ 8" EIFS TRIM
- ◇ PREFINISHED METAL STANDING SEAM METAL ROOF
- ◇ PROVIDE PREFINISHED METAL ROOF VENTS AS PER IBC SECTION 1203
- ◇ CONTINUOUS PREFINISHED METAL RIDGE VENT, AS REQUIRED
- ◇ REFER TO ELECTRICAL DRAWINGS BY OTHERS FOR BUILDING LIGHTING AND ADDITIONAL INFORMATION
- ◇ CONTINUOUS PREFINISHED METAL GUTTER W/ DOWNSPOUTS - PROVIDE 5" X 6" GUTTER TO MATCH ROOF COLOR
- ◇ 4" EIFS TRIM
- ◇ WALL SCONCE - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- ◇ SIGNAGE - REFER TO SIGNAGE DRAWINGS
- ◇ 3'X7' SIGNAGE - REFER TO SIGNAGE DRAWINGS

◇ CABLE 124-74



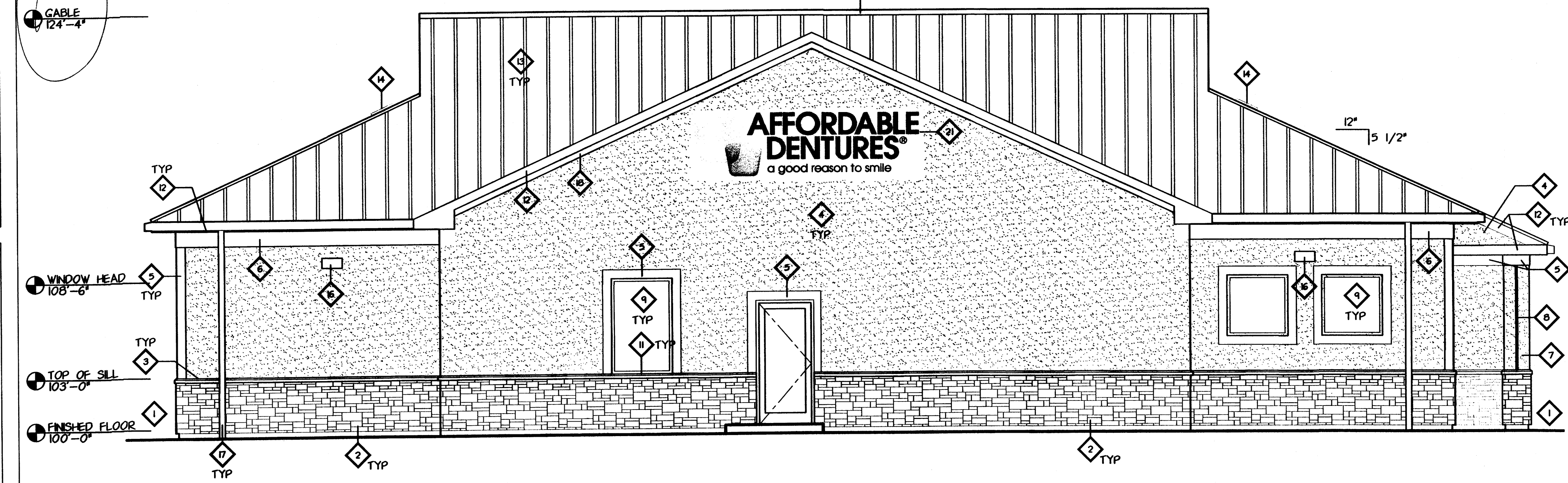
**NORTH ELEVATION**

1/4" = 1'-0"

# EXTERIOR COLOR SCHEDULE

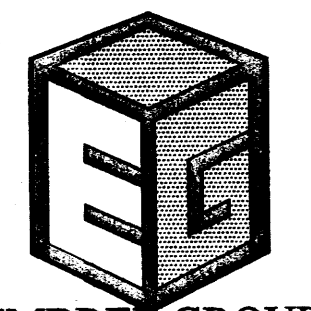
MATERIAL	MANUFACTURER	COLOR
METAL ROOF	ULTRA SEAM	BRONZE
EIFS	DRYVIT	FIELD: 481A CLAY
EIFS	DRYVIT	FIELD: 102 BRIGHT WHITE
EIFS	DRYVIT	TRIM: 471 BEIGE
CULTURED STONE	D STONE DUTCH QUALITY	SAGEWOOD LEDGESTONE
STOREFRONT	KAWNEER	MEDIUM BRONZE

