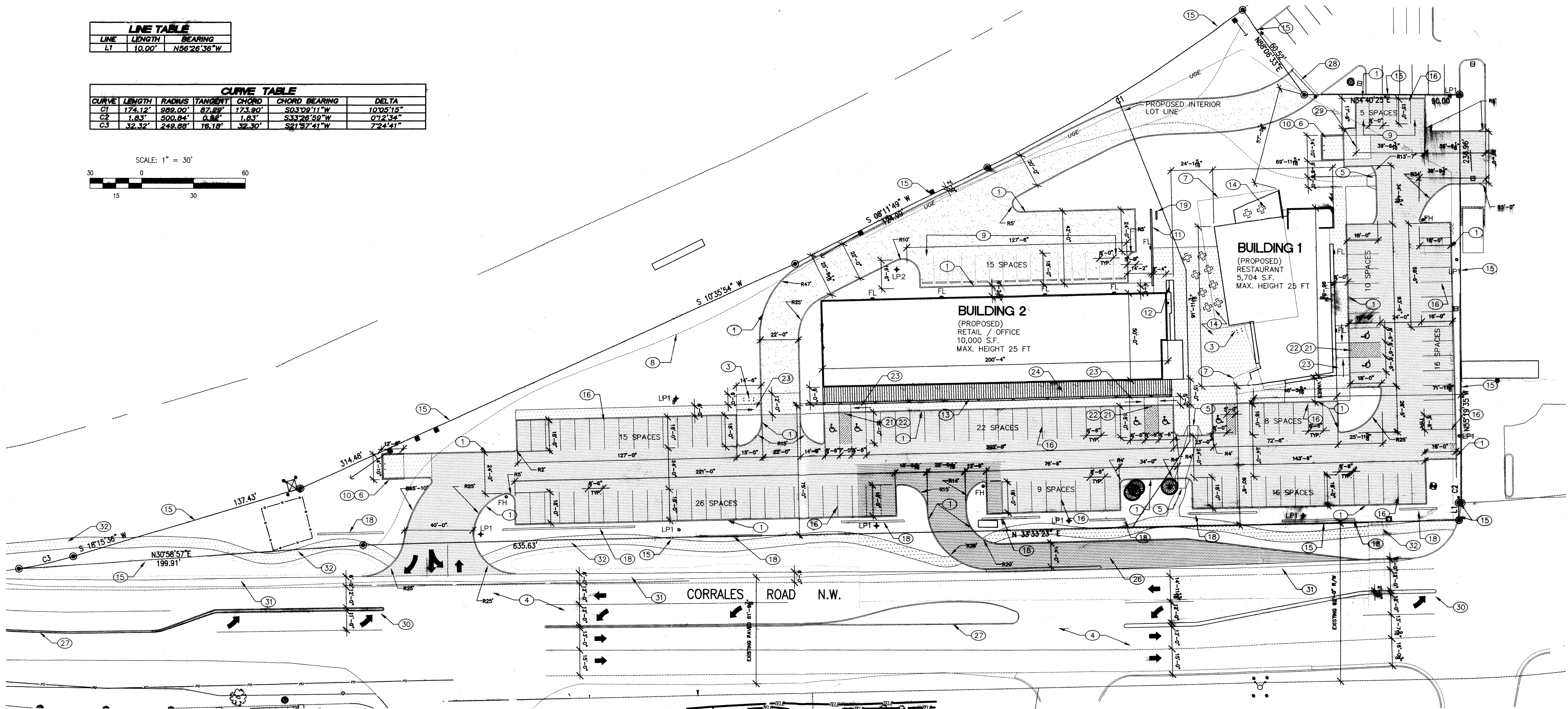
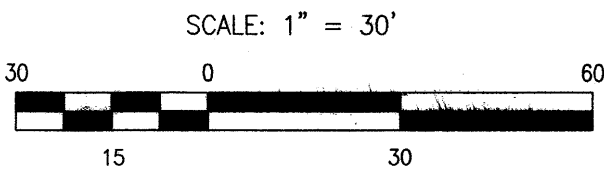


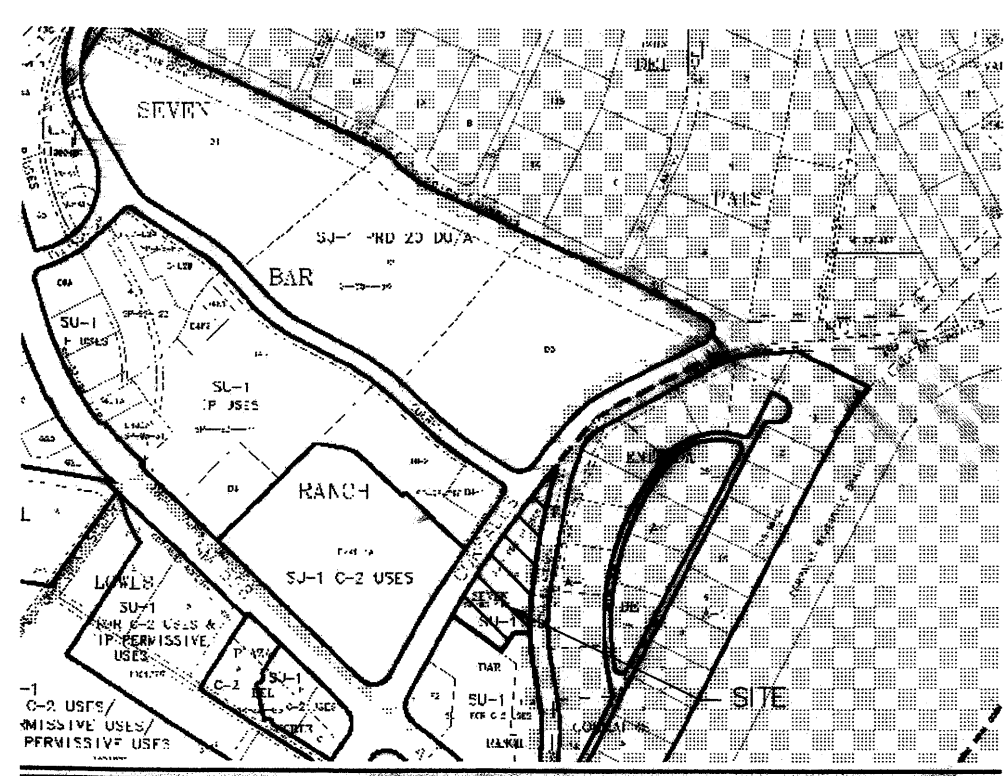
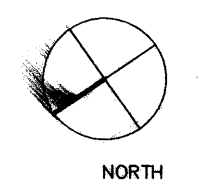
LINE TABLE		
LINE	LENGTH	BEARING
L1	10.00'	N56°26'36"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	174.12'	989.00'	87.89'	173.90'	S03°08'11"W	10°05'15"
C2	1.83'	500.84'	0.88'	1.83'	S33°26'59"W	0°12'34"
C3	32.32'	249.88'	16.18'	32.30'	S21°57'41"W	7°24'41"



SITE PLAN

scale: 1"=30'-0"



Zone Atlas Page
A-14-Z
Map Amended through August 01, 2004

VICINITY MAP

CODE DATA

LOT AREA:	2.7533 ACRES
GROSS ROOFED AREA:	19,298 S.F.
GROSS ENCLOSED AREA:	15,704 S.F.
CONSTRUCTION TYPE:	V-N
OCCUPANCY GROUP:	A-3 (5,704 S.F. RESTAURANT) M (7,500 S.F. RETAIL SHOPPING) M (2,500 S.F. OFFICE)
PARKING SPACES REQUIRED:	
RESTAURANT: (170 SEATS/74 SEATS)	43
RETAIL / OFFICE: (10,000 S.F. / 200 S.F.)	50
PARKING PROVIDED:	
PARKING PROVIDED:	93
ACCESSIBLE PARKING:	142
BIKE PARKING:	
BIKE PARKING:	5 REQUIRED, 6 PROVIDED

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO THE EXPOSED FACE OF CONCRETE CURBS
- B. CONCRETE CURBS ARE 2' UNLESS OTHERWISE NOTED
- C. SEE CONCEPTUAL UTILITY PLAN U.1 FOR EXISTING AND PROPOSED EASEMENTS
- D. MAXIMUM FLOOR AREA RATIO SHALL BE 0.15
- E. MAXIMUM BUILDING HEIGHT SHALL BE 25'
- F. BUILDING SETBACKS SHALL BE MEASURED 25 FT FROM THE EXTERIOR LOT LINES, 5 FT NORTH OF THE INTERIOR LOT LINES BETWEEN F-3-A AND F-3-B, AND 15 FT SOUTH OF THE SAME INTERIOR LOT LINE.

KEYED NOTES

1. CONCRETE CURB AND GUTTER
2. FIRE HYDRANT
3. BICYCLE RACK SEE DETAIL 5/A-3
4. ASPHALT PAVED STREET
5. CONCRETE CURB RAMP MAX. 1:12 SLOPE
6. TRASH BIN ENCLOSURE, SEE DETAIL 7/A-3
7. ROOF OVERHANG
8. 24" WIDE, STABILIZED CRUSHER FINE FOOTPATH
9. SMALL CAR PARKING SPACE
10. STUCCO FINISHED CMU WALL 5' TALL
11. RAMMED EARTH WALL (3'-6" TALL)
12. RAMMED EARTH WALL (8'-2" TALL)
13. CONCRETE PORTAL (16'-6" TALL)
14. PATIO W/ SEATING
15. EXISTING PROPERTY LINE
16. 2" WIDE YELLOW TRAFFIC PAINT LINE
17. SIGNAGE ON WEST FACE OF STUCCO WALL
18. 8" CMU WALL, EARTH TONE STUCCO, HEIGHT VARIES 30" TO 36"
19. HITCHING POST
20. STRIPPED HANDICAPPED ACCESS AISLE. STRIPING SHALL BE YELLOW 2" WIDE TRAFFIC PAINT AT 45 DEGREE TO AISLE SPACED AT 12" O.C.
21. STEEL POST BOLLARD
22. FLUSH SURFACE OF ASPHALT AND CONCRETE
23. SLOPE DOWN TO MEET ELEVATION OF ASPHALT PAVEMENT. SLOPE NOT TO EXCEED 1:20. GROSS SLOPE SHALL NOT EXCEED 1:50
24. COVERED PORTAL
25. HANDICAPPED ACCESSIBLE PEDESTRIAN CROSSWALK
26. PROPOSED DECELERATION LANE
27. EXISTING MEDIAN
28. NEW GATE WITH FIRE DEPT. LOCK
29. NEW DRAIN TO MEET SANITARY SEWER PER SOLID WASTE SPECS.
30. NEW MODIFIED MEDIAN
31. 6' BICYCLE LANE
32. 6' CONCRETE SIDEWALK

LEGEND

- ASPHALT PAVEMENT
- CONCRETE WALK OR PAD, NO SLOPE SHALL EXCEED 1:20. NO CROSS SLOPE SHALL EXCEED 1:50.
- GRAVEL SURFACE
- LP1+ POLE LIGHT (MAX. HEIGHT 20') (METAL HALIDE FIXTURE, CONTROLLED BY TIMER AND/OR PHOTOCELL) COMPLYING WITH CITY LIGHTING ORDINANCE
- LP2+ POLE LIGHT (MAX. HEIGHT 16') (METAL HALIDE FIXTURE, CONTROLLED BY TIMER AND/OR PHOTOCELL) COMPLYING WITH CITY LIGHTING ORDINANCE
- FL - FLOOD LIGHT COMPLYING WITH CITY LIGHT ORDINANCE
- FH - FIRE HYDRANT

PROJECT NUMBER: 1000676
Application Number **DRB01900**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated October 21, 2004, and the Findings and Conditions in the Official Notifications of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

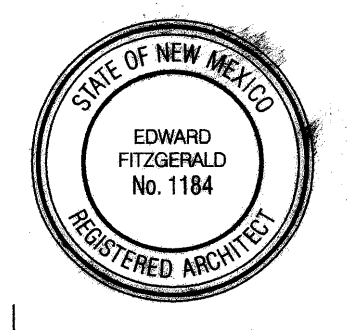
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	12-15-04
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	12/28/04
Utility Development	Date
<i>[Signature]</i>	12/15/04
Christina Sandoval	Date
Parks and Recreation Department	
<i>[Signature]</i>	3/7/05
Bradley B. Bryson	Date
City Engineer	
N/A	
Environmental Health Department (conditional)	Date
<i>[Signature]</i>	12-15-04
Michael Holton	Date
Sanitation/Waste Management	
<i>[Signature]</i>	12/15/04
Sherrin Mateon	Date
DRB Chairperson, Planning Department	

SITE PLAN FOR BUILDING PERMIT

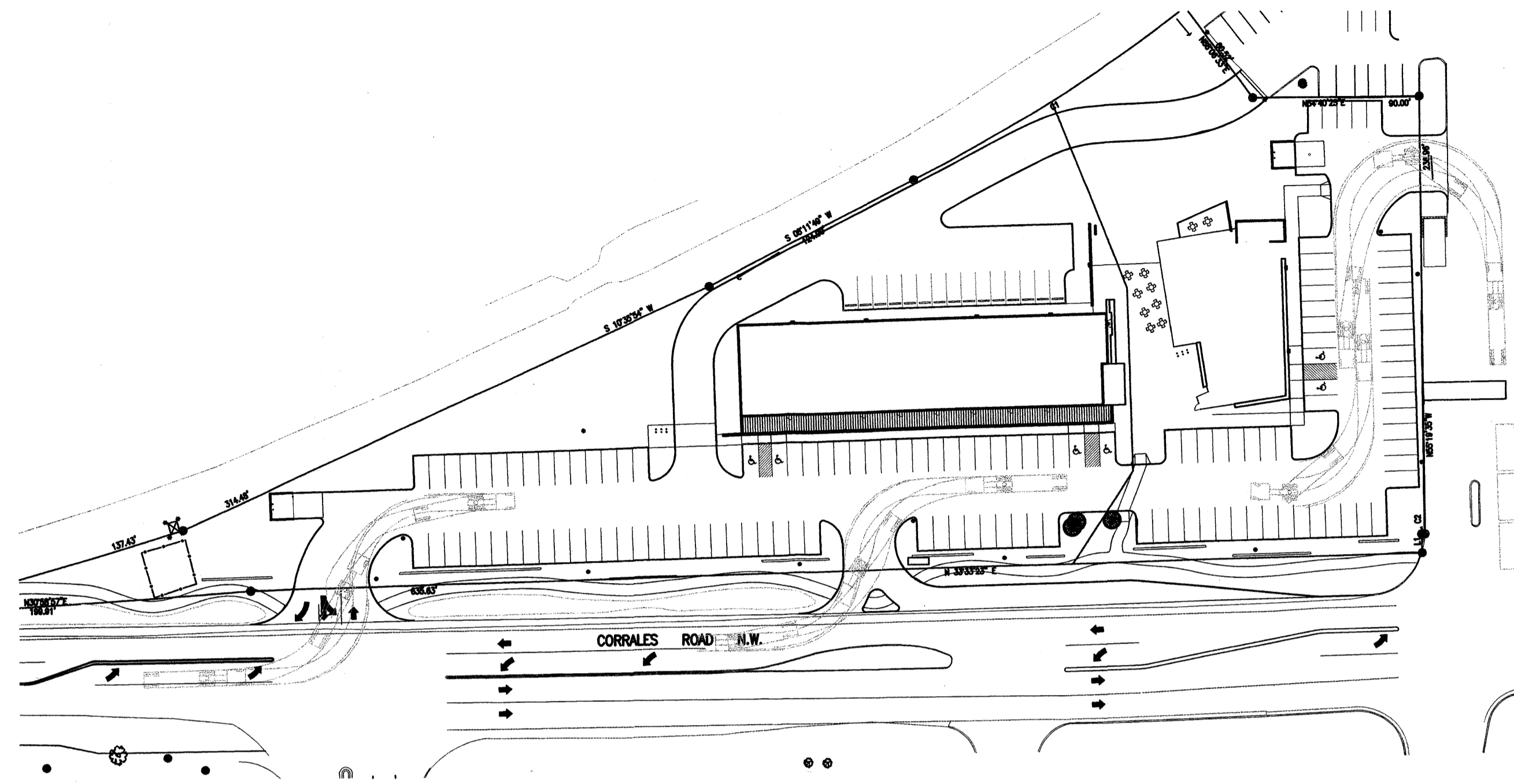
FLYING STAR / CORRALES CAFE / RETAIL / OFFICE
Corrales Road NW
Albuquerque, New Mexico

