

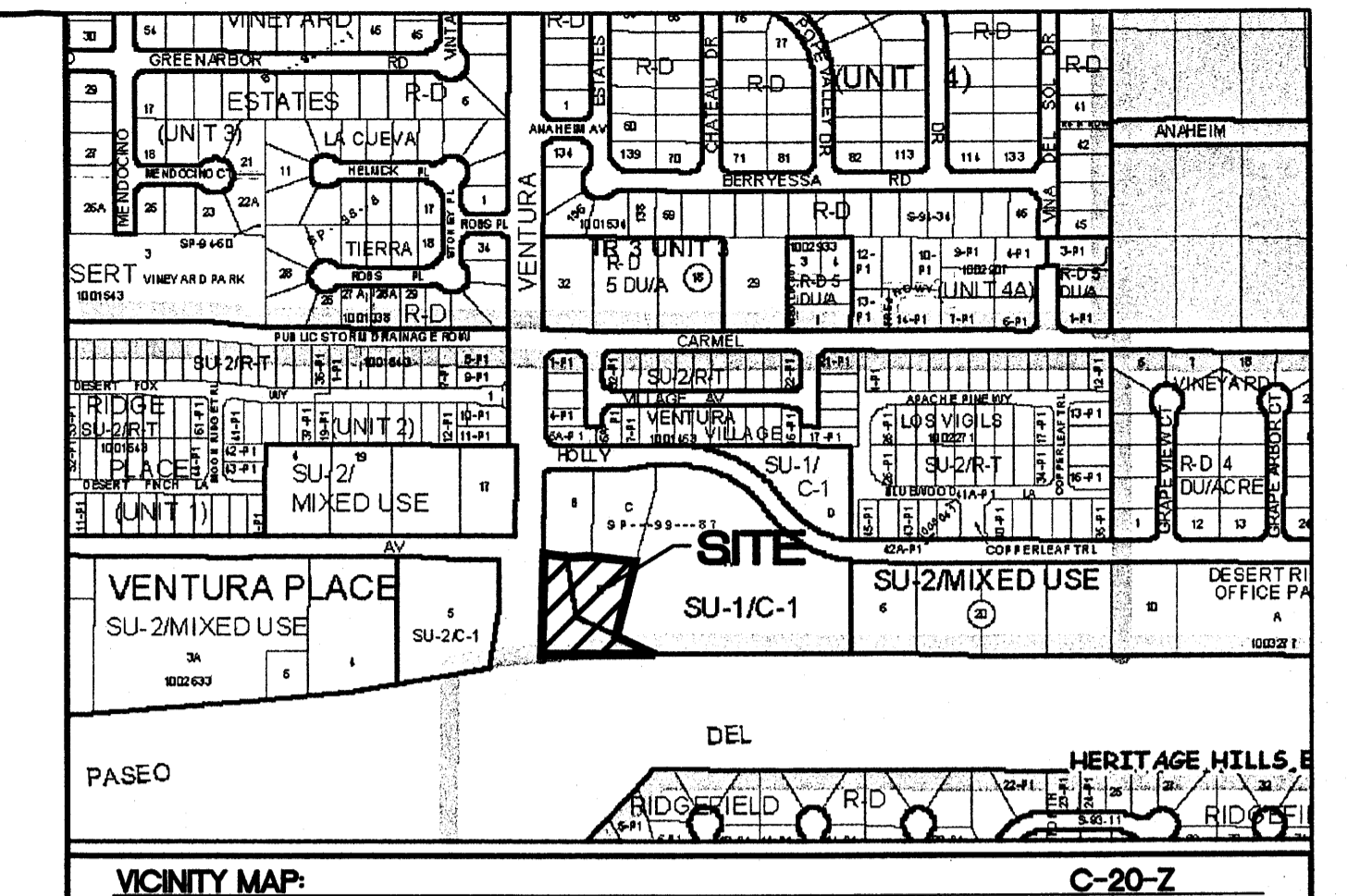
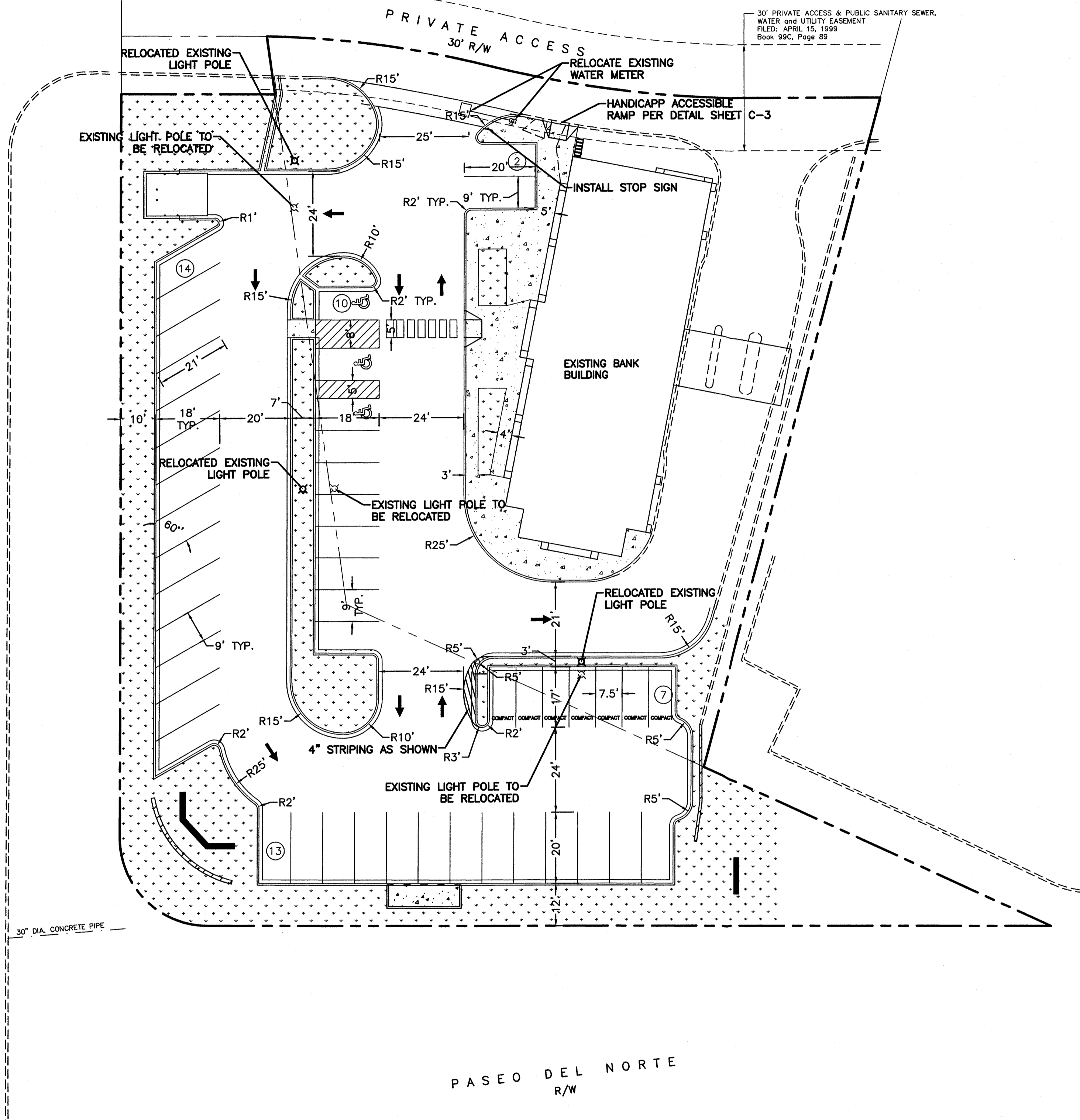
PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	