◇ CABLE 124-4



**SOUTH ELEVATION**

1/4" = 1'-0"



**EMBREE GROUP**  
CONSTRUCTION  
4747 WILLIAMS DRIVE  
GEORGETOWN, TEXAS 78633  
PH. (512) 819-4700  
FAX (512) 869-3442



MICHAEL J. WILKUS, AIA  
11487 Valley View Road  
Eden Prairie, MN 55344  
P. 952-941-8668  
F. 952-941-2755

**AFFORDABLE DENTURES**  
RENAISSANCE BLVD.  
& ALEXANDER BLVD.  
ALBUQUERQUE, NM

Revisions

No.	Description	Date

PERMIT ISSUE DATE: \_\_\_\_\_

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Scale: AS NOTED  
Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Checked By: \_\_\_\_\_

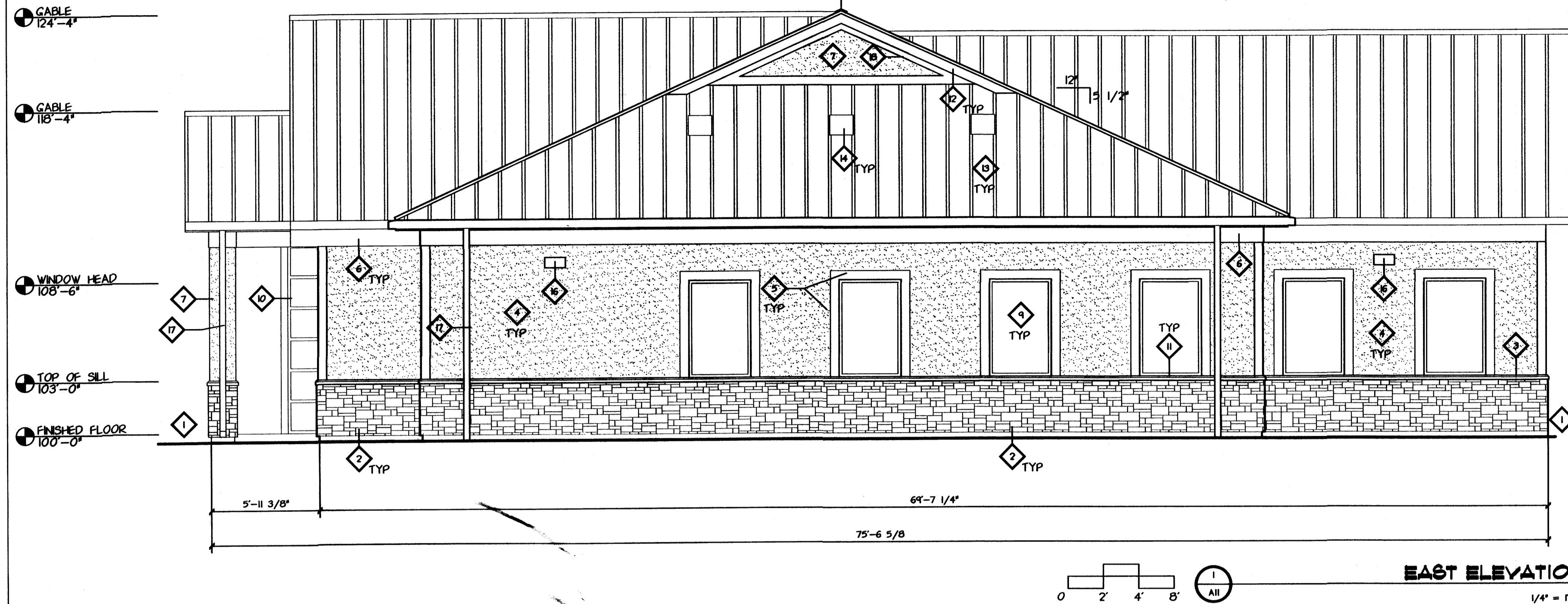
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Sheet No. \_\_\_\_\_