EDWARD FITZGERALD ARCHITECTS
121 JEFFERSON STREET NE
ALBUQUERQUE, NEW MEXICO
8 7 1 0 8
TEL 505.268.9055
FAX 505.268.2696



date: 12/14/04
drawn by: JTP/EF
A-1
reference no. of 4

PROS # 1000676

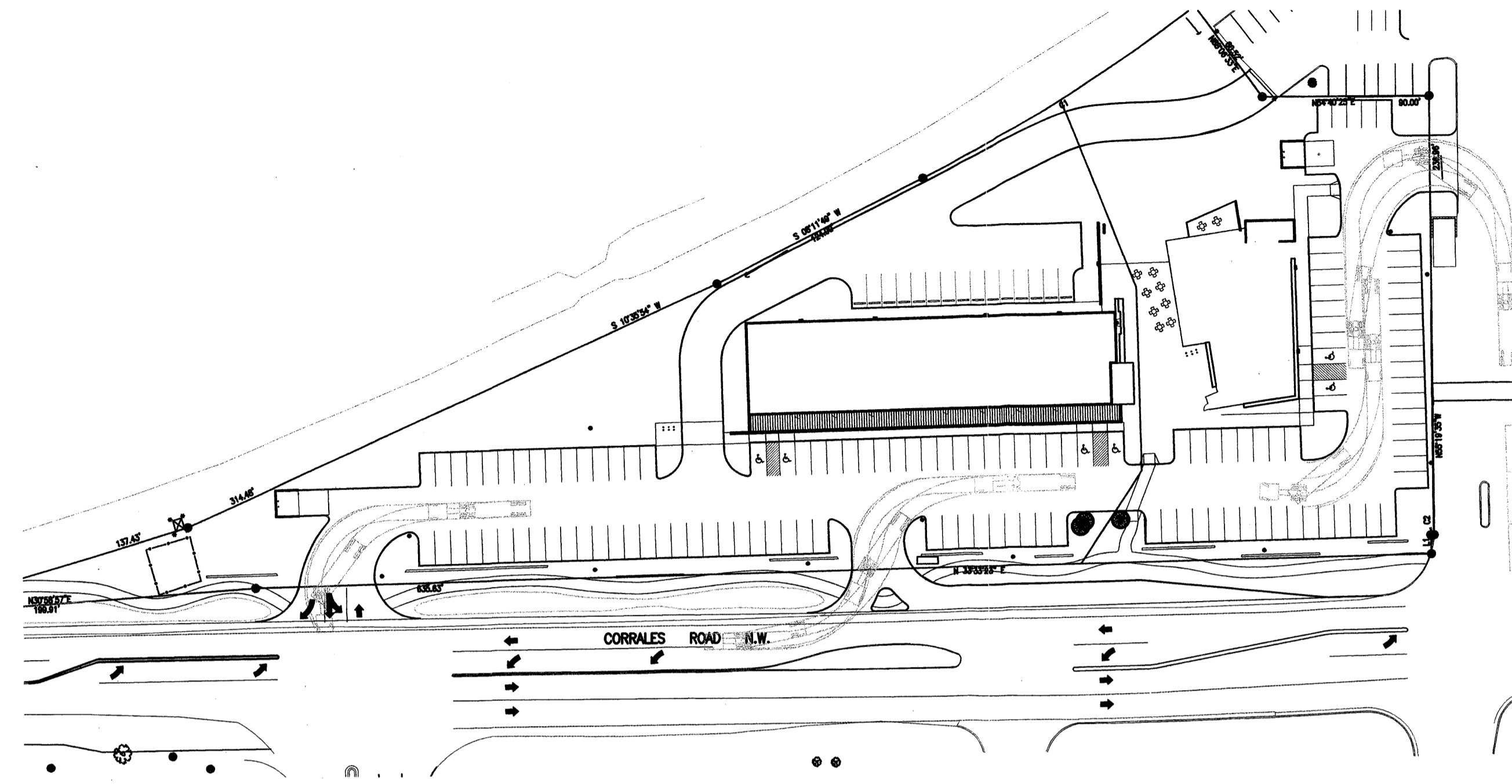


TRUCK ENTERING FROM NORTH

scale: 1"=60'-0"



NORTH

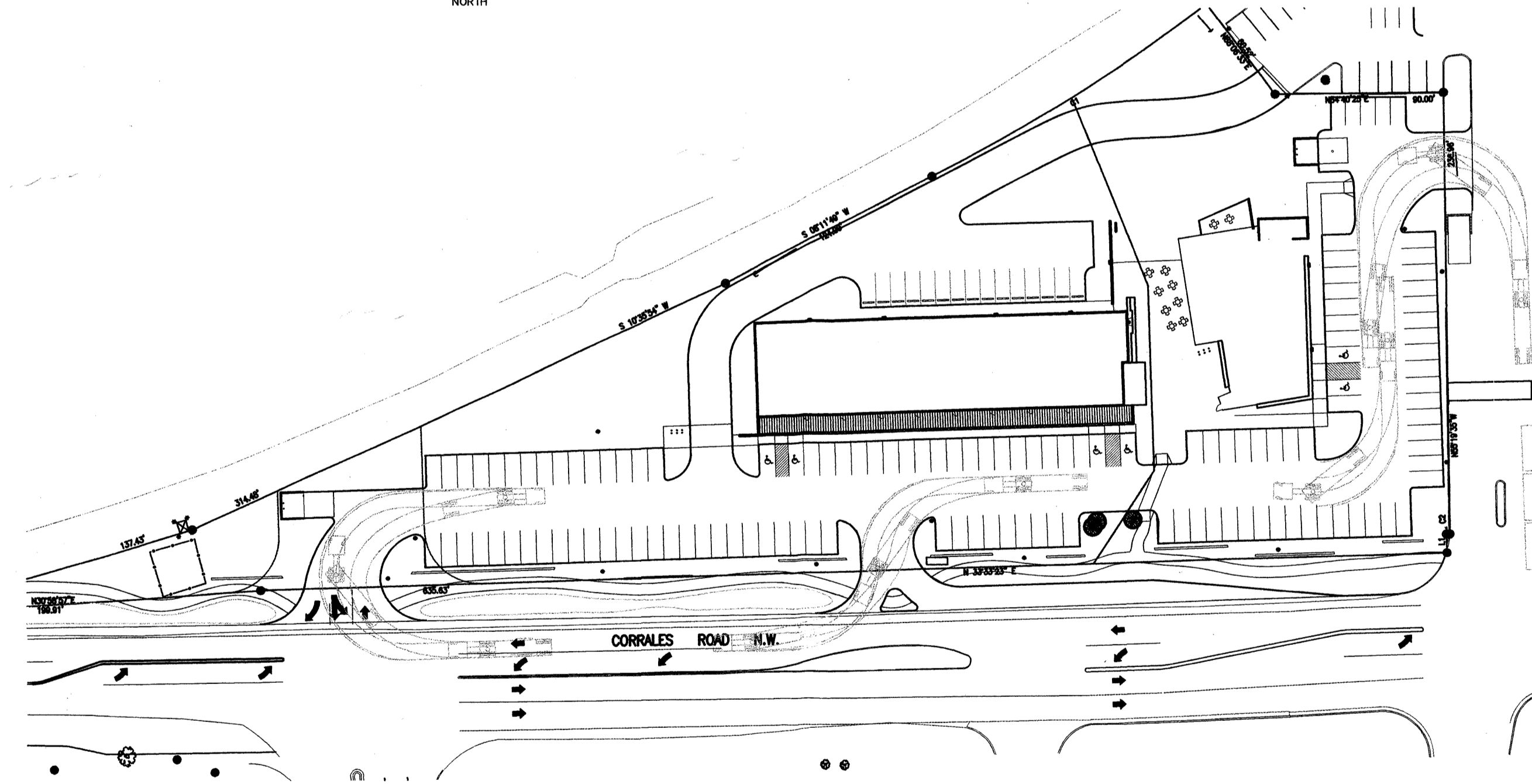


TRUCK EXITING FROM NORTH

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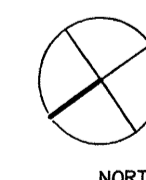


NORTH

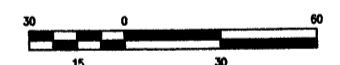


TRUCK ENTERING FROM SOUTH

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NORTH



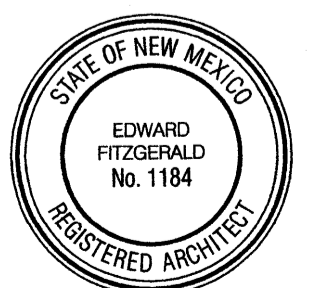
TRUCK TURNING DIAGRAMS

FLYING STAR / CORRALES CAFE / RETAIL / OFFICE
Corrales Road NW
Albuquerque, New Mexico

EDWARD FITZGERALD

ARCHITECTS

121 JEFFERSON STREET NE
ALBUQUERQUE, NEW MEXICO
8 7 1 0 8
TEL 505.268.9055
FAX 505.265.2696

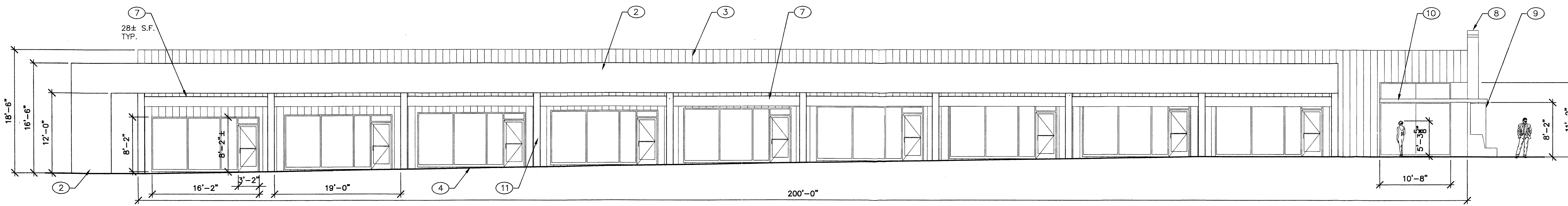


date: 11/19/04

drawn by: JTP/EF

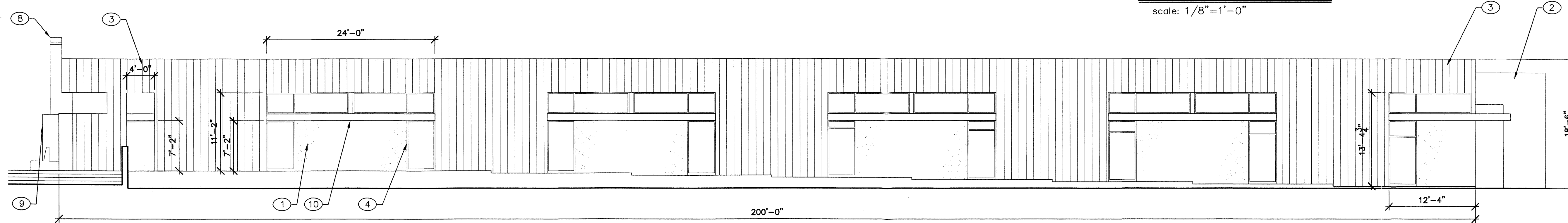
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2 of 4
sequence no.



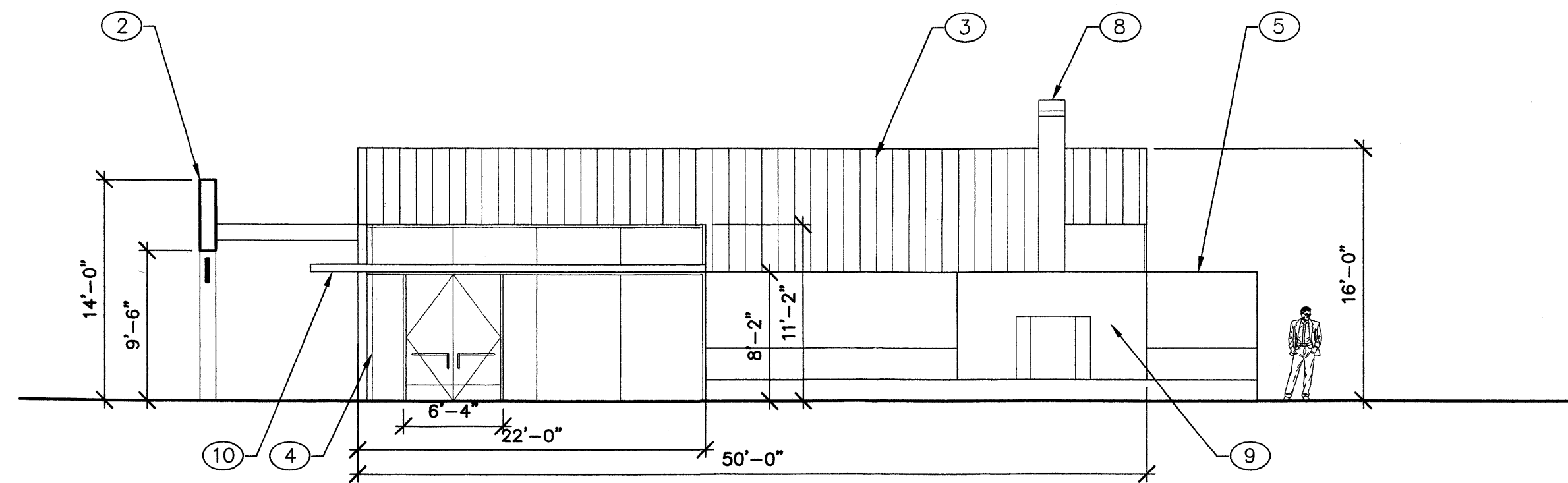
WEST ELEVATION, Building 2

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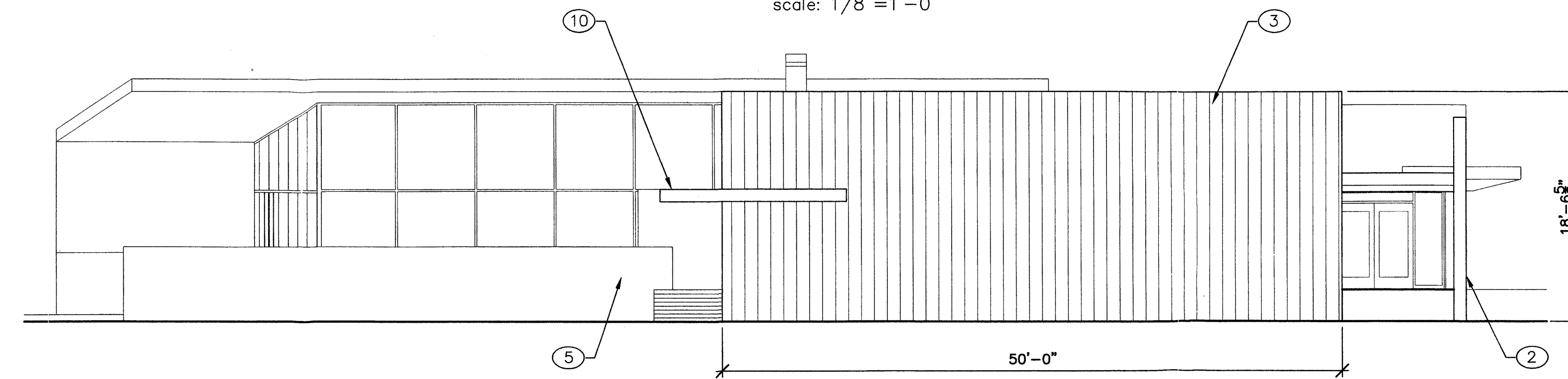
EAST ELEVATION, Building 2

scale: 1/8"=1'-0"



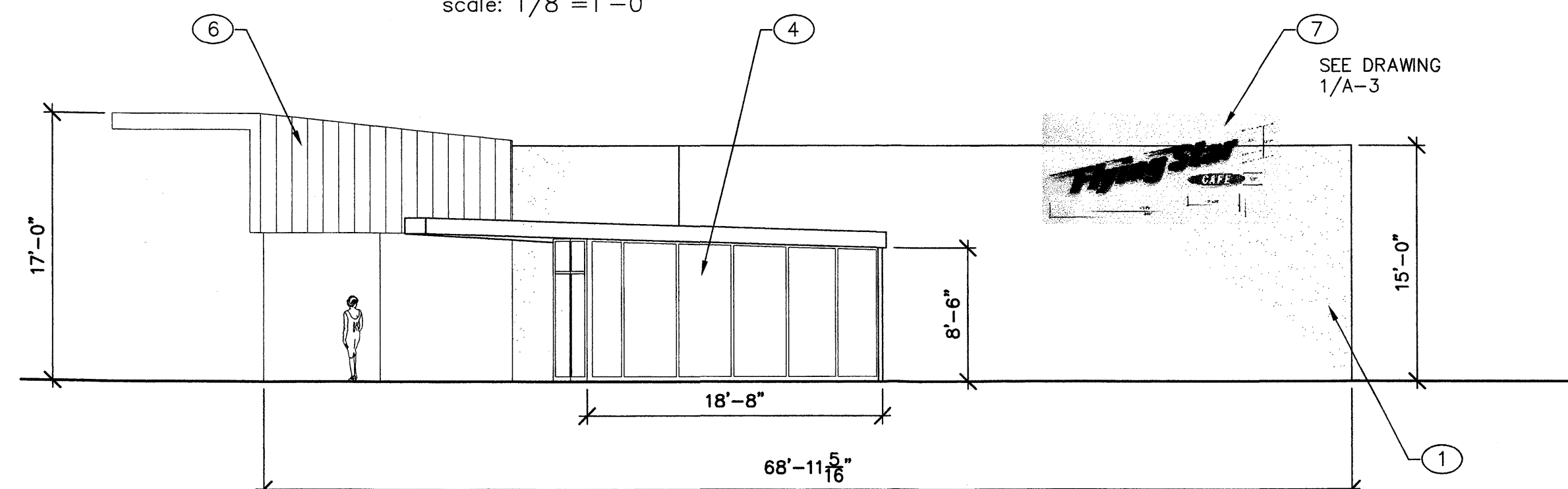
SOUTH ELEVATION, Building 2

scale: 1/8"=1'-0"



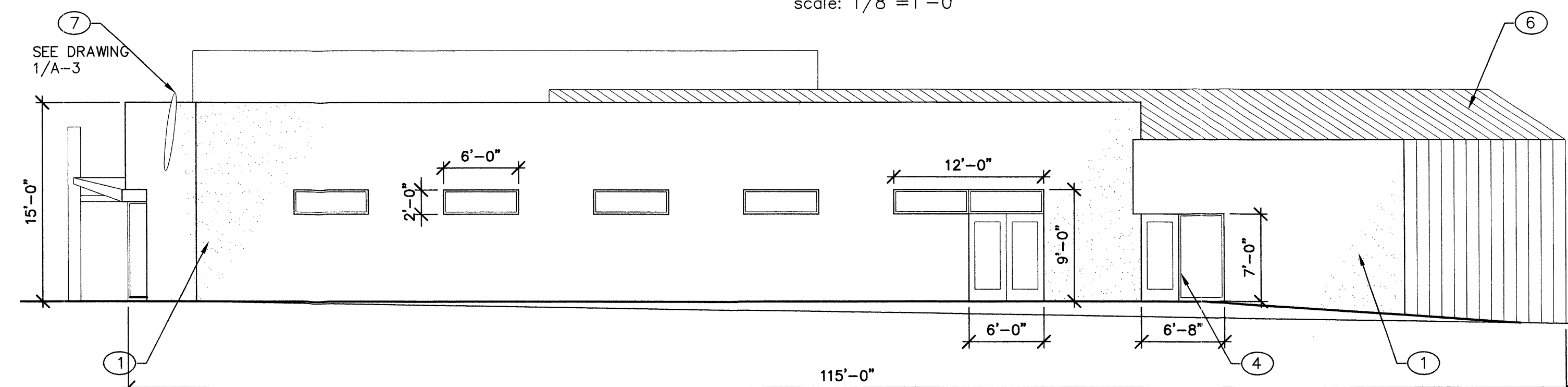
NORTH ELEVATION, Building 2

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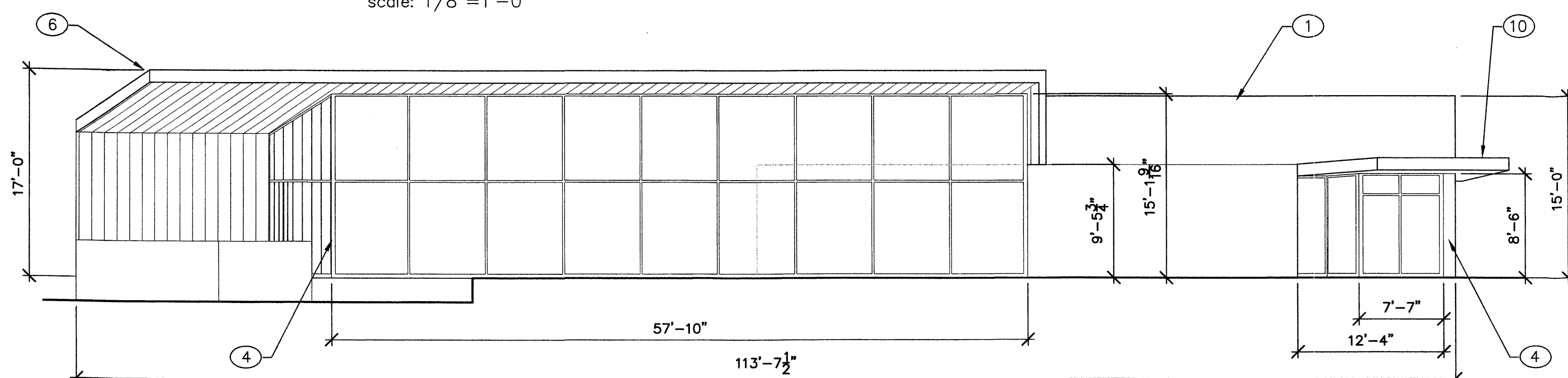
WEST ELEVATION, Building 1

scale: 1/8"=1'-0"



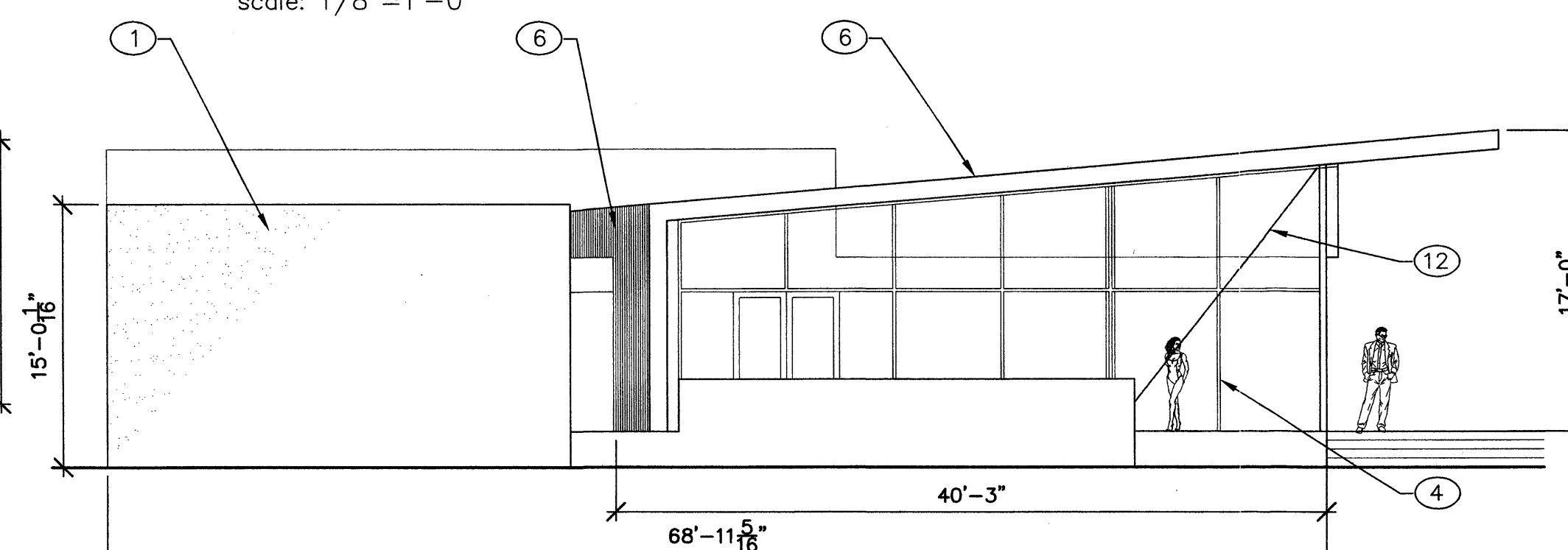
SOUTH ELEVATION, Building 1

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NORTH ELEVATION, Building 1

scale: 1/8"=1'-0"



EAST ELEVATION, Building 1

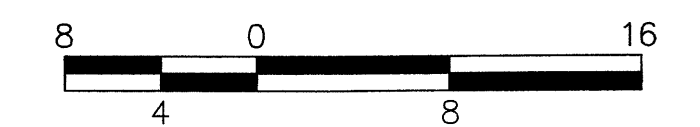
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GENERAL NOTES

- A. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION
- B. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT.
- C. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

KEYED NOTES

- 1. "EARTH TONE" STUCCO FINISH: ADOBE TAN TYP. W/ GREEN AND TERRA COTTA ACCENTS
- 2. ARCHITECTURAL CONCRETE: MIAMI BUFF
- 3. CORTEN STEEL SIDING
- 4. ALUMINUM STOREFRONT CLEAR ANODIZED ALUMINUM FINISH W/ CLEAR SINGLE PANE GLASS
- 5. RAMMED EARTH
- 6. METAL SIDING: RUSTED CORTEN STEEL OR PRE-WEATHERED GALVANIZED FINISH
- 7. SIGNAGE, TO BE LIGHTED CONTINUOUSLY
- 8. METAL CHIMNEY
- 9. FIREPLACE
- 10. METAL AWNING
- 11. ROUND ARCHITECTURAL CONCRETE COLUMNS
- 12. CROSS BRACING



BAR SCALE IN FEET

BUILDING ELEVATIONS

FLYING STAR / CORRALES CAFE / RETAIL / OFFICE
Corrales Road NW
Albuquerque, New Mexico

EDWARD FITZGERALD

ARCHITECTS

121 JEFFERSON STREET NE
ALBUQUERQUE, NEW MEXICO
8 7 1 0 8
TEL 505.268.9055
FAX 505.265.2696



date: 12/14/04

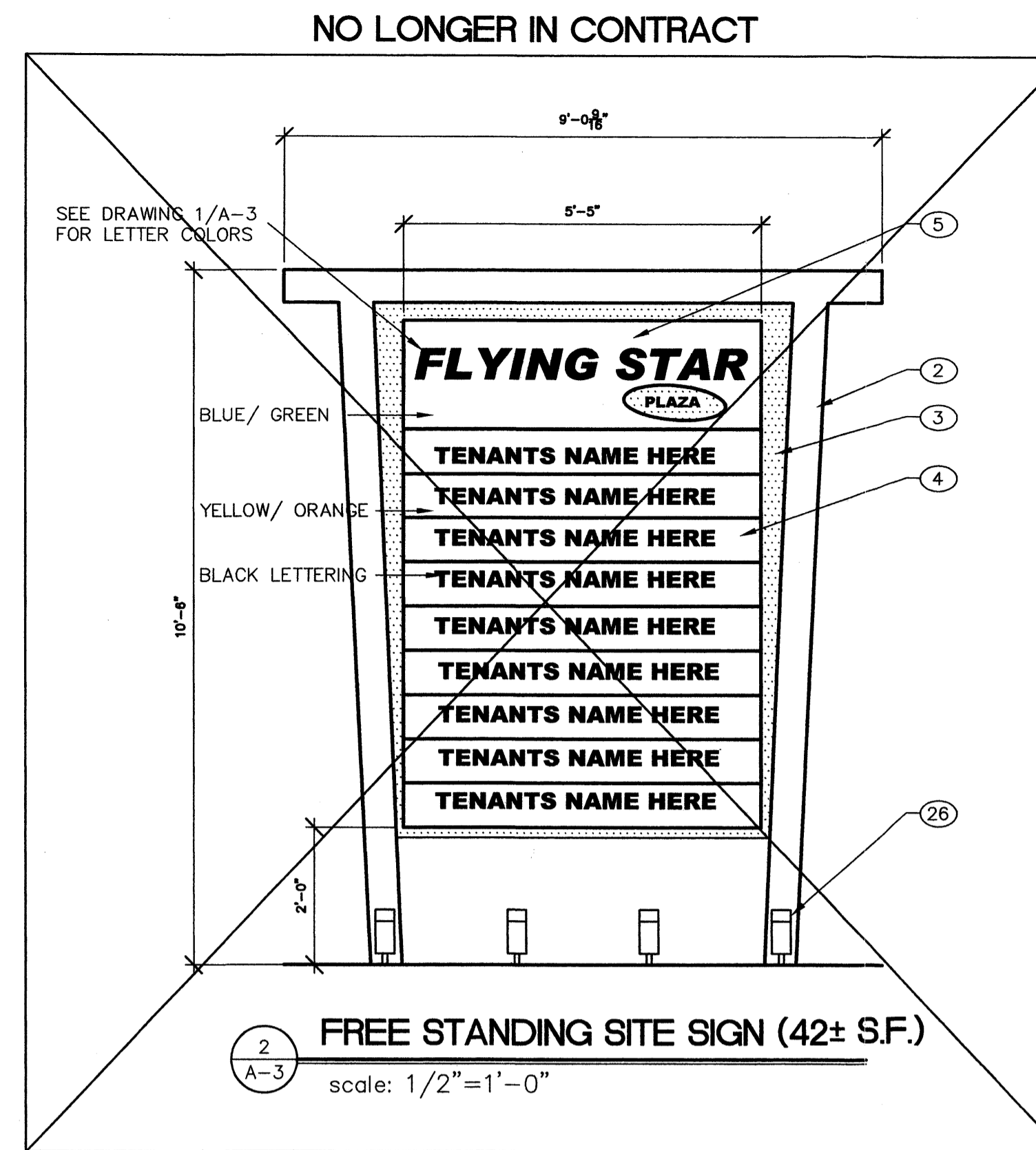
drawn by: JTP/EF

A-2

3 of 4
sequence no.