LEGAL DESCRIPTION:
 TRACT E, BLOCK 19, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES.
 FILED APRIL 15, 1999, BOOK 99C, PAGE 89

- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLE LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR CORRECT LOCATIONS.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SETBACKS: THERE SHALL BE A FRONT OR CORNER SIDE SETBACK OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON AND OFF PREMISE SIGNS. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ABUTS THE SIDE OF A LOT IS A RESIDENTIAL ZONE. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE. THE CLEAR SIGHT TRIANGLE SHALL NOT BE INFRINGED UPON.
 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C-1 ZONE OF THE COMPREHENSIVE CITY ZONING CODE.
 - HIGHLY REFLECTIVE SURFACES ARE NOT PERMITTED ON THE CANOPY. ALL UNDER CANOPY LIGHTS MUST BE FULLY RECESSED SO THAT NO PART OF THE LENS PROJECTS BELOW THE SURFACE OF THE UNDERSIDE CANOPY. SITE LIGHTING MUST MEET NIGHT SKY ORDINANCE.

LEGEND

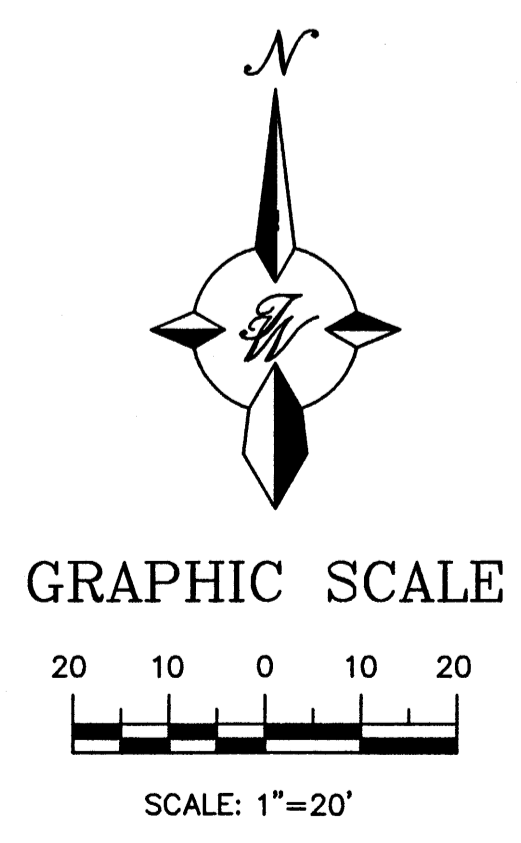
---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	PROPOSED CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	EASEMENT
---	PROPOSED RETAINING WALL
⊗	EXISTING LIGHT POLE
⊗	RELOCATED LIGHT POLE
---	EXISTING STORM DRAIN PIPE
---	PROPOSED SIDEWALK
---	LANDSCAPING AREA
■	MONUMENT SIGN
#	PARKING SPACE NUMBER
□	COMPACT
MM	PROPOSED WATER METER
---	PROPOSED WATERLINE
→	PROPOSED PAINTED ARROW

SITE DATA

PROPOSED USAGE:	BANK
EXISTING ZONING:	SU-1 FOR C-1 PERMISSIVE USES WITH DRIVE THRU
LOT AREA:	46457 SF (1.0665 ACRE)
BUILDING AREA:	4,224 SF
STANDARD PARKING PROVIDED:	46 SPACES
PARKING REQUIRED:	23 SPACES
HC PARKING PROVIDED:	3 SPACES
HC PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
LANDSCAPING AREA:	10,186 SF

EXISTING SITE DATA

EXISTING USAGE:	BANK
EXISTING ZONING:	SU-1 FOR C-1 PERMISSIVE USES WITH DRIVE THRU
LOT AREA:	0.5513 ACRE
BUILDING AREA:	4,224 SF
STANDARD PARKING PROVIDED:	13 SPACES
HC PARKING PROVIDED:	1 SPACE
LANDSCAPING AREA:	1,295 SF



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

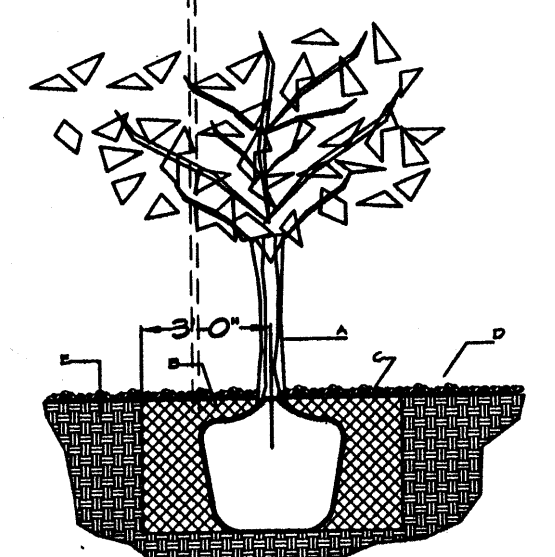
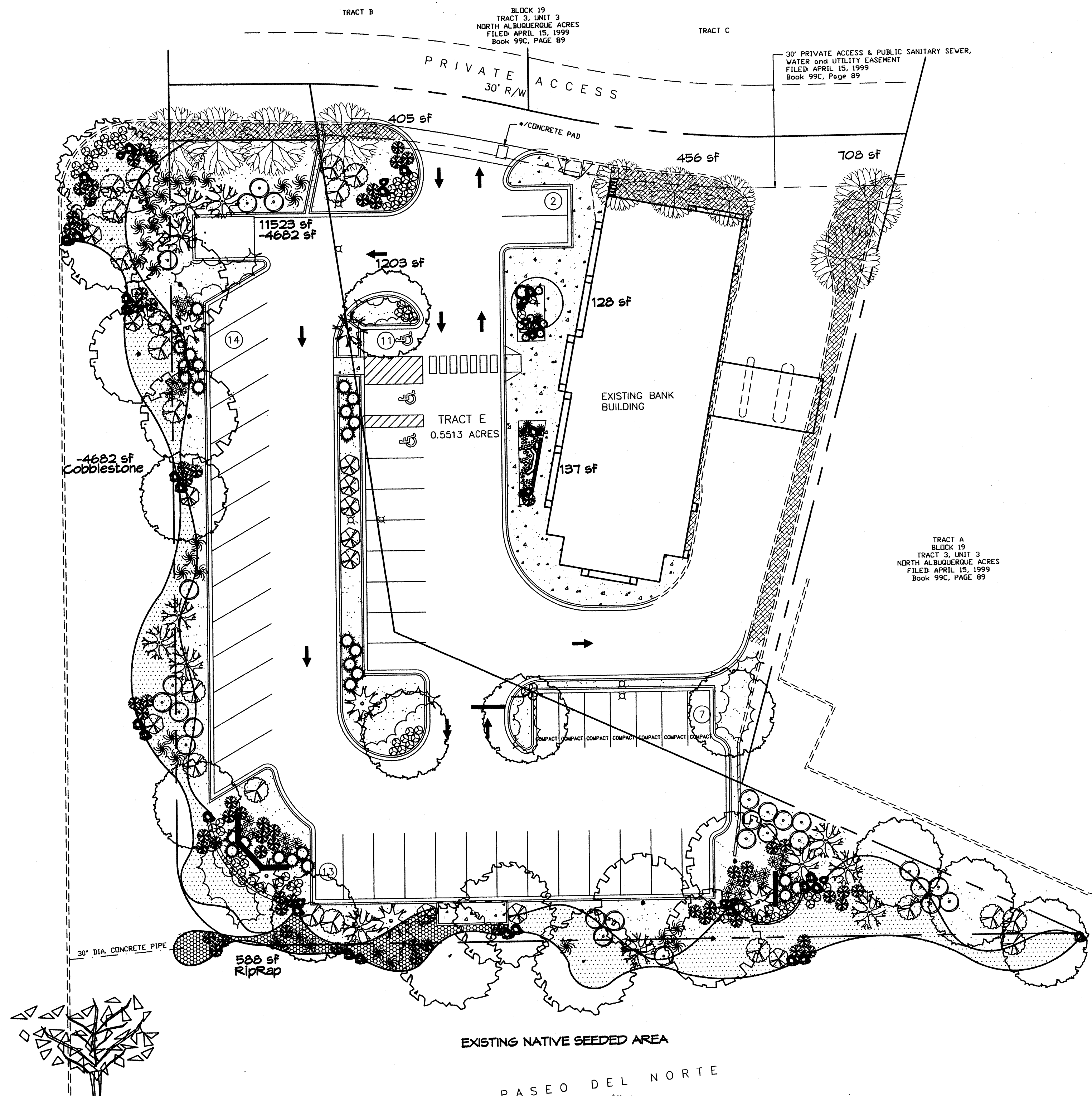
DRB ADMINISTRATIVE
SITE PLAN AMENDMENT

