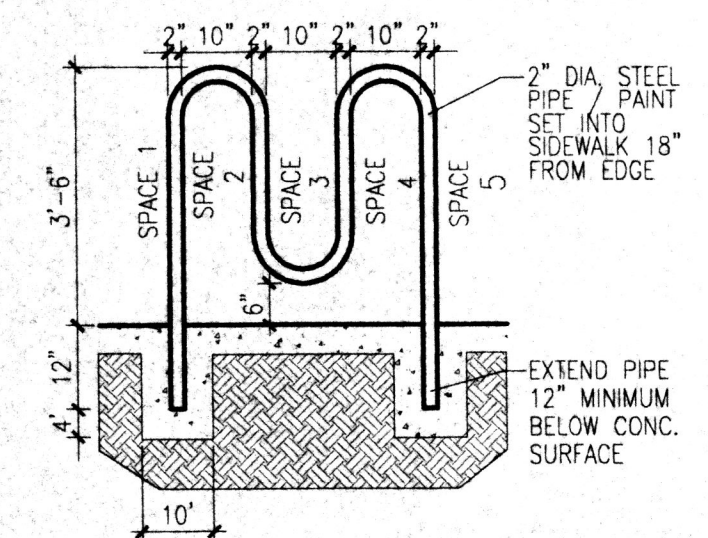


NOTE:  
SIGHT LIGHTING PROVIDED ON THE BUILDING FACADES SHALL BE ANGLED TO BE NON-INTRUSIVE INTO ADJACENT AREAS.  
SITE LIGHTING LOCATIONS: PHOTOMETRIC SITE PLAN WILL BE PROVIDED WITH THE BUILDING PERMIT.

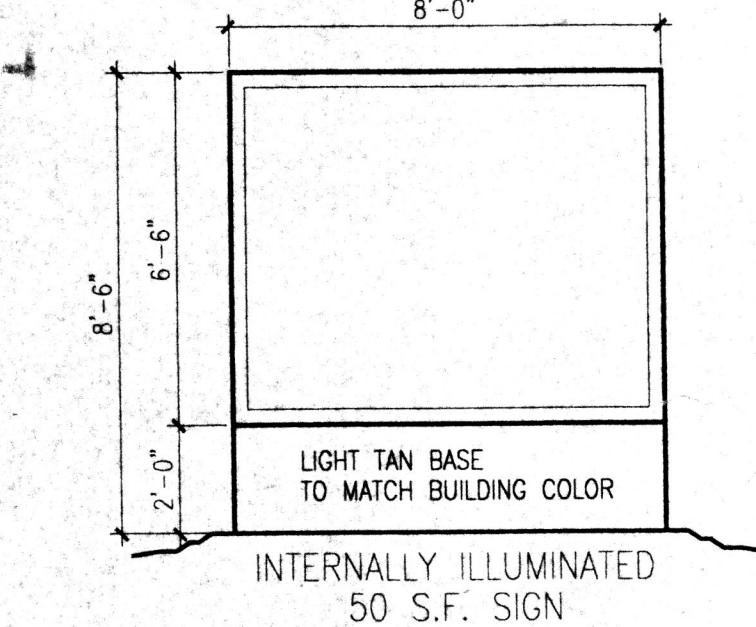
### 2 Site Lighting Detail

Scale: Not to Scale



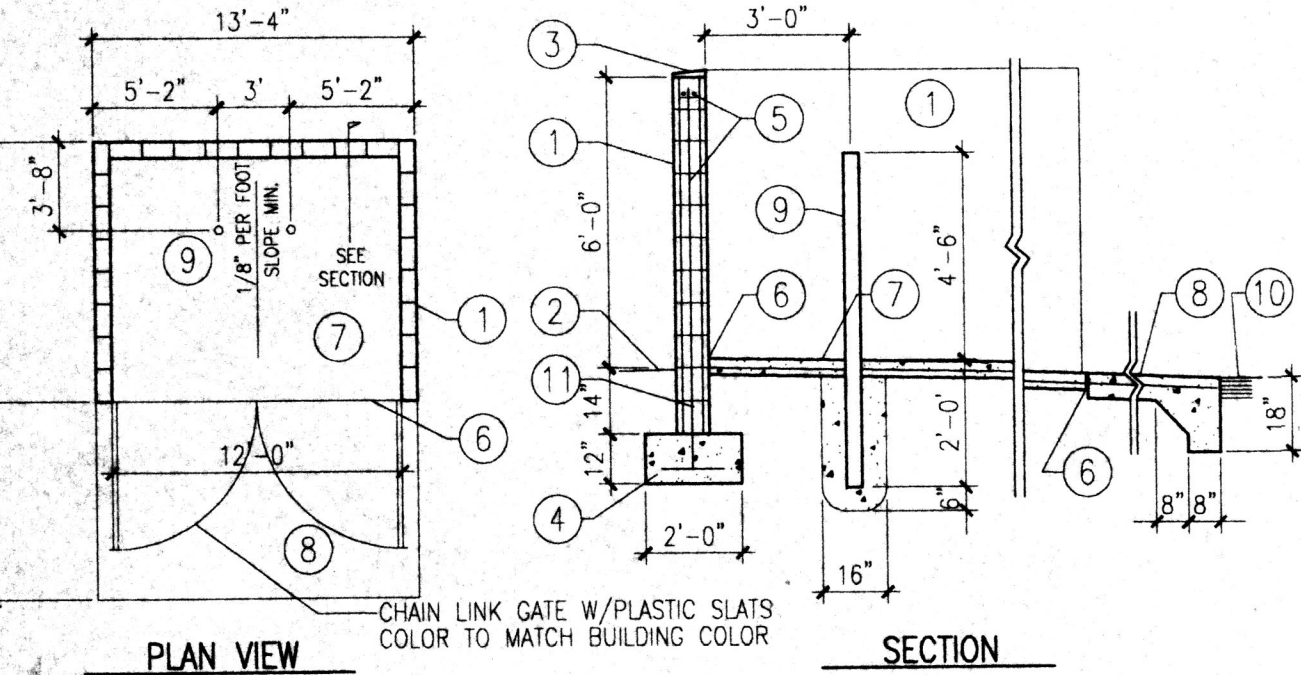
### 3 Bike Rack Detail

Scale: Not to Scale



### 4 Monument Sign Detail

Scale: Not to Scale



### 5 Refuse Enclosure

Scale: Not to Scale

- KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
  - FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
  - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVING
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

### GENERAL ARCHITECTURAL DESIGN REQUIREMENTS:

GENERAL ARCHITECTURE CHARACTER FOR PAD STRUCTURES IS TO FOLLOW THE GENERAL DESIGN CONCEPT DEPICTED ON ELEVATIONS OF FURRS AND THE SHOP BUILDING STRUCTURES FOR ALL OTHER PAD BUILDINGS WILL BE CEMENTITIOUS FINISH AND SPLIT FACE CMU DADO BAND. THE MAIN BUILDING WALLS MUST BE COLORED TO MATCH COLOR BENJAMIN MOORE (#2) BM951 AND (1) BM1032. IF THE BUILDING EXTENDS BELOW FINISH FLOOR THAT AREA WILL ALSO BE COVERED WITH COLOR #2. STRUCTURES ARE TO BE PREDOMINATELY FLAT-ROOFED HOWEVER PARTIAL BUILDING AREAS SUCH AS PORTALS OR SMALL EXTENSIONS OF BUILDING FUNCTIONS ADJACENT TO THE MAJOR BUILDING MASS MAY HAVE SLOPED ROOFS. THESE ROOFS ARE TO BE SHED TYPE AND THE HIGH POINT OF THE ROOF MUST HIT THE MAIN BUILDING WALL BELOW THE TOP OF THE MAIN BUILDING PARAPET. BUILDING HEIGHTS ARE LIMITED TO PARAPET HEIGHTS FOR MAIN BUILDING WALL. THE APPROVAL OF THE SITE PLANS FOR BUILDING PERMITS FOR EACH SITE WILL BE DELEGATED TO THE CITY OF ALBUQUERQUE PLANNING STAFF.

### PAD ARCHITECTURAL DESIGN STANDARDS

- SHALL INCLUDE THE FOLLOWING ELEMENTS TO PROVIDE UNIFORM STANDARDS FOR ALL PADS SEE SHOP BUILDING. FOR EXAMPLE:
  - THE LOWER 3'-4" OF THE AREA OF VERTICAL WALLS AND LANDSCAPE WALLS SHALL BE FOUR OR EIGHT INCH SPLIT FACE CMU. COLOR #2
  - FOUR OR EIGHT INCH SPLIT FACE OR ACCENT BLOCK. COLOR #1
  - STUCCO COLUMN ENCLOSURES.
  - FUEL CANOPIES TO BE CEMENTITIOUS FINISH COLOR #1
  - LIGHTING TO BE ENTIRELY RECESSED IN SOFFIT OF FUEL CANOPIES.

### MECHANICAL EQUIPMENT SCREENING

ALL MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT-OF-WAY. IN ADDITION, IF IT IS DETERMINED THAT THE MECHANICAL UNIT CAN BE OBSERVED FROM THE RESIDENTIAL AREA HORIZONTAL SCREENING PER THE ATTACHED CONCEPTUAL SKETCH IS REQUIRED.

### COLOR PALLET

COLOR #1	LIGHT TAN	BENJAMIN MOORE #1032
COLOR #2	MEDIUM DARK TAN	DADO BAND BASE WALL COLOR & ACCENT BENJAMIN MOORE #951
COLOR #3	DESERT GLOW	CONCRETE TILE ROOFING AND TRIM

### BUILDING SIGNAGE

EXCEPT AS NOTED UNDER AWNINGS ALL SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF THE SHOP BUILDING. NO SIGN SHALL BE ON A BUILDING WALL FACING TOWARD THE ADJACENT RESIDENTIAL AREA. LETTERS ARE TO BE BACK LIT. EXPOSED NEON IF USED MUST BE WITHIN CHANNEL LETTERING CAN TYPE. SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH A SPECIFIC TENANT ARE TO BE PROVIDED IN A NON-ILLUMINATED FASHION FOR SPECIFIC APPROVAL.

### LANDSCAPING

LANDSCAPING OF THE PADS WILL BE FROM THE SAME LANDSCAPING PALLET AND CONCEPT AS PROVIDED ON THE MASTER LANDSCAPING PLAN.

### AWNINGS

AWNINGS ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINTED OR EMBOSSED CORPORATE LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA WHEN ADDED TO ALL OTHER WALL SIGNAGE DOES NOT EXCEED 8 PERCENT OF THE AREA OF BUILDING WALL. ILLUMINATION OF AWNINGS MUST BE FROM PENDANT MOUNTED FIXTURES LOCATED LOCATED ABOVE THE AWNING. ACCENT COLORS ON AWNINGS ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND SAMPLES OF THE PROPOSED AWNING COLORS ARE TO PROVIDED WITH EACH SUBMITAL.

### GLAZING

REFLECTIVE GLAZING IS PROHIBITED. CLEAR AND BRONZE TINTED GLASS IS PERMITTED.

### SERVICE AREAS

SERVICE AREAS SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE TOTALLY SCREENED FROM VIEW FROM THE ADJACENT RESIDENTIAL AREA. PUBLIC RIGHTS OF WAY AND THE ADJACENT MONUMENT AREA FREE-STANDING DUMPSTIE LOCATIONS ARE TO BE GATED. SCREENING MATERIAL TO MATCH BUILDING WALL COLOR AND MATERIAL.

### LIGHTING

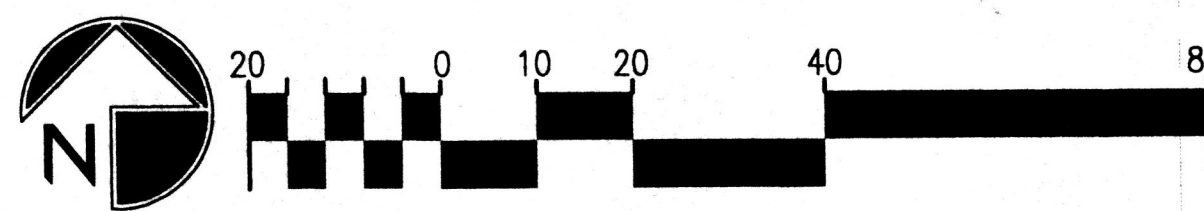
SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, IE UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES 23" HEIGHT MAXIMUM INCLUDING BASE.

### RADIUS:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 50'-0"
- ⑩ RADIUS = 65'-0"
- ⑪ RADIUS = 100'-0"

### 1 Site Plan For Building Permit

Scale: 1" = 20'-0"



CITY OF ALBUQUERQUE  
COUNTY OF BERNILLO

### LEGAL DESCRIPTION:

TRACT E OF BLOCK NINETEEN (19), TRACT THREE (3), UNIT THREE (3), OF NORTH ALBUQUERQUE ACRES, LOCATED ON THE EAST SIDE OF VENTURA STREET NE, BETWEEN PASEO DEL NORTE AND HOLLY AVENUE NE, ALBUQUERQUE, NM.

CURRENT ZONING: SU-1 FOR C-1 PERMISSIVE USES WITH PACKAGED LIQUOR SALES WITHIN 500 FEET OF A RESIDENTIAL ZONE, ONLY IN CONJUNCTION WITH A FULL SERVICE GROCERY STORE.

TOTAL ACREAGE: 0.55 ACRES/24,137 sf  
ZONE ATLAS: C-20-Z

### BUILDING AREA & PARKING CALCULATIONS:

**BUILDING AREA**  
HIGH DESERT BANK: 4,224 SF. BUILDING  
4,224 SF / 200 = 21 SPACES  
SPACES REQUIRED 21 SPACES

### PARKING NOTES:

TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0"  
TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"  
TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 8' WIDE ACCESS AISLE  
\* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

### HIGH DESERT BANK:

TOTAL STANDARD PARKING SPACES PROVIDED 16 SPACES  
TOTAL HC PARKING SPACES PROVIDED 1 SPACES (INCLUDES 2 VAN SPACES)  
TOTAL SMALL CAR PARKING SPACES PROVIDED 4 SPACES  
TOTAL PROVIDED 21 SPACES

### CONDITIONS OF APPROVAL:

- THE SUBMITTAL OF THIS SITE PLAN TO THE DRB SHALL MEET ALL EPC CONDITIONS; A LETTER SHALL ACCOMPANY THE SUBMITTAL INDICATING HOW THE SITE PLAN HAS BEEN MODIFIED TO MEET EACH OF THE EPC CONDITIONS.
- PROVIDE SIDEWALKS, RAMPS AND CROSSWALKS TO CONNECT THIS SITE TO VENTURA STREET IN ACCORDANCE WITH TRANSIT DEPARTMENT AND PARKS AND RECREATION COMMENTS BELOW.
- MATERIAL AND COLORS FOR THE MONUMENT SIGN SHOULD BE SPECIFIED.
- LIGHT POLE HEIGHTS SHALL BE A MAXIMUM 20' HIGH WITH FULL CUT-OFF FIXTURES TO MINIMIZE FUGITIVE LIGHT.
- PROVIDE A SHADED SEATING AREA FOR EMPLOYEES AT THE ENTRANCE SIDE OF THE BUILDING.
- COMPLY WITH THE FOLLOWING TRANSPORTATION DEVELOPMENT SERVICES RECOMMENDED CONDITIONS OF APPROVAL:
  - A TIS HAS BEEN DONE FOR THIS PROPOSAL AND VARIOUS MITIGATION RECOMMENDATIONS HAVE BEEN IDENTIFIED. THE IMPLEMENTATION OF AND/OR MONETARY CONTRIBUTIONS FOR MITIGATION MEASURES AS REQUIRED BY THE TIS NEGOTIATIONS BETWEEN THE DEVELOPER AND THE CITY MUST BE COMPLETED.
  - ALL THE REQUIREMENTS OF PREVIOUS ACTIONS TAKEN BY THE EPC AND THE DRB MUST BE COMPLETED AND/OR PROVIDED FOR.
  - THE SITE ACCESS, CIRCULATION PATTERNS, STRUCTURE ORIENTATION/CONFIGURATIONS MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER. THIS INCLUDES THE PROPOSED DRIVE THRU AREA, PARKING SPACES, END ISLANDS, ETC.
  - CONSTRUCTION OF CONTINUOUS PEDESTRIAN CIRCULATION FACILITIES WITH HANDICAPPED FEATURES WITHIN THE SITE AND WITH CONNECTIONS TO THE ADJACENT STREETS WITH THE APPROVAL OF THIS REQUEST, THIS INCLUDES UNDEVELOPED PAD SITES. IN AREAS WHERE PARKING SPACES OVERHANG THE ADJACENT SIDEWALK, A 6' WIDTH IS REQUIRED.
  - THE SIDEWALK IN FRONT OF THE HANDICAPPED SPACES MUST BE FLUSH WITH THE PARKING SURFACE. WHEEL STOPS WILL BE REQUIRED.
  - CONSTRUCTION OF 10 FOOT END ISLANDS WITH 15 FOOT CORNER RADII AS PER DPM STANDARDS.
  - LOCATION OF WALLS, FENCES AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS; THIS INCLUDES TRASH ENCLOSURES.
  - LOCATION AND DIMENSION OF PROPOSED FIRE LANES MUST MEET FIRE CODE REQUIREMENTS AS PER THE DAW.
  - THE REFUSE CONTAINER LOCATION NEEDS MODIFICATION DUE TO CLEAR SIGHT REQUIREMENTS FOR BOTH THE CIRCULATION DRIVE AND THE ADJACENT PARKING SPACE. COORDINATION WITH THE SOLID WASTE DEPARTMENT WILL BE REQUIRED.
  - ELIMINATE OVERLAPPING PARKING SPACE OVERHANG WHICH OCCURS ON END ISLANDS AND SIDEWALKS.
  - VEHICLE STACKING REQUIREMENTS FOR A DRIVE-UP BANK OF 6 VEHICLES PER WINDOW MUST BE PROVIDED, E.G., 120 FEET PER LANE. SEPARATION OF ONE-WAY AND TWO-WAY TRAFFIC MUST BE DELINEATED.
  - HANDICAPPED PARKING AREA AND RAMPS MUST COMPLY WITH ADA REQUIREMENTS. RAMPS AT INTERSECTION MUST BE DESIGNED FOR THE APPROPRIATE DIRECTION OF TRAVEL FOR THE USER, I.E., UNI-DIRECTIONAL OR MULTI-DIRECTIONAL.
  - THE TOP OF ALL HVC EQUIPMENT SHALL BE LESS THAN THE TOP OF PARAPETS.
  - THERE SHALL BE A 10-FOOT WIDE SIDEWALK ALONG THE WESTERN PORTION OF THE BUILDING WHERE SIDEWALK IS INDICATED CURRENTLY ON THE DRAWINGS ALLOWING FOR A MAXIMUM OF 2-FOOT OVERHAND OF PARKING ALONG THE ENTRY FACADE. PARKING REQUIREMENTS MAY BE REDUCED TO A MAXIMUM OF 16 SPACES REQUIRED WITH AN ADA SPACE ADJACENT TO THE ENTRY AREA OF THE BUILDING. THE APPLICANT MAY WORK OUT AN AGREEMENT TO LANDSCAPE A PORTION OF THE COUNTY RIGHT-OF-WAY TO EFFECT A 10-FOOT WIDE LANDSCAPE BUFFER REQUIREMENTS TO THE SATISFACTION OF THE PLANNING DIRECTOR.

PROJ 1000678  
BP 9-6-2000

### Application # 00450-00000-00990

EPC CASE # 12-00-09 DRB CASE # 1000678

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on March 9, 2000 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

### SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	<i>Paul Dantz</i>	8-17-00
Parks and Recreation Department	<i>William E. Cardenas</i>	8-2-00
Public Works, Water Utilities Division	<i>Robert A. Kline</i>	8-2-00
City Engineer, Engineering Division / AMAFCA	<i>Mark Coleman</i>	8-2-00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo  
County Planning Division  
*Shirley Ann Berra*  
9/8/00  
9-8-00

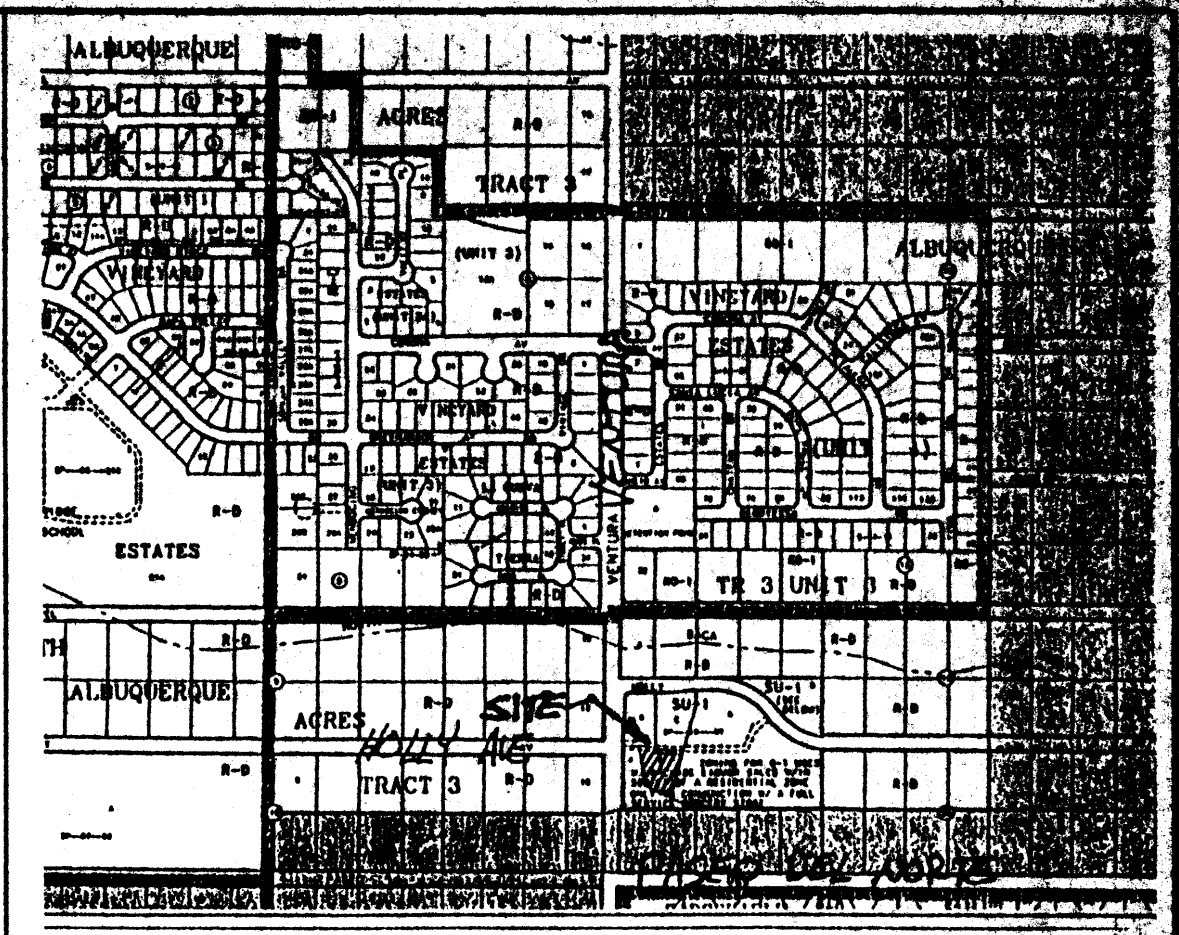
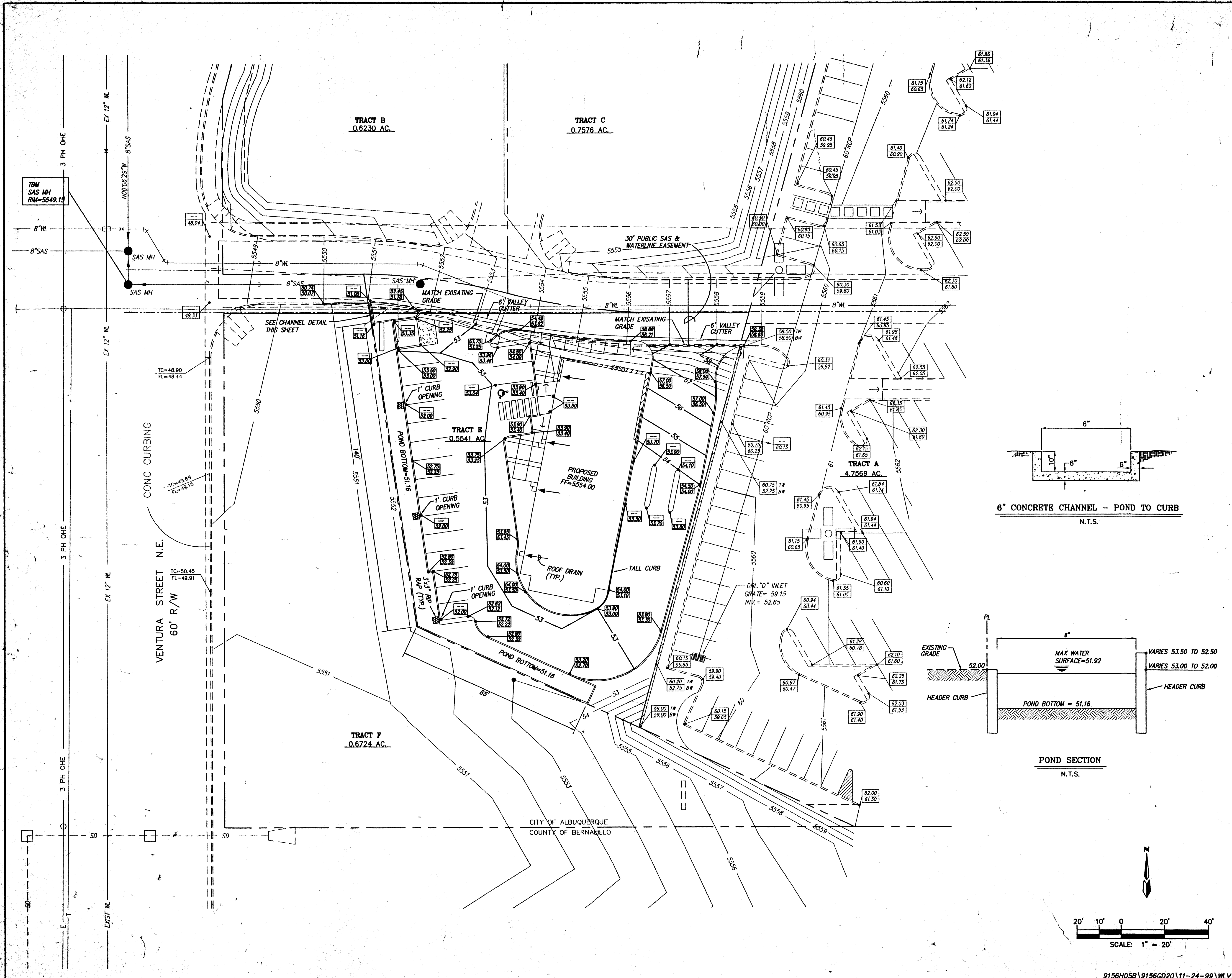
REV	DATE	BY	REVISION

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**HIGH DESERT STATE BANK**  
Paseo Del Norte and Ventura Street NE  
Albuquerque, New Mexico

PROJECT MANAGER  
George Rainhart, AIA 99063  
DRAWN BY  
SB  
JOB NO.  
99063  
SHEET TITLE  
**Site Plan**

DATE: 11/29/99  
SCALE: 1"=20'-0"  
sheet: **C1A**



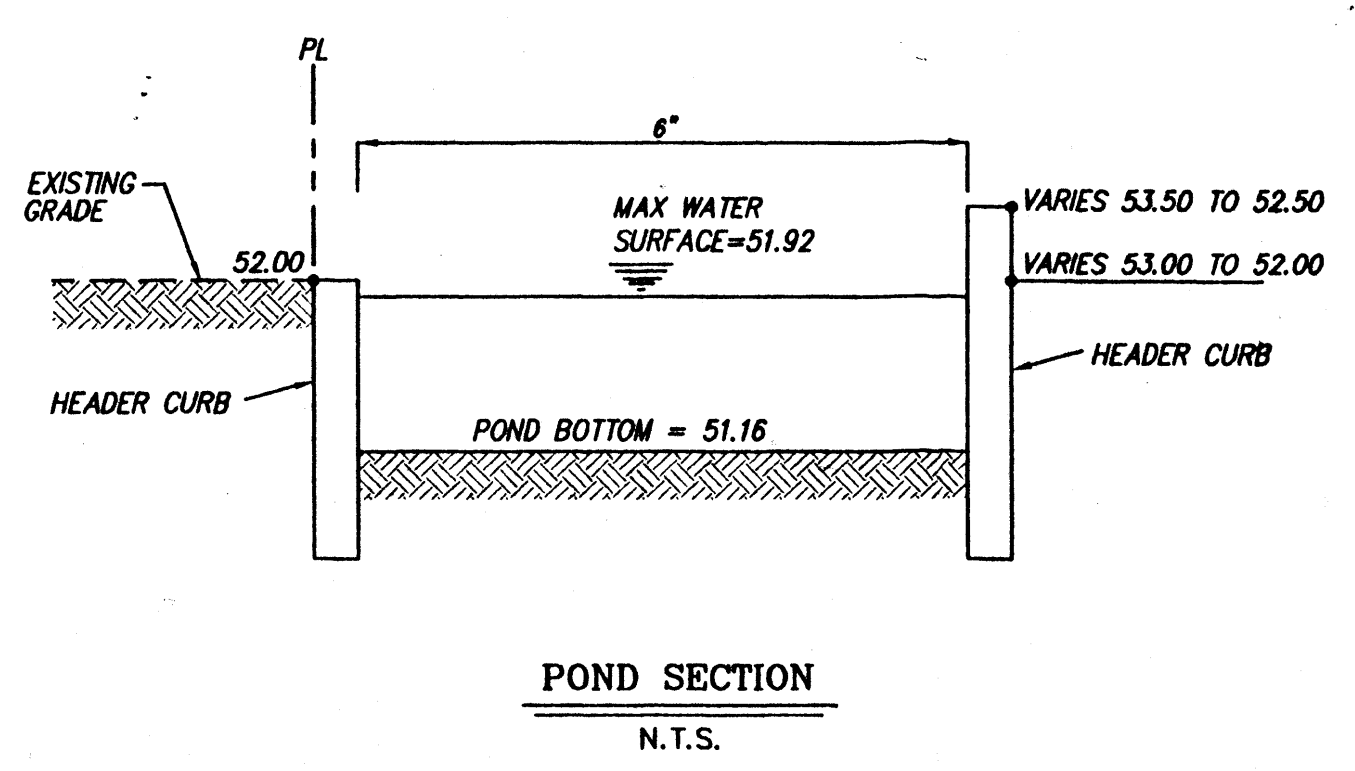
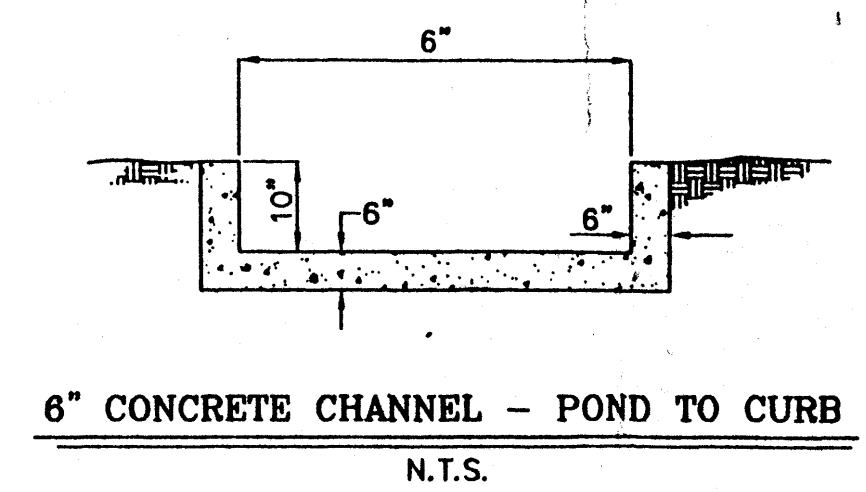
VICINITY MAP ZONE MAP: C-20-Z

**T B M (TEMPORARY BENCHMARK)**  
 A SANITARY SEWER MANHOLE AT INTERSECTION OF VENTURA STREET AND OLD HOLLY AVENUE RIM ELEV. = 5549.15

**ACS BENCHMARK**  
 THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "C21A-1978" SET IN TOP OF A CONCRETE POST FLUSH WITH GROUND.  
 TO REACH THE STATION FROM THE INTERCHANGE AT I-25 AND SAN MATEO BLVD. N.E. GO NORTH ON THE EAST FRONTAGE ROAD FOR 1.5 MILES TO PASEO DEL NORTE. TURN RIGHT, GO EAST ON PASEO DEL NORTE 2.8 MILES TO THE STATION ON THE LEFT.  
 X=415,503.35 Y=1,518,787.29 Z=5634.65

**LEGAL DESCRIPTION**  
 TRACT E, BLOCK 19, TRACT 3, UNIT 3 NORTH ALBUQUERQUE ACRES.

- NOTES**
1. SITE IS PART OF THE FURR'S - EAST PASEO DEL NORTE DRAINAGE REPORT PREPARED BY MARK GOODWIN & ASSOCIATES.
  2. SITE IS NOT IN A 100 YEAR FLOOD ZONE.
  3. A DETENTION POND IS REQUIRED.
  4. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  5. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
  6. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURE AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  7. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

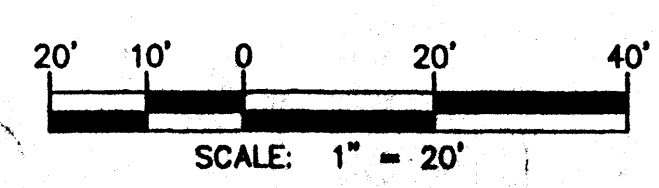


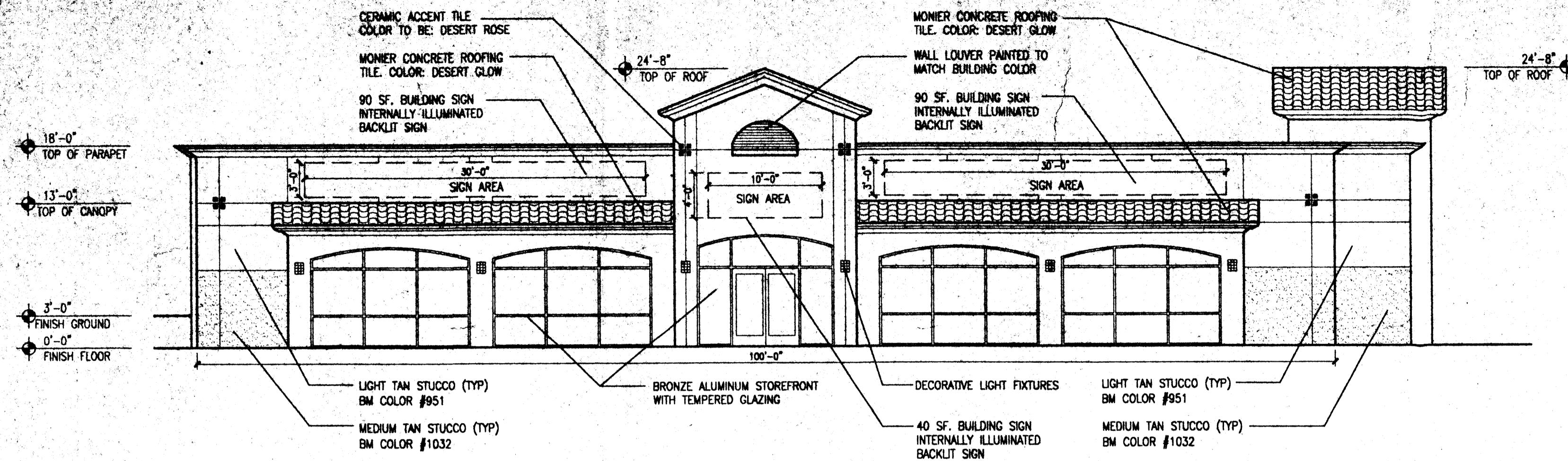
**LEGEND**

	PROPERTY LINE
	EXISTING CONTOUR
	NEW CONTOUR
	NEW SPOT ELEVATION
	EXISTING SPOT ELEVATION
	ROOF DRAIN (TYP)
	NEW RETAINING WALL
	TALL CURB

**HIGH DESERT STATE BANK**  
**GRADING AND DRAINAGE**

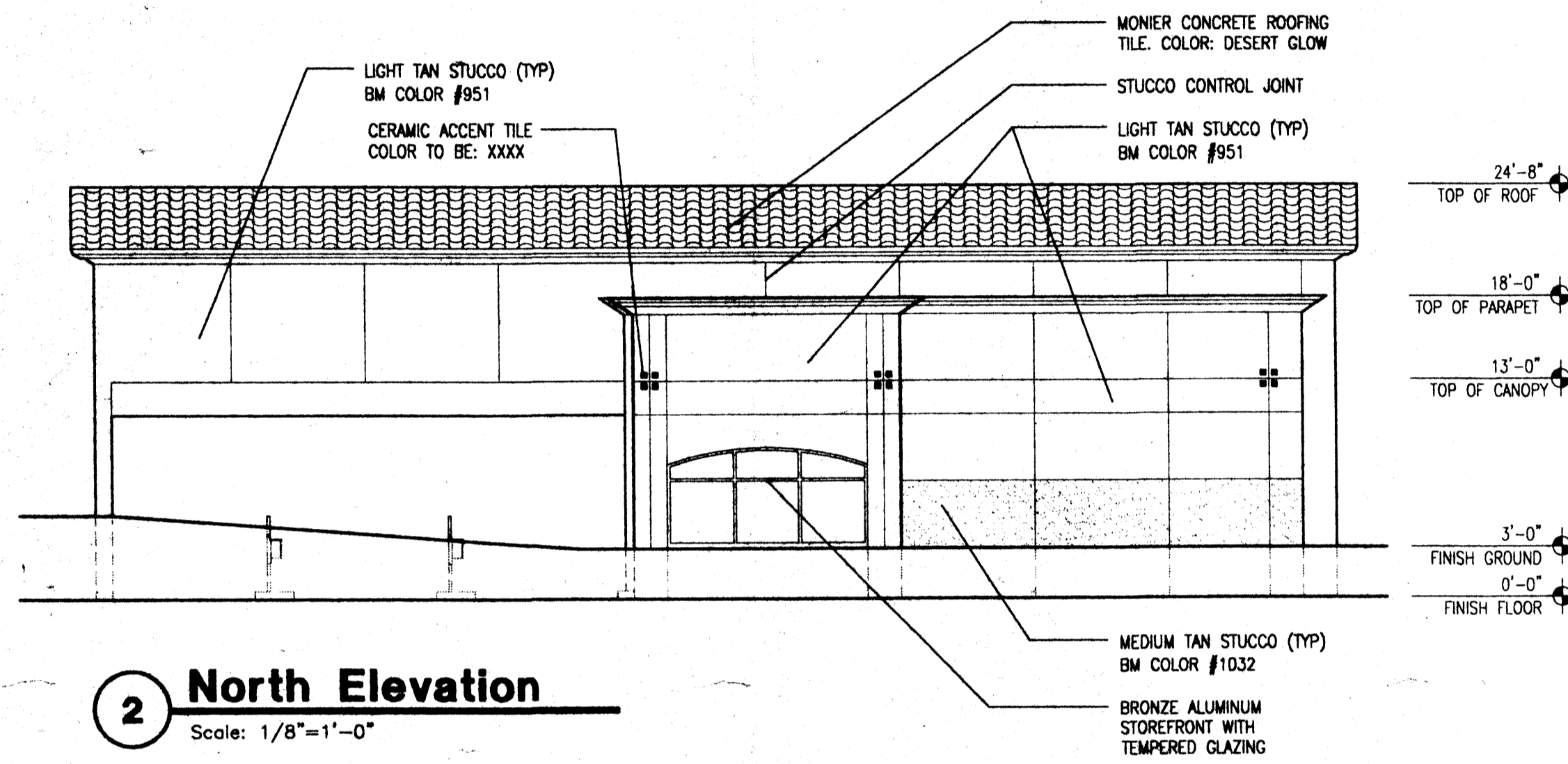
**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539





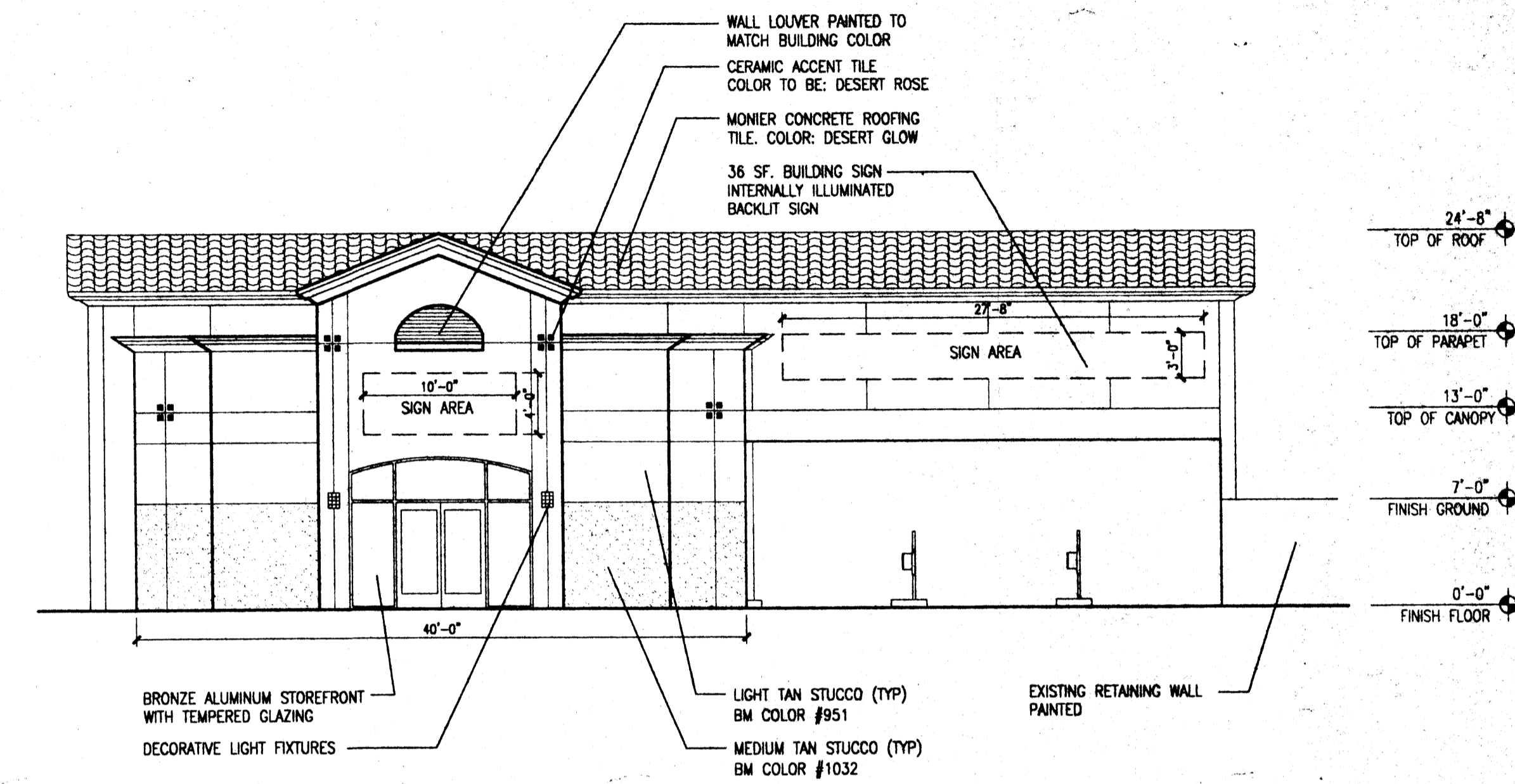
**1 West Elevation**

Scale: 1/8"=1'-0"



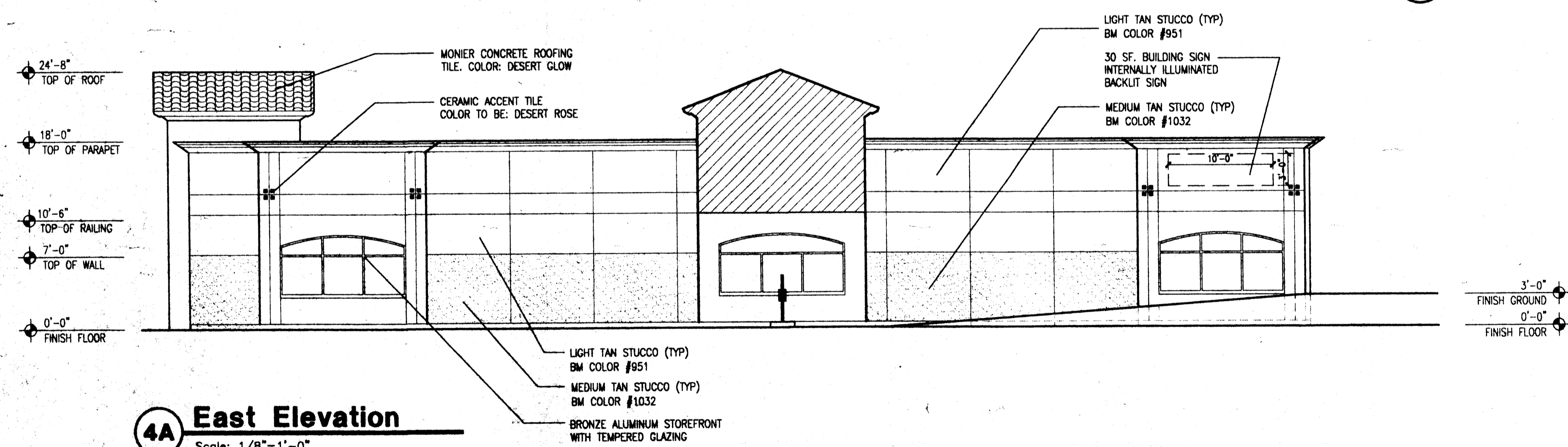
**2 North Elevation**

Scale: 1/8"=1'-0"



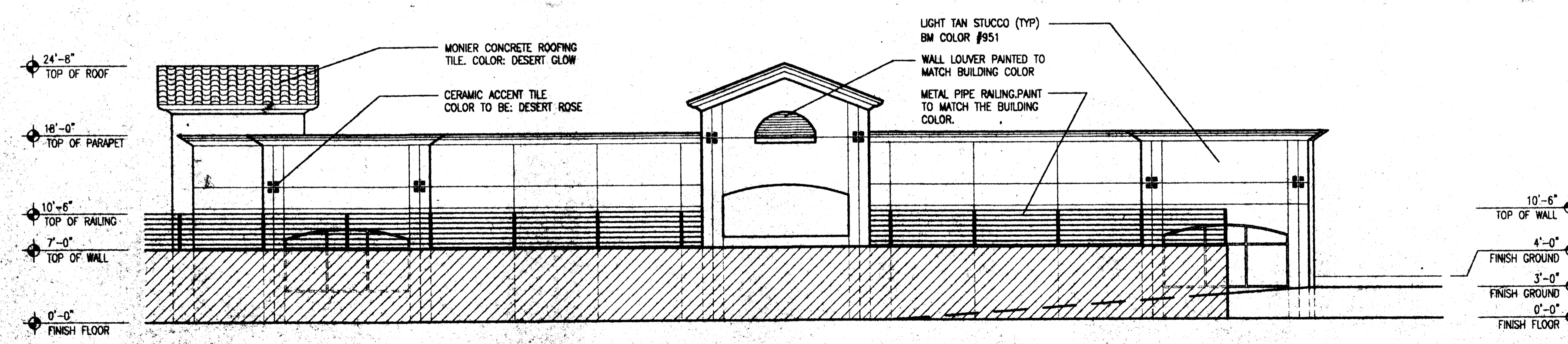
**2 South Elevation**

Scale: 1/8"=1'-0"



**4A East Elevation**

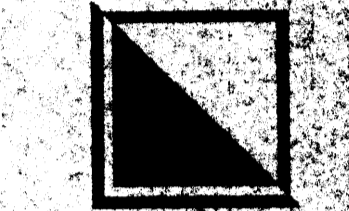
Scale: 1/8"=1'-0"



**4B East Elevation**

Scale: 1/8"=1'-0"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
 2325 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-8110 FAX (505) 837-9877

**PROJECT TITLE**  
**HIGH DESERT STATE BANK**  
 Paseo Del Norte and Ventura Street NE  
 Albuquerque, New Mexico

**DATE**  
 11/25/99

**SCALE**  
 1/8"=1'-0"

**DRAWN BY**  
 SB

**CHECKED BY**  
 SB

**DATE**  
 11/25/99

**SCALE**  
 1/8"=1'-0"

Exterior Elevations

**GENERAL ARCHITECTURAL DESIGN REQUIREMENTS:**

GENERAL ARCHITECTURE CHARACTER FOR PAD STRUCTURES IS TO FOLLOW THE GENERAL DESIGN CONCEPT DEPICTED ON ELEVATIONS OF FURRS AND THE SHOP BUILDING STRUCTURES FOR PAD BUILDINGS 2 & 3 WILL BE CEMENTITIOUS FINISH AND SPLIT FACE CHAU DADO OVER THE MAIN BUILDING WALLS MUST BE COLORED TO MATCH COLOR BENJAMIN MOORE (#2) BRIGHT AND (1) BRIGHT IF THE BUILDING EXTENDS BELOW FINISH FLOOR THAT AREA WILL ALSO BE COVERED WITH COLOR #2. STRUCTURES ARE TO BE PREDOMINATELY FLAT-ROOFED HOWEVER PARTIAL BUILDING AREAS SUCH AS PORCHES OR SMALL EXTENSIONS OF BUILDING FUNCTIONS ADJACENT TO THE MAJOR BUILDING MASS MAY HAVE SLOPED ROOFS. THESE ROOFS ARE TO BE SHED TYPE AND THE HIGH POINT OF THE ROOF MUST HIT THE MAIN BUILDING WALL BELOW THE TOP OF THE MAIN BUILDING PARAPET. BUILDING HEIGHTS ARE LIMITED TO PARAPET HEIGHTS FOR MAIN BUILDING WALL. THE APPROVAL OF THE SITE PLANS FOR BUILDING PERMITS FOR EACH SITE WILL BE DELEGATED TO THE CITY OF ALBUQUERQUE PLANNING STAFF.

**PAD ARCHITECTURAL DESIGN STANDARDS**

SMALL INCLUDE THE FOLLOWING ELEMENTS TO PROVIDE UNIFORM STANDARDS FOR ALL PADS SEE SHOP BUILDING FOR EXAMPLE:  
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 -FOUR OR EIGHT INCH SPLIT FACE ON ACCENT BLOCK COLOR #1  
 -STUCCO COLUMN ENCLOSURES  
 -FUEL CANOPIES TO BE CEMENTITIOUS FINISH COLOR #1  
 -LIGHTING TO BE ENTIRELY RECESSED IN SOFFIT OF FUEL CANOPIES.

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**COLOR PALETTE**

COLOR #1	LIGHT TAN	BENJAMIN MOORE #1032
COLOR #2	MEDIUM DARK TAN	DADO BAND BASE WALL COLOR & ACCENT BENJAMIN MOORE #951
COLOR #3	DESERT GLOW	CONCRETE TILE ROOFING AND TRIM

**BUILDING SIGNAGE**

EXCEPT AS NOTED UNDER AWNINGS ALL SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF THE SHOP BUILDING. NO SIGN SHALL BE ON THE BUILDING WALL FACING TOWARD THE ADJACENT RESIDENTIAL AREA. LETTERS ARE TO BE BACK LIT. EXPOSED NEON IF USED MUST BE WITHIN CHANNEL LETTERING CAN TYPE SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH A SPECIFIC TENANT ARE TO BE PROVIDED IN A NON-ILLUMINATED FASHION FOR SPECIFIC APPROVAL.

**LANDSCAPING**

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AWNINGS ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINTED OR EMBOSSED CORPORATE LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA ADDED TO ALL OTHER WALL SIGNAGE DOES NOT EXCEED 6 PERCENT OF THE AREA OF BUILDING WALL. ILLUMINATION OF AWNINGS MUST BE FROM PERMANENT MOUNTED FIXTURES LOCATED ABOVE THE AWNING. ACCENT COLORS ON AWNINGS ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND SAMPLES OF THE PROPOSED AWNING COLORS ARE TO PROVIDED WITH EACH SUBMITTAL.

**GLAZING**

REFLECTIVE GLAZING IS PROHIBITED. CLEAR AND BRONZE TINTED GLASS IS PERMITTED.

**SERVICE AREAS**

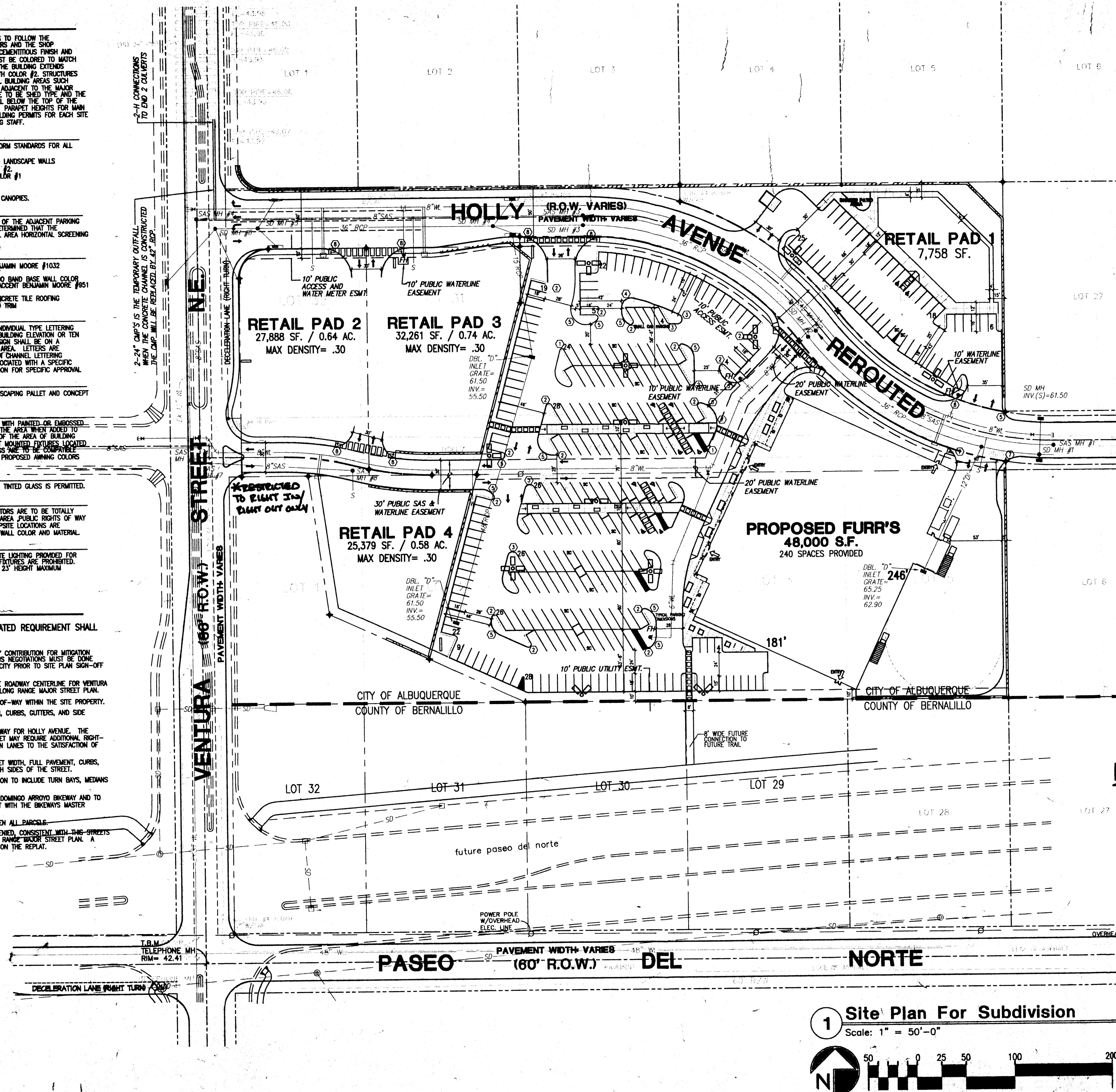
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**LIGHTING**

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PROPOSED AREA. EXPOSED, I.E. STANDING LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES 2'3" HEIGHT MAXIMUM INCLUDING BASE.

**NOTICE OF DECISION CONDITIONS OF APPROVAL:**

- ALL PUBLIC WORKS TRANSPORTATION RELATED REQUIREMENT SHALL BE MET INCLUDING THE FOLLOWING:
  - THE IMPLEMENTATION OF AND /OR MONETARY CONTRIBUTION FOR MITIGATION MEASURES REQUIRED SUBSEQUENT TO THE ITS NEGOTIATIONS MUST BE DONE BY THE DEVELOPER AND ACCEPTED BY THE CITY PRIOR TO SITE PLAN SIGN-OFF BY THE DRB.
  - DEDICATE 43' OF RIGHT-OF-WAY FROM THE ROADWAY CENTERLINE FOR VENTURA STREET, A MINOR ARTERIAL STREET ON THE LONG RANGE MAJOR STREET PLAN.
  - VACATE THE EXISTING HOLLY AVENUE RIGHT-OF-WAY WITHIN THE SITE PROPERTY. CONSTRUCT REQUIREMENT PAVEMENT, MEDIAN, CURBS, GUTTERS, AND SIDE WALKS ON HOLLY AVENUE.
  - DEDICATE A MINIMUM OF 60' OF RIGHT-OF-WAY FOR HOLLY AVENUE. THE INTERSECTION OF HOLLY AND VENTURA STREET MAY REQUIRE ADDITIONAL RIGHT-OF-WAY TO ACCOMMODATE MEDIAN AND TURN LANES TO THE SATISFACTION OF THE TRAFFIC ENGINEER.
  - CONSTRUCT HOLLY AVENUE WITH FULL STREET WIDTH, FULL PAVEMENT, CURBS, GUTTERS AND STANDARD SIDEWALKS ON BOTH SIDES OF THE STREET.
  - CONSTRUCT THE VENTURA-HOLLY INTERSECTION TO INCLUDE TURN BAYS, MEDIANS AND DECELERATION LANES.
  - PROVIDE TRAIL CONNECTION TO THE NORTH DOMINGO ARROYO BIKEWAY AND TO THE PASEO DEL NORTE BIKEWAY CONSISTENT WITH THE BIKEWAYS MASTER PLANS.
  - PROVIDE CROSS-ACCESS EASEMENTS BETWEEN ALL PARCELS.
  - ACCESS TO PASEO DEL NORTE SHALL BE DENIED CONSISTENT WITH THE STRATEGIC LIMITED ACCESS DESIGNATION ON THE LONG RANGE MAJOR STREET PLAN. A NOTE TO THIS EFFECT SHALL BE INCLUDED ON THE REPEAT.



**LEGAL DESCRIPTION:**

LOTS NUMBERED 28-32 IN BLOCK NINETEEN (19) AND LOTS NUMBERED 1-5 IN BLOCK TWENTY (20) BOTH OF TRACT THREE (3), JANT THREE (3) OF NORTH ALBUQUERQUE ACRES. LOCATED ON THE EAST SIDE OF VENTURA STREET NE BETWEEN PASEO DEL NORTE NE, AND HOLLY AVENUE NE, ALBUQUERQUE, NM.

CURRENT ZONING: SU-1 FOR C-1 PERMISSIVE USES WITH PACKAGED LIQUOR SALES WITHIN 500 FEET OF A RESIDENTIAL ZONE, ONLY IN CONJUNCTION WITH A FULL SERVICE GROCERY STORE.

TOTAL ACREAGE: 8.04 AC.  
 ZONE ATLAS: C-20-Z

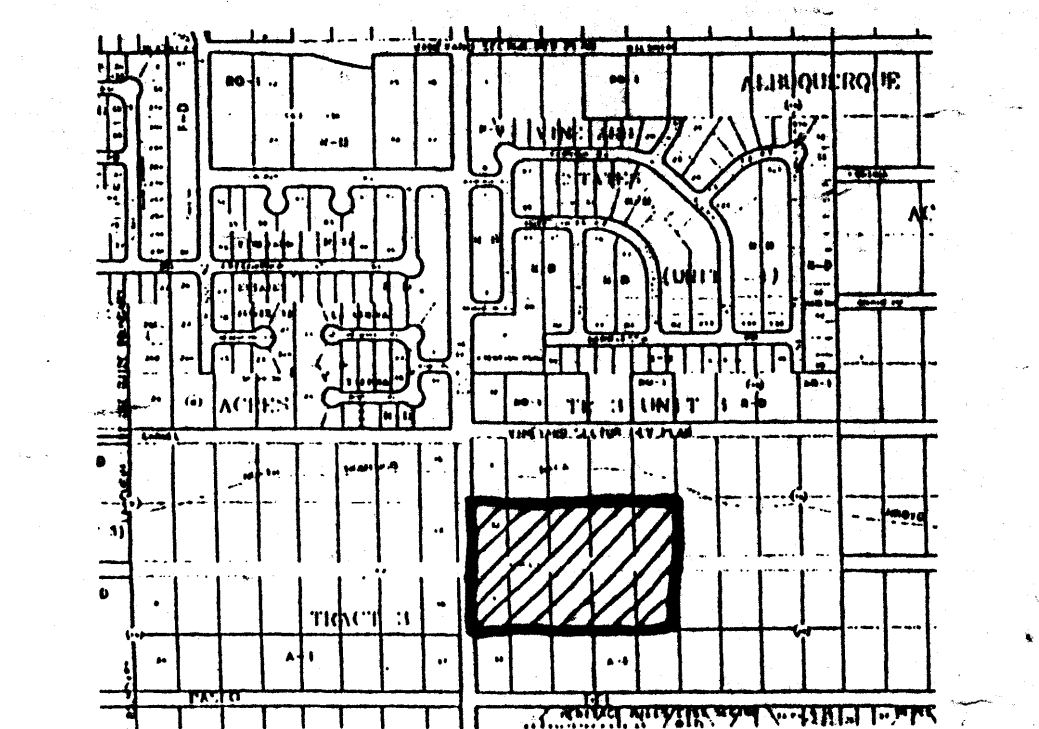
**BUILDING AREA & PARKING CALCULATIONS:**

<b>BUILDING AREA</b>	
FURR'S:	48,000 SF. BUILDING
	48,000 SF / 200 = 240 SPACES
	SPACES REQUIRED 240 SPACES
RETAIL PAD 1:	7,800 SF. BUILDING
	7,800 SF / 200 = 39 SPACES
	SPACES REQUIRED 39 SPACES

**PARKING NOTES:**

TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0"  
 TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"  
 TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0"  
 WITH A 6' WIDE ACCESS AISLE  
 \* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

<b>FURR'S:</b>	
TOTAL STANDARD PARKING SPACES PROVIDED	209 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 2 VAN SPACES)	8 SPACES
TOTAL SMALL CAR PARKING SPACES PROVIDED	23 SPACES
TOTAL PROVIDED	240 SPACES
<b>RETAIL PAD 1:</b>	
TOTAL STANDARD PARKING SPACES PROVIDED	45 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 1 VAN SPACES)	2 SPACES
TOTAL SMALL CAR PARKING SPACES PROVIDED	2 SPACES
TOTAL PROVIDED	48 SPACES



**VICINITY MAP**  
 NOT TO SCALE

**For REFERENCE ONLY**

EPC CASE # 2-96-140 DRB CASE # ORB-98-32A  
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on JUNE 12, 1998 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

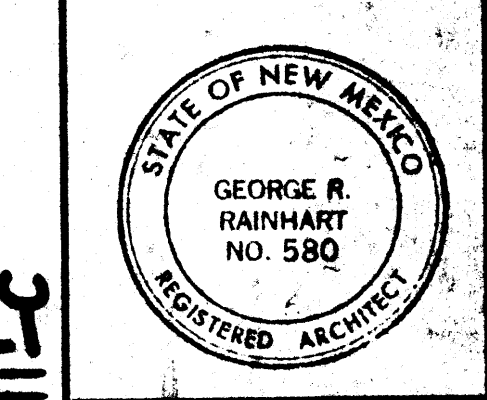
**SITE DEVELOPMENT PLAN**

<i>Robert D. ...</i>	1-12-97
Traffic Engineer, Transportation Division	Date
<i>...</i>	1-12-97
Public Works, Water Utility Division	Date
<i>...</i>	1-12-97
City Engineer, Engineering Division / AMAFCA	Date
<i>...</i>	4-18-97
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	Date
<i>...</i>	4-18-97
City Planner, Albuquerque / Bernalillo County Planning Division	Date
<i>...</i>	4-18-97
Solid Waste	

**1 Site Plan For Subdivision**  
 Scale: 1" = 50'-0"

REV	DATE	BY	REVISION

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO NE SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



**Furr's Supermarket INC.**  
 Paseo Del Norte and Ventura Street NE  
 Albuquerque, New Mexico

PROJECT MANAGER: George Rainhart, AIA  
 DRAWN BY: MWS  
 JOB NO: 98006

**Site Plan**

DATE: 12/11/98  
 SCALE: 1"=50'-0"

sheet 3 of 3  
**C1**

**GENERAL ARCHITECTURAL DESIGN REQUIREMENTS:**

GENERAL ARCHITECTURE CHARACTER FOR PAD STRUCTURES IS TO FOLLOW THE GENERAL DESIGN CONCEPT DEPICTED ON ELEVATIONS OF FURRS AND THE SHOP BUILDING STRUCTURES FOR PAD BUILDINGS 2 & 3 WILL BE CEMENTITIOUS FINISH AND SPLIT FACE CONCRETE. THE MAIN BUILDING MUST BE COLORED TO MATCH COLOR BENJAMIