

- GENERAL NOTES:**
- CROSS EASEMENTS SHALL BE CREATED BY THIS PLAN FOR DRAINAGE, INGRESS/EGRESS, PEDESTRIAN LINKAGE AND ALL UTILITIES.
  - CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
  - BRICK PAVERS SHALL BE PROVIDED AT ALL MAJOR ENTRANCES.
  - BUILDINGS SHALL BE DESIGNED PER THE RENAISSANCE CENTER MASTER PLAN FOUND IN SECTION 1 PAGE 29.
  - ALL PEDESTRIAN CROSSINGS SHALL BE 6' WIDE EXPOSED AGGREGATE CONCRETE.
  - SCREENING FOR ALL LOADING DOCKS SHALL CMU BLOCK WALLS WITH COLORS MATCHING THE BUILDING AND FOLLOWING THE RENAISSANCE CENTER MASTER PLAN REQUIREMENTS FOUND IN SECTION 1 PAGE 32.
  - ALL SITE LIGHTING SHALL FOLLOW THE RENAISSANCE CENTER MASTER PLAN REQUIREMENTS FOUND IN SECTION 1 PAGE 30.
  - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBMISSION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 3 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE AND ZONE CODE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - SEE MASTER UTILITY PLAN FOR FIRE HYDRANT LOCATIONS.
  - SEE SOILS REPORT FOR PAVEMENT SECTIONS & SUBGRADE PREP.
  - ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
  - ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN. BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
  - PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
  - NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
  - ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
  - VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
  - ALL METAL ROOFING SHALL BE CONSISTENT AND SHALL BE A GALVALUME FINISH.
  - FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
  - NO CONTRACTOR'S YARD SHALL BE ALLOWED PER RENAISSANCE CENTER MASTER PLAN.

**EX SITE DATA TRACT 3A-3-A**  
 EXISTING ZONING: SU-1 FOR IP  
 PROPOSED ZONING: SU-1 FOR IP  
 PROPOSED USAGE: OFFICE WAREHOUSE  
 LOT AREA: 347,317 SF (7.9733 ± ACRE)

- SHEET INDEX**
- SITE PLAN FOR SUBDIVISION
  - SITE PLAN FOR BUILDING PERMIT FOR TRACT 3A-3-A-1
  - LANDSCAPE PLAN FOR TRACT 3A-3-A-1
  - OVERALL GRADING AND DRAINAGE PLAN
  - GRADING AND DRAINAGE PLAN FOR TRACT 3A-3-A-1
  - OVERALL MASTER UTILITY PLAN
  - MASTER UTILITY PLAN FOR TRACT 3A-3-A-1
  - ELEVATIONS FOR TRACT 3A-3-A-1

- KEYED NOTES:**
- (A) 6' PEDESTRIAN ACCESS
  - (B) LANDSCAPE AREA
  - (C) PROPOSED DUMPSTER (SEE DETAIL SHEET 2)
  - (D) PROPOSED 2.5' SCREEN WALL TO MATCH BUILDING MATERIALS AND COLORS
  - (E) PROPOSED PLAZA AREA
  - (F) NEW 6' SIDEWALK
  - (G) BRICK PAVERS (SEE DETAIL SHEET 2)
  - (H) HANDICAP RAMP PER COA STD. DWG #2441
  - (I) MEDIAN CURB AND GUTTER PER COA STD DWG #2415
  - (J) 6' VALLEY GUTTER PER COA STD DWG #2420
  - (K) DUMPSTER SEE DETAIL SHEET 2
  - (L) HEDGE TO SCREEN PARKING

**PROJECT NUMBER: 1000662**

This plan is consistent with the specific site development plan approved by the Development Review Board (DRB) on 04/18/01 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

<i>Richard Dando</i>	4/18/01
Traffic Engineer, Transportation Division	Date
<i>Andrew E. Cardenas</i>	4-18-01
Parks & Recreation Services Department	Date
<i>David Massey</i>	4-18-01
Public Works, Water/Utilities Division	Date
<i>John L. Mc...</i>	4/19/01
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the *DRB* Development Process Manual.

*City Planner, Albuquerque / Bernalillo*  
*Community Planning Division*

*Solid Waste...* will have *4-3-01*

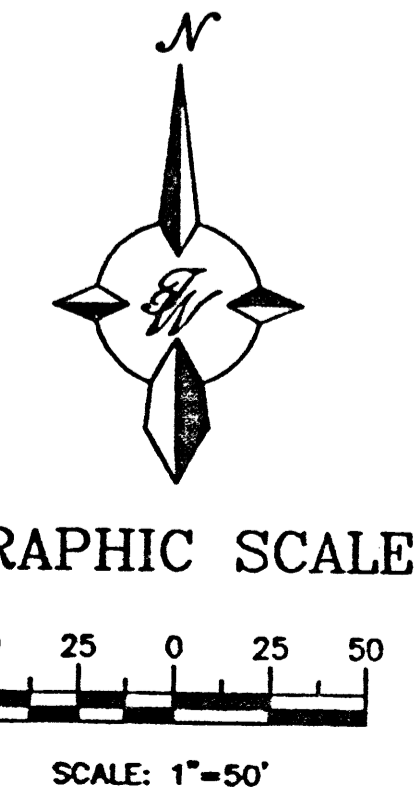
PLNZ (10706) 4/96

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD DIRECTION	CHORD
C1	41.20	75.00	S74°09'59"E	40.69
C2	27.31	75.00	N68°48'22"W	27.16
C3	34.21	31.78	S51°25'41"W	32.58

**SITE DATA TABLE**

	TRACT 3A3-A-1	TRACT 3A3-A-2	TRACT 3A3-A-3
PROPOSED ZONING:	SU-1 FOR IP	SU-1 FOR IP	SU-1 FOR IP
PROPOSED USAGE:	OFFICE / WAREHOUSE		OFFICE / WAREHOUSE
LOT AREA:	75,467 SF (1.7319 ± ACRE)	180,201 SF (4.1426 ± ACRE)	91,666 SF (2.1056 ± ACRE)
BUILDING AREA:	19,845 SF (FUTURE 6000 SF)		17,219 SF (FUTURE 6000 SF)
MAXIMUM FAR:	.26	.33	.35
PARKING:	9,232 SF ±		13,095 SF ±
LANDSCAPE AREA:	13,400 SF ±		20,010 SF ±
LANDSCAPING REQUIRED:	15% OF NET LOT AREA = 9,127 SF ±		15% OF NET LOT AREA = 11,578 SF ±
PARKING PROVIDED:	27 SPACES (3 SMALL CAR)		37 SPACES
PARKING REQUIRED:	31 SPACES		37 SPACES
UPSTAIRS OFFICE:		1 PER 300 SF	2851 SF/300 SF=10 SPACES
DOWNTAIRS OFFICE:	4093 SF/200 SF = 20 SPACES	1 PER 200 SF	3749 SF/200 SF = 19 SPACES
WAREHOUSE:	15,494 SF/2000 SF = 8 SPACES	1 PER 2000 SF	10,819 SF/2000 SF = 5 SPACES
FUTURE BUILDING:	6000/2000 SF = 3 SPACES		8000/2000 SF = 3 SPACES
HC PARKING PROVIDED:	2 SPACES		3 SPACES
HC PARKING REQUIRED:	2 SPACES		3 SPACES
BIKE SPACES PROVIDED:	5 SPACES		5 SPACES
BIKE SPACES REQUIRED:	5 SPACES		5 SPACES
MAXIMUM BUILDING HEIGHT:	36'		36'
SETBACK REQUIREMENTS:			
MISSION FRONTAGE:	20' FROM ROW	20' FROM ROW	20' FROM ROW
ALEXANDER FRONTAGE:	30' FROM ROW	30' FROM ROW	30' FROM ROW
SIDE:	10'	10'	10'
BACK:	10'	10'	10'



**ENGINEER'S SEAL**

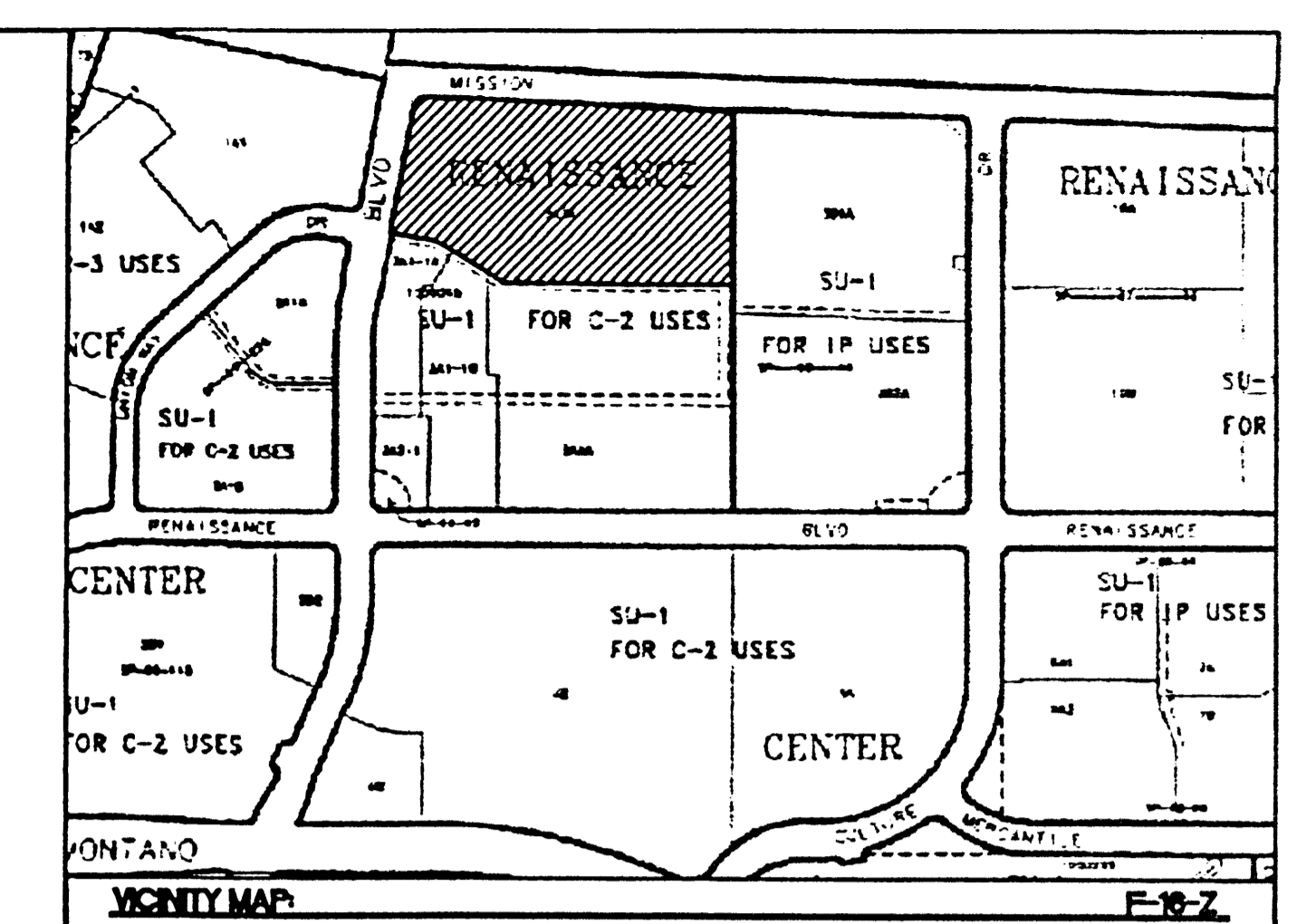
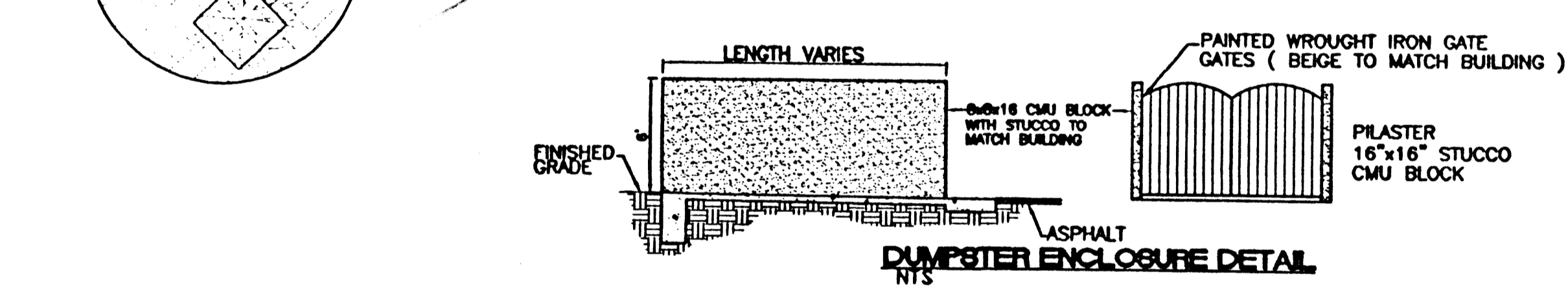
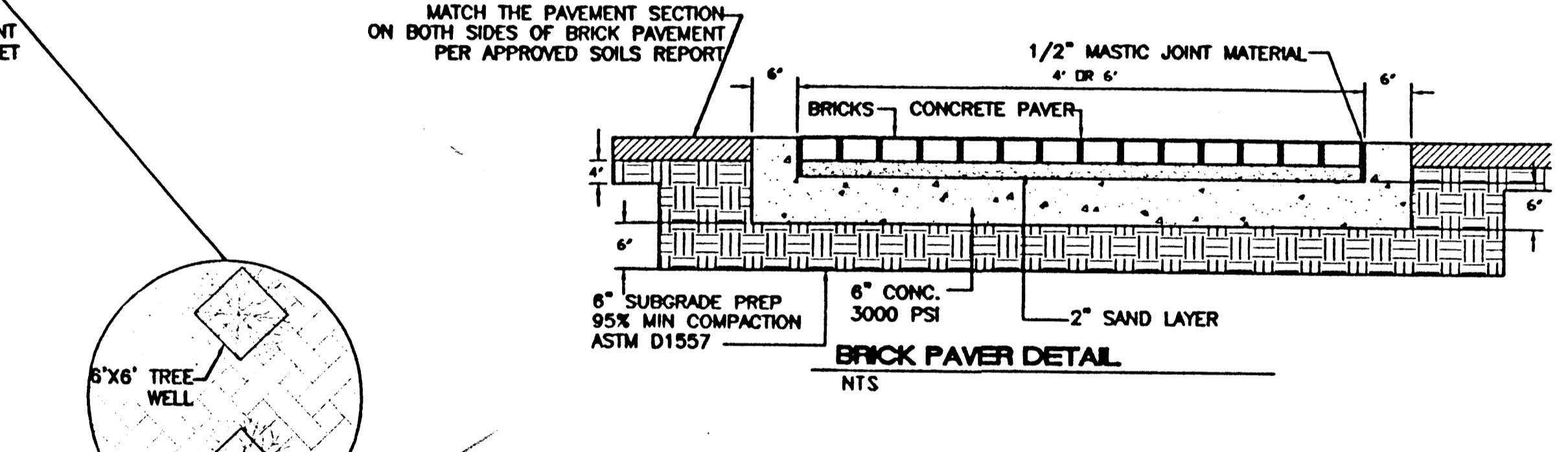
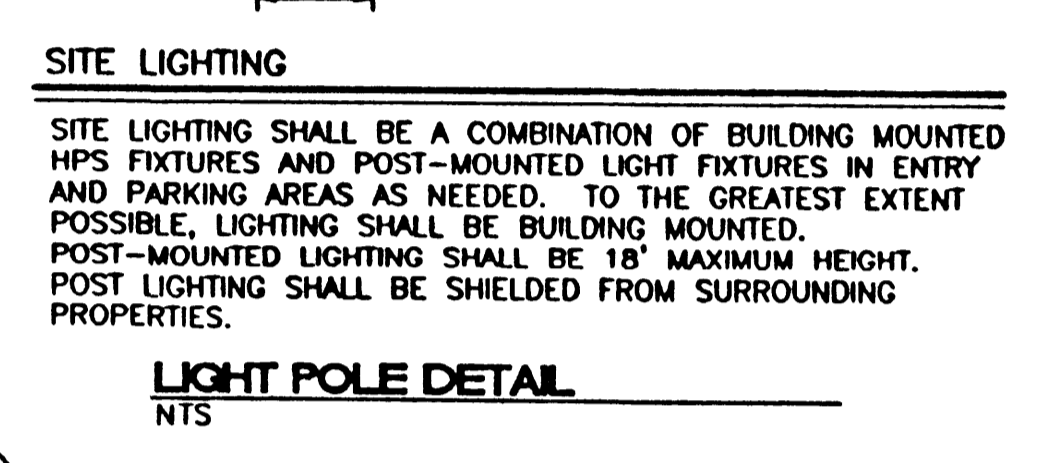
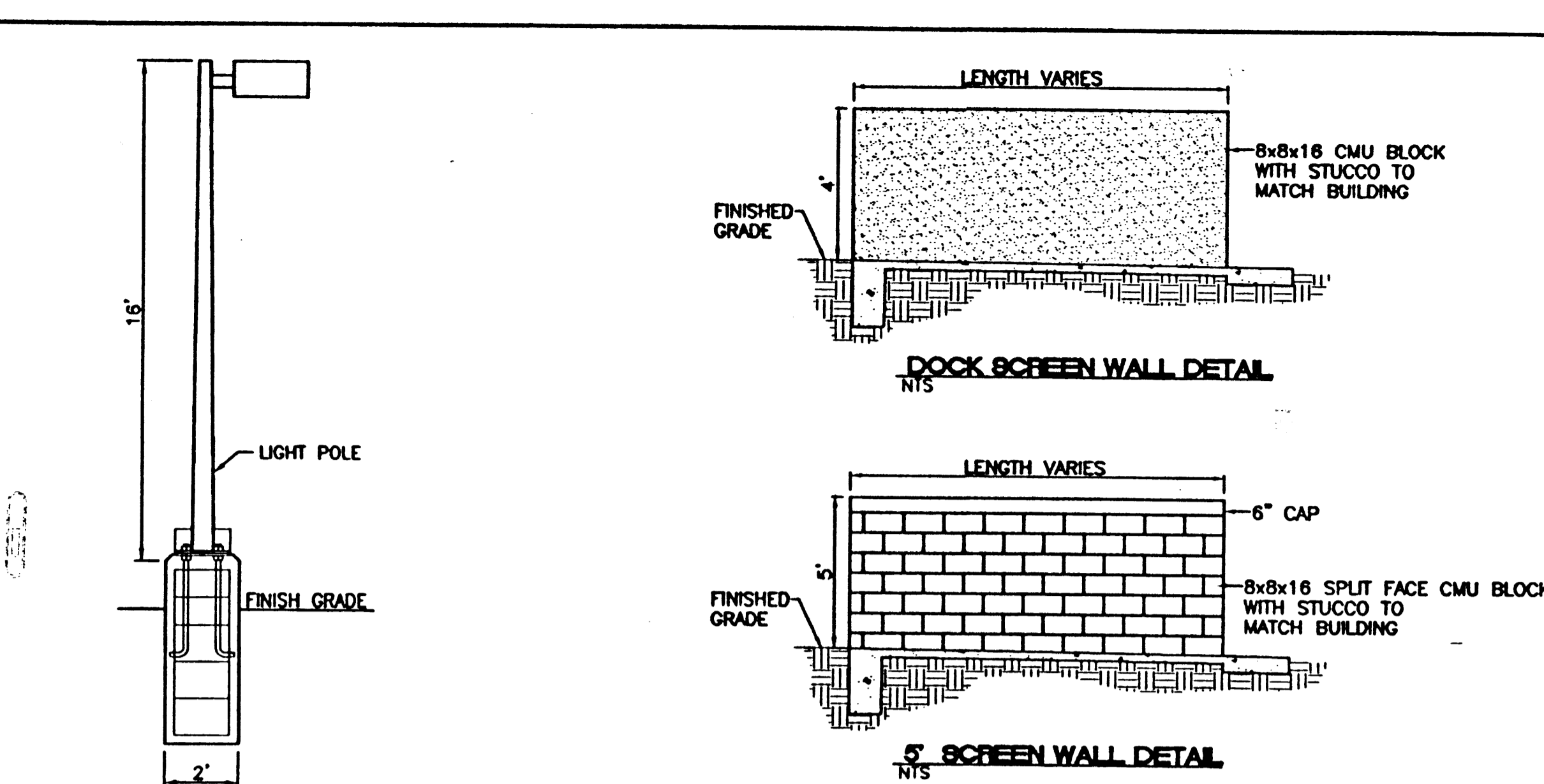
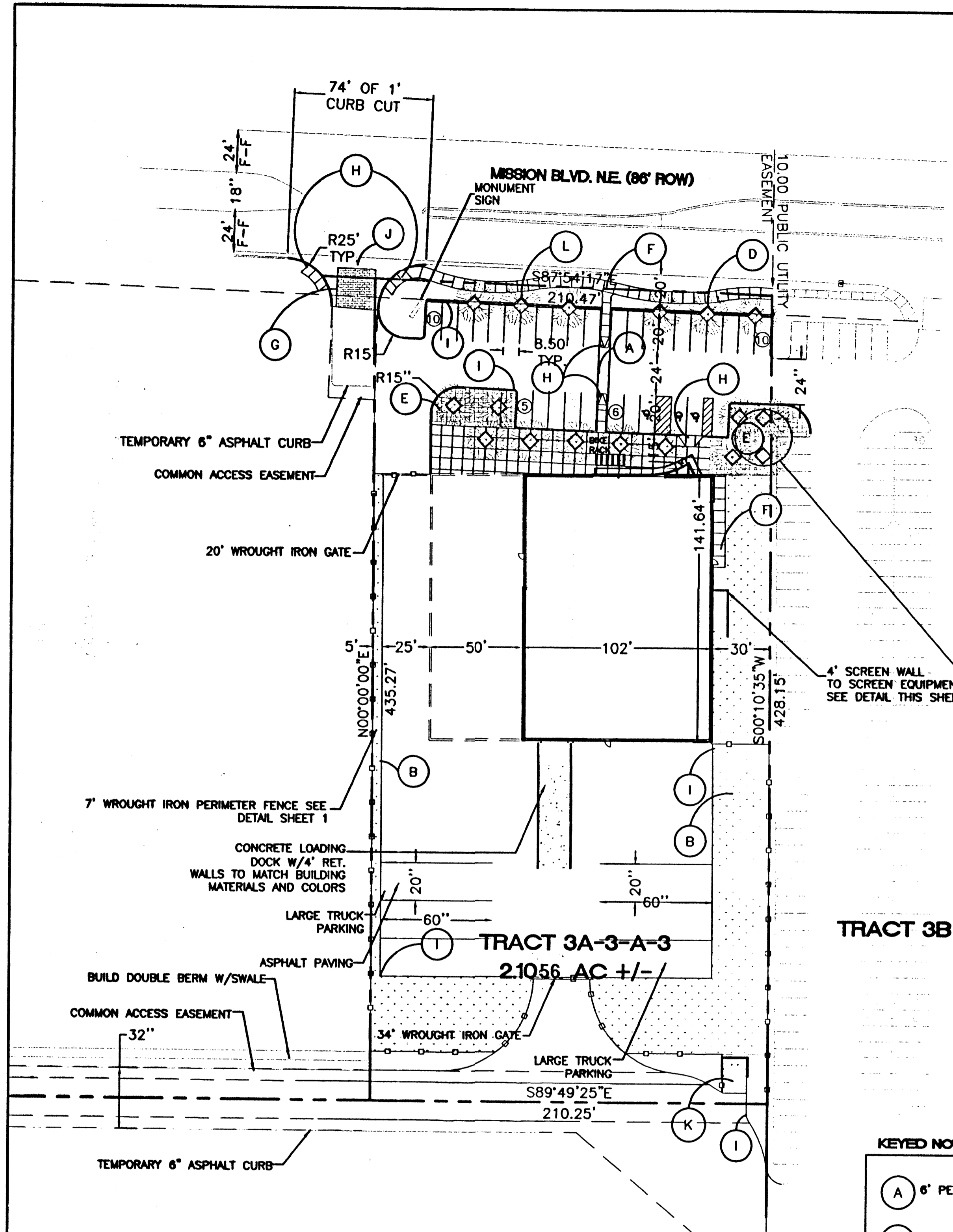
*Ronald R. Bohannon*  
 P.E. #7868