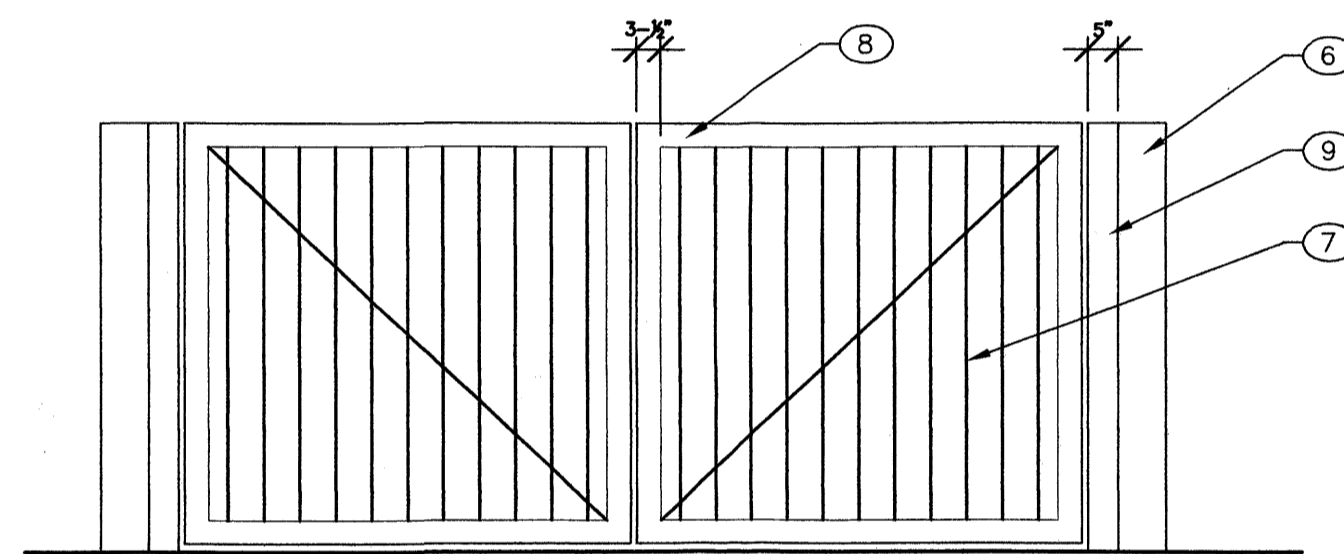


1 BUILDING SIGNAGE (21± S.F.)
A-3 scale: NOT TO SCALE

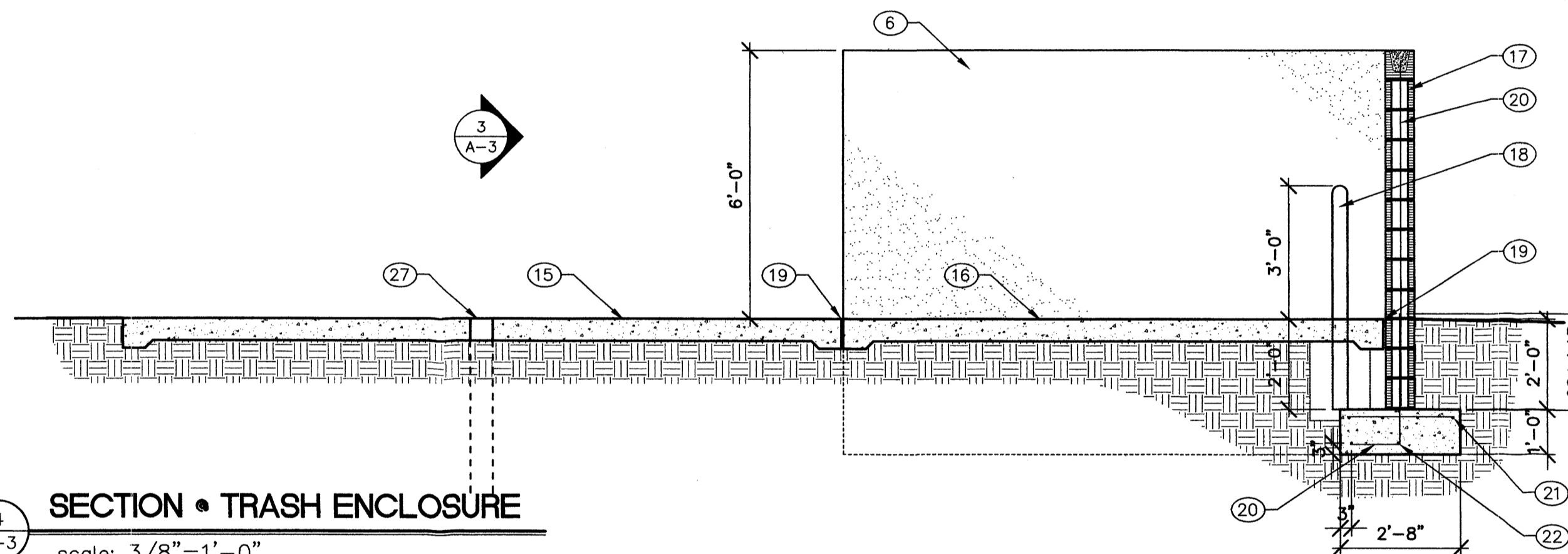


2 FREE STANDING SITE SIGN (42± S.F.)
A-3 scale: 1/2"=1'-0"

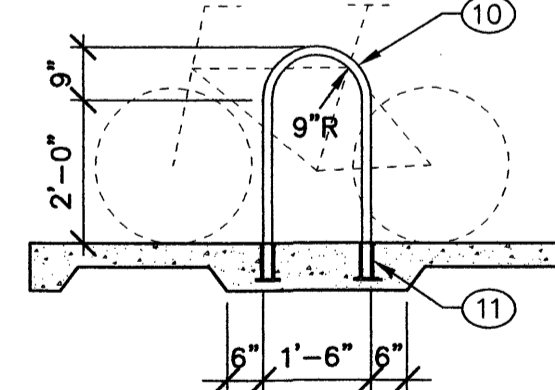
- KEYED NOTES**
- ILLUMINATED 15" CHANNEL LETTERS
SIGN ILLUMINATED WITH 15MM LUMINOUS TUBE LIGHTING
-CL. YELLOW FROM BEHIND
 - 6" STEEL I-BEAMS, CLEAR COATED
 - PERFORATED METAL
 - INTERCHANGEABLE TENANT SIGNS
 - FIXED FLYING STAR LOGO
 - "EARTHTONE" STUCCO FINISH: ADOBE TAN TYP.
W/ GREEN AND TERRA COTTA ACCENTS
 - STEEL PANELS W/ DIAGONAL BRACING
 - 3-1/2"x3-1/2" STEEL DOOR FRAME
 - 5" X 5" STEEL POSTS REINF W/ CONC.
 - 1-1/2" O.D. STL. PIPE
 - STL. PIPE SLEEVE W/ MIN. OF 2 ANCHOR STUDS-GROUT
SOLID (I.D. MAX 1/2" LARGER THAN VERTICAL RAIL SUPPORTS)
 - ACCESSIBLE PARKING SIGN-NMBC APPROVED
 - 1"x2"x1/8" STL. TABS WELDED TO PIPE
 - REINF. CONCRETE FOOTING
 - CONCRETE APRON: 6" THICK; 4,000 PSI, 3/4" AGG.
W/5X6-10/10 WMM OR EQ.
 - CONC. SLAB
6" THICK; 4,000 PSI, 3/4" AGG., W6X6-10/10 WMM
OR EQ. SLOPE TO DRAIN 1/8" PER FOOT
 - NEW 8" CMU WALL W/ STUCCO FINISH
 - 4" O.D. CONC. FILLED STL. PIPE ENCASED IN 6"
CONC. ALL AROUND EMBEDDED 2'-0"
 - 1/2" EXPANSION JOINT
 - #4 @ 32" O.C.
 - #4 @ 12" O.C.
 - 2-#4 CONT.
 - RED
 - YELLOW
 - BLACK
 - 4 (EACH SIDE) INGROUND SITE LIGHTS: RED DOT K841BR
 - NEW DRAIN TO SANITARY SEWER



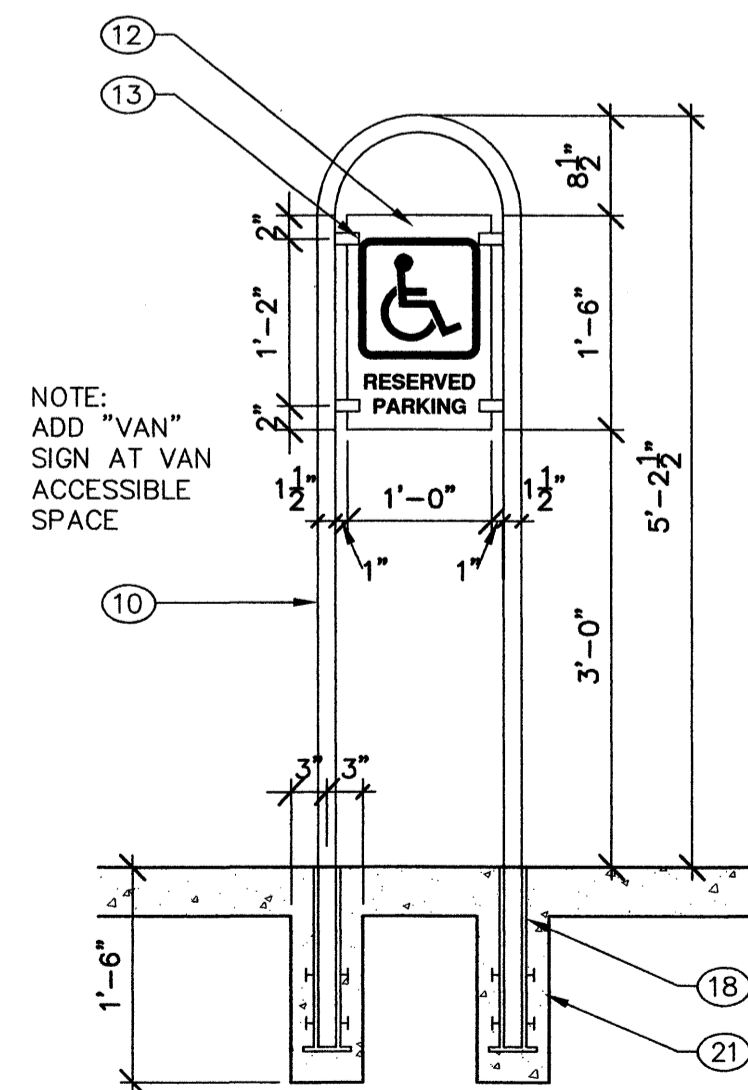
3 SECTION • TRASH ENCLOSURE
A-3 scale: 3/8"=1'-0"



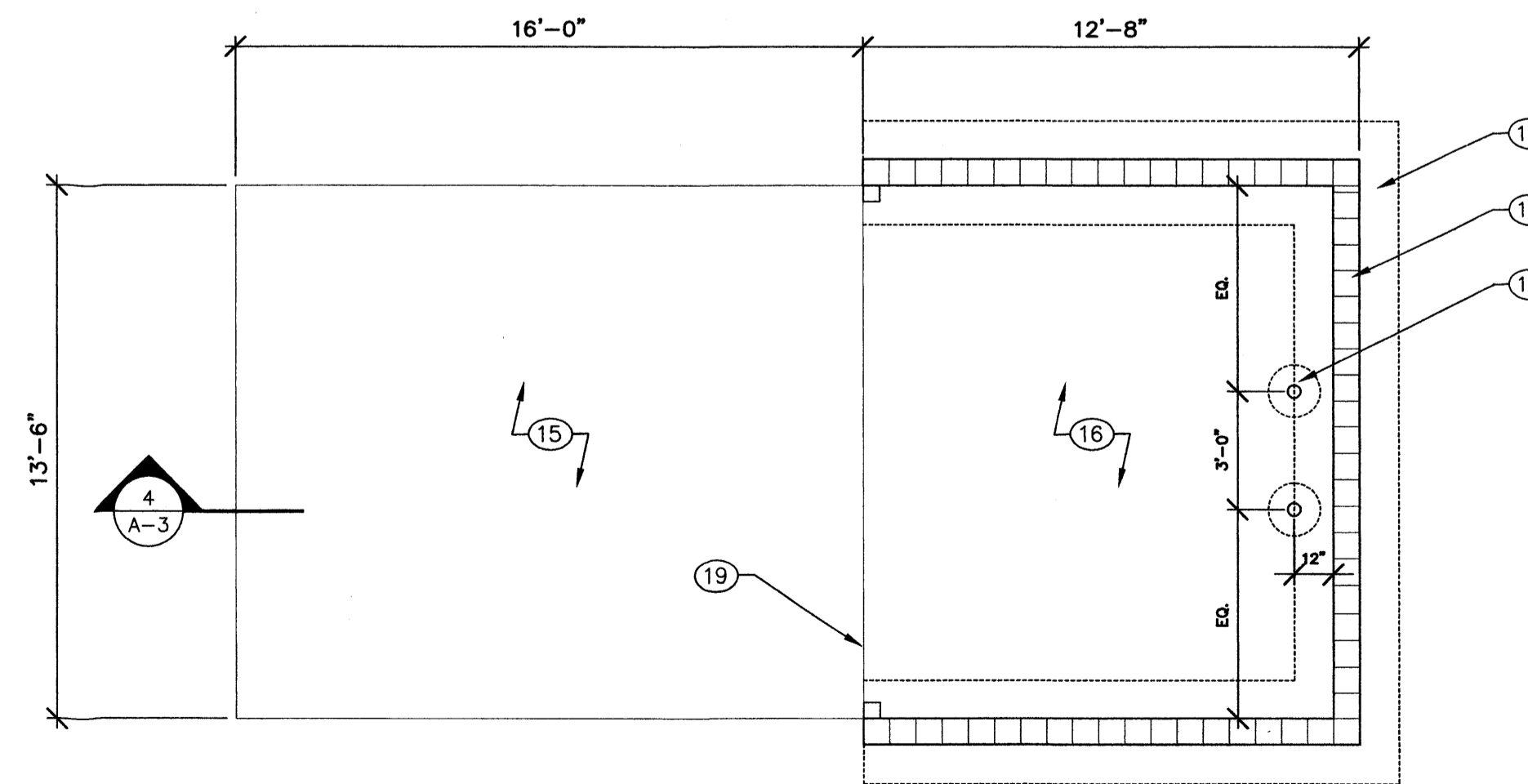
4 SECTION • TRASH ENCLOSURE
A-3 scale: 3/8"=1'-0"



5 SECTION • BIKE RACK
A-3 scale: 3/8"=1'-0"



6 ACCESSIBLE PARKING SIGN
A-3 scale: 3/4"=1'-0"

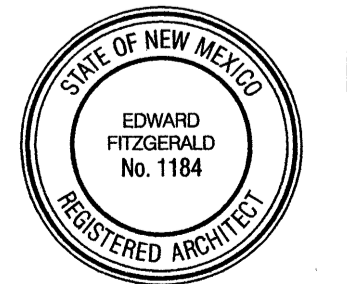


7 ENLARGED TRASH ENCLOSURE PLAN
A-3 scale: 1/4"=1'-0"

SITE DETAILS

FLYING STAR / CORRALES CAFE / RETAIL / OFFICE
Corrales Road NW
Albuquerque, New Mexico

EDWARD FITZGERALD ARCHITECTS 121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 8 7 1 0 8 TEL 505.268.9055 FAX 505.265.2696	date:
	drawn by: JTP / EF
	A-3
	4 sequence no. of 4



PLANT LEGEND

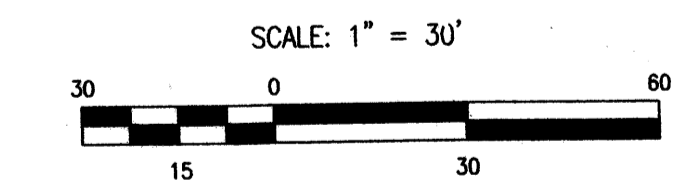
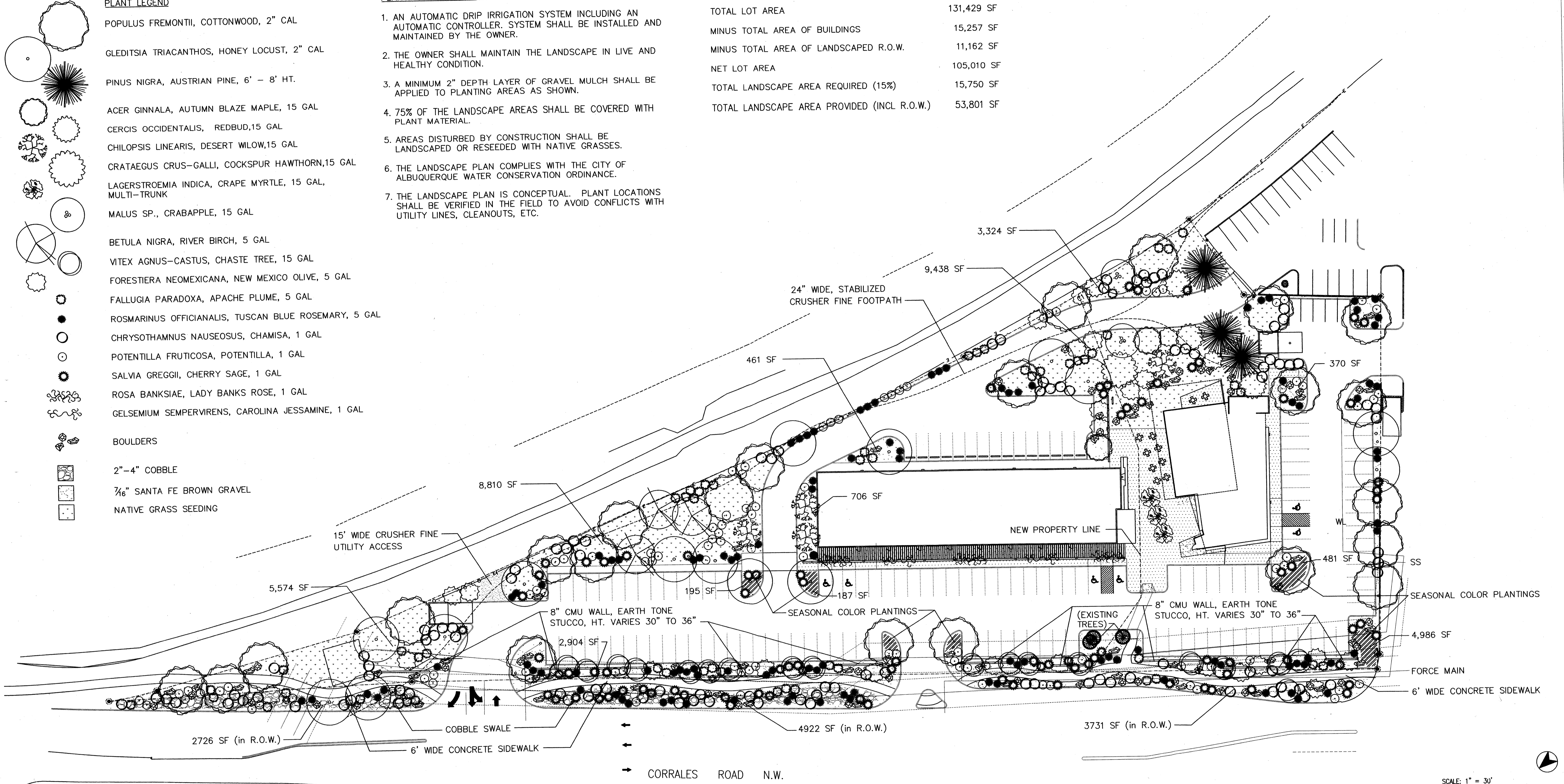
- POPULUS FREMONTII, COTTONWOOD, 2" CAL
- GLEDITSIA TRIACANTHOS, HONEY LOCUST, 2" CAL
- PINUS NIGRA, AUSTRIAN PINE, 6' - 8' HT.
- ACER GINNALA, AUTUMN BLAZE MAPLE, 15 GAL
- CERCIS OCCIDENTALIS, REDBUD, 15 GAL
- CHILOPSIS LINEARIS, DESERT WILLOW, 15 GAL
- CRATAEGUS CRUS-GALLI, COCKSPUR HAWTHORN, 15 GAL
- LAGERSTROEMIA INDICA, CRAPE MYRTLE, 15 GAL, MULTI-TRUNK
- MALUS SP., CRABAPPLE, 15 GAL
- BETULA NIGRA, RIVER BIRCH, 5 GAL
- VITEX AGNUS-CASTUS, CHASTE TREE, 15 GAL
- FORESTIERA NEOMEXICANA, NEW MEXICO OLIVE, 5 GAL
- FALLUGIA PARADOXA, APACHE PLUME, 5 GAL
- ROSMARINUS OFFICINALIS, TUSCAN BLUE ROSEMARY, 5 GAL
- CHRYSOTHAMNUS NAUSEOSUS, CHAMISA, 1 GAL
- POTENTILLA FRUTICOSA, POTENTILLA, 1 GAL
- SALVIA GREGGII, CHERRY SAGE, 1 GAL
- ROSA BANKSAE, LADY BANKS ROSE, 1 GAL
- GELSEMIUM SEMPERVIRENS, CAROLINA JESSAMINE, 1 GAL
- BOULDERS
- 2"-4" COBBLE
- 7/16" SANTA FE BROWN GRAVEL
- NATIVE GRASS SEEDING

PLANTING AND IRRIGATION NOTES

1. AN AUTOMATIC DRIP IRRIGATION SYSTEM INCLUDING AN AUTOMATIC CONTROLLER. SYSTEM SHALL BE INSTALLED AND MAINTAINED BY THE OWNER.
2. THE OWNER SHALL MAINTAIN THE LANDSCAPE IN LIVE AND HEALTHY CONDITION.
3. A MINIMUM 2" DEPTH LAYER OF GRAVEL MULCH SHALL BE APPLIED TO PLANTING AREAS AS SHOWN.
4. 75% OF THE LANDSCAPE AREAS SHALL BE COVERED WITH PLANT MATERIAL.
5. AREAS DISTURBED BY CONSTRUCTION SHALL BE LANDSCAPED OR RESEEDED WITH NATIVE GRASSES.
6. THE LANDSCAPE PLAN COMPLIES WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE.
7. THE LANDSCAPE PLAN IS CONCEPTUAL. PLANT LOCATIONS SHALL BE VERIFIED IN THE FIELD TO AVOID CONFLICTS WITH UTILITY LINES, CLEANOUTS, ETC.

AREA CALCULATIONS

TOTAL LOT AREA	131,429 SF
MINUS TOTAL AREA OF BUILDINGS	15,257 SF
MINUS TOTAL AREA OF LANDSCAPED R.O.W.	11,162 SF
NET LOT AREA	105,010 SF
TOTAL LANDSCAPE AREA REQUIRED (15%)	15,750 SF
TOTAL LANDSCAPE AREA PROVIDED (INCL R.O.W.)	53,801 SF



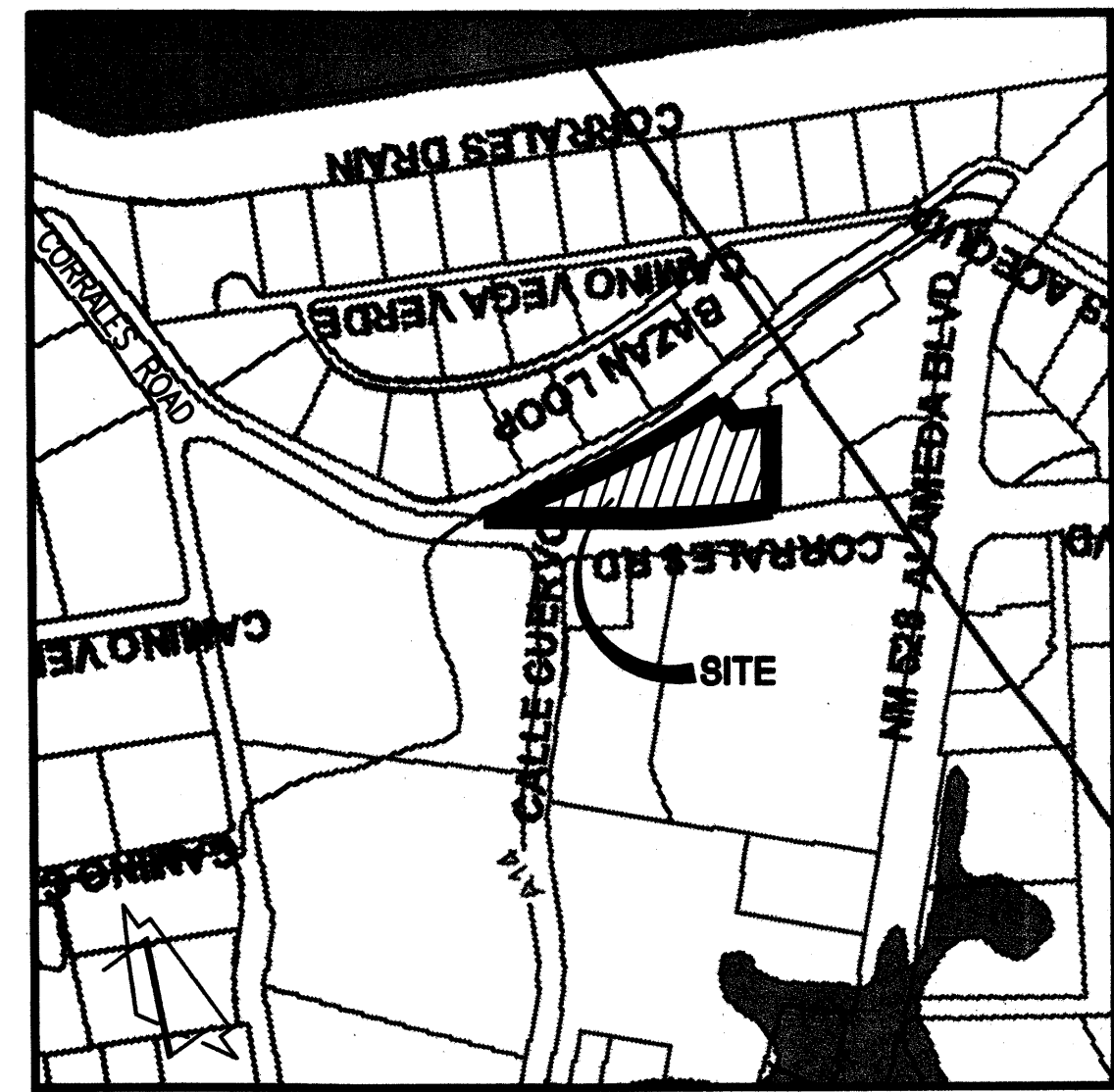
FLYING STAR / CORRALES
 CAFE / RETAIL / OFFICE
 Corrales Road NW
 Albuquerque, New Mexico

NEW MEXICO UTILITIES INC.
 PLAN APPROVAL
 BOB [Signature] DATE 12-17-04

WESTWIND LANDSCAPE
 CONSTRUCTION INC.

2739 VASSAR PLACE NE
 ALBUQUERQUE, NEW MEXICO
 8 7 1 0 7
 TEL 505.881.8925
 FAX 505.883.7052

date: 16 DEC 2004
 drawn by: SM
 L-1
 1
 sequence no. of: 1



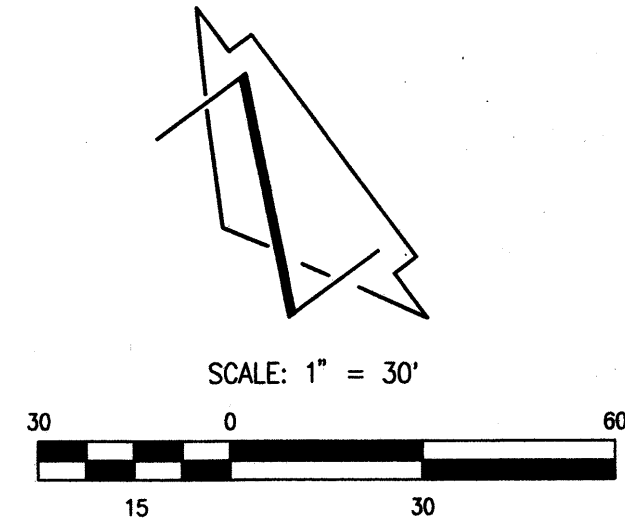
MUNICIPALITY MAP/FIRM
NOT TO SCALE

EROSION CONTROL MEASURES:

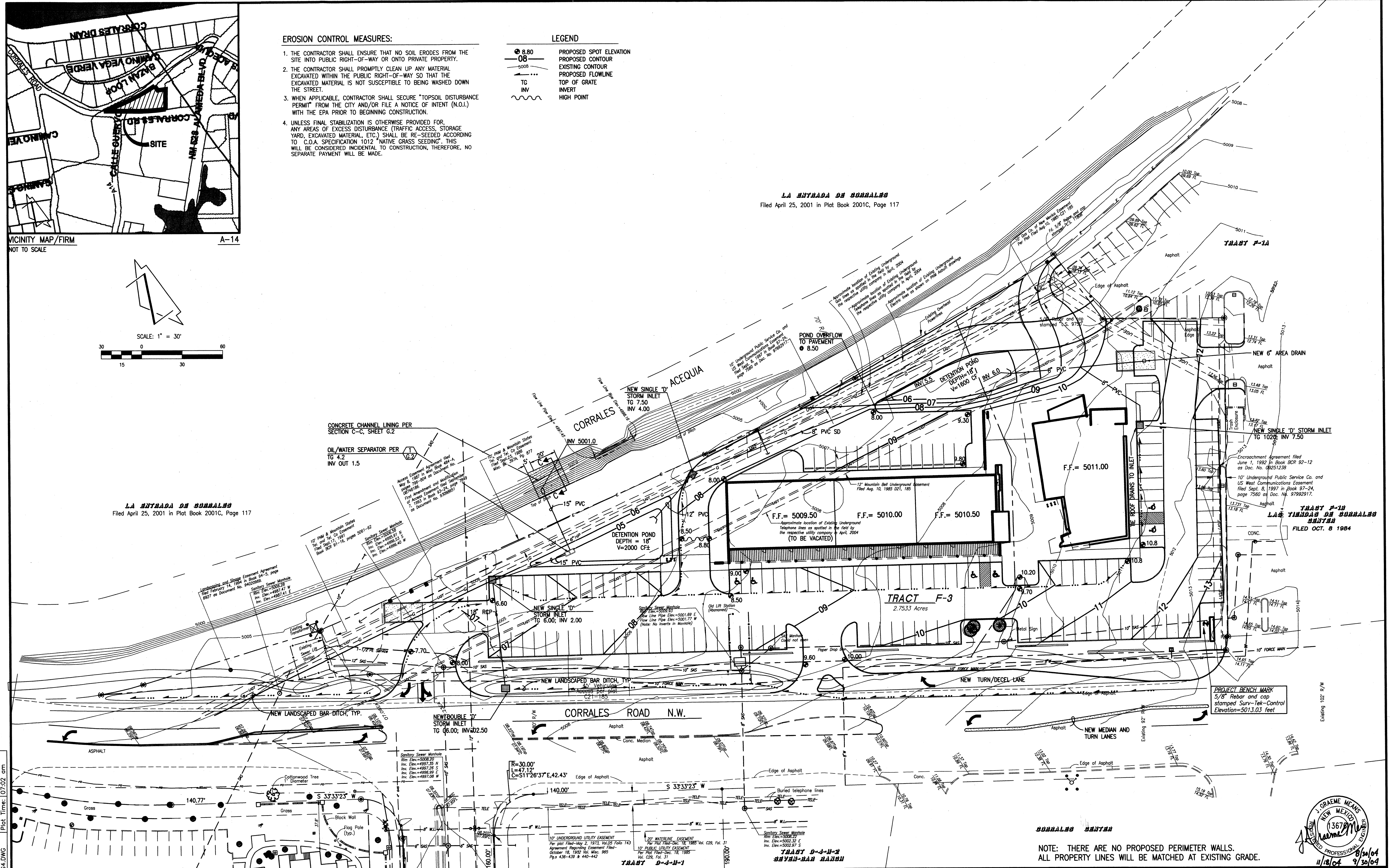
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

LEGEND

- 8.80 PROPOSED SPOT ELEVATION
- 08 PROPOSED CONTOUR
- - - 5008 EXISTING CONTOUR
- ···· PROPOSED FLOWLINE
- TG TOP OF GRATE
- INV INVERT
- HIGH POINT



LA ENTRADA DE CORRALES
Filed April 25, 2001 in Plat Book 2001C, Page 117



Plot Date: 11-18-2004
 Plot Time: 07:02 am
 File Name: E:\MVA\WORK\40552CG4.DWG

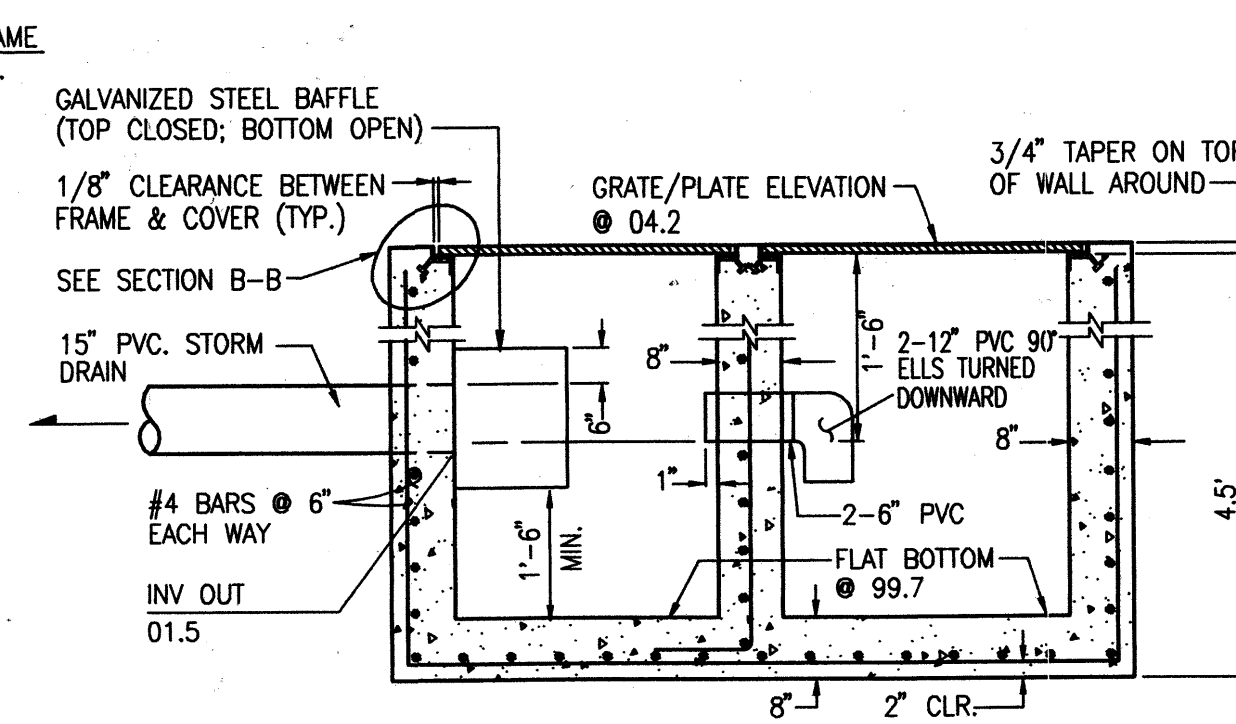
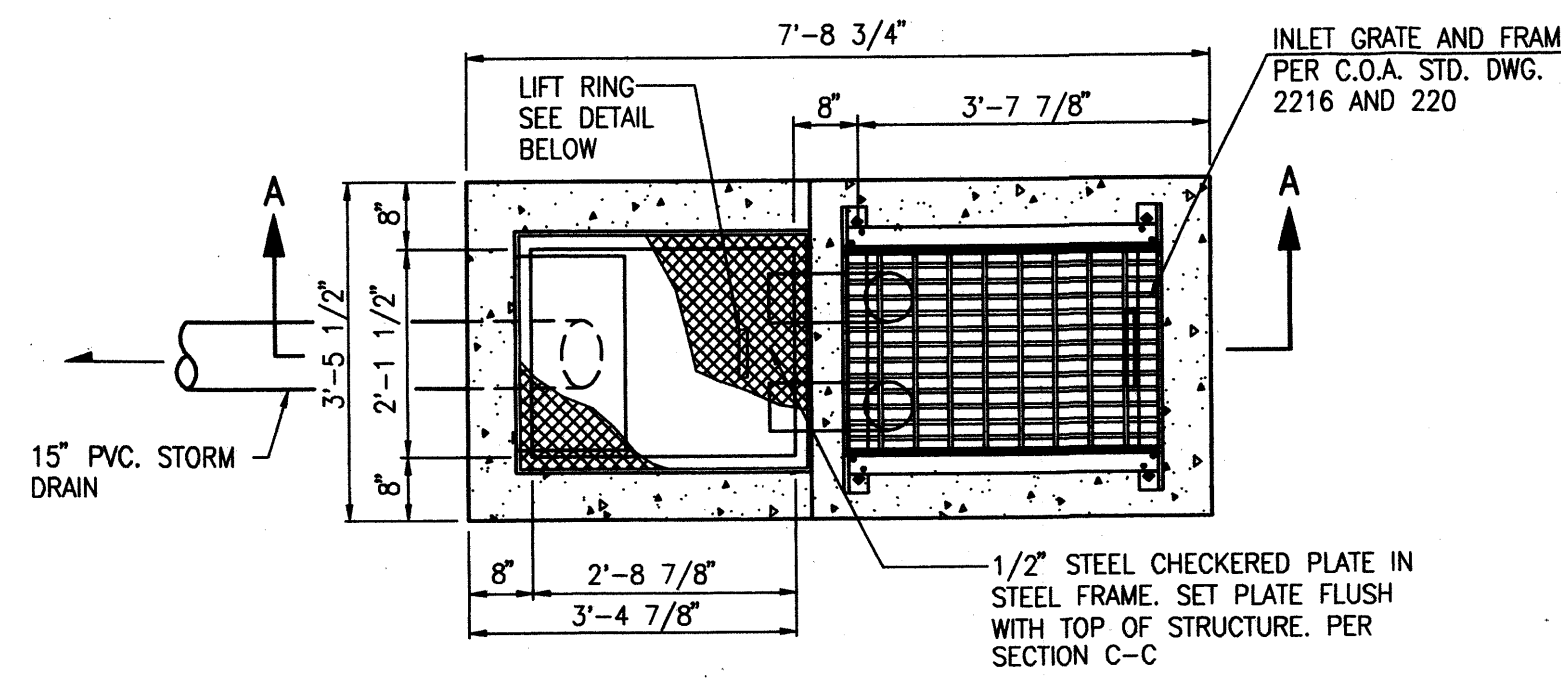
JMA
 JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (C62) 345-4250
 FAX: 505 345-4254 □ ESTABLISHED 1977

**CONCEPTUAL GRADING PLAN
FLYING STAR CORRALES**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.				2004.055.2
DRAWN BY				DATE
S.G.H.				08-2004
APPROVED BY				SHEET
G.M.				G.1

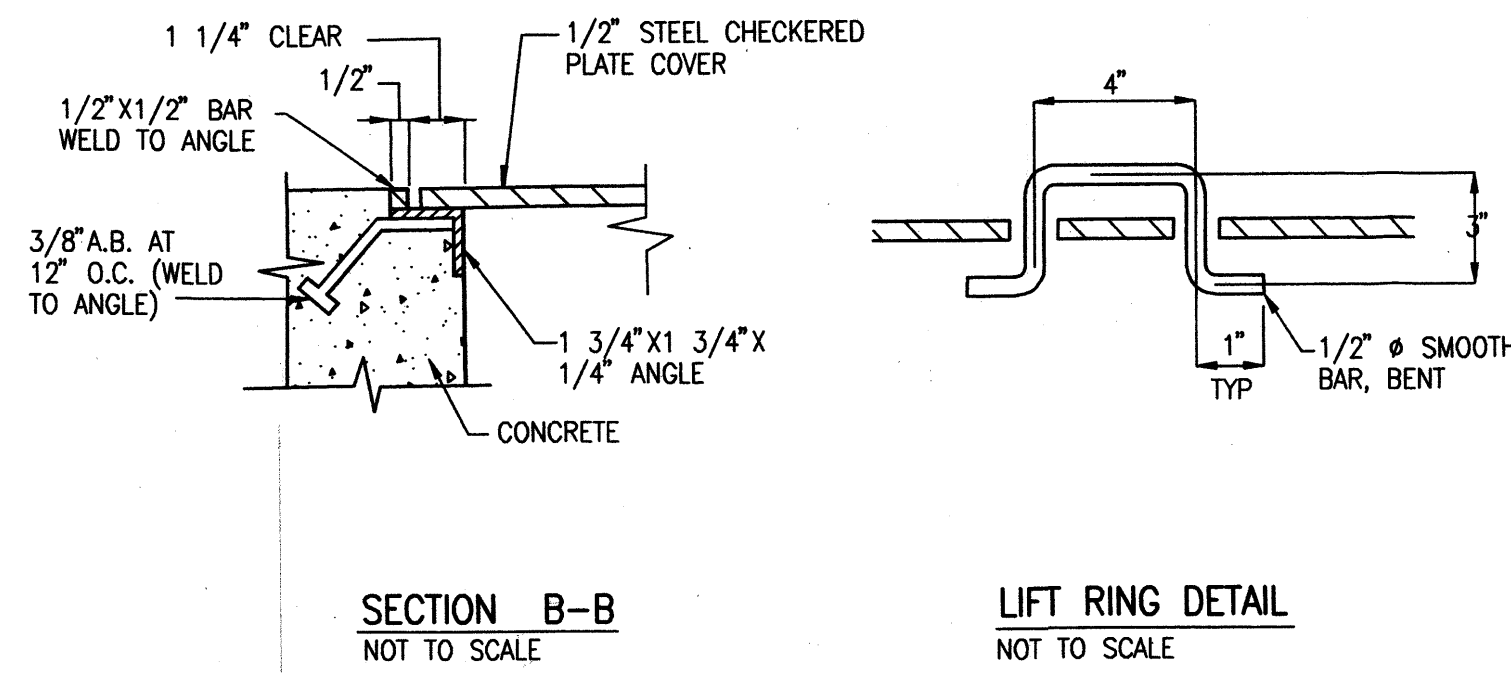
GRAEME MEANS
 NEW MEXICO
 13679
 PROFESSIONAL ENGINEER
 11/18/04 9/30/04

NOTE: THERE ARE NO PROPOSED PERIMETER WALLS.
ALL PROPERTY LINES WILL BE MATCHED AT EXISTING GRADE.



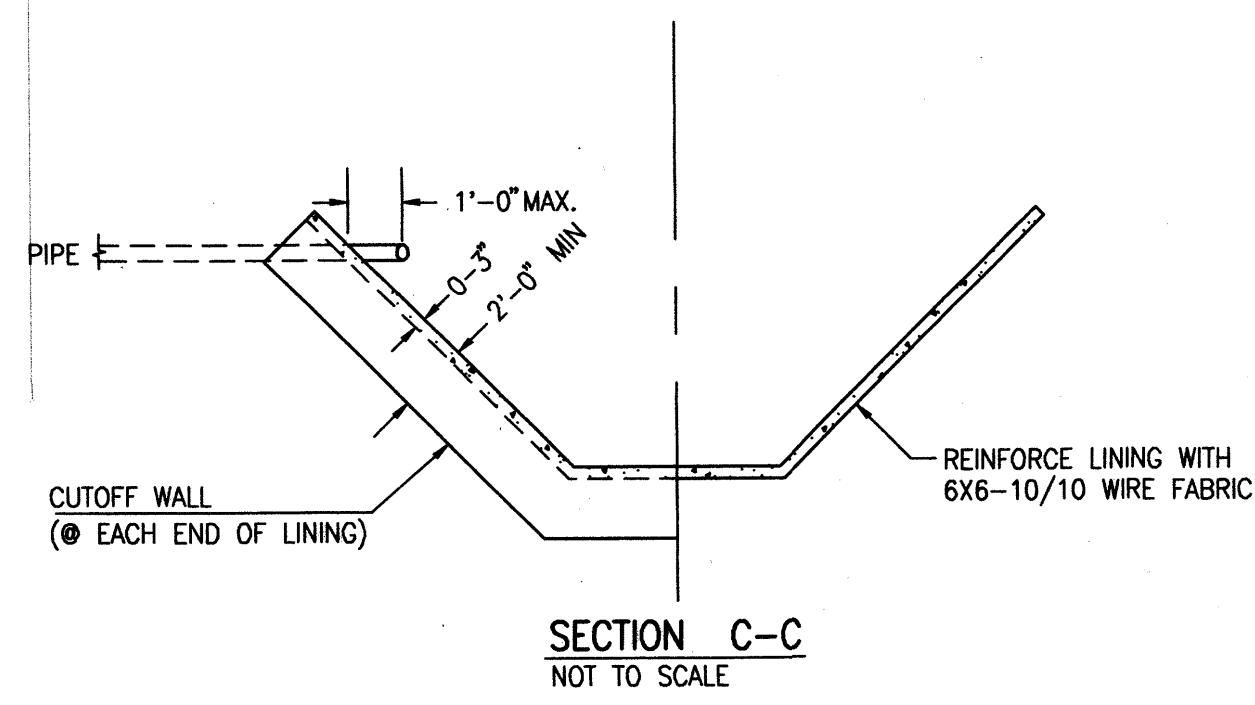
DETAIL 1 OIL / WATER SEPARATOR - PLAN
SCALE: 1" = 2"

SECTION A-A

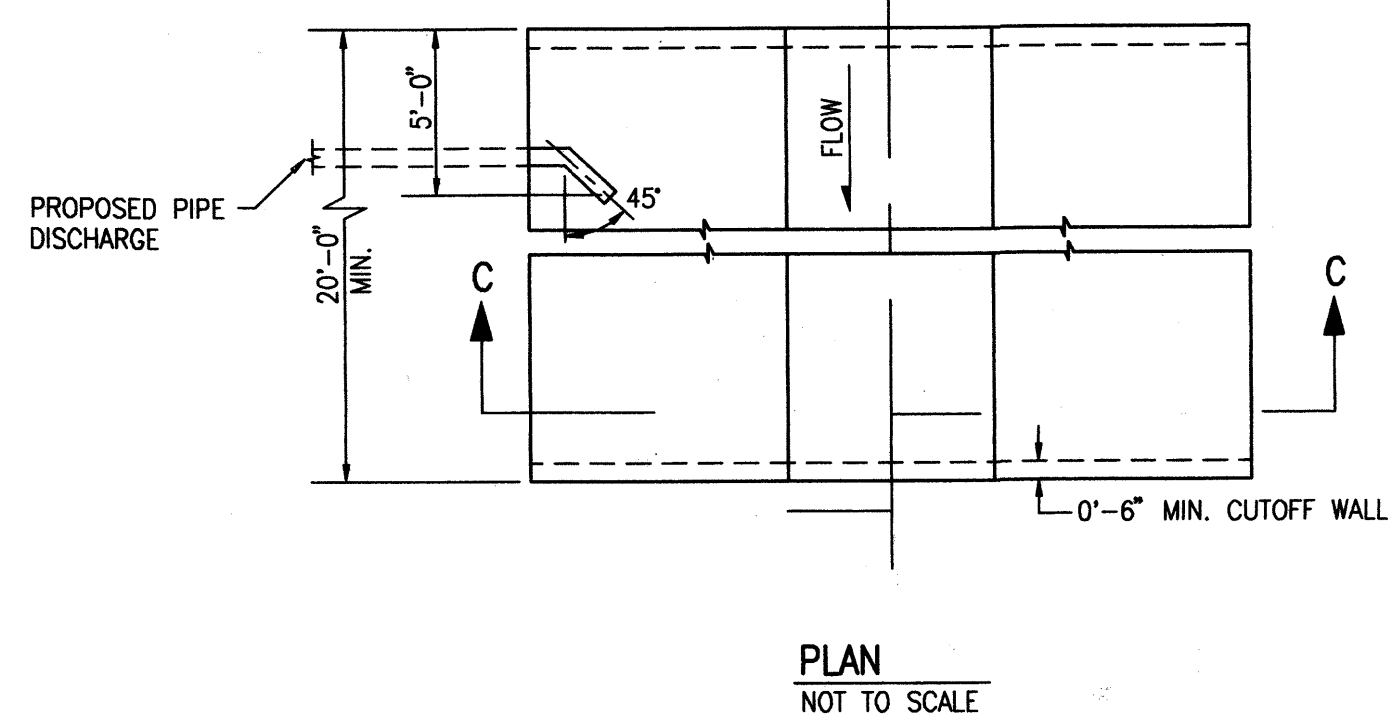


SECTION B-B
NOT TO SCALE

LIFT RING DETAIL
NOT TO SCALE



SECTION C-C
NOT TO SCALE



PLAN
NOT TO SCALE

NOTES:

- DISCHARGE STRUCTURE SHALL CONFORM TO THE MINIMUM STANDARDS BELOW
- BOTTOM WIDTH TO MATCH EXISTING CHANNEL.
- SIDE SLOPES TO MATCH EXISTING SLOPE.
- INVERT TO BE AT EXISTING BOTTOM.
- 3000 PSI CONCRETE TO BE USED.
- TOP OF LINING TO BE A MINIMUM OF 12" ABOVE HIGH WATER BUT NOT LESS 12" ABOVE TOP OF DISCHARGE PIPE.
- PIPE SHALL NOT EXTEND MORE THAN 12" BEYOND FACE OF LINING

5.0 DESIGN CRITERIA

- 5.1 MINIMUM STANDARDS - DRAINS REQUIRED TO ACCOMMODATE SURFACE RUNOFF SHALL RECEIVE STRUCTURES CONFORMING TO THE REQUIREMENTS SHOWN ON SECTION D-D AT LEFT.
- 5.2 SIDE SLOPE DISCHARGE - STORM SEWER DISCHARGE ONTO THE SIDE SLOPES OF THE DRAIN PRISM SHALL CONFORM TO THE REQUIREMENTS SHOWN ON SECTION D-D AT LEFT.
- 5.3 N/A
- 5.4 COMPACTED BACKFILL - BACKFILL FOR CUTS OR EXCAVATION IN DRAINS SHALL BE THOROUGHLY COMPACTED TO THE SATISFACTION OF THE BUREAU OF RECLAMATION. TO MEET THIS REQUIREMENT, COMPACTION DENSITY (DRY) OF THE SOIL FRACTION IN THE COMPACTED MATERIAL SHALL BE NOT LESS THAN 90 PERCENT OF LABORATORY STANDARD SOIL DENSITY AS DETERMINED BY THE ASTM PROCTOR COMPACTION TEST.

CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED FLYING STAR CAFE AND RETAIL/OFFICE BUILDING ARE LOCATED JUST SOUTH OF THE CORRALES/ALBUQUERQUE BORDER. THE SITE IS ZONED SU-1 AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH EPC AND DRB. THE SITE IS CURRENTLY UNDEVELOPED AND DRAINS IN AN UNCONTROLLED SHEETFLOW MANNER TO THE MRGCD OWNED CORRALES ACEQUIA. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE IS TO RESTRICT SITE DISCHARGE TO A PEAK RATE EQUAL TO THE EXISTING RATE THROUGH DETENTION PONDING. THE DISCHARGE WILL BE CONTROLLED AND RELEASED VIA STORM DRAIN PIPE DISCHARGING THROUGH AN OIL/WATER SEPARATOR TO THE ACEQUIA. THE ACEQUIA WILL BE CONCRETE LINED AT THE DISCHARGE POINT IN ACCORDANCE WITH MRGCD AND BUREAU OF RECLAMATION STANDARDS. A PLATTING ACTION WILL SUPPORT THE VACATION OF EXISTING EASEMENTS AND THE SUBDIVISION OF THE TRACT INTO TWO LOTS. THE PURPOSE OF THIS CONCEPTUAL GRADING AND DRAINAGE PLAN IS TO OBTAIN SITE DEVELOPMENT PLAN FOR SUBDIVISION AND SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVALS. THIS PLAN IS ALSO BEING SUBMITTED TO THE MRGCD TO EVALUATE THE PROPOSED DISCHARGE TO THEIR RIGHT OF WAY.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP A-14 LOCATED HEREON, THE SITE IS LOCATED ON THE EAST SIDE OF CORRALES ROAD, NORTH OF ALAMEDA. THE EXISTING LEGAL DESCRIPTION IS TRACT F3, LAS TIENDAS DE CORRALES CENTER. THE SITE IS ZONED SU-1/-P AND THE PROPOSED USES ARE CONSISTENT WITH THE ZONING AND SURROUNDING USES.

AS SHOWN BY PANEL 109 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THIS SITE DOES LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS AND RESEARCH

THE CITY OF ALBUQUERQUE HYDROLOGY FILES WERE RESEARCHED TO DETERMINE THE APPROPRIATE DRAINAGE CONCEPT FOR THIS SITE. THE ORIGINAL MASTER DRAINAGE PLAN FOR THE LAS TIENDAS DE CORRALES SHOPPING CENTER WAS PREPARED BY ESPY-HUSTON & ASSOCIATES, DATED MAY, 1983. A SUBSEQUENT REVISION WAS PREPARED BY VOGT & BYRNES DATED 10/25/1989. BOTH PLANS SHOWED THE PROPOSED SITE DRAINAGE CONCEPT AS DRAINING TO A DETENTION POND AT THE NORTH END OF THE SITE AND TO LIMIT DISCHARGE TO EXISTING RATES. THE POND WAS SUPPOSED TO RELEASE VIA STORM DRAIN PIPE UNDER THE ACEQUIA AND OUTLET AS SURFACE RUNOFF TO THE UNDEVELOPED AREA EAST OF THE CORRALES ACEQUIA. THIS AREA IS NOW DEVELOPED AS A BERNALILLO COUNTY RESIDENTIAL SUBDIVISION AND NO APPARENT PROVISIONS HAVE BEEN MADE TO ACCEPT THE DISCHARGE. IN A PRE-DESIGN CONFERENCE WITH THE CITY OF ALBUQUERQUE, BRAD BINGHAM INDICATED THAT THE PREFERRED DISCHARGE WAS TO THE ACEQUIA WITH MRGCD PERMISSION. BRAD ALSO INDICATED THAT IF THE MRGCD APPROVAL CAN NOT BE OBTAINED, THEN RETENTION PONDING WOULD BE ALLOWED FOR THIS SITE.

PRE-DESIGN TELEPHONE CONFERENCES WERE CONDUCTED WITH AMAFCA AND THE MRGCD WITH RESPECT TO DISCHARGE REQUIREMENTS FOR THE CORRALES ACEQUIA. LYNN MAZUR AT AMAFCA INDICATED THAT THEY DO NOT MANAGE THE CORRALES ACEQUIA NORTH OF ALAMEDA BLVD. AND THAT THIS PROJECT WAS OUT OF THEIR JURISDICTION. RAY GOMEZ OF THE MRGCD INDICATED THAT THERE WAS NOT A STANDARD DISCHARGE POLICY FOR THIS REACH OF THE FACILITY, AND THAT SUBMITTAL OF A GRADING AND DRAINAGE PLAN WOULD BE REQUIRED TO EVALUATE STORMWATER DISCHARGE TO THE ACEQUIA

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED. AN ABANDONED SANITARY SEWER LIFT STATION IS LOCATED NEAR THE NMDOT RIGHT OF WAY. THE SITE SHEET DRAINS FROM THE SOUTHWEST TO NORTHEAST AND ENTERS THE CORRALES ACEQUIA IN AN UNCONTROLLED MANNER. THE LAS TIENDAS DE CORRALES SHOPPING CENTER TO THE SOUTH IS DEVELOPED AS A SHOPPING CENTER AND DISCHARGES ITS RUNOFF TO THE ACEQUIA THROUGH AN OIL/WATER SEPARATOR. CORRALES ROAD TO THE WEST IS A DEVELOPED STREET MAINTAINED BY THE NMDOT. IT IS A PAVED ROAD WITH A NORMAL CROWN AND DOES NOT HAVE CURB AND GUTTER. RUNOFF FROM THE STATE ROW THEREFORE ENTERS THE SITE.

V. DEVELOPED CONDITIONS

THE PROPOSED IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF 2 BUILDINGS. ONE WILL BE OFFICE AND RETAIL USES, AND THE SECOND, SMALLER BUILDING WILL BE A FLYING STAR CAFE. THE PROPOSED SITE DRAINAGE CONCEPT IS TO DIVERT ALL DEVELOPED RUNOFF THROUGH TWO ON-SITE DETENTION PONDS. THESE PONDS WILL BE INTERCONNECTED AND SITE RUNOFF WILL BE DISCHARGED TO THE CORRALES ACEQUIA THROUGH AN OIL/WATER SEPARATOR. DISCHARGE WILL BE LIMITED TO LESS THAN OR EQUAL TO THE EXISTING RATE. THE CORRALES ACEQUIA WILL BE CONCRETE LINED AT THE DISCHARGE POINT. THIS WORK WILL REQUIRE MRGCD APPROVAL AND A LICENSE. THE WORK WILL BE PERFORMED DURING THE NON-IRRIGATION SEASON.

ACCESS IMPROVEMENTS WITHIN NMDOT RIGHT OF WAY WILL BE REQUIRED TO SERVE THIS SITE. THEY WILL REQUIRE NMDOT APPROVAL AND ACCESS PERMITS. EXISTING RUNOFF FROM CORRALES ROAD CURRENTLY SHEET FLOWS ONTO THE SITE. IT IS PROPOSED HEREIN TO CONSTRUCT A LANDSCAPED BAR DITCH TO CONVEY RUNOFF IN THE SITE FRONTAGE.

A NEW STORM DRAIN INLET WILL BE CONSTRUCTED IN THE BAR DITCH IMMEDIATELY SOUTH OF THE NORTH ENTRANCE TO INTERCEPT THE DITCH RUNOFF AND CONVEY IT THROUGH THE POND AND SEPARATOR TO ITS EXISTING OUTFALL IN THE ACEQUIA. OFFSITE FLOWS WILL THEREFORE BE ACCEPTED AND CONVEYED.

VI. CONCEPTUAL GRADING PLAN

THE GRADING PLAN ON SHEET G.1 OF THIS SUBMITTAL SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1' 0" INTERVALS FROM A 2004 SURVEY BY SURV-TEK, 2) PROPOSED GRADES INDICATED BY FINISHED FLOOR ELEVATIONS, SPOT ELEVATIONS, AND CONTOURS AT 1' 0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. SITE DISCHARGE WILL BE LIMITED TO EXISTING FLOW RATES THROUGH DETENTION PONDING.

VIII. CONCLUSIONS

1) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN TO PROPOSED SHALLOW ON-SITE DETENTION PONDS AND OUTLET VIA OIL/WATER SEPARATOR TO THE CORRALES ACEQUIA WHICH WILL BE CONCRETE LINED AT THE DISCHARGE POINT. THIS DISCHARGE WILL REQUIRE MRGCD APPROVAL AND IS CONSISTENT WITH THE DRAINAGE CONCEPT FOR THE EXISTING PORTIONS OF THE SHOPPING CENTER. 2) THE STREET RIGHT-OF-WAY FRONTAGE WILL BE IMPROVED WITH A DEVELOPED BAR DITCH THAT WILL DRAIN TO A PROPOSED STORM INLET. THIS INLET WILL DRAIN TO THE ON-SITE STORMWATER SYSTEM. OFFSITE FLOWS WILL THEREFORE BE ACCEPTED AND CONVEYED TO THEIR EXISTING OUTFALL IN AN IMPROVED AND CONTROLLED MANNER. 3) A FORTHCOMING PLATTING ACTION AND INFRASTRUCTURE LIST TO SUPPORT THIS PROJECT WILL BE REVIEWED AND APPROVED AT DRB. THE DRB REQUEST WILL ALSO INCLUDE A VACATION REQUEST FOR MISCELLANEOUS ON-SITE EASEMENTS 4) THERE ARE NO DPM DESIGN VARIANCES, DRAINAGE EASEMENTS OR DRAINAGE COVENANTS ANTICIPATED AT THIS TIME. 5) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR BUILDING PERMIT APPROVAL.

CALCULATIONS

I. PRECIPITATION ZONE = 1

II. $P_{6,100} = P_{360} = 2.20$

III. TOTAL AREA (A_T) = 2.7533 AC

IV. EXISTING LAND TREATMENT

TREATMENT AREA (AC)	%
C	2.7533
	100

V. DEVELOPED LAND TREATMENT

TREATMENT AREA (AC)	%
B	0.55
C	0.27
D	1.9333
	70

VI. EXISTING CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_C A_C) / A_T$$

$$E_w = [2.7533(0.99)] / 2.7533 = 0.99 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (.99 / 12) 2.7533 = 0.2271 \text{ ac-ft} = 9900 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = (2.87) 2.7533 = 7.9 \text{ cfs}$$

VII. DEVELOPED CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(0.55) + 0.99(.27) + 1.97(1.9333)] / 2.7533 = 1.61 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (1.61 / 12) 2.7533 = 0.3703 \text{ ac-ft} = 16140 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = 2.03(0.55) + 2.87(0.27) + 4.37(1.9333) = 10.3 \text{ cfs}$$

VIII. COMPARISON

A. VOLUME

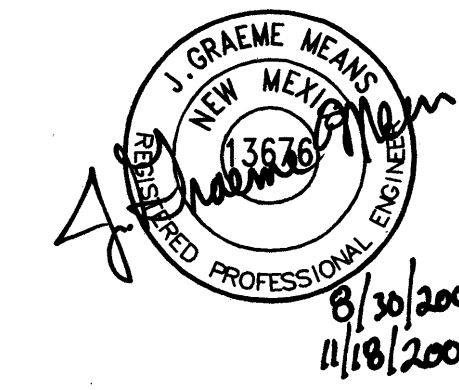
$$\Delta V_{100} = 16140 - 9900 = 6240 \text{ CF (INCREASE)}$$

B. PEAK DISCHARGE

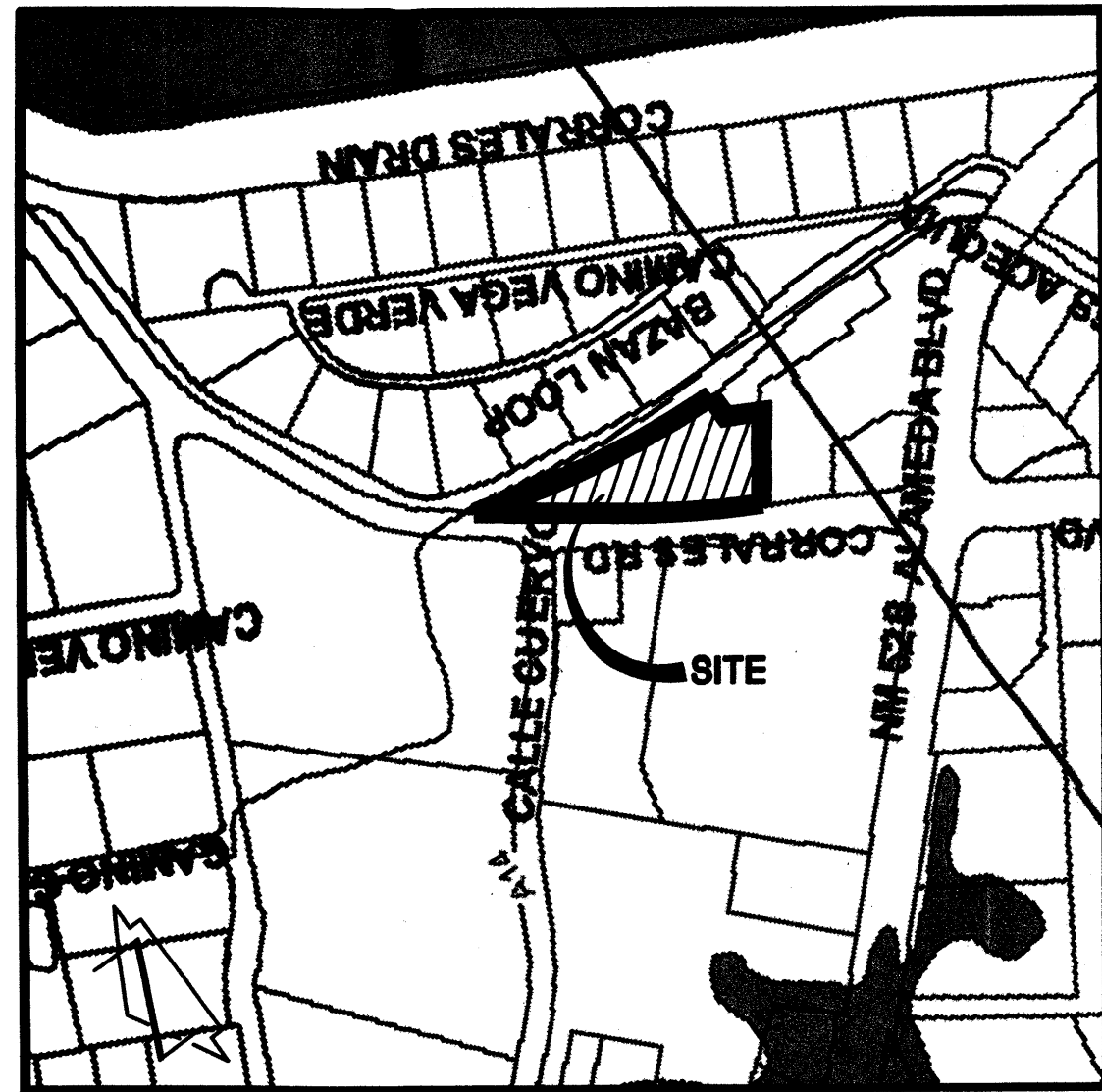
$$\Delta Q_{100} = 10.3 - 7.9 = 2.4 \text{ cfs (INCREASE)}$$

M.R.G.C.D. GENERAL CONSTRUCTION NOTES:

1. ANY WORK TO BE PERFORMED WITHIN THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT (MRGCD) RIGHT-OF-WAY SHALL BE CLOSELY COORDINATED WITH THE MRGCD ENGINEERING DEPARTMENT AND APPROPRIATE FIELD OFFICE. PHONE: (505) 247-0234.
2. NO WORK IS TO BE DONE ON FACILITIES OR STRUCTURES BELONGING TO OR OPERATED BY THE MRGCD BETWEEN MARCH 1 AND OCTOBER 31 INCLUSIVE. HOWEVER, WORK MAY BE PERMITTED BY THE MRGCD IF IT CAN BE SHOWN THAT THE WORK WILL NOT INTERFERE WITH OPERATIONS OF THE MRGCD FACILITY. ALL WORK TO BE DONE WITHIN THE MRGCD FACILITIES MUST BE APPROVED BY THE MRGCD ENGINEER PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL NOT STORE EQUIPMENT, NEW MATERIALS OR DEBRIS WITHIN DISTRICT RIGHT-OF-WAY WHICH MAY INTERFERE WITH OPERATIONS AND MAINTENANCE OF THE MRGCD FACILITY.
4. THE CONTRACTOR SHALL NOT SERVICE VEHICLES OR EQUIPMENT WITHIN MRGCD RIGHT-OF-WAY.
5. SEEDING OF DISTURBED AREAS WITHIN MRGCD RIGHT-OF-WAYS IS REQUIRED PER THE MRGCD SEEDING SPECIFICATIONS.
6. THE CONTRACTOR MUST MAINTAIN A MINIMUM COVER OF 3' OVER ALL CULVERT CROSSINGS USED FOR ACCESS TO THE PROJECT SITE.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND OR REPLACEMENT OF ANY STRUCTURES REMOVED AND OR DAMAGED DUE TO THE CONTRACTORS ACTIVITIES WITHIN THE DISTRICTS RIGHT-OF-WAY. SHOULD ANY TURNOUTS, CULVERT PIPES AND OR STRUCTURES REQUIRE REPLACEMENT DUE TO LEAKAGE AND OR DAMAGE BY THE CONTRACTOR, NEW TURNOUTS, AND NEW CULVERT PIPES AND OR NEW STRUCTURES SHALL REPLACE THE DAMAGED ITEM. REPAIRS AND OR REPLACEMENTS WITHIN THE DISTRICTS RIGHT-OF-WAY MUST COMPLY WITH THE DISTRICTS SPECIFICATIONS.
8. ALL DAMAGED CULVERT CROSSINGS AND CULVERT CROSSINGS REMOVED AND OR DISTURBED MUST BE RESTORED AND/OR REPLACED TO THE SATISFACTION OF THE MRGCD AND COMPLY WITH MRGCD SPECIFICATIONS.
9. ALL SALVAGEABLE CULVERTS, IRRIGATION GATES, ETC. MUST BE RETURNED TO THE MRGCD.
10. THE CONTRACTOR IS RESPONSIBLE FOR EXECUTING A "SPECIAL USE LICENSE AGREEMENT" WITH THE MRGCD PRIOR TO CONSTRUCTION.



DESIGNED BY	MD	DATE	BY	REVISIONS	JOB NO.
G.M.					2004.055.2
DRAWN BY	R.R.W.				DATE
APPROVED BY	G.M.				08-2004
					SHEET
					G.2



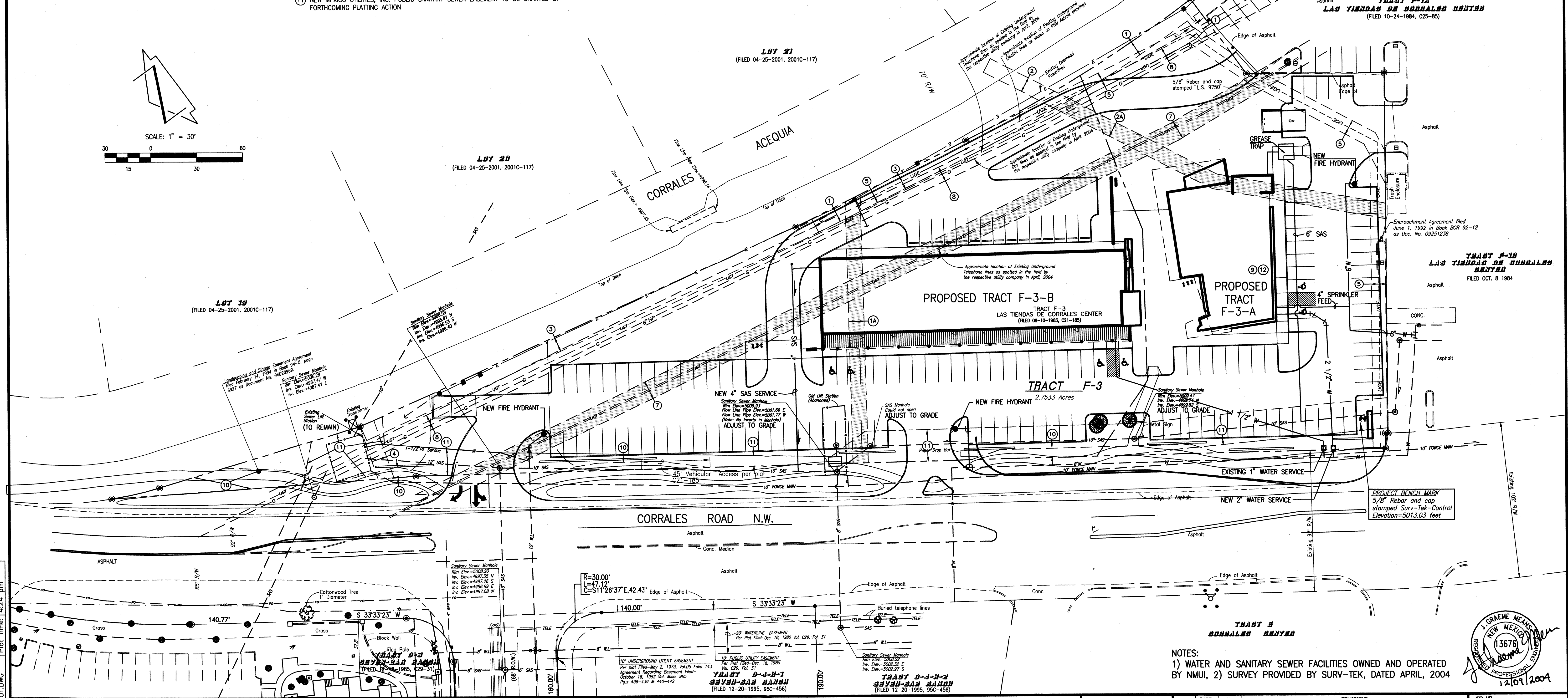
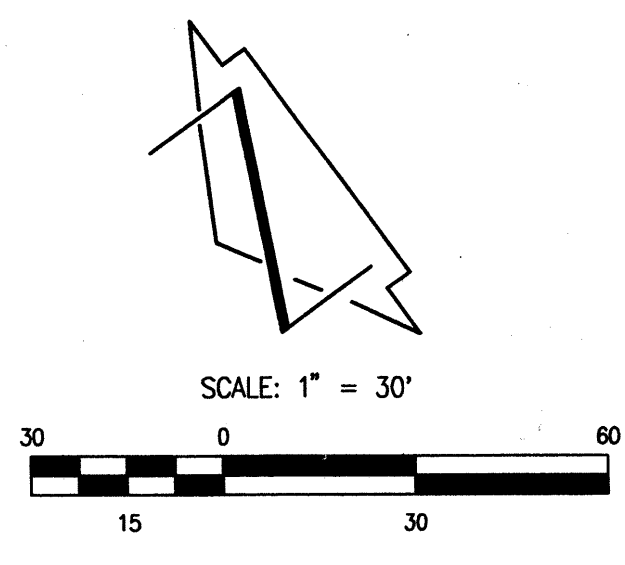
VICINITY MAP/FIRM
NOT TO SCALE
A-14

- EXISTING EASEMENTS TO REMAIN**
- ① REMAINING PORTION PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 04-09-1984, BOOK MISC. 105A, PAGE 728, DOC. #8425506; AMENDED BY WAIVER AND PARTIAL RELEASE OF EASEMENT (PNM ONLY) FILED 09-08-1997, BOOK 97-24, PAGE 7570, DOC. #97092922
 - ② REMAINING PORTION PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 05-15-1986, BOOK MISC. 352A, PAGE 111, DOC. #8643214; AMENDED BY WAIVER AND PARTIAL RELEASE OF EASEMENT (PNM ONLY) FILED 09-08-1997, BOOK 97-24, PAGE 7572, DOC. #97092923
 - ③ PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 09-23-1986, BOOK MISC. 397A, PAGE 877, DOC. #8691137
 - ④ PNM AND MST&T UNDERGROUND EASEMENT GRANTED BY DOCUMENT FILED 09-17-1991, BOOK BCR 91-16, PAGE 5061, DOC. #91077850
 - ⑤ PNM AND US WEST COMMUNICATIONS UNDERGROUND EASEMENT GRANTED BY DOCUMENT FILED 09-08-1997, BOOK 97-24, PAGE 7560, DOC. #97092917
 - ⑥ 45' VEHICULAR ACCESS TO CORRALES ROAD PERMITTED ONLY AT THIS LOCATION PER PLAT C21-185. LOCATION TO BE MODIFIED BY THE SITE DEVELOPMENT PLAN TO BE APPROVED IN CONJUNCTION WITH THIS PROJECT (EPC CASE #1000676).
 - ⑧ 10' GAS COMPANY OF NEW MEXICO EASEMENT GRANTED BY PLAT C21-185
 - ⑫ RECIPROCAL ACCESS EASEMENT OVER TRACTS F-1, F-2 AND F-3, LAS TIENDAS DE CORRALES CENTER AS NOTED ON PLAT C21-185

- NEW EASEMENTS**
- ⑨ RECIPROCAL PRIVATE CROSS-ACCESS, PRIVATE UTILITY AND PRIVATE DRAINAGE EASEMENTS TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑩ CITY OF ALBUQUERQUE PUBLIC SIDEWALK EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑪ NEW MEXICO UTILITIES, INC. PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION

- EXISTING EASEMENTS TO BE VACATED BY SUBSEQUENT REQUEST**
- ⑬ PORTION PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 04-09-1984, BOOK MISC. 105A, PAGE 728, DOC. #8425506; AMENDED BY WAIVER AND PARTIAL RELEASE OF EASEMENT (PNM ONLY) FILED 09-08-1997, BOOK 97-24, PAGE 7570, DOC. #97092922; QWEST EASEMENT TO BE VACATED BY SUBSEQUENT REQUEST
 - ⑭ PORTION PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 05-15-1986, BOOK MISC. 352A, PAGE 111, DOC. #8643214; AMENDED BY WAIVER AND PARTIAL RELEASE OF EASEMENT (PNM ONLY) FILED 09-08-1997, BOOK 97-24, PAGE 7572, DOC. #97092923; QWEST EASEMENT TO BE VACATED BY SUBSEQUENT REQUEST
 - ⑰ 12' MOUNTAIN BELL UNDERGROUND EASEMENT GRANTED BY PLAT C21-185 TO BE VACATED BY SUBSEQUENT REQUEST. EXISTING FACILITY TO BE RELOCATED
- THE PROPERTY SURVEYED HEREON IS SUBJECT TO A NONSPECIFIC MST&T EASEMENT GRANTED BY DOCUMENT FILED 03-28-1930, BOOK 112, PAGE 196, TO BE VACATED BY SUBSEQUENT REQUEST

- GENERAL NOTES**
- A. THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY, AND ARE BASED UPON THE SURVEYS OF RECORD PREPARED BY SURV-TEK, INC.
 - B. REFER TO SITE PLAN FOR BUILDING PERMIT FOR PEDESTRIAN AND VEHICULAR ACCESS AND CIRCULATION.
 - C. MAXIMUM FLOOR AREA RATIO SHALL BE 0.15 FOR EACH TRACT.
 - D. MAXIMUM BUILDING HEIGHT SHALL BE 25 FT FOR EACH TRACT.
 - E. BUILDING SETBACKS SHALL BE MEASURED 25 FT FROM THE EXTERIOR LOT LINES, 5 FT NORTH OF THE INTERIOR LOT LINE BETWEEN TRACTS F-3-A AND F-3-B, AND 15 FT SOUTH OF THE SAME INTERIOR LOT LINE.



NOTES:
1) WATER AND SANITARY SEWER FACILITIES OWNED AND OPERATED BY NMUI, 2) SURVEY PROVIDED BY SURV-TEK, DATED APRIL, 2004



**CONCEPTUAL UTILITY PLAN
FLYING STAR CORRALES**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2004.055.2
DRAWN BY	S.G.H.					DATE	12-2004
APPROVED BY	G.M.					SHEET	OF

File Path: E:\WORK\2004\12-09-2004-
File Name: 40552CUT.DWG
Plot Date: 12-09-2004
Plot Time: 4:24 PM

Jma JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK, BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977