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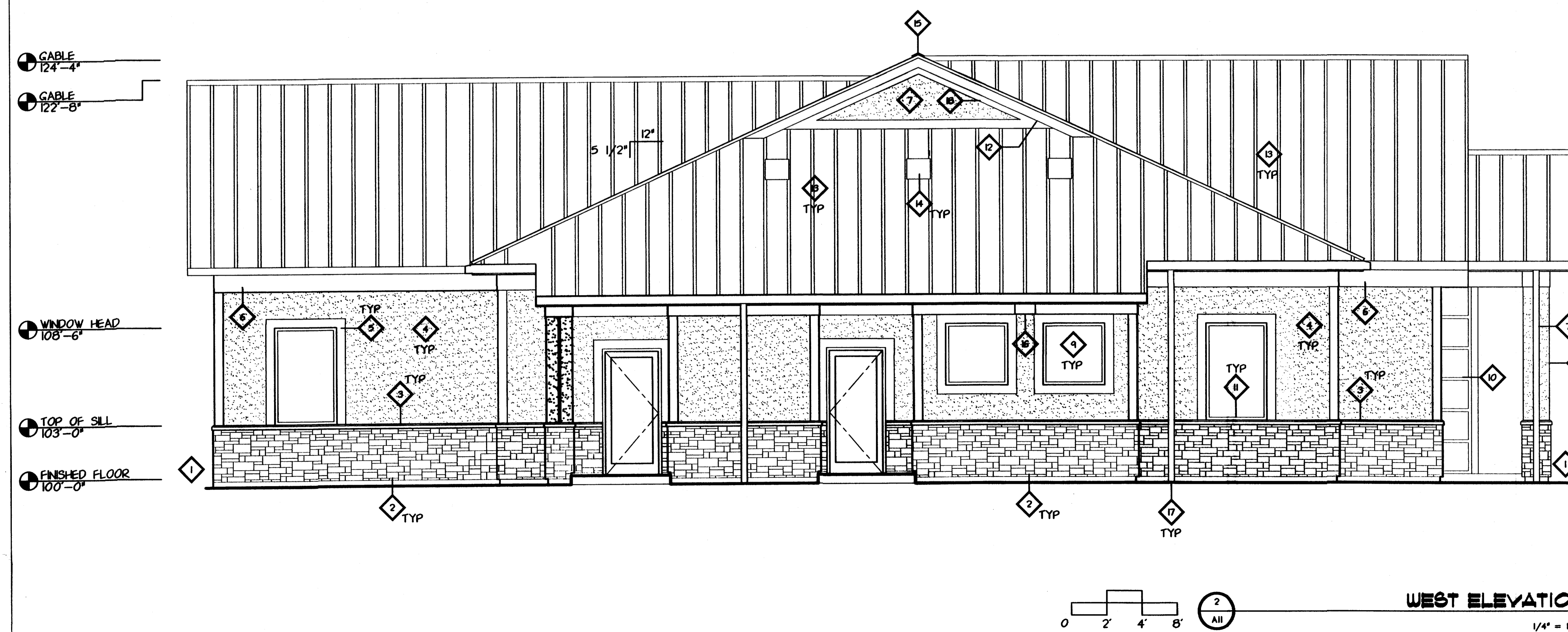
# EXTERIOR ELEVATION LEGEND

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- ◇ MANUFACTURED STONE VENEER
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- ◇ EFS WALL FINISH
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- ◇ PROVIDE PREFINISHED METAL ROOF VENTS AS PER IBC SECTION 1203
- ◇ CONTINUOUS PREFINISHED METAL RIDGE VENT, AS REQUIRED
- ◇ REFER TO ELECTRICAL DRAWINGS BY OTHERS FOR BUILDING LIGHTING AND ADDITIONAL INFORMATION
- ◇ CONTINUOUS PREFINISHED METAL GUTTER W/ DOWNSPOUTS - PROVIDE 5" X 6" GUTTER TO MATCH ROOF COLOR
- ◇ 4" EFS TRIM
- ◇ WALL SCONCE - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION



# EXTERIOR COLOR SCHEDULE

MATERIAL	MANUFACTURER	COLOR
METAL ROOF	ULTRA SEAM	BRONZE
E.F.S	DRYVIT	FIELD: 481A CLAY
E.F.S	DRYVIT	FIELD: 102 BRIGHT WHITE
E.F.S	DRYVIT	TRIM: 471 BEIGE
CULTURED STONE STOREFRONT	D. STONE DUTCH QUALITY KAWNEER	SAGEWOOD LEDGESTONE MEDIUM BRONZE



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**AFFORDABLE DENTURES**  
 RENAISSANCE BLVD.  
 & ALEXANDER BLVD.  
 ALBUQUERQUE, NM

Revisions

No.	Description	Date
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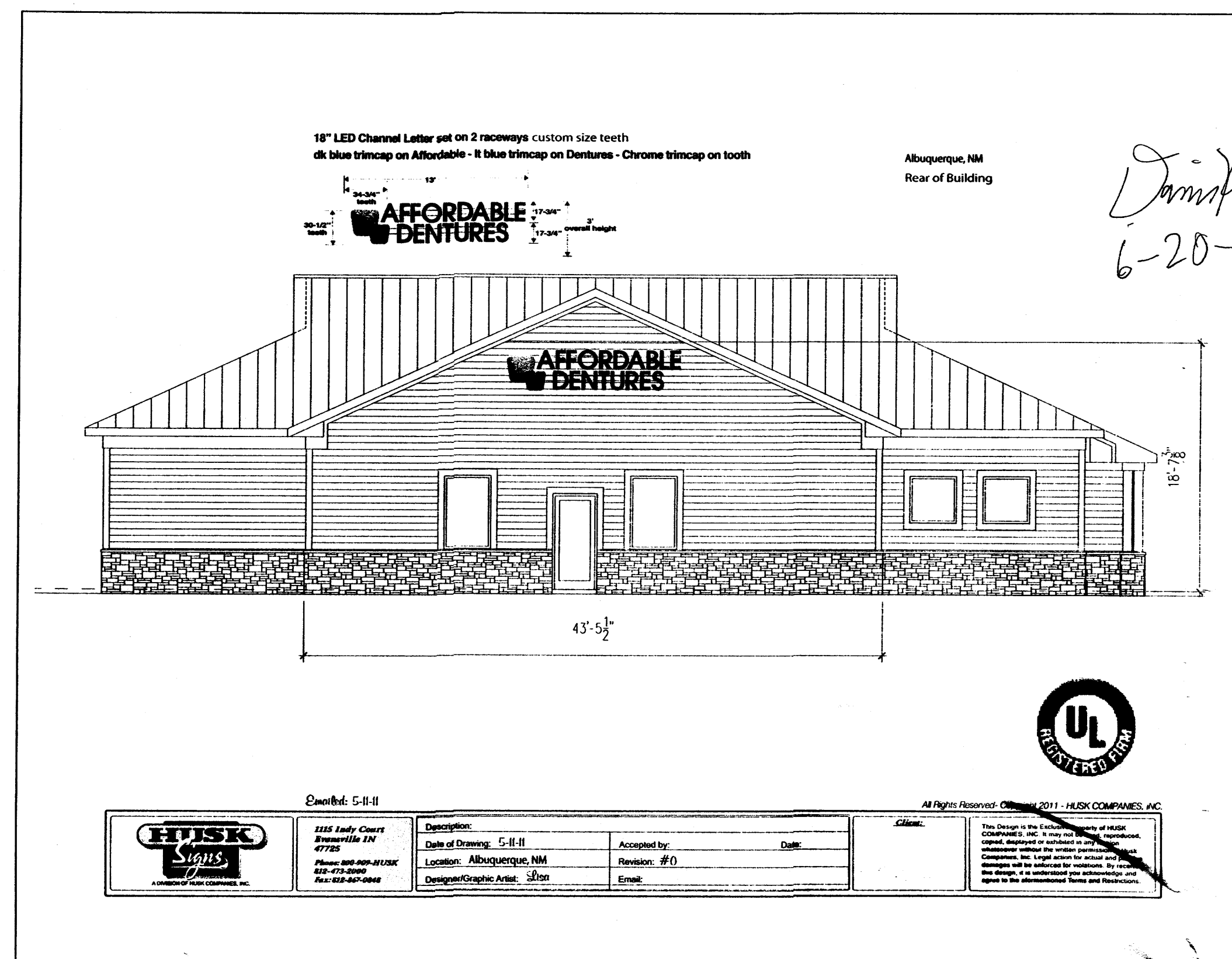
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 Checked By:

Sheet Name  
 EXTERIOR ELEVATIONS

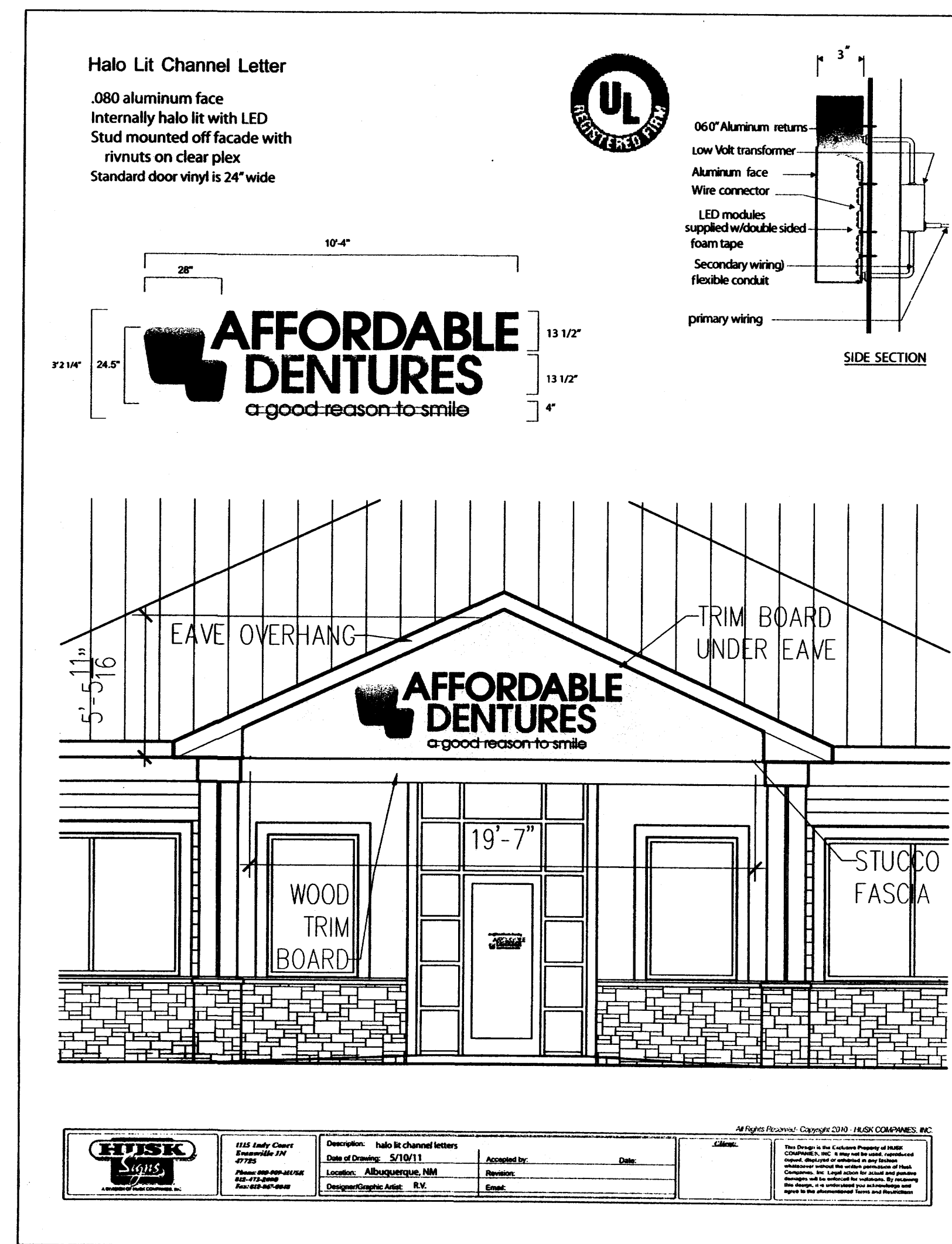
Sheet No.

**ELEV.**





*David Bohannon*  
6-20-11



ENGINEER'S SEAL	AFFORDABLE DENTURES 4821 ALEXANDER BLVD NE	DRAWN BY pm
	SIGNAGE ELEVATIONS/ DETAILS	DATE 5-13-11
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # A3
		JOB # 2011038