**TRACT 3A-3-A RENAISSANCE CENTER**

**SITE PLAN FOR SUBDIVISION**

**TERRA WEST, LLC**  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3100

DRAWN BY: WCM/J  
 DATE: 4-10-01  
 SHEET # 1 OF 8  
 JOB # 990078



- GENERAL NOTES:**
- CROSS EASEMENTS SHALL BE CREATED BY THIS PLAN FOR DRAINAGE, INGRESS/EGRESS, PEDESTRIAN LINKAGE AND ALL UTILITIES.
  - CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REPLAT.
  - BRICK PAVERS SHALL BE PROVIDED AT ALL MAJOR ENTRANCES.
  - BUILDINGS SHALL BE DESIGNED PER THE RENAISSANCE CENTER MASTER PLAN FOUND IN SECTION 1 PAGE 29.
  - ALL PEDESTRIAN CROSSINGS SHALL BE 6' WIDE EXPOSED AGGREGATE CONCRETE.
  - SCREENING FOR ALL LOADING DOCKS SHALL CMU BLOCK WALLS WITH COLORS MATCHING THE BUILDING AND FOLLOWING THE RENAISSANCE CENTER MASTER PLAN REQUIREMENTS FOUND IN SECTION 1 PAGE 32.
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  - SEE SOILS REPORT FOR PAVEMENT SECTIONS & SUBGRADE PREP.
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  - FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
  - NO CONTRACTOR'S YARD SHALL BE ALLOWED PER RENAISSANCE CENTER MASTER PLAN.

SITE DATA TABLE	
TRACT 3A-3-A-3	
PROPOSED ZONING:	SU-1 FOR IP
PROPOSED USAGE:	OFFICE / WAREHOUSE
LOT AREA:	91,668 SF (2.1058 ± ACRE)
BUILDING AREA:	17,219 SF (FUTURE 6000 SF)
MAXIMUM FAR:	.35
PARKING:	13,095 SF ±
LANDSCAPE AREA:	20,010 SF ±
LANDSCAPING REQUIRED:	18% OF NET LOT AREA = 11,578 SF ±
PARKING PROVIDED:	37 SPACES
PARKING REQUIRED:	37 SPACES
UPSTAIRS OFFICE:	2851 SF/300 SF=10 SPACES
DOWNSTAIRS OFFICE:	3749 SF/200 SF=19 SPACES
WAREHOUSE:	10,619 SF/2000 SF= 5 SPACES
FUTURE BUILDING:	6000/2000 SF= 3 SPACES
HC PARKING PROVIDED:	3 SPACES
HC PARKING REQUIRED:	3 SPACES
BIKE SPACES PROVIDED:	5 SPACES
BIKE SPACES REQUIRED:	5 SPACES
MAXIMUM BUILDING HEIGHT:	36'
SETBACK REQUIREMENTS:	
MISSION FRONTAGE:	20' FROM ROW
ALEXANDER FRONTAGE:	30' FROM ROW
SIDE:	10'
BACK:	10'

APPLICATION#: 00420-0000-01283

PROJECT NUMBER: 1000662

This plan is consistent with the specific site development plan approved by the Development Review Board (DRB) on 4/18/01 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

*Richard Dale* Traffic Engineer, Transportation Division 4-18-01 Date

*Adriana E. Cardenas* Parks & General Services Department 4-18-01 Date

*Richard D. Nesbitt* Public Works, Water Utilities Division 4-18-01 Date

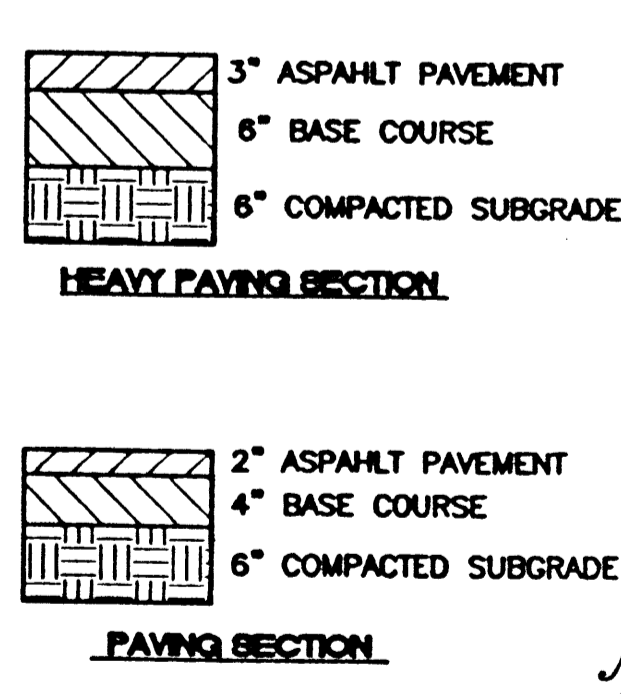
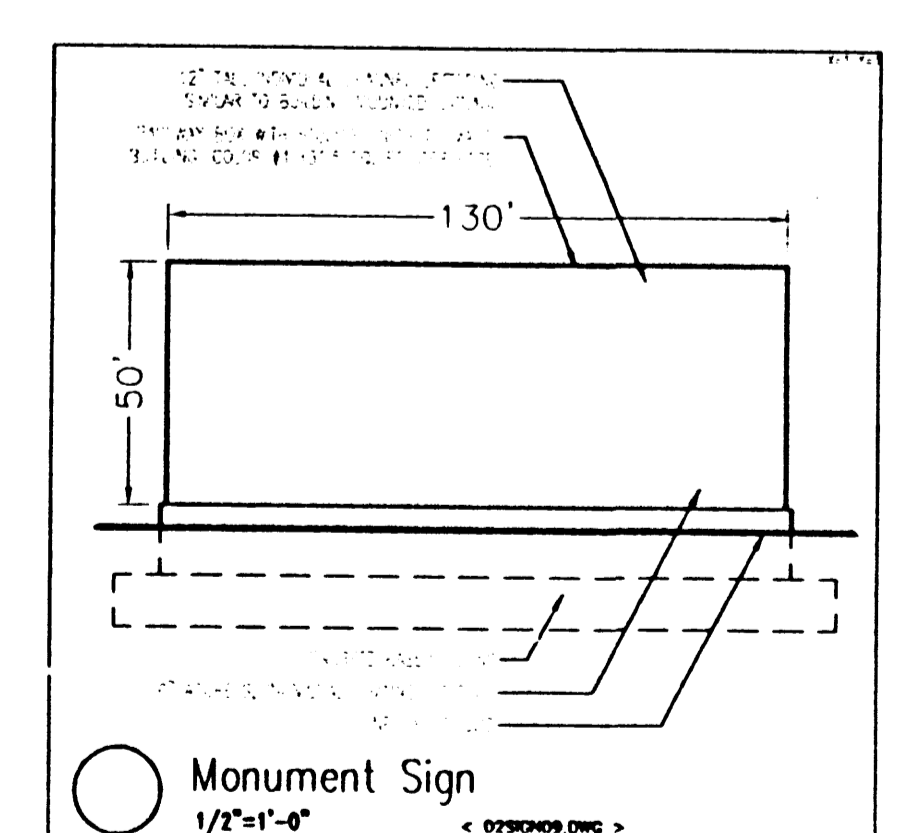
City Engineer, Engineering Division / AMAFCA Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division Date

Solid Waste  
PLNZ (10706) 4/96

- KEYED NOTES:**
- (A) 6' PEDESTRIAN ACCESS
  - (B) LANDSCAPE AREA
  - (C) PROPOSED DUMPSTER ( SEE DETAIL SHEET 2 )
  - (D) PROPOSED 2.5' SCREEN WALL TO MATCH BUILDING MATERIALS AND COLORS
  - (E) PROPOSED PLAZA AREA
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  - (G) BRICK PAVERS ( SEE DETAIL SHEET 2 )
  - (H) HANDICAP RAMP PER COA STD. DWG #2441
  - (I) MEDIAN CURB AND GUTTER PER COA STD DWG #2415
  - (J) 6' VALLEY GUTTER PER COA STD DWG #2420
  - (K) DUMPSTER SEE DETAIL THIS SHEET
  - (L) HEDGE TO SCREEN PARKING



UNION PENSION TRANSACTION TRUST #3-2 NM \_\_\_\_\_ Date

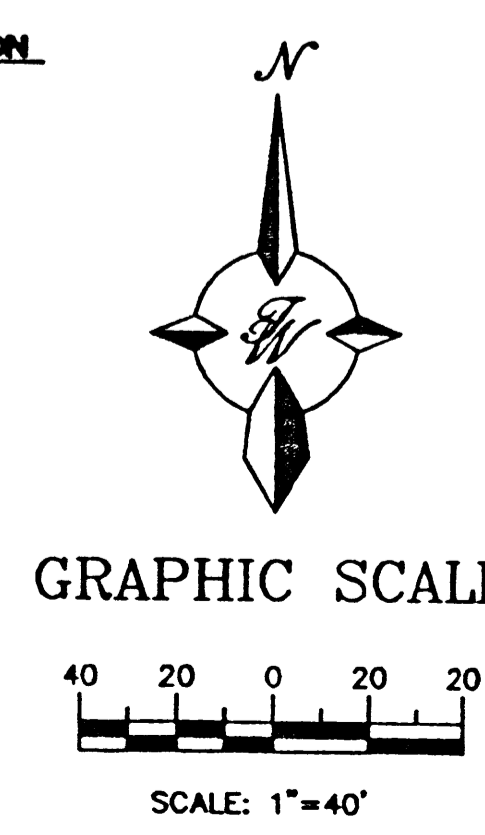
NORTH RENAISSANCE ASSOCIATION \_\_\_\_\_ Date

HARRISON \_\_\_\_\_ Date

TERRA WEST, LLC \_\_\_\_\_ Date

ARCHITECT \_\_\_\_\_ Date

CONTRACTOR \_\_\_\_\_ Date



ENGINEER'S SEAL

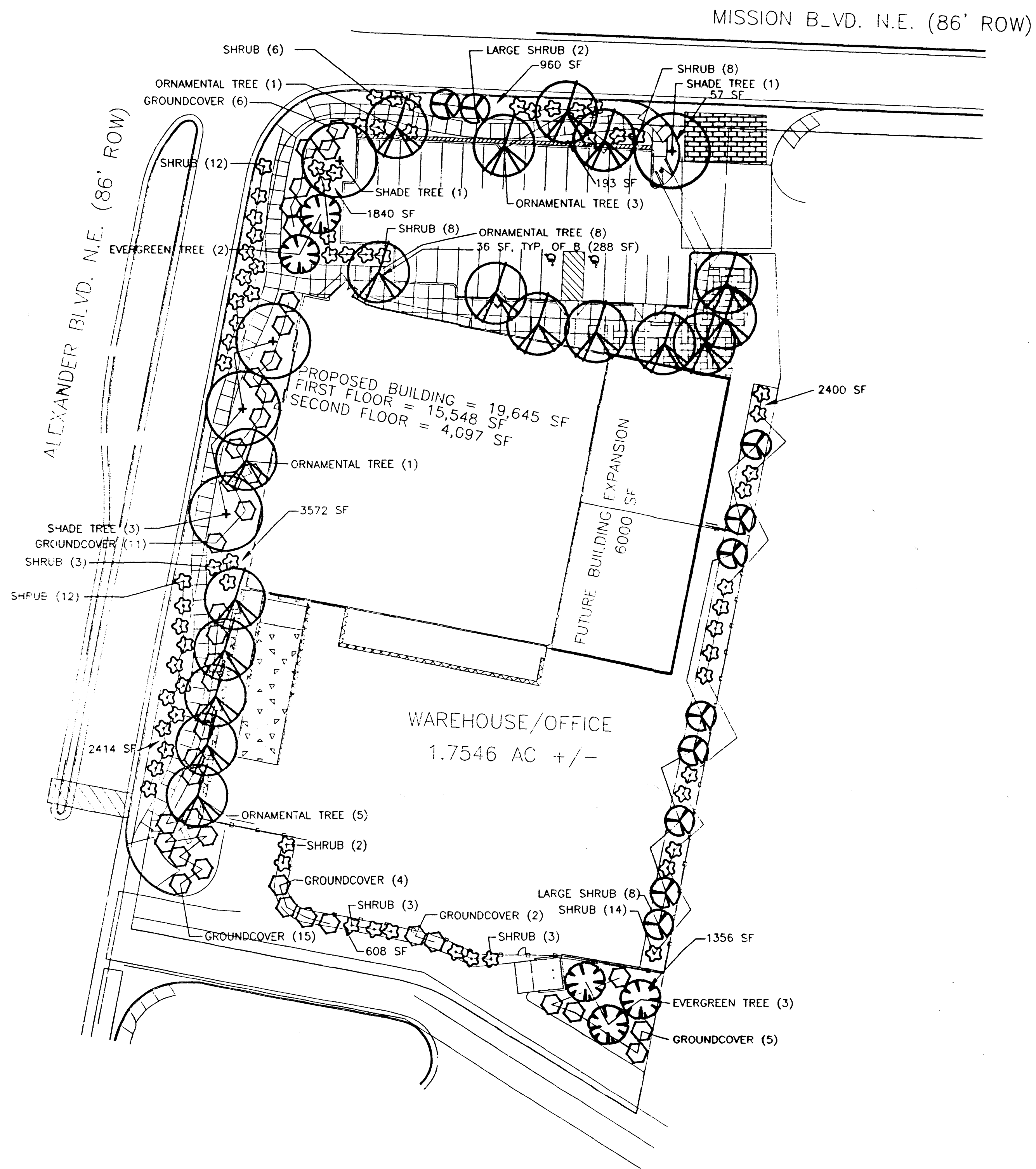
*RONALD R. BOHANNAN*  
P.E. #7868

**TRACT 3A-3-A-3 RENAISSANCE CENTER**

**SITE PLAN FOR BUILDING PERMIT**

TERRA WEST, LLC  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

DRAWN BY: WCK/J  
DATE: 4-10-01  
990078SPBP2.dwg  
SHEET # 2 OF 8  
JOB # 990078



**LANDSCAPE DATA**

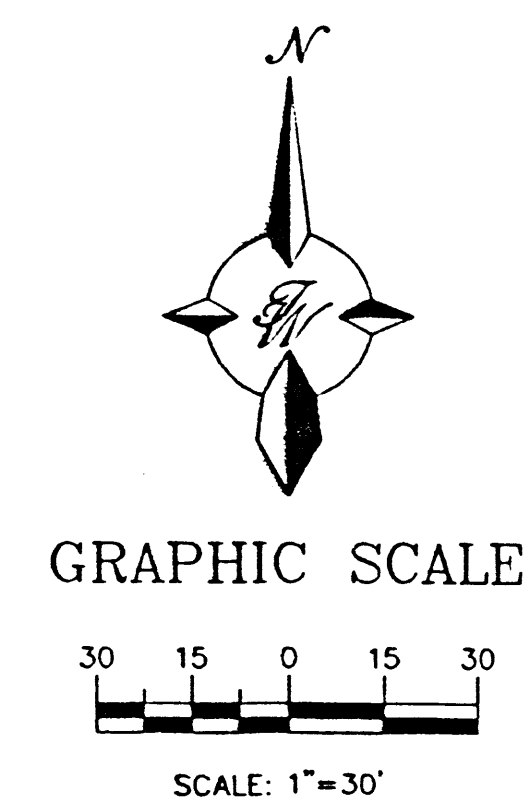
LOT AREA: 76,394 SF (1.7546 ± ACRE)  
 BUILDING AREA: 15,548 SF  
 NET LOT AREA: 60,846 SF ±  
 LANDSCAPING REQUIRED (15% OF NET LOT AREA): 9,127 SF ±  
 LANDSCAPING PROVIDED: 13,488 SF ±  
 STREET TREES REQUIRED: 16  
 STREET TREES PROVIDED: 17

**LANDSCAPE NOTES**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED.
2. OWNER ASSUMES ALL MAINTENANCE OF THE LANDSCAPE PLANTING AND IRRIGATION.
3. ALL PLANTER AREAS SHALL RECEIVE A 2" DEPTH OF 3/4" SANTA ANA TAN GRAVEL MULCH OVER FILTER FABRIC.
4. SHRUBS AND GROUNDCOVER SHALL ACHIEVE 75% VEGETATIVE COVERAGE AT MATURITY.
5. LANDSCAPE CONFORMS TO THE COA STREET TREE ORDINANCE, COA LANDSCAPE ORDINANCE, AND THE COA WATER WASTE ORDINANCE.

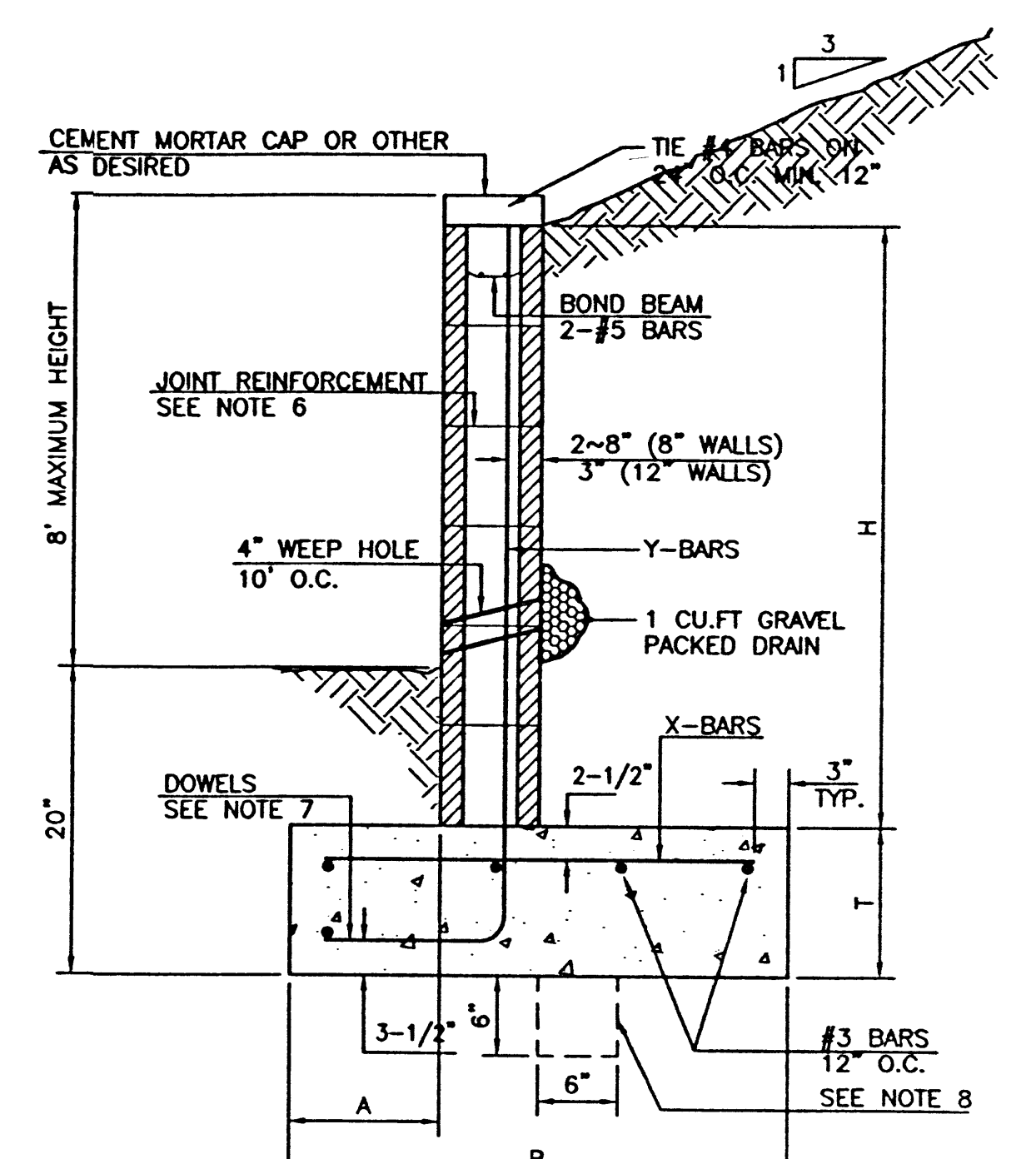
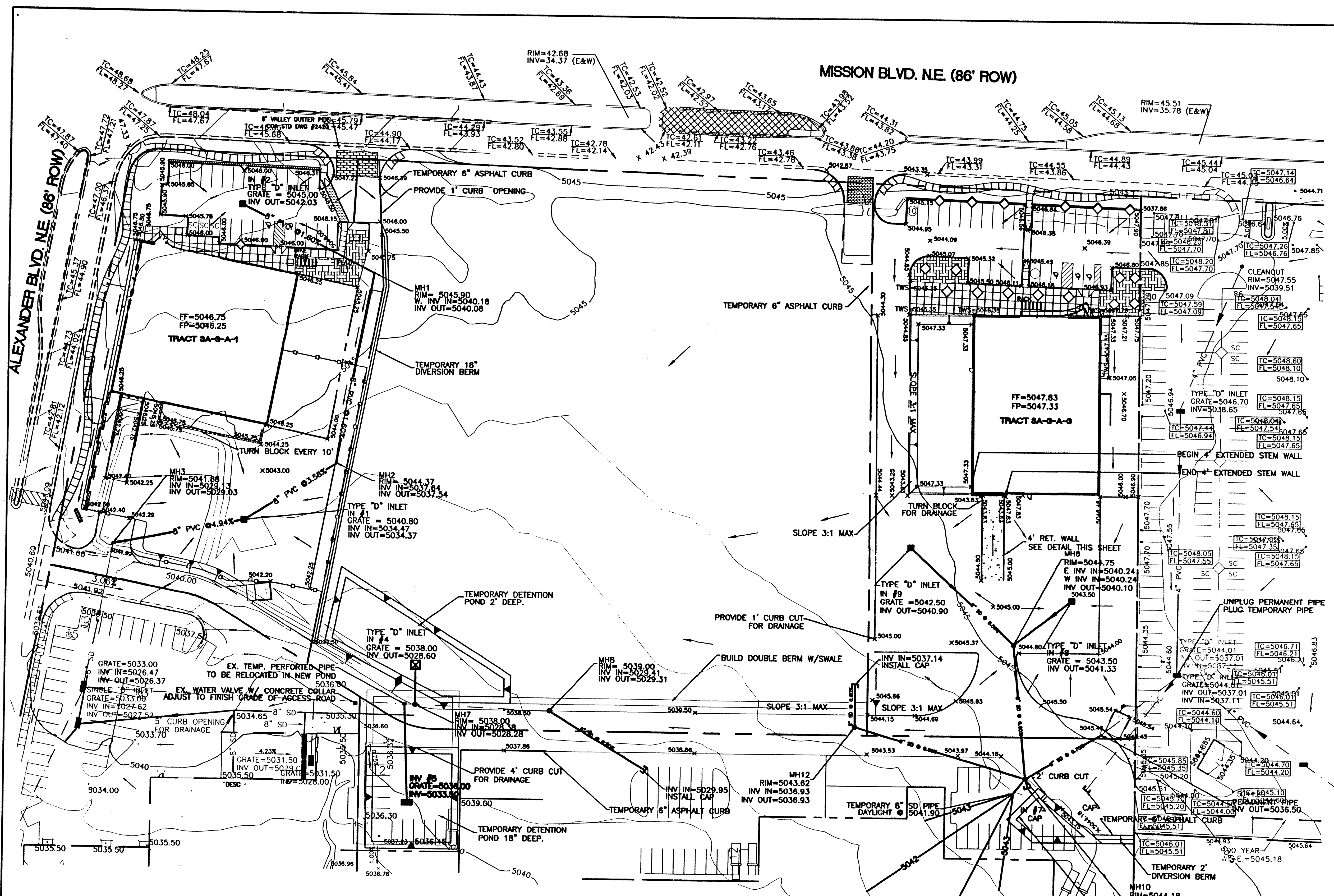
**PLANT LIST**

- + SHADE TREES: Qty.: 5  
Honey Locust (Gleditsia triacanthos), Ash Species (Fraxinus spp.)  
Min. 2" cal., 10'-12' ht.
- / ORNAMENTAL TREES: Qty.: 18  
Flowering Pear (Pyrus calleryana), Crabapple (Malus cultivars),  
Desert Willow (Chilopsis linearis), Goldenrain Tree (Koeleruteria paniculata)  
Min. 2" cal., 10'-12' ht.
- ⊗ LARGE SHRUBS: Qty.: 10  
New Mexico Olive (Forestiera neomexicana), Vitex (Vitex agnus-castus)  
Min. 5 gal. container
- \* EVERGREEN TREES: Qty.: 5  
Austrian Pine (Pinus nigra), Pinon Pine (Pinus edulis)  
b&b, 4'-6' ht.
- ☆ SHRUBS: Qty.: 68  
Butterfly Bush (Buddleia davidii), Bird of Paradise (Poinciana spp.),  
Chamisa (Chrysothamnus nauseosus), Russian Sage (Perovskia atriplicifolia),  
Tuscan Blue Rosemary (Rosmarinus officinalis 'Tuscan Blue')  
Min. 1 Gallon Container
- ◇ GROUNDCOVER: Qty.: 43  
Buffalo Juniper (Juniperus sabina 'Buffalo'), Raphiolepis (Raphiolepis indica),  
Cotoneaster Species (Cotoneaster spp.), Catmint (Nepeta mussini),  
Creeping Rosemary (Rosmarinus officinalis 'Prostrata')  
Min. 1 Gallon Container



REVISED: JAN. 19, 2001

Landscape Architect's Seal 	<b>TRACT 3A-3-A-1</b> <b>Warehouse/Office</b> <b>LANDSCAPE PLAN</b> <b>for Building Permit</b>	DRAWN BY: <i>ecc</i> DATE: 11-22-00 haplantepc.dwg
	<b>WESTWIND</b> LANDSCAPE CONSTRUCTION, INC. 2739 VASSAR PLACE NE ALBUQUERQUE, NEW MEXICO 87107 505-881-8925 VOICE 505-883-7052 FAX	SHEET # <b>3 OF 8</b> JOB # 990078



**8 INCH REINFORCED CONCRETE MASONRY WALL**

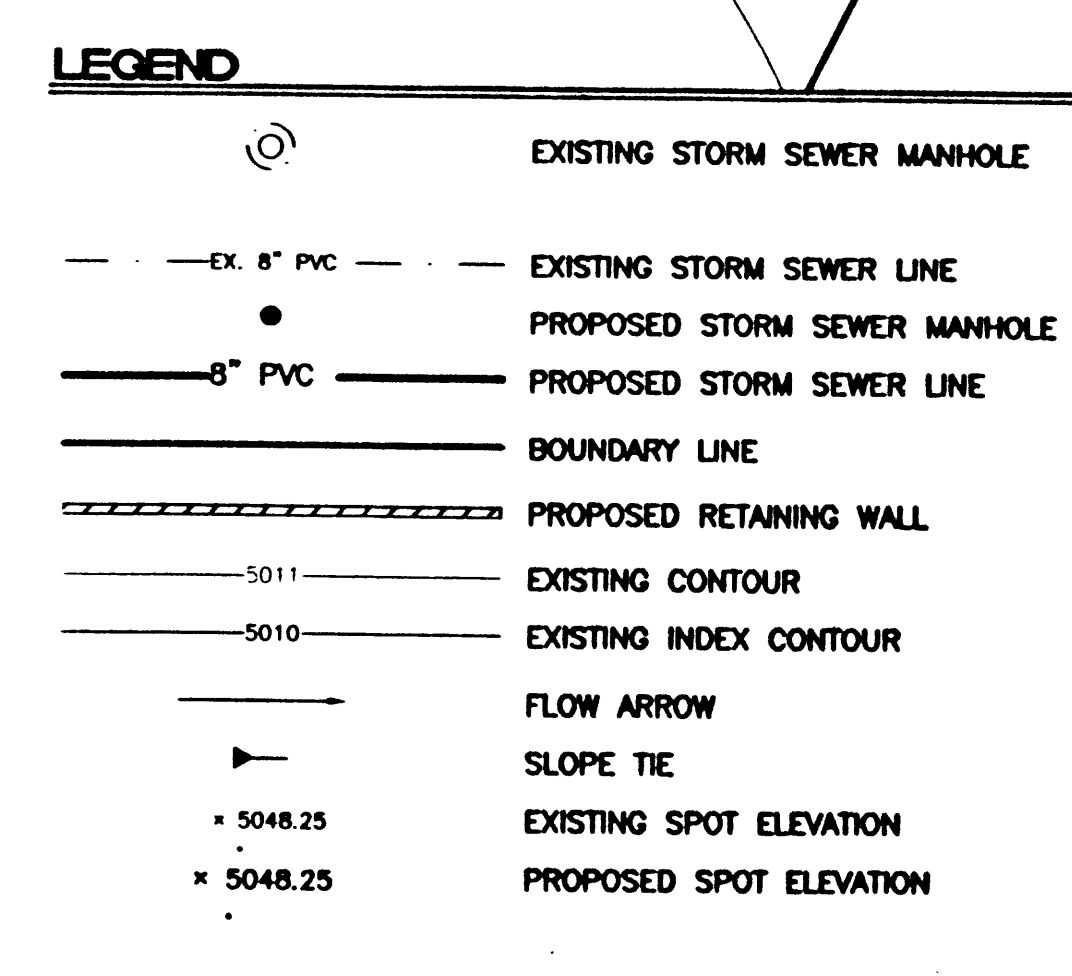
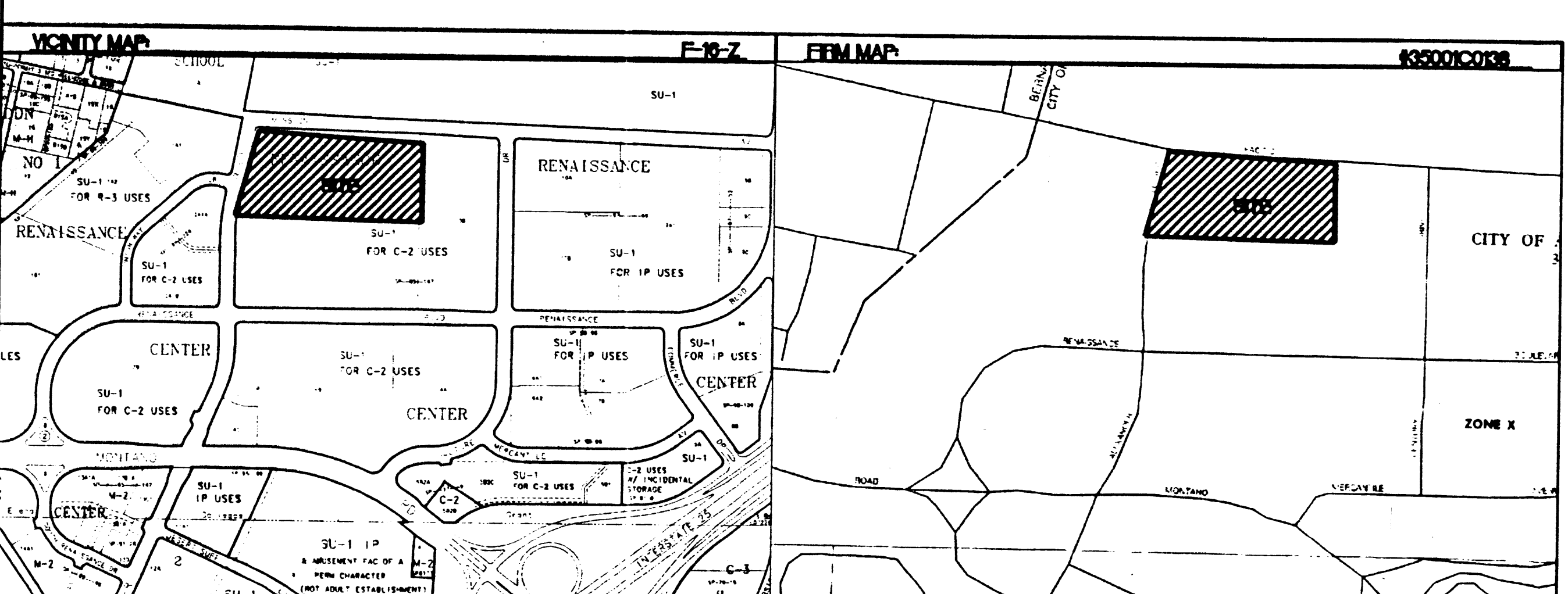
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#5 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

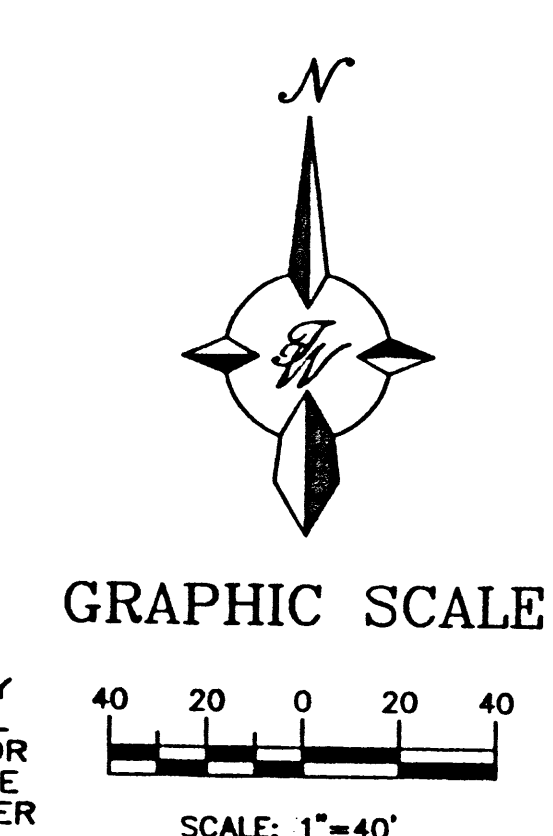
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  - ALL BARS ARE TO BE GRADE 60, ASTM 615.
  - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
  - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
  - #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
  - X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
  - #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
  - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



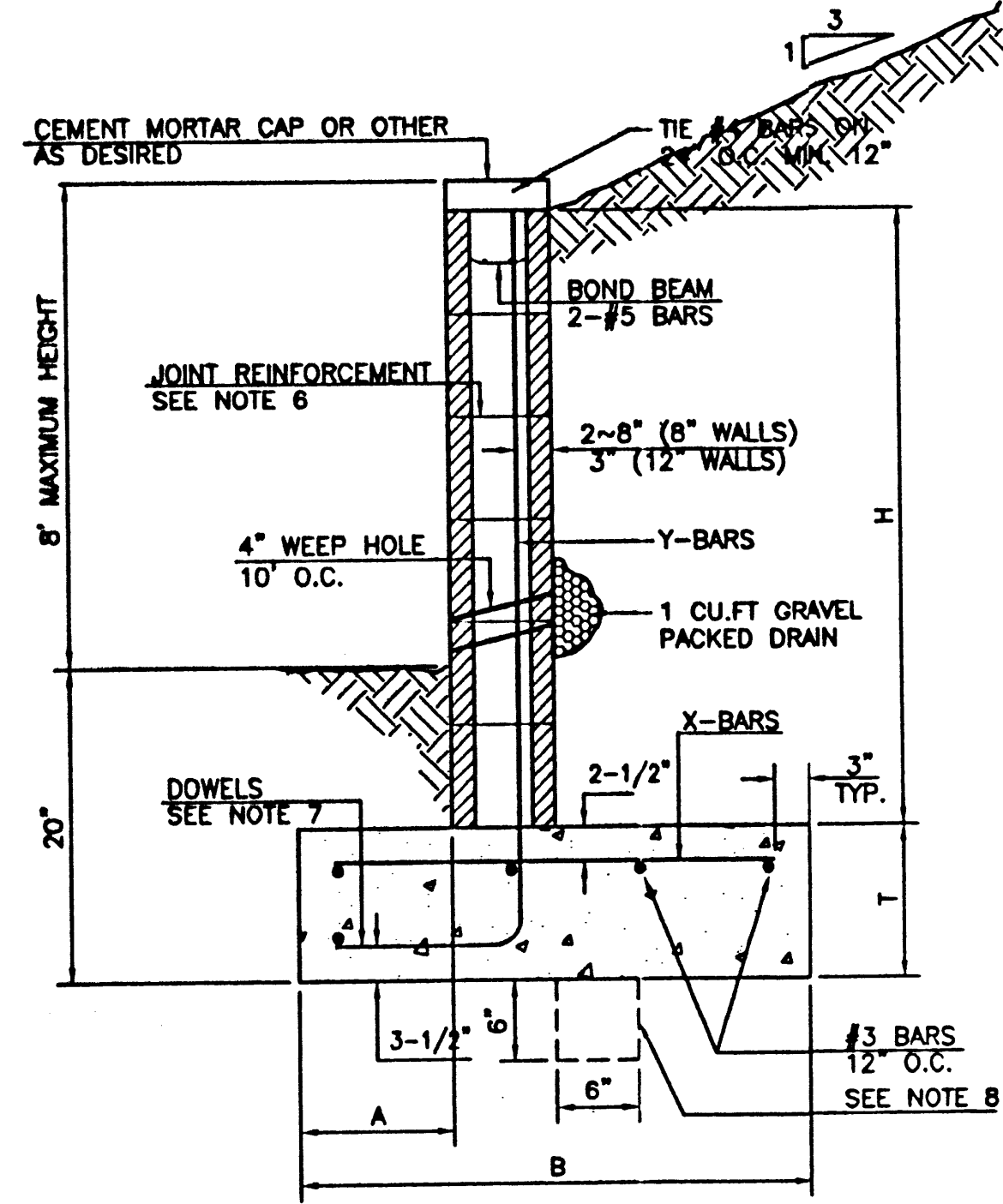
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

	<b>TRACT 3 RENAISSANCE CENTER</b> <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY WCK/J DATE 4-10-01 9978TR3OVGR.dwg
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>4 OF 8</b> JOB # 000078

MISSION BLVD. NE. (86' ROW)



RETAINING WALL DETAIL  
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

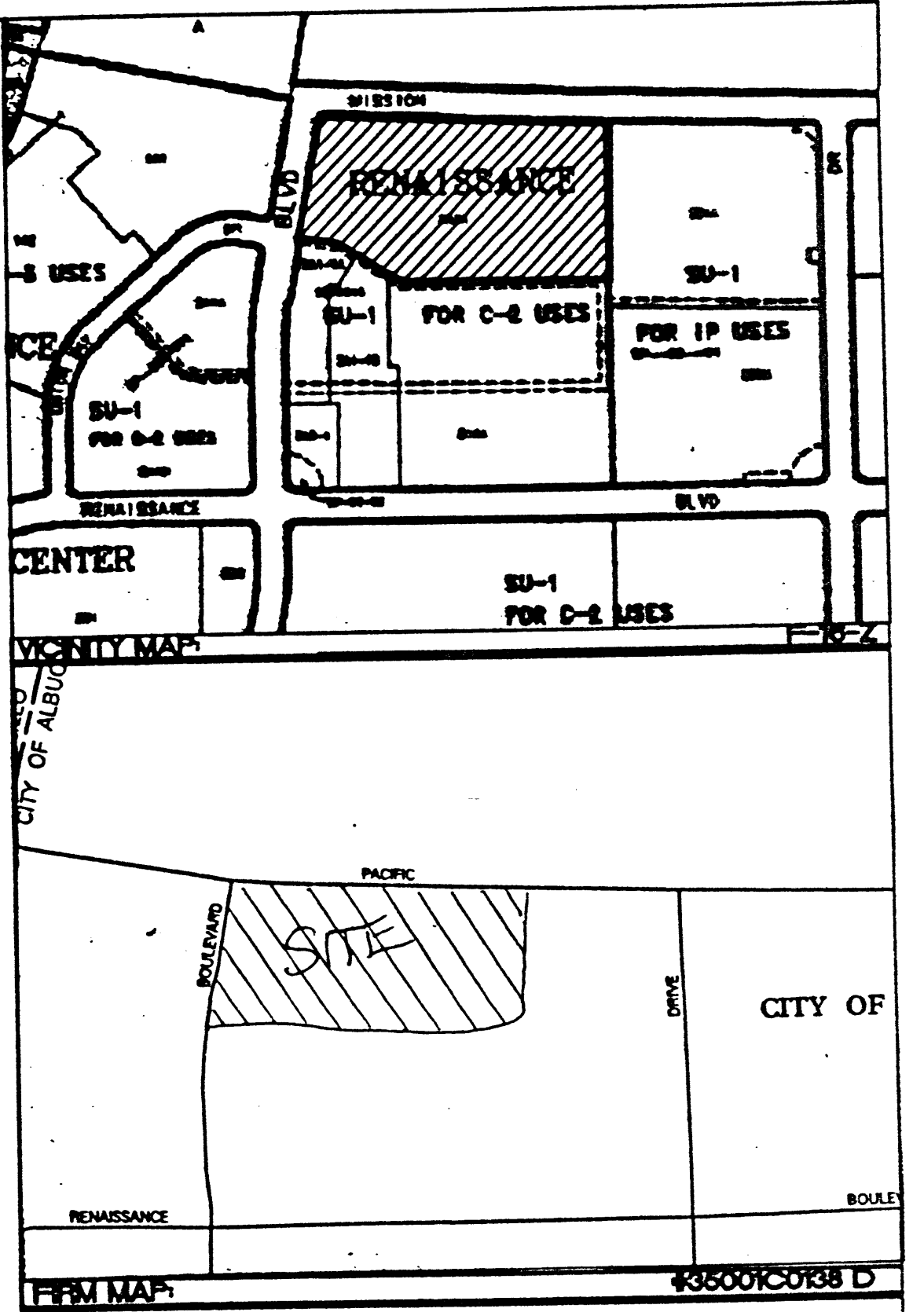
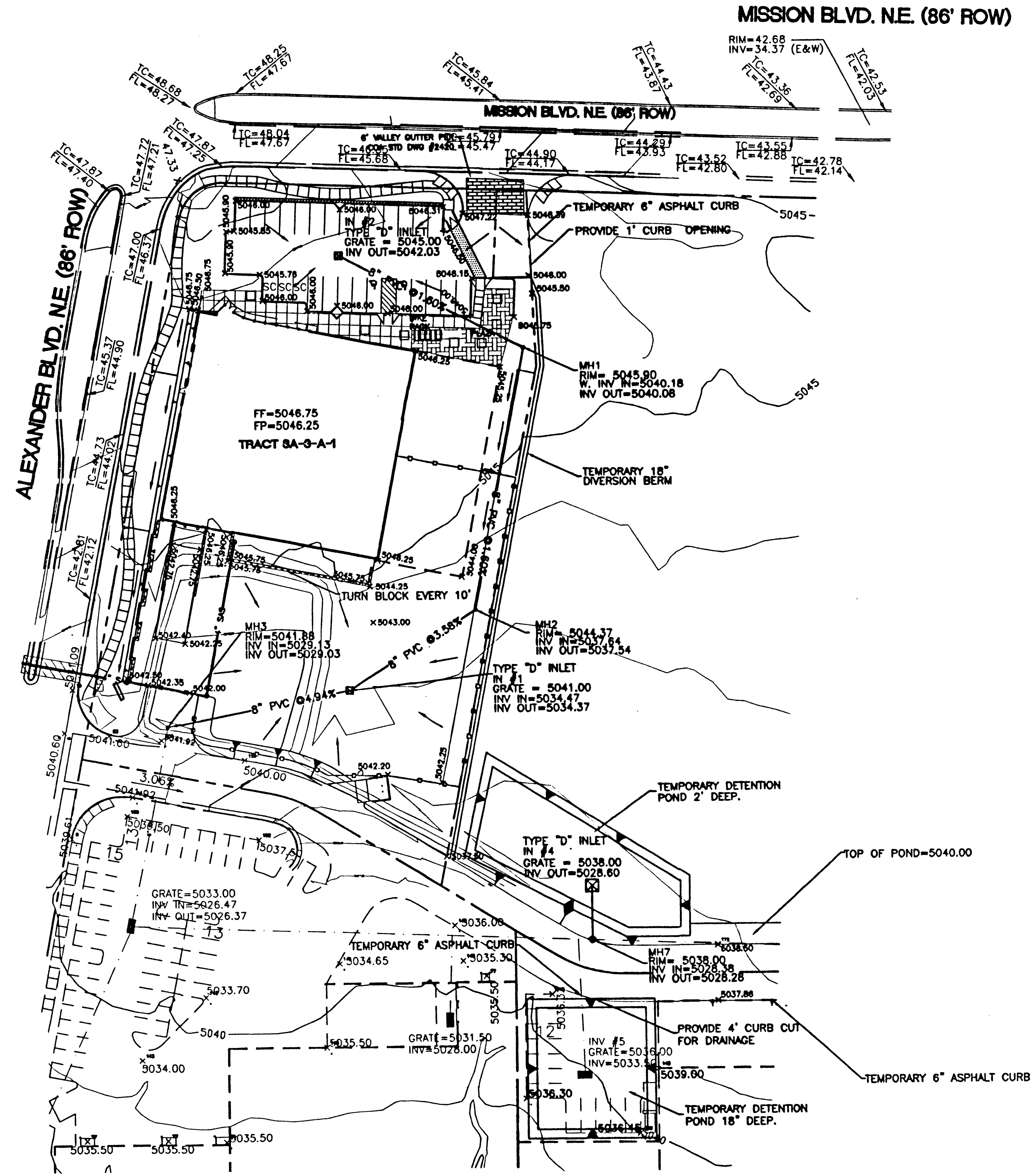
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-9"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	18"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
- #4 BARS TO BE USED ON WALLS UNDER 3'-4" 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



GENERAL NOTES  
1. ALL PROPOSED STORM PIPE WILL BE 8" SDR-35 PVC PIPE.

**LEGEND**

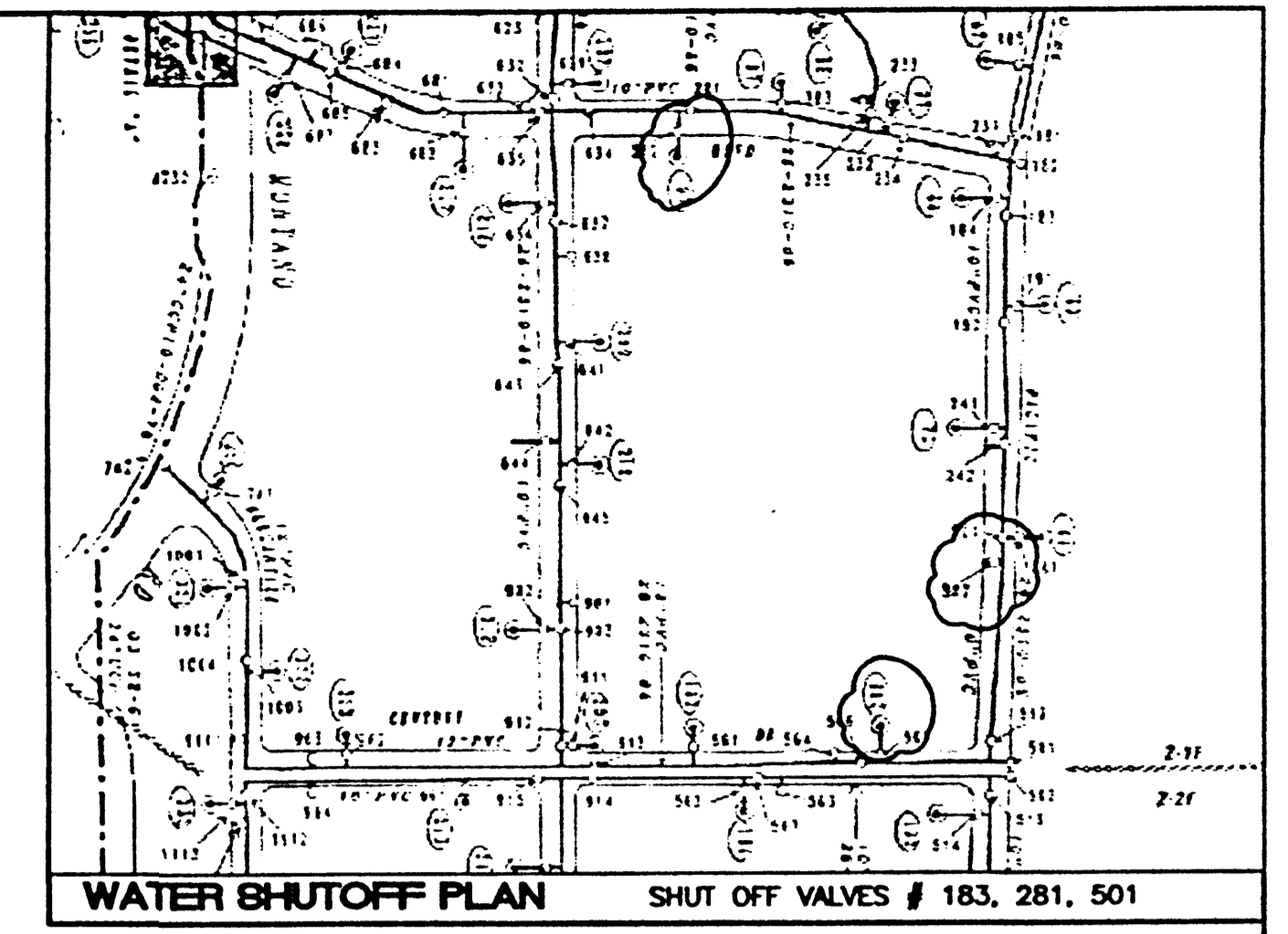
- (Symbol) SLOPE TIE
- (Symbol) FLOW ARROW
- (Symbol) PROPOSED SPOT ELEVATION
- (Symbol) EXISTING SPOT ELEVATION
- (Symbol) PROPOSED SD MANHOLE
- (Symbol) PROPOSED SD INLET
- (Symbol) EXISTING SAS MANHOLE
- (Symbol) EXISTING SD MANHOLE
- (Symbol) PROPOSED SD LINE
- (Symbol) PROPOSED BUILDING
- (Symbol) PROPOSED PARKING SPACE
- (Symbol) CURB
- (Symbol) EXISTING CURB & GUTTER
- (Symbol) BOUNDARY LINE
- (Symbol) PROPOSED SIDEWALK

ROUGH GRADING APPROVAL

**GRAPHIC SCALE**

SCALE: 1"=40'

ENGINEER'S SEAL <b>RONALD R. BOHANNAN</b> P.E. #7868	<p><b>TRACT 3A-3-A-1 RENAISSANCE CENTER</b></p> <p><b>GRADING AND DRAINAGE PLAN</b></p> <hr/> <p><b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	<p>DRAWN BY: WCVJ</p> <p>DATE: 3-15-01</p> <p>9978GRT3A3A1.DWG</p> <p>SHEET #</p> <p><b>5 OF 8</b></p> <p>JOB #</p> <p>990078</p>
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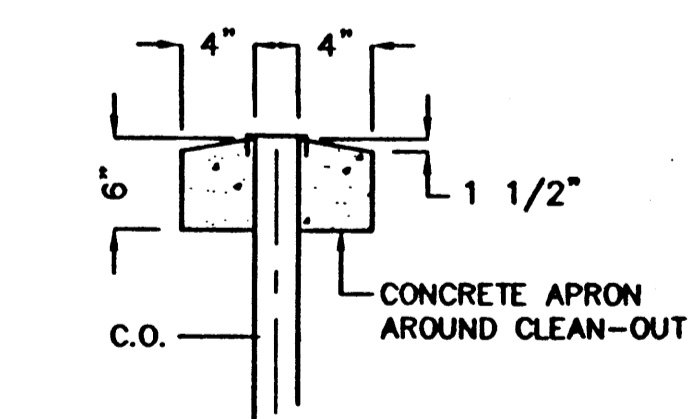
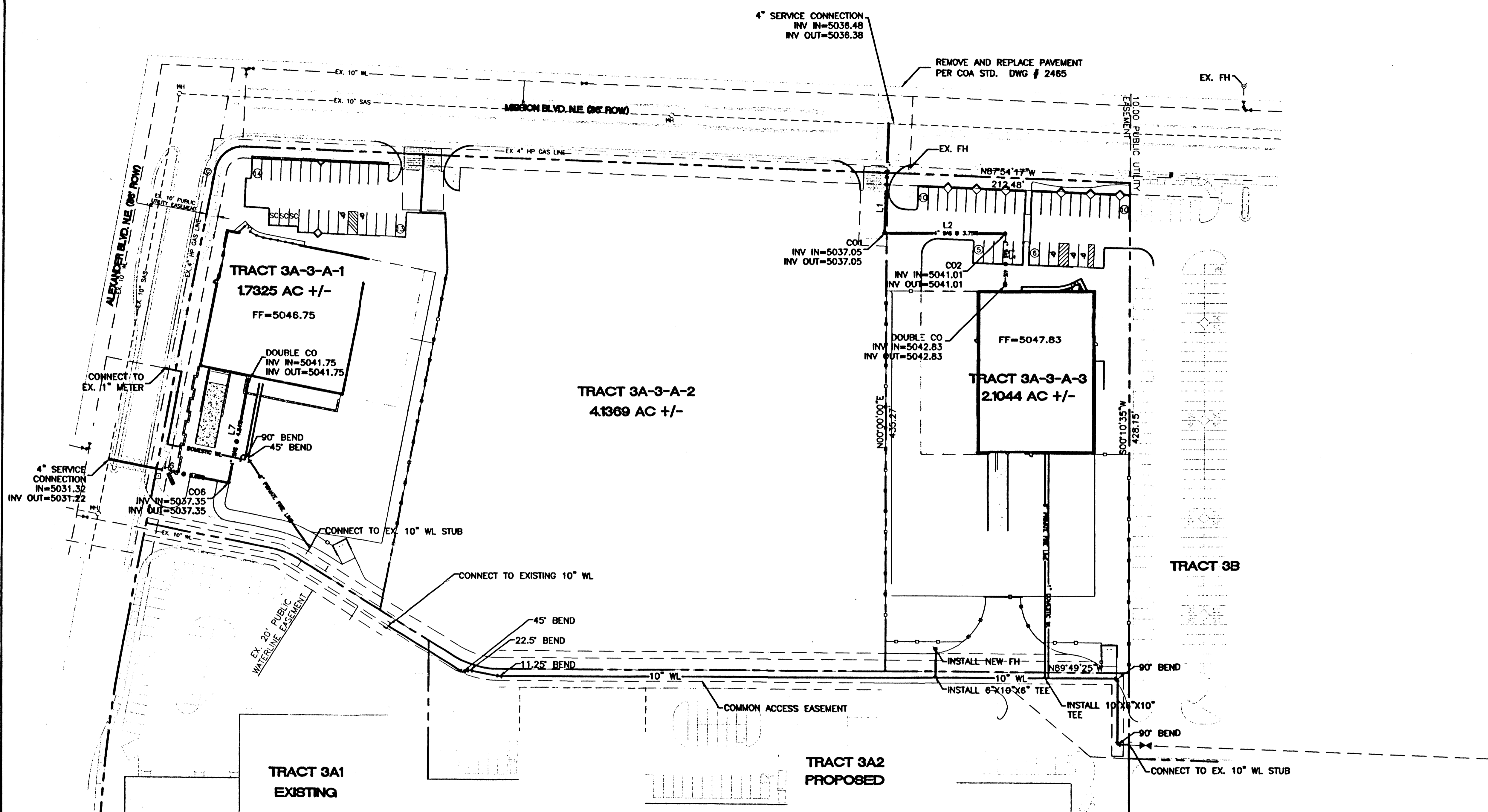
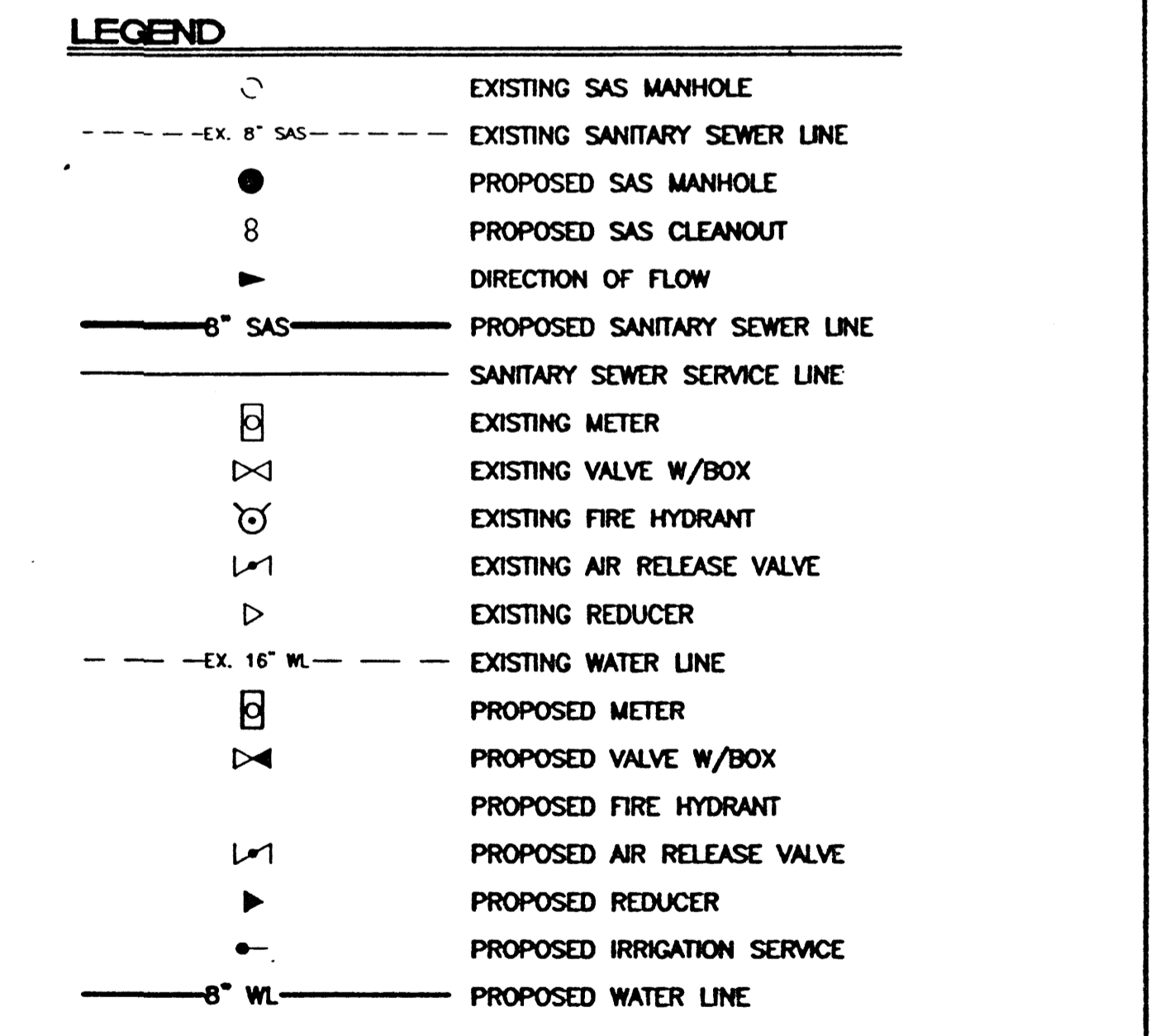
**WATER SHUTOFF PLAN** SHUT OFF VALVES # 183, 281, 501

- NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN
  5. ALL 1" WATER SERVICE LINES WILL BE COPPER.
  6. ALL 4" SAS SERVICE WILL BE SCH-40.

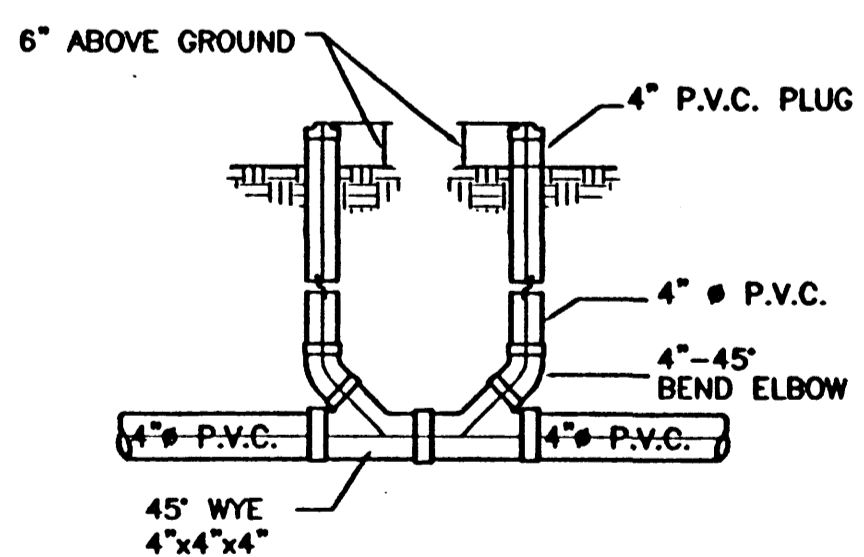
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

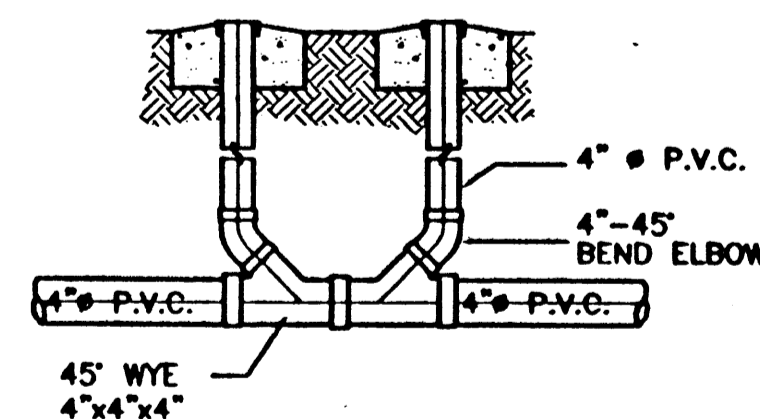
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



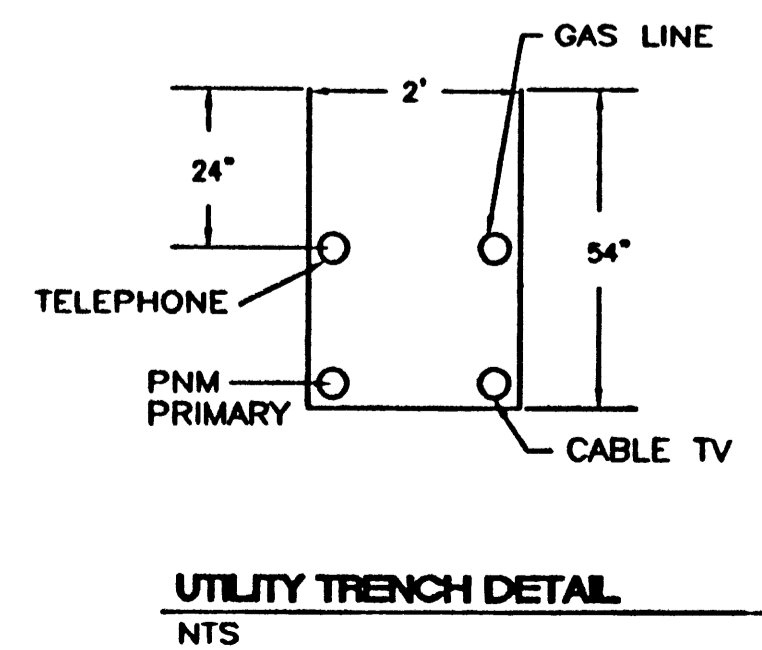
**CLEAN-OUT**  
NTS



**TYPICAL CLEANOUT AND SERVICE CONNECTION**  
NTS



**TYPICAL CLEANOUT AND SERVICE CONNECTION**  
NTS

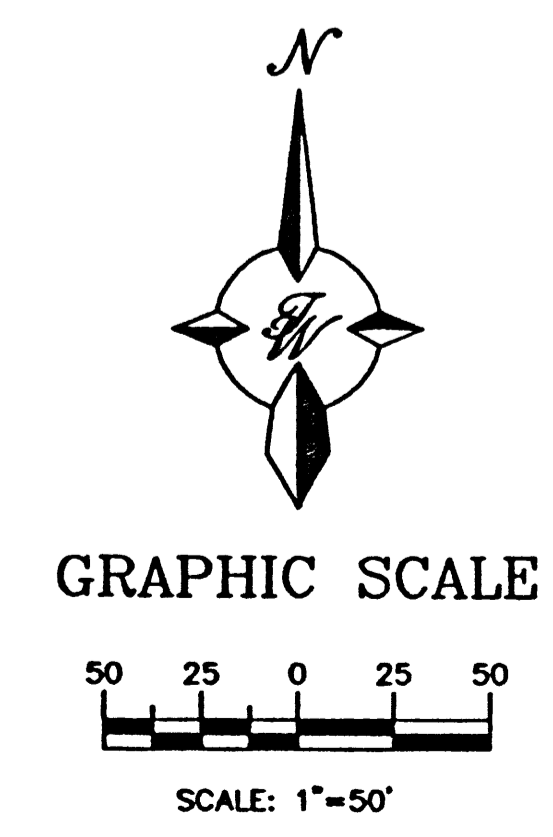


**UTILITY TRENCH DETAIL**  
NTS

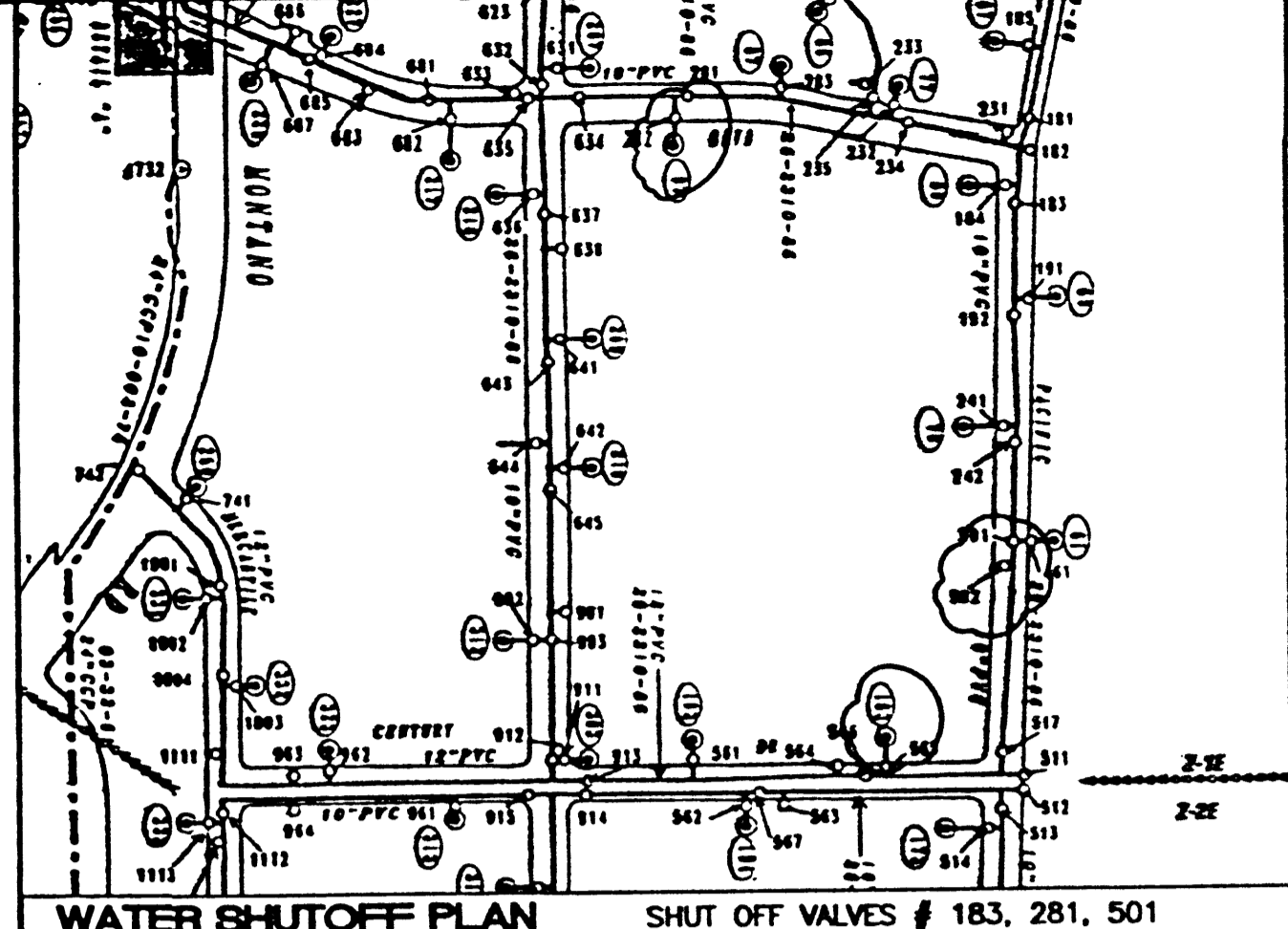
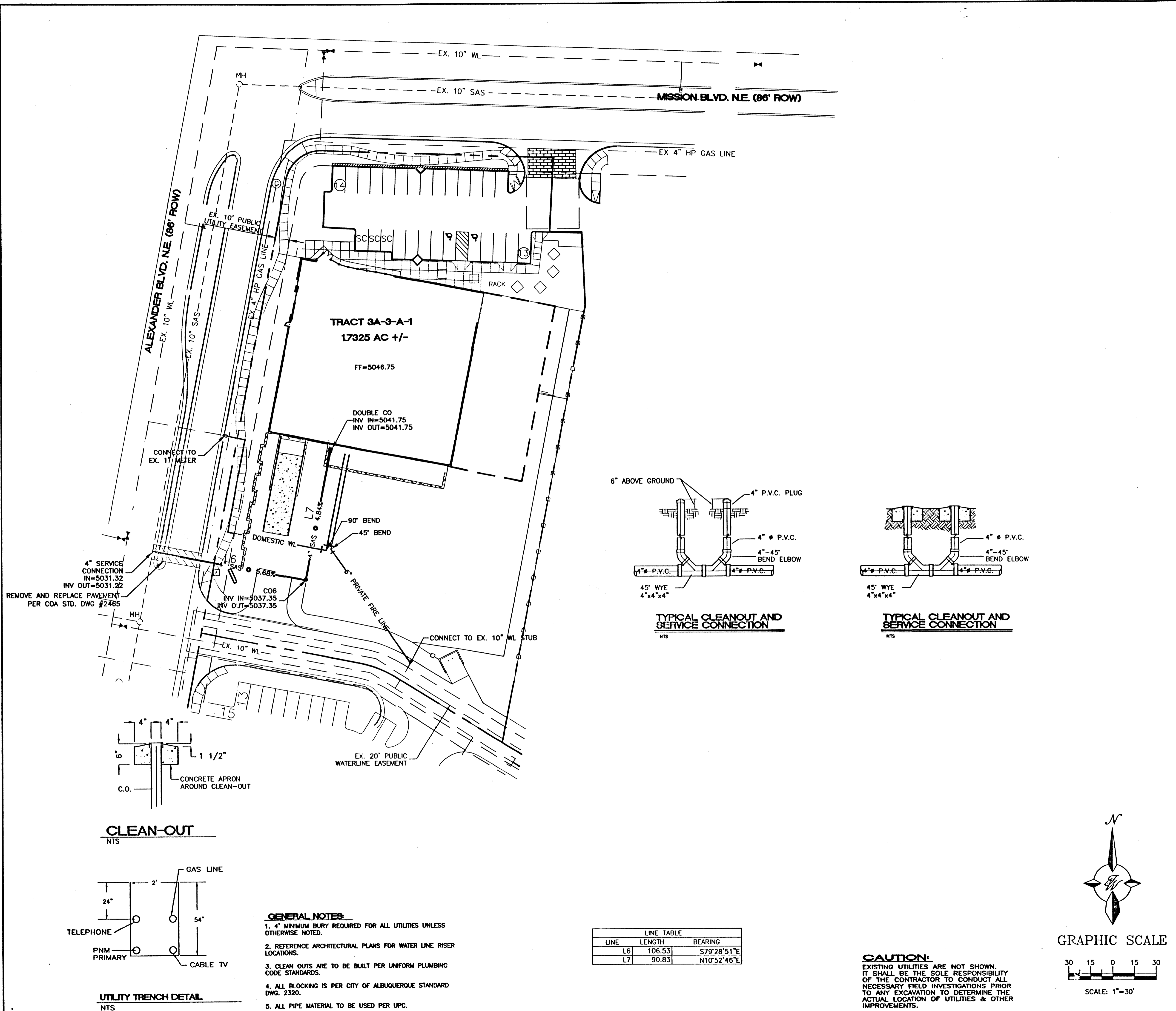
- GENERAL NOTES:**
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE SIZES LOCATIONS.
  3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  5. ALL PIPE MATERIAL TO BE USED PER UPC.

LINE	LENGTH	BEARING
L1	95.44	S02°05'10"W
L2	105.73	N90°00'00"E
L3	45.61	S00°00'00"E
L6	106.19	N79°11'13"W
L7	90.83	N10°52'46"E

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



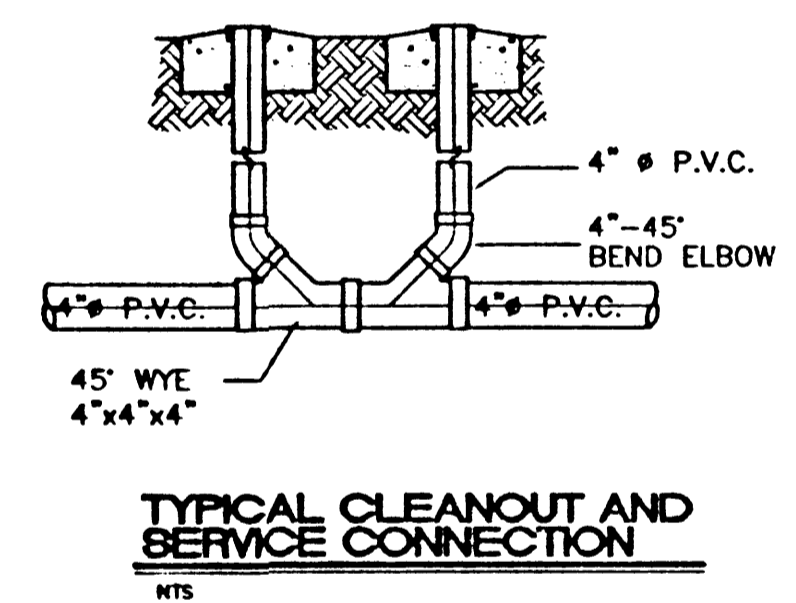
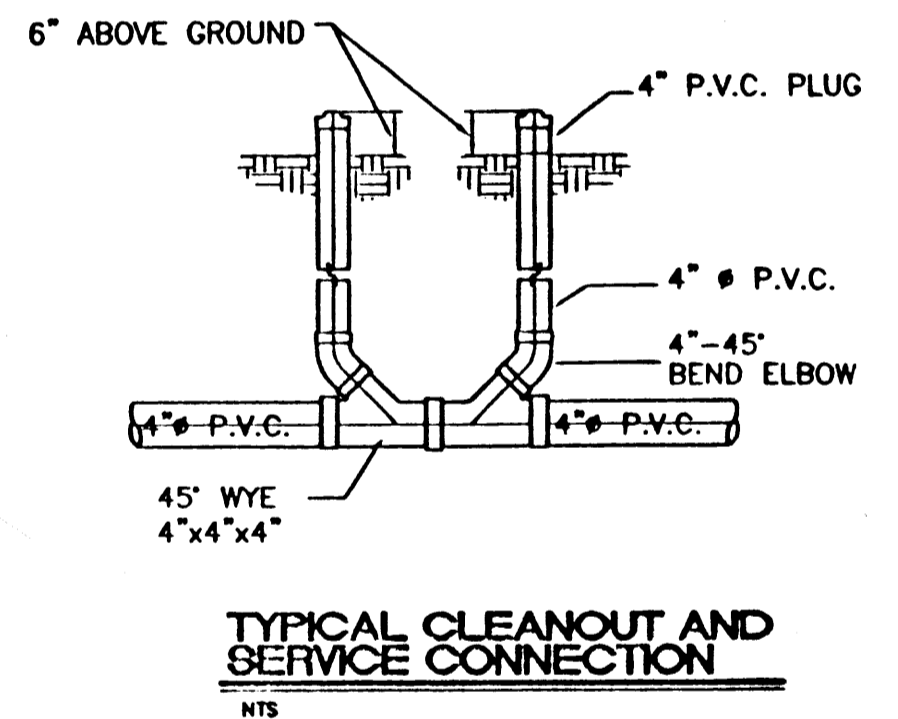
	<b>TRACT 3A-3-A RENAISSANCE CENTER</b>	DRAWN BY WCWJ DATE 4-10-01
	<b>MASTER UTILITY PLAN</b>	9978MUepc.DWG
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>6 OF 8</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 990078



- NOTES:**
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  - SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN
  - ALL 1" WATER SERVICE LINES WILL BE COPPER.
  - ALL 4" SAS SERVICE WILL BE SCH-40.
- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

**LEGEND**

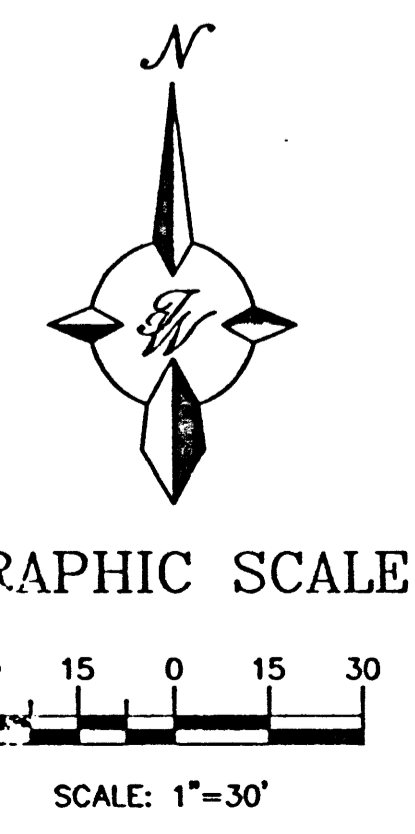
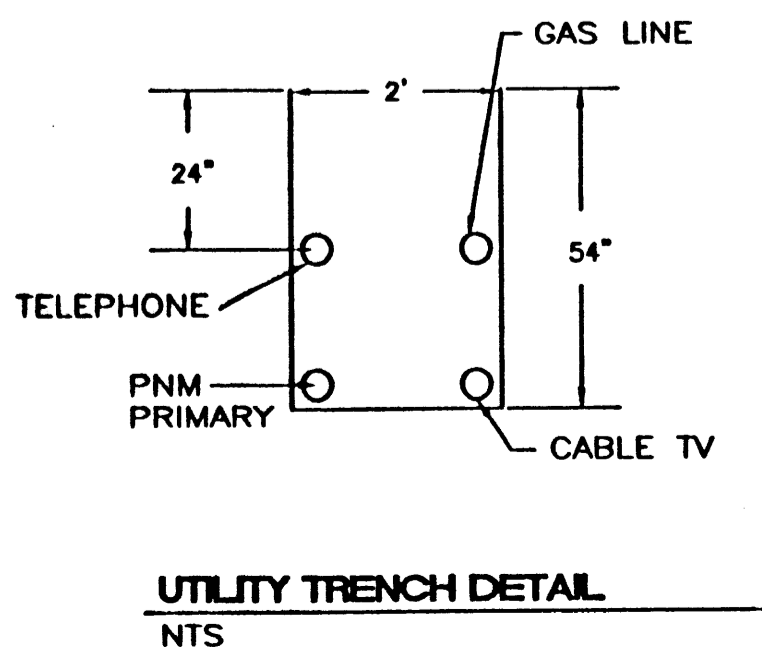
	EXISTING SAS MANHOLE
	EXISTING SANITARY SEWER LINE
	PROPOSED SAS MANHOLE
	PROPOSED SAS CLEANOUT
	DIRECTION OF FLOW
	PROPOSED SANITARY SEWER LINE
	SANITARY SEWER SERVICE LINE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING WATER LINE
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED FIRE HYDRANT
	PROPOSED AIR RELEASE VALVE
	PROPOSED REDUCER
	PROPOSED IRRIGATION SERVICE
	PROPOSED WATER LINE



**LINE TABLE**

LINE	LENGTH	BEARING
L6	106.53	S79°28'51\"E
L7	90.83	N10°52'46\"E

- GENERAL NOTES:**
- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  - ALL PIPE MATERIAL TO BE USED PER UPC.



**CAUTION:**  
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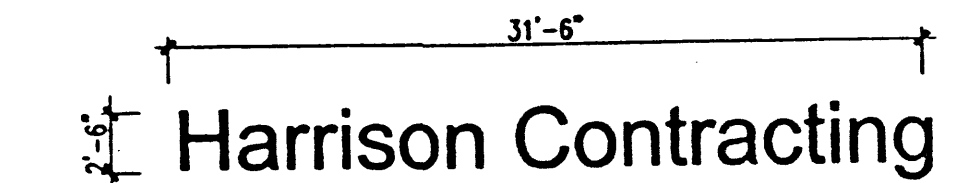
	<b>TRACT 3A-3-A-1</b> <b>RENAISSANCE CENTER</b>	ENGINEER'S SEAL DRAWN BY W.C.W./J DATE 3-15-01
	<b>MASTER UTILITY PLAN</b>	9978MUTR3A3A1.DWG SHEET # <b>7 OF 8</b>
<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		JOB # 990078

**General Notes**

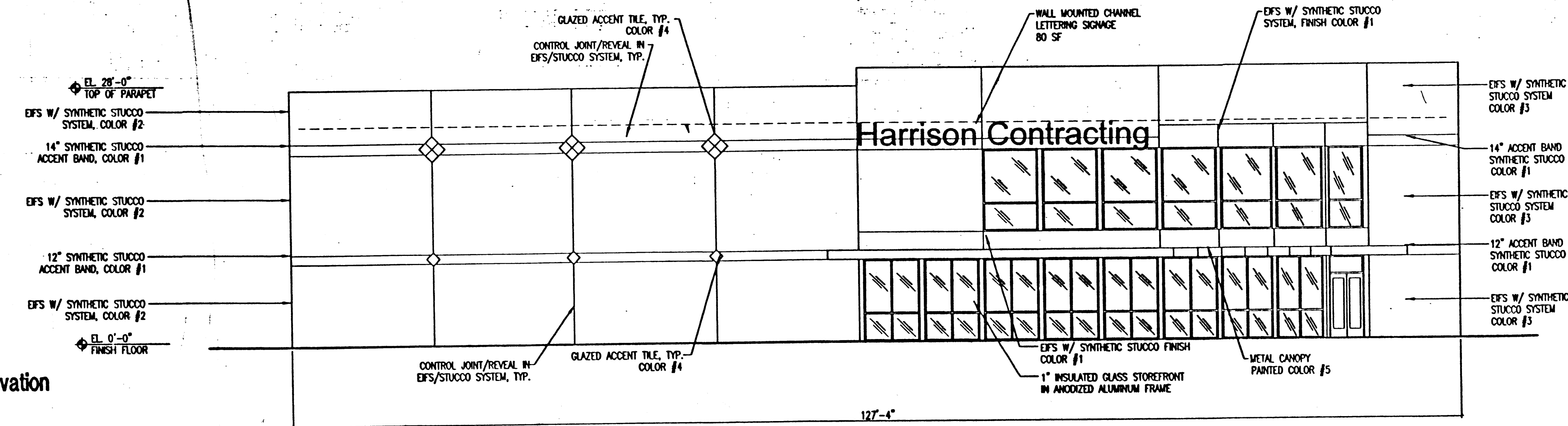
- COLOR #1 - LIGHT BEIGE
- COLOR #2 - BEIGE
- COLOR #3 - DARK BEIGE
- COLOR #4 - GLAZED RED ACCENT TILE
- COLOR #5 - BLUE PAINTED METAL
- ALL GLAZING TO BE 1" INSULATED, NON-REFLECTIVE, U.I.O.
- ALL WINDOW AND DOOR FRAMES TO BE ANODIZED ALUMINUM, U.I.O.
- ALL FLASHING TO BE ALUMINUM, UNFINISHED, U.I.O.

**Signage**

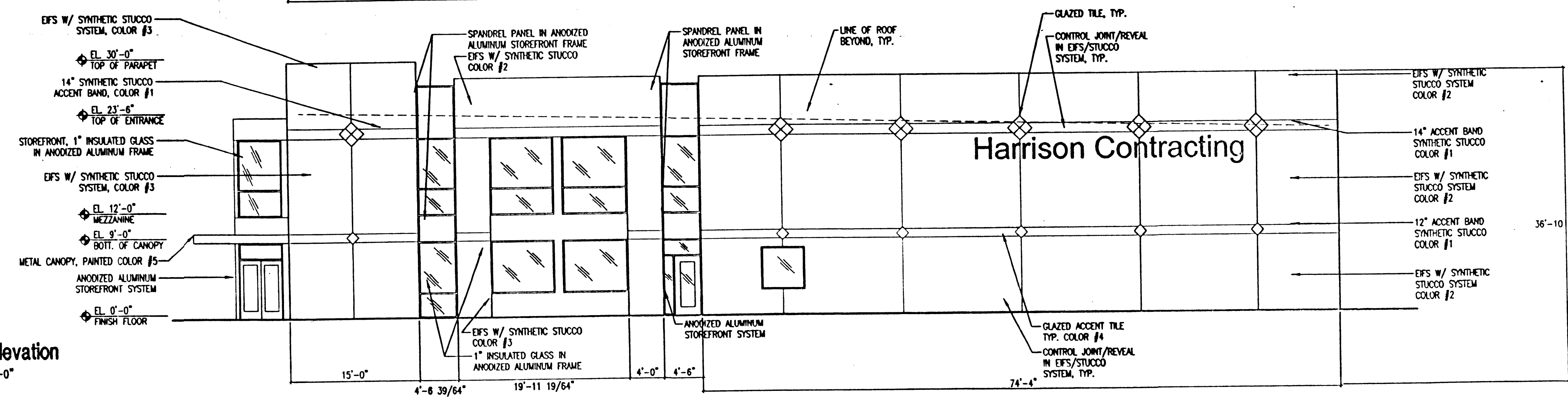
- SIGNAGE SHALL BE INDIVIDUAL CHANNEL TYPE LETTERING
- LETTERS SHALL NOT PROTRUDE OFF FACE OF BUILDING MORE THAN 3 INCHES
- SIGNAGE LETTERING SHALL BE THE COLOR BLUE



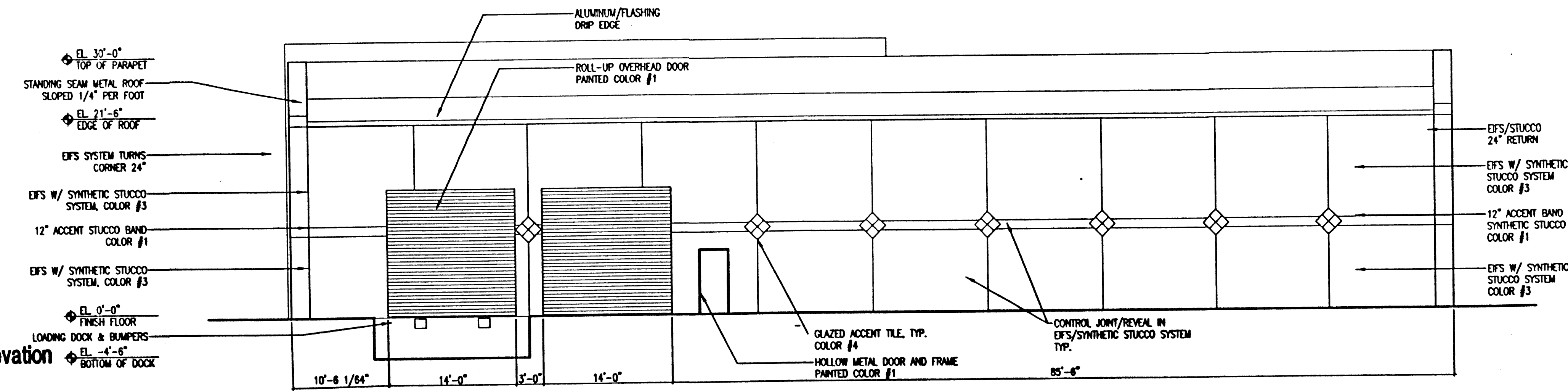
**A1 North Elevation**  
1/8" = 1'-0"



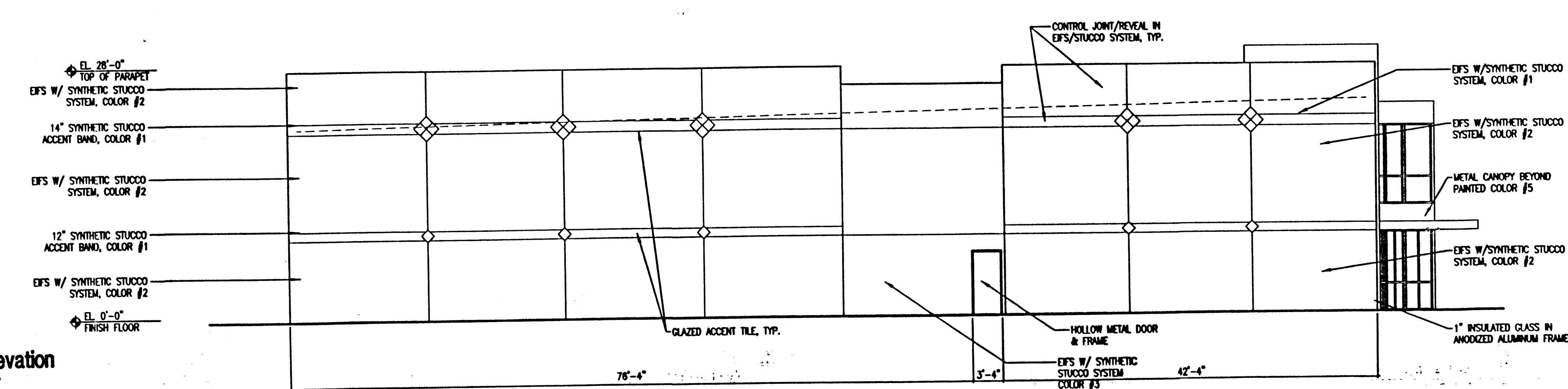
**B1 East Elevation**  
1/8" = 1'-0"



**C1 South Elevation**  
1/8" = 1'-0"

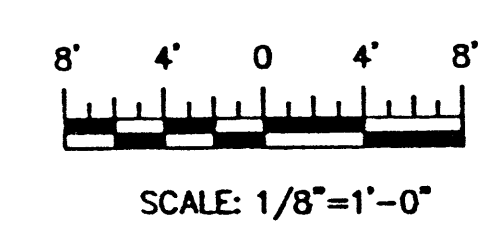
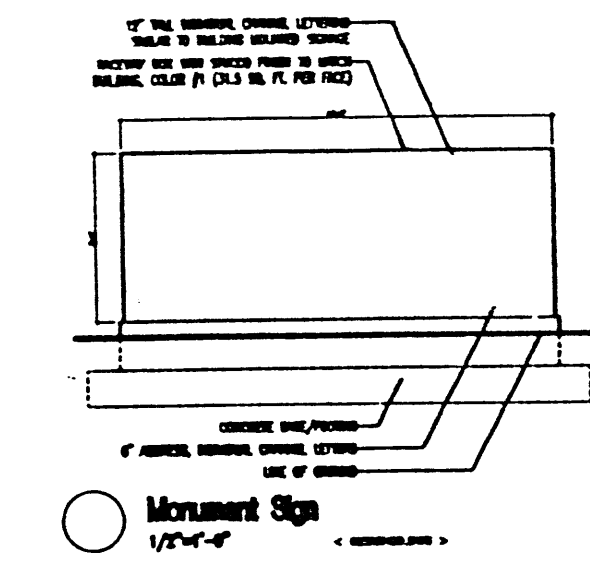


**D1 West Elevation**  
1/8" = 1'-0"



FOR PRICING ONLY  
NOT FOR CONSTRUCTION

Harrison Construction  
Alexander Blvd. & Mission Ave.  
Albuquerque, NM



SCALE: 1/8" = 1'-0"

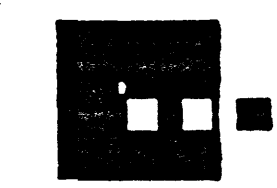
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ERH

TG

99063

Exterior  
Building  
Elevations



**Dekker/Perich/Sabatini**  
architecture - interiors - planning - engineering  
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222

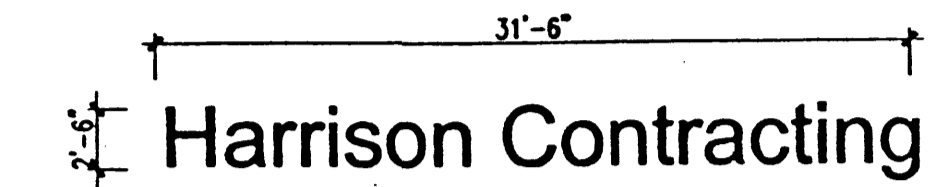


**General Notes**

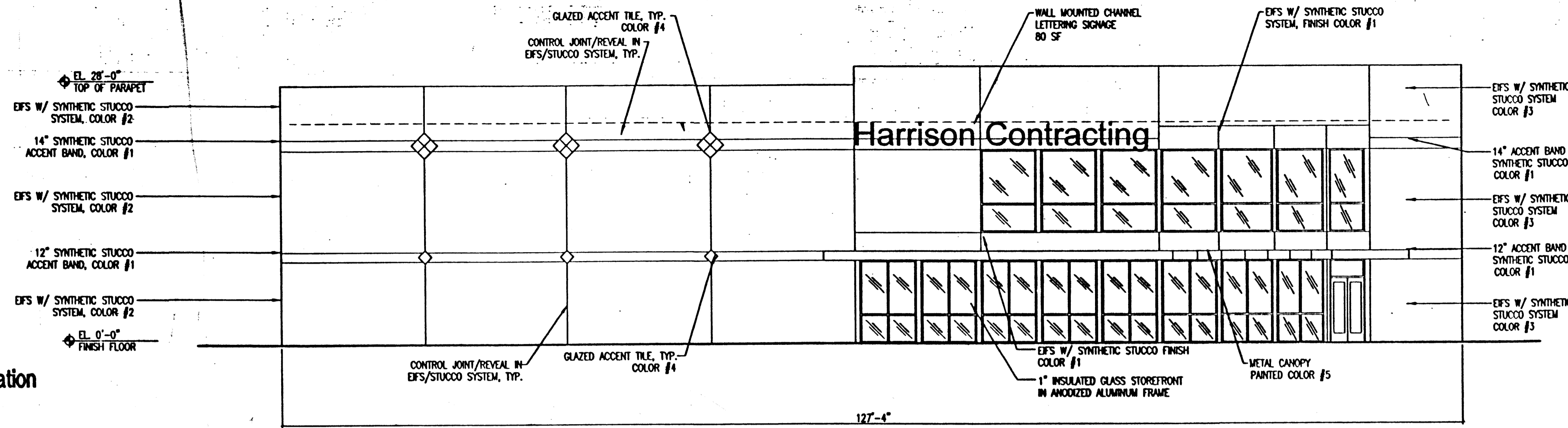
- 1 COLOR #1 - LIGHT BEIGE
- 2 COLOR #2 - BEIGE
- 3 COLOR #3 - DARK BEIGE
- 4 COLOR #4 - GLAZED RED ACCENT TILE
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- 6 ALL GLAZING TO BE 1" INSULATED, NON-REFLECTIVE, U.I.N.O.
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- 8 ALL FLASHING TO BE ALUMINUM, UNFINISHED, U.I.N.O.

**Signage**

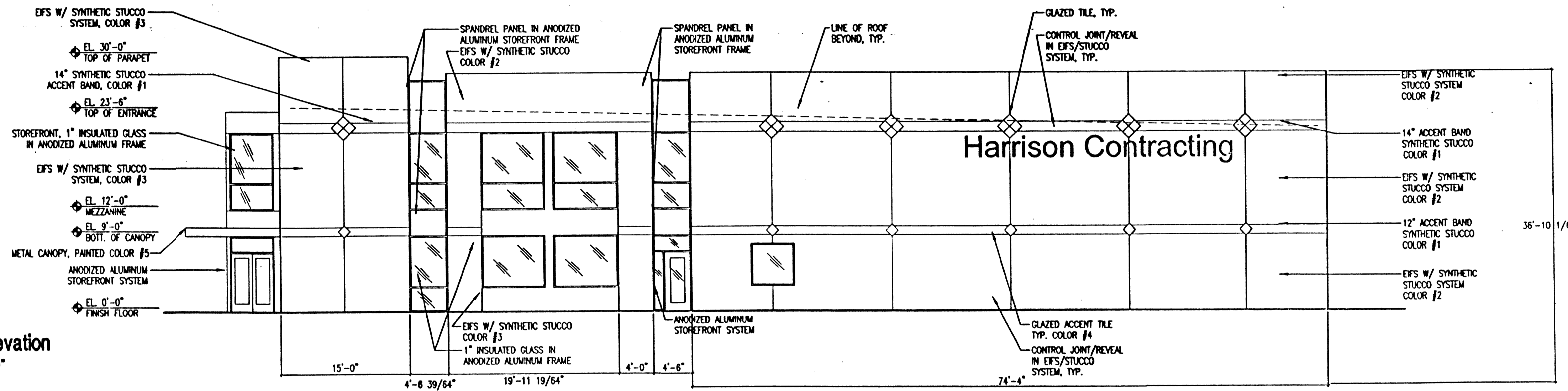
- 1 SIGNAGE SHALL BE INDIVIDUAL CHANNEL TYPE LETTERING
- 2 LETTERS SHALL NOT PROTRUDE OFF FACE OF BUILDING MORE THAN 3 INCHES
- 3 SIGNAGE LETTERING SHALL BE THE COLOR BLUE



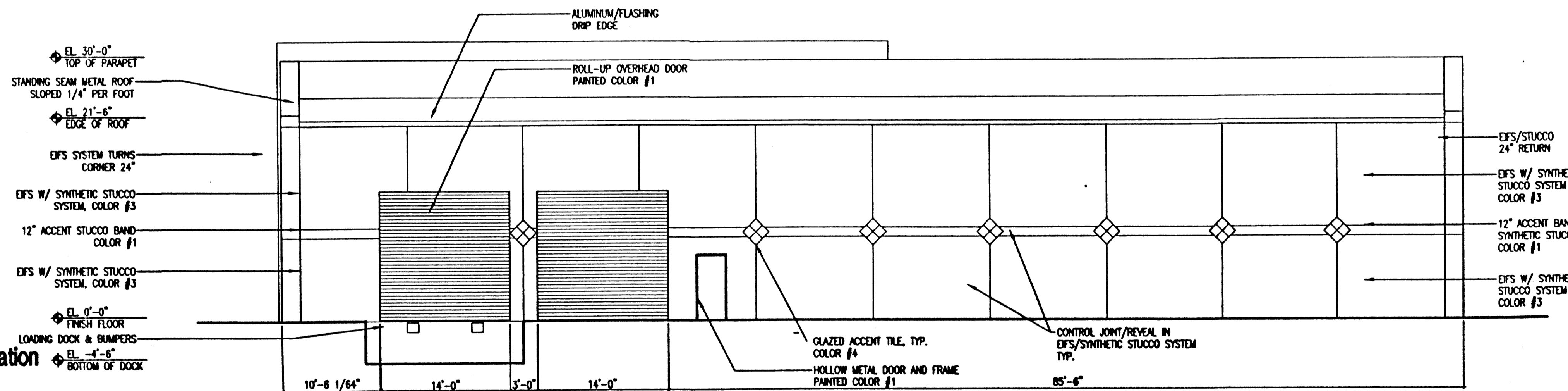
**(A1) North Elevation**  
1/8" = 1'-0"



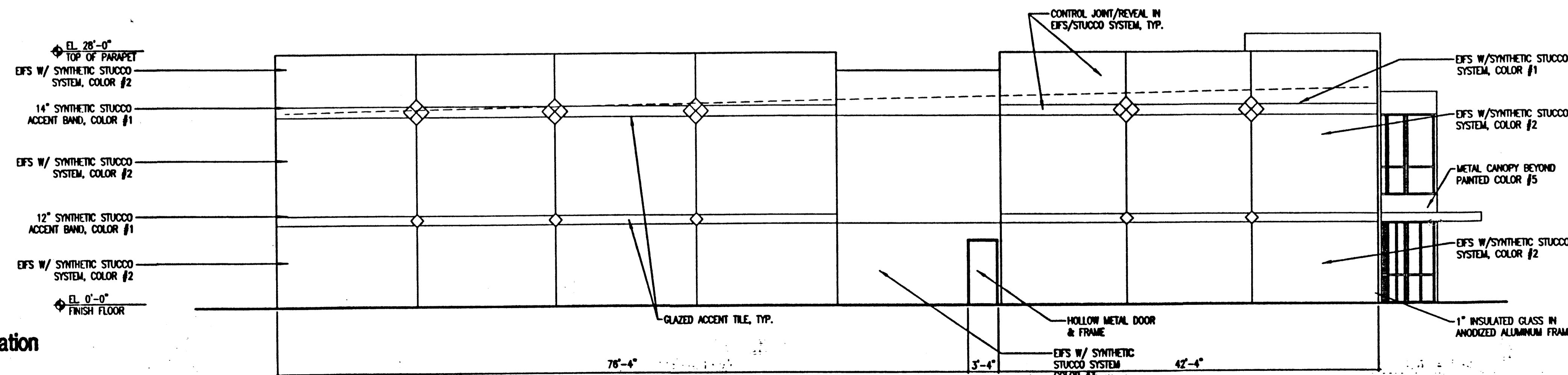
**(B1) East Elevation**  
1/8" = 1'-0"



**(C1) South Elevation**  
1/8" = 1'-0"

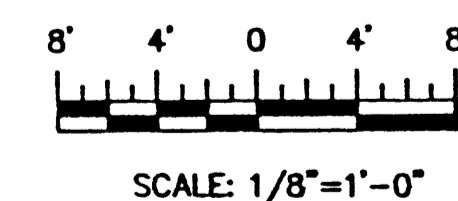
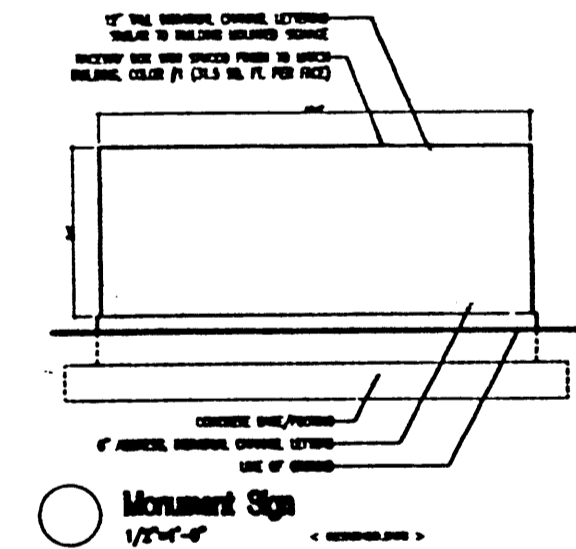


**(D1) West Elevation**  
1/8" = 1'-0"



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Alexander Blvd. & Mission Ave.  
Albuquerque, NM



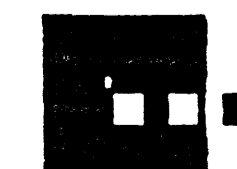
SCALE: 1/8" = 1'-0"

08-24-2000 3:32P  
C:\9903 HARRISON\03 CO\01 ARCH\9903A01.DWG

EPH  
TG

99093

Exterior  
Building  
Elevations



**Dekker/Perich/Sabatini**  
architecture - interiors - planning - engineering

6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222