PROJECT NO. 1000678
APPLICATION NO. 1000678
DATE: 10/20/09

ENGINEER'S SEAL	HIGH DESERT STATE BANK	DRAWN BY EMT
	Administrative Amendment	DATE: 10-01-07
	SITE PLAN	2711-SPE
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	SHEET # C-1
		JOB # 27011

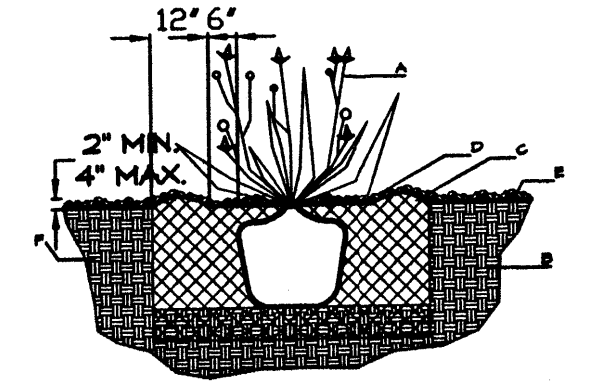
1000678
DRB COPY

VENTURA STREET N.E.
73' R/W



TREE PLANTING DETAIL
NTS

- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL
NTS

- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.

PLANT LEGEND

- JAPANESE PAGODA TREE (M) 5
Sophora japonica
2" Cal., 35' H x 35' W
- CHITALPA (M) 6
Chilopsis x Catalpa
2" Cal., 30' H x 30' W
- EASTERN REDBUD (M) 10
Cercis canadensis
2" Cal., 30' H x 30' W
- NEW MEXICO OLIVE (L) 1
Forestiera neomexicana
15 Gal., 225sf, 15' H x 15' W

- DESERT ACCENTS**
- MUGO PINE (M) 1
Pinus mugo
5 Gal., 4sf, 4' H x 3' W
 - BLUE SOTOL (L) 1
Dasylirion wheeleri
5 Gal., 25sf, 5' H x 5' W

- SHRUBS/ORNAMENTAL GRASSES**
FIVE GAL.
- SPANISH BROOM (M) 12
Genista hispanica
5 Gal., 100sf, 10' H x 10' W
 - ROSE OF SHARON (M) 6
Hibiscus surculosus
5 Gal., 100sf, 10' H x 10' W
 - INDIAN HAWTHORN (M) 12
Raphiolepis indica
5 Gal., 26sf, 6' H x 6' W
 - RUSSIAN SAGE (M) 27
Perovskia atriplicifolia
5 Gal., 26sf, 6' H x 6' W
 - MAIDEN GRASS (M) 32
Miscanthus sinensis
5 Gal., 25sf, 5' H x 5' W
 - SCOTCH BROOM (M) 28
Cytisus scoparius
5 Gal., 16sf, 4' H x 4' W
 - REGAL MIST (M) 64
Muhlenbergia capillaris
5 Gal., 4sf, 3' H x 3' W
 - BLUE MIST SPIREA (M) 21
Caryopteris clandonensis
5 Gal., 4sf, 3' H x 3' W

- ONE GAL.**
- CATMINT (M) 6
Nepeta mussini
1 Gal., 4sf, 1' H x 2' W
 - BLUE AVENA/OAT GRASS (M) 6
Helictotrichon sempervirens
1 Gal., 4sf, 2' H x 3' W
 - WILDFLOWER 78
1 Gal., 4sf, size varies

- GROUNDCOVERS**
- TAM JUNIFER (L) 12
Juniperus sp. 'Tamariscifolia'
1 Gal., 225sf, 4' H x 15' W
Symbol indicates 2 plants
 - HONEYSUCKLE (M) 20
Lonicera japonica 'Halliana'
1 Gal., 144sf, 3' H x 12' W
Unstaked-Groundcover

- HARDSCAPES**
- NATURAL EDGE
 - BOULDERS 34
 - SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - OVERSIZED GRAVEL WITH FILTER FABRIC
 - RIPRAP DRAINAGE BED WITH FILTER FABRIC

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	47143	square feet
TOTAL BUILDINGS AREA	4292	square feet
NET LOT AREA	42851	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	6427	square feet
TOTAL BED PROVIDED	14905	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	11178	square feet
TOTAL GROUNDCOVER PROVIDED	11185	square feet
TOTAL EXISTING LANDSCAPING	1569	square feet
TOTAL LANDSCAPE PROVIDED	16474 (80%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Paseo del Norte
Required 9 Provided 9

Name of Street: Ventura
Required 7 Provided 7

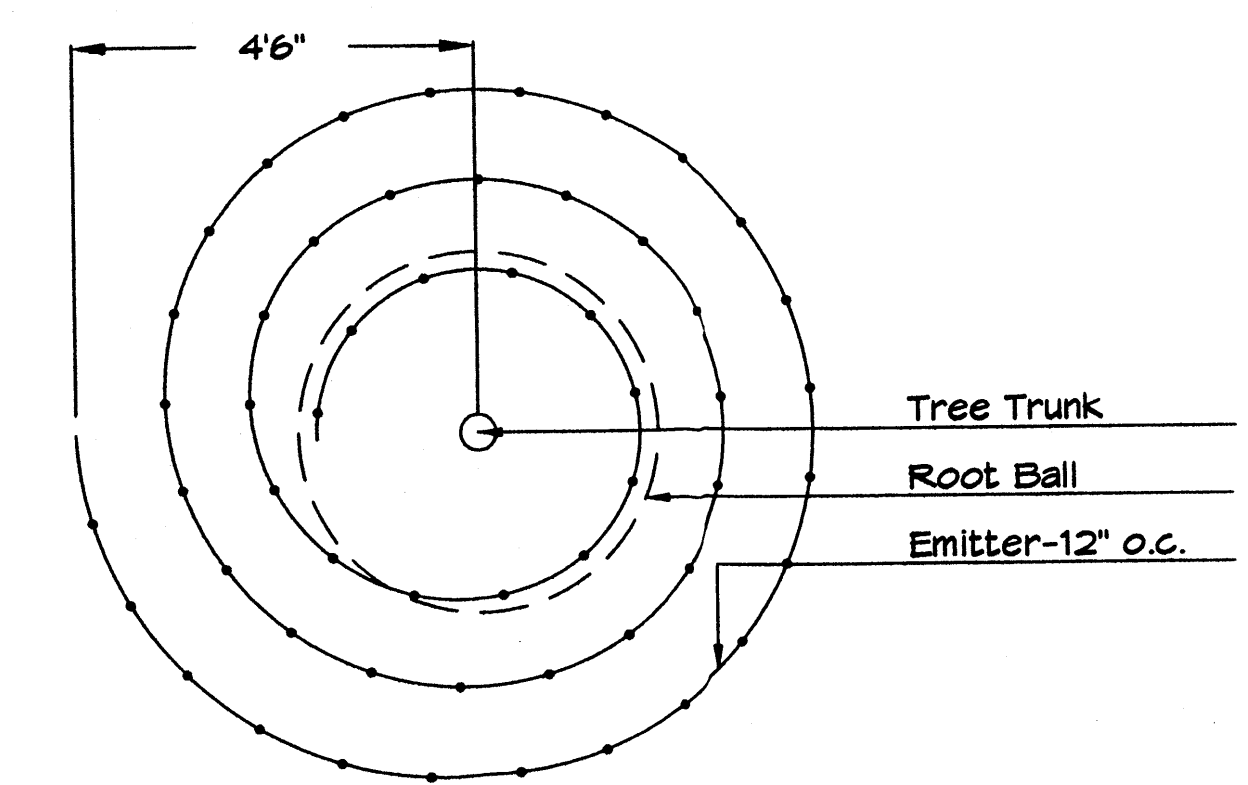
PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

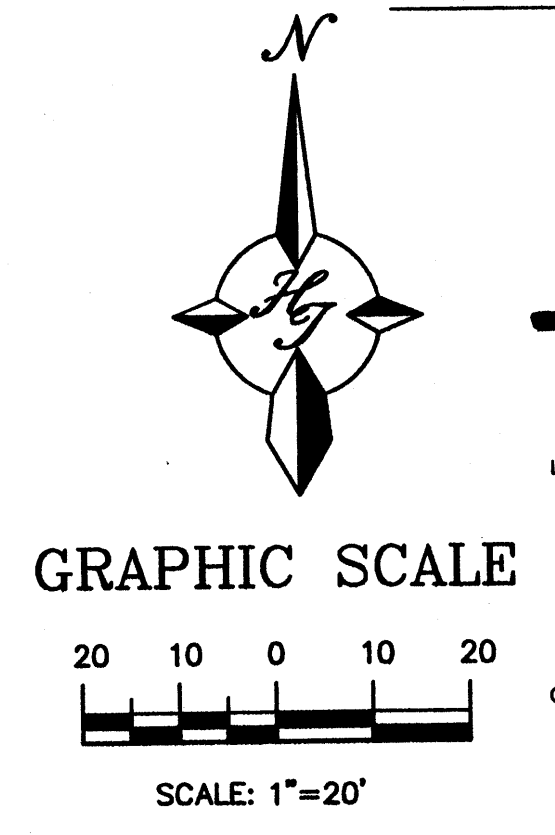
1 Shade tree per 10 spaces
Required 5 Provided 5

NOTE TO CLIENT:

Should The Hilltop not receive a grading and Drainage plan during the design process or the on-site grades differ from the grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



Netafim Spiral Detail



GRAPHIC SCALE
SCALE: 1"=20'

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

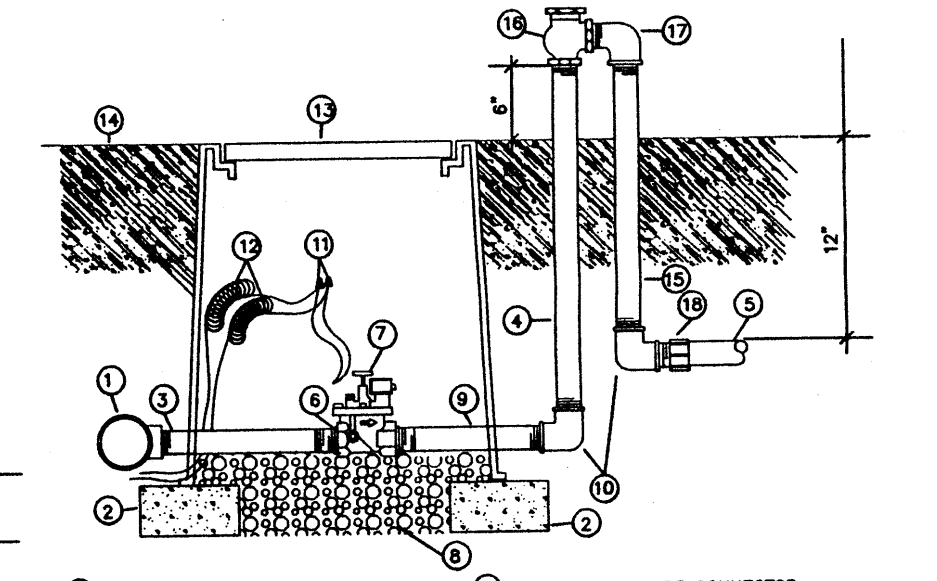
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



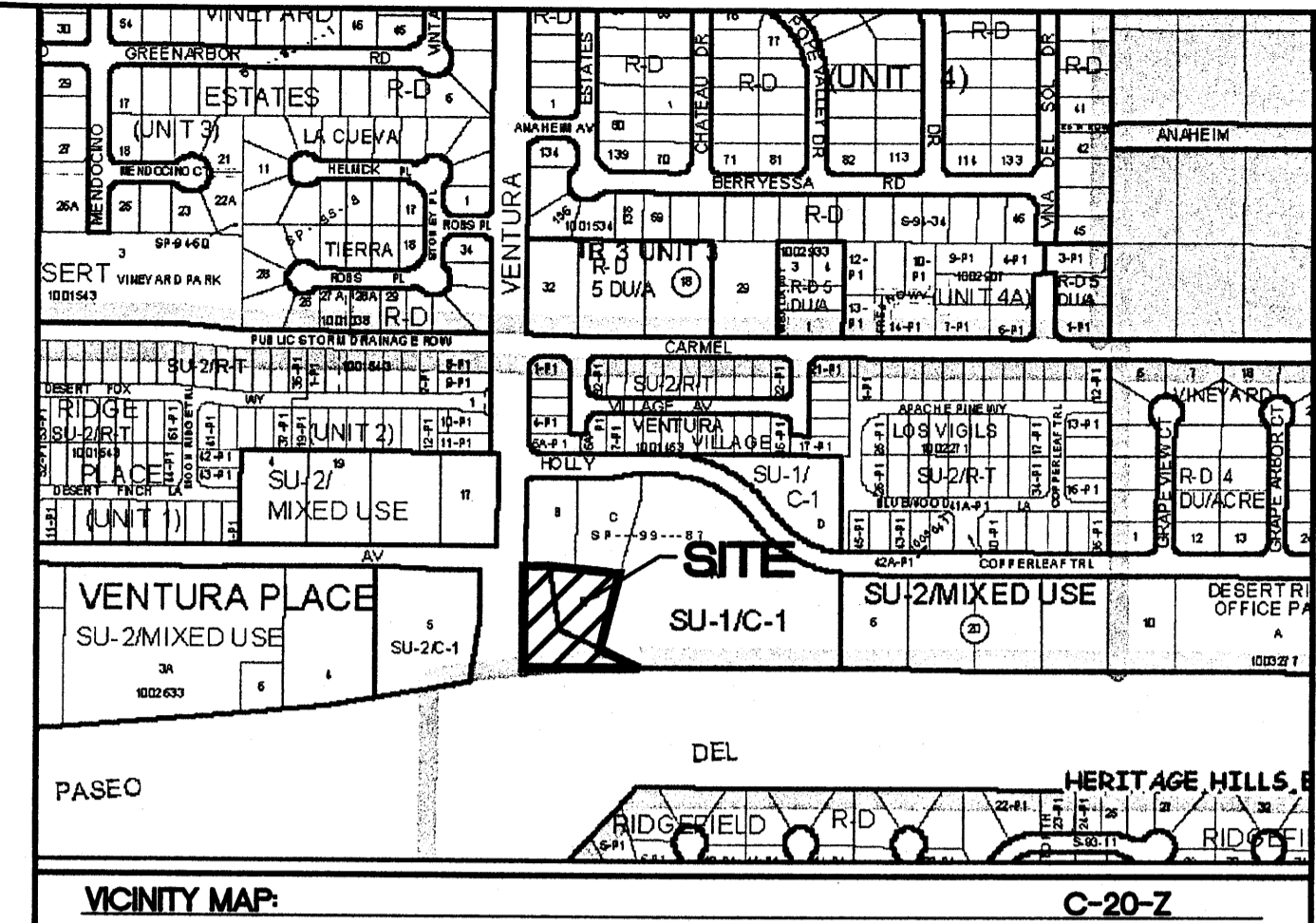
- 1. MAINLINE FITTING
- 2. OAU BLOCK
- 3. GALVANIZED NIPPLE
- 4. 24" TO 36" GALVANIZED NIPPLE
- 5. LATERAL PIPE
- 6. REDUCER BUSHING
- 7. AUTOMATIC VALVE (SEE LEGEND)
- 8. GRAVEL
- 9. GALVANIZED NIPPLE
- 10. GALVANIZED ELBOW
- 11. WATERPROOF WIRE CONNECTOR
- 12. WIRE EXPANSION LOOPS
- 13. VALVE BOX
- 14. FRESH GRADE
- 15. GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16. ATMOSPHERIC VACUUM BREAKER
- 17. GALVANIZED STREET ELL
- 18. TEE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

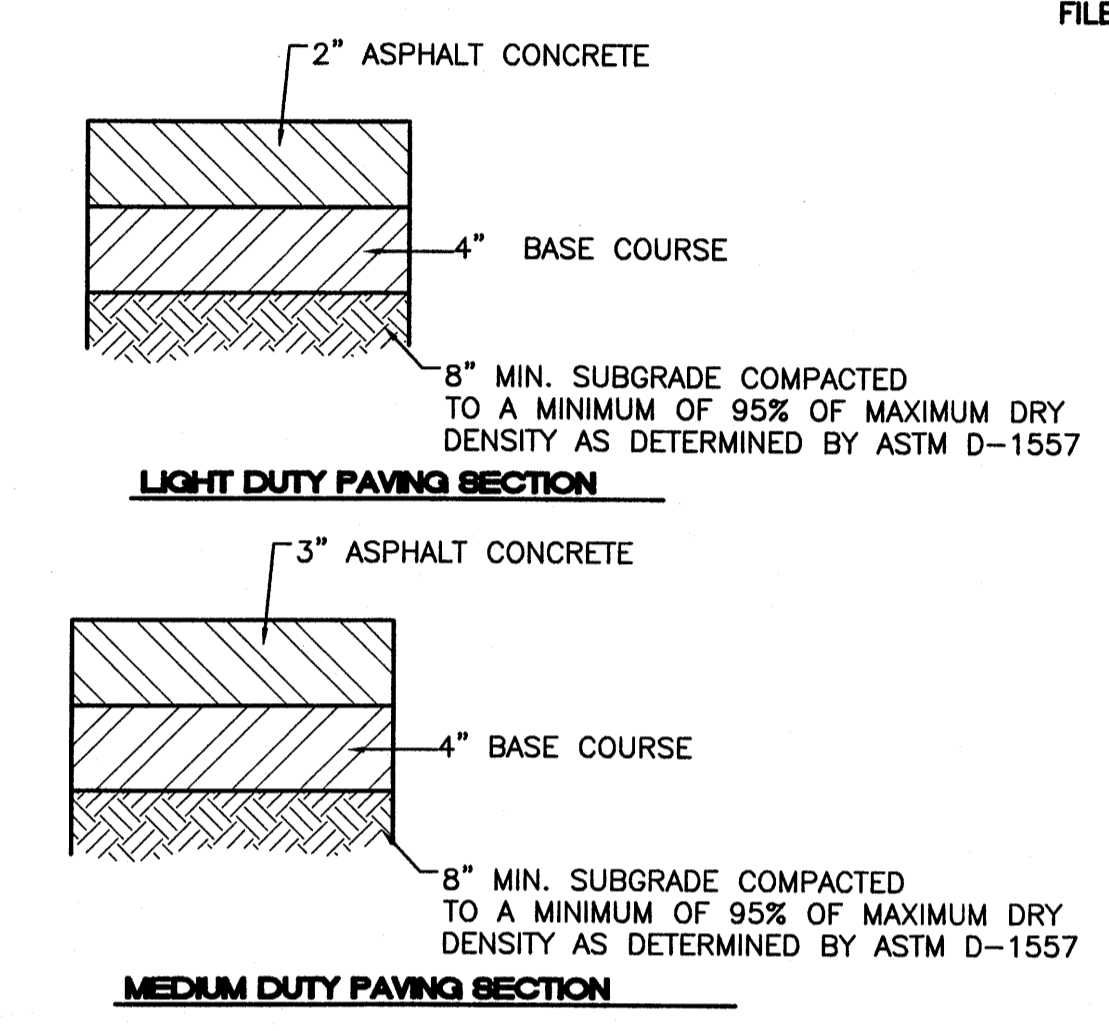
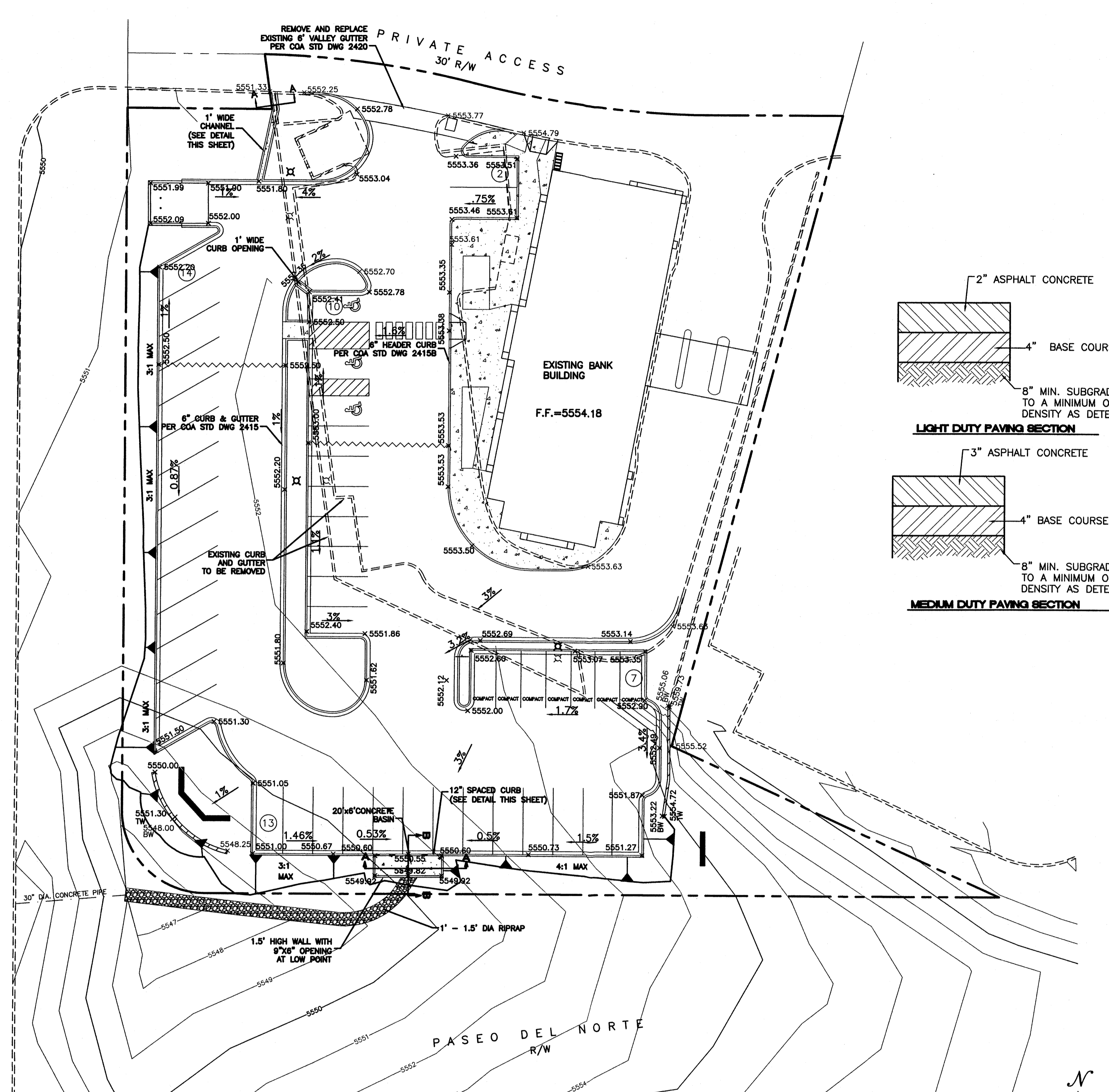
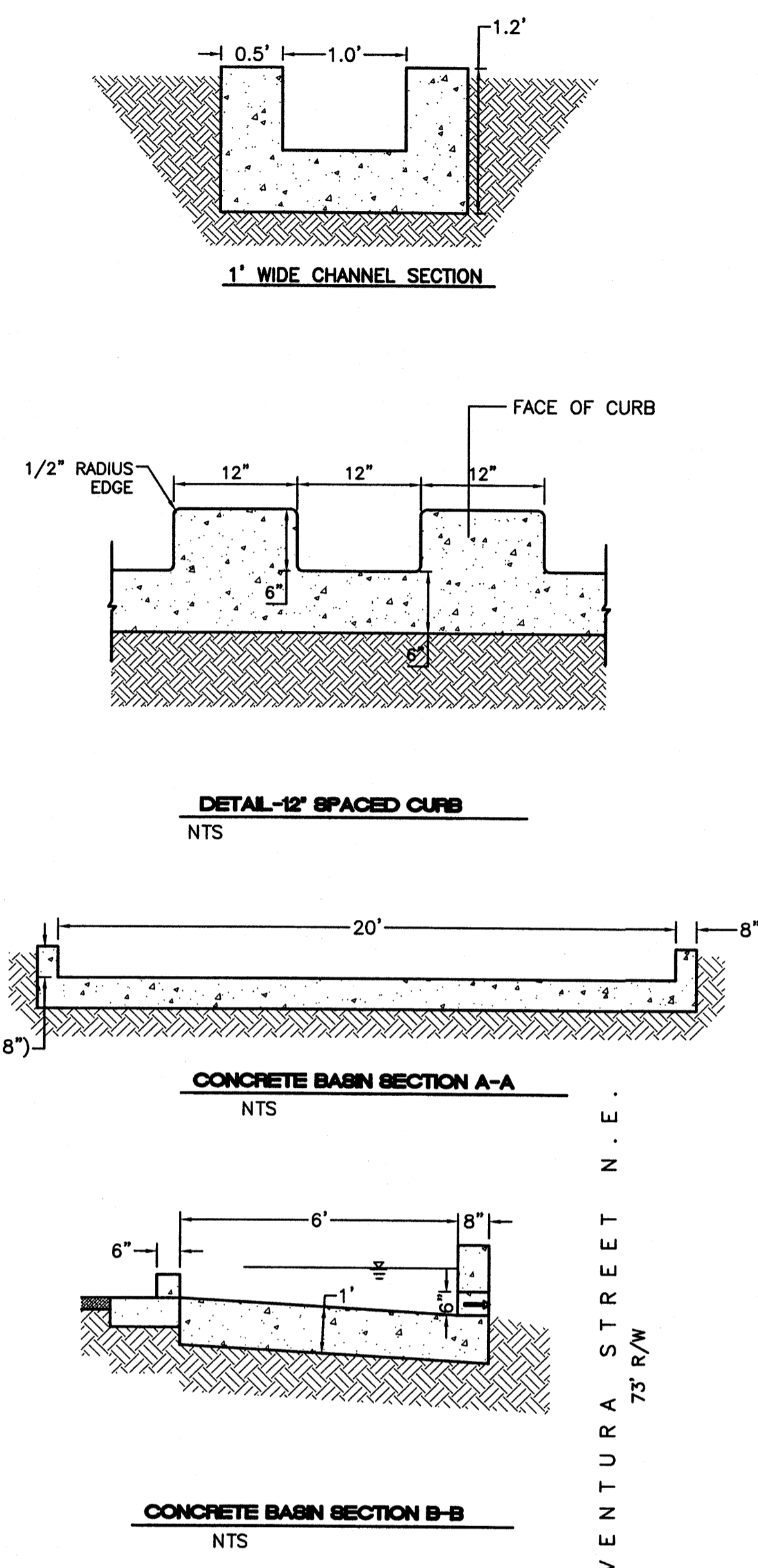
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com

	HIGH DESERT STATE BANK	DRAWN BY CJ
	DATE 6-27-07	SHEET # L1
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		JOB #

Client Comments of 8/28/07



LEGAL DESCRIPTION:
 TRACT E, BLOCK 19, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES.
 FILED APRIL 15, 1999, BOOK 99C, PAGE 89



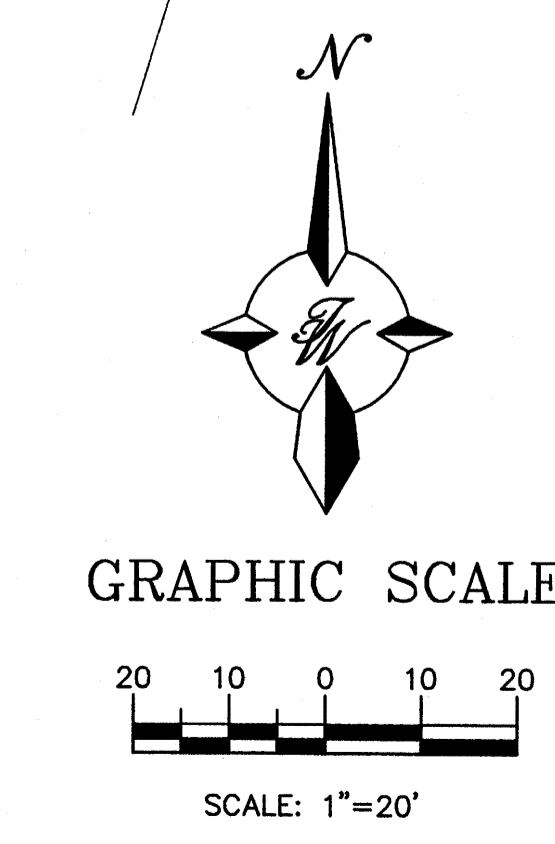
LEGEND

- ===== EXISTING CURB & GUTTER
- ===== PROPOSED HEADER CURB
- ===== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED RETAINING WALL
- ⊗ EXISTING LIGHT POLE
- ⊗ RELOCATED LIGHT POLE
- ===== PROPOSED SIDEWALK
- 5011 EXISTING CONTOUR
- 5010 EXISTING INDEX CONTOUR
- FL=53.73 EXISTING SPOT ELEVATION
- x 5048.25 PROPOSED SPOT ELEVATION
- FLOW ARROW

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

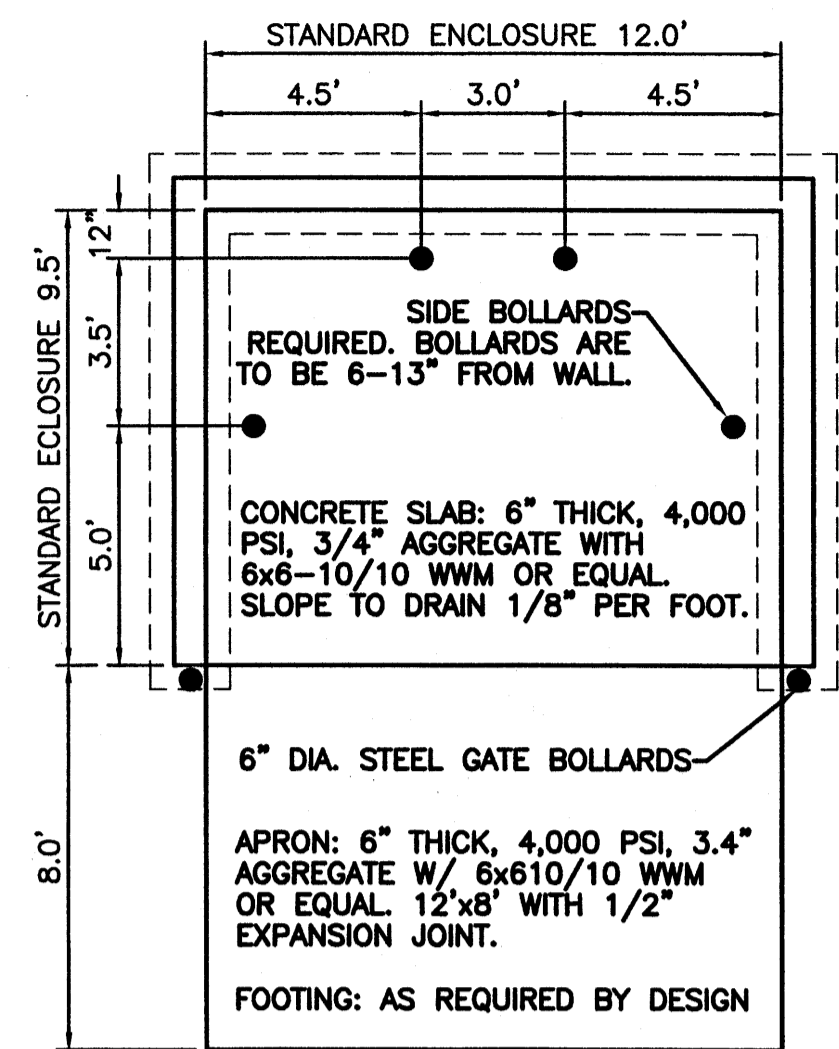
APPROVAL	NAME	DATE
INSPECTOR		

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

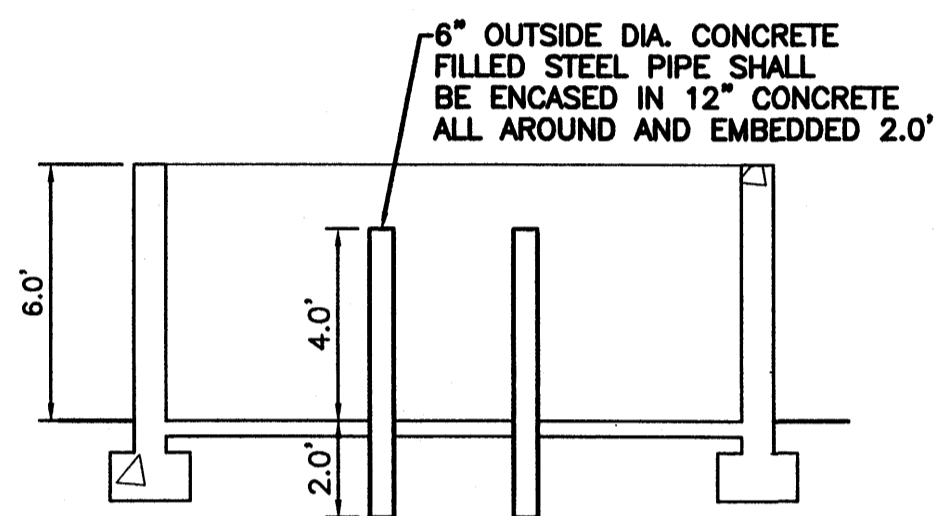


ROUGH GRADING APPROVAL _____ DATE _____

	HIGH DESERT STATE BANK	DRAWN BY EMT
	GRADING AND DRAINAGE PLAN	DATE 10-01-07
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	2711-GRE
		SHEET # C2
		JOB # 27011

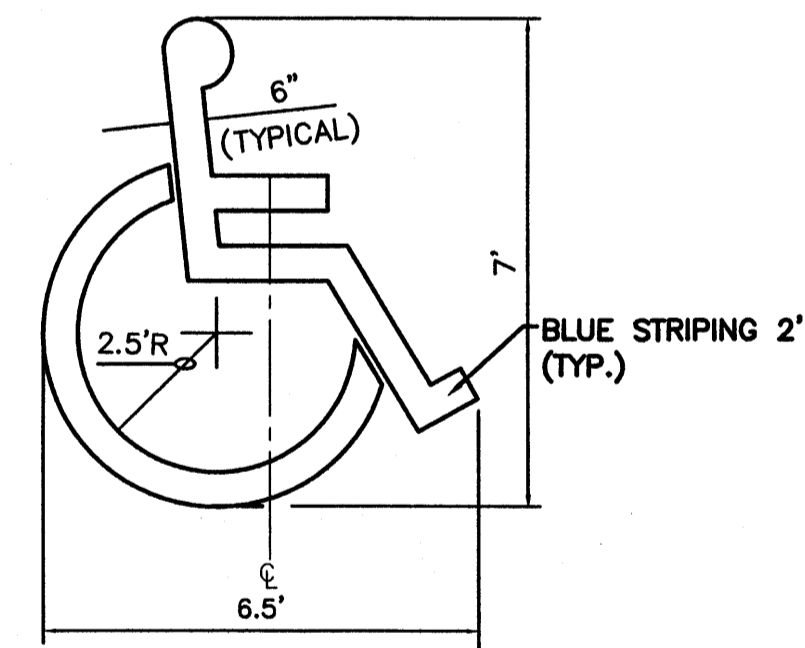


APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)



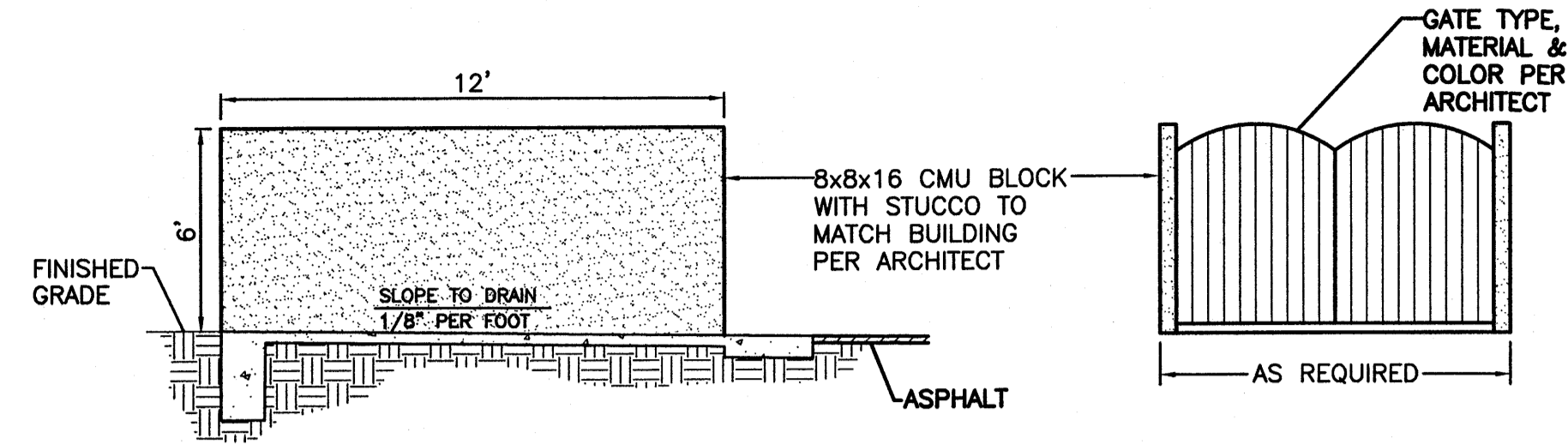
NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL
NTS

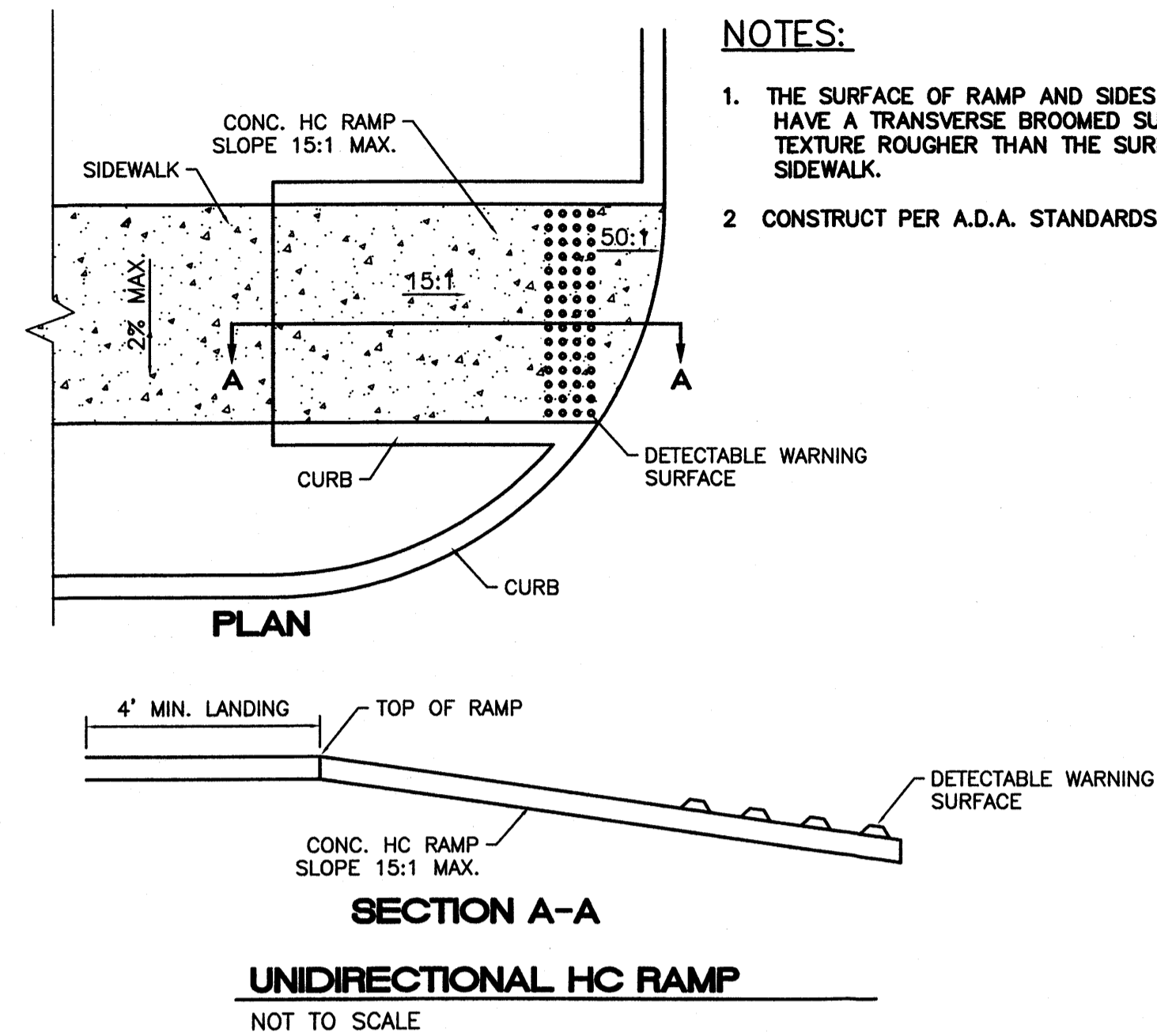


ACCESSIBLE PARKING SYMBOL
NTS

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

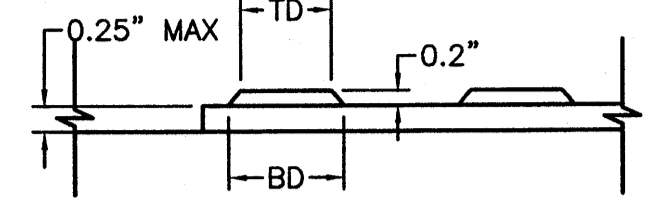


DUMPSTER ENCLOSURE ELEVATION
NTS



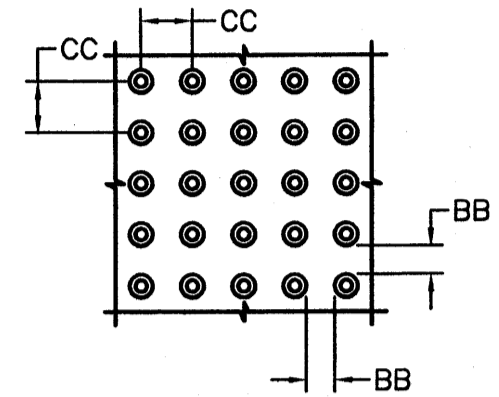
NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



DOME SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING

CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>HIGH DESERT STATE BANK</p> <p>DETAILS</p>	<p>DRAWN BY EMT</p> <p>DATE 10-01-07</p> <p>2711-DETAILS</p>
	<p>TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100</p>	<p>SHEET # C-3</p> <p>JOB # 27011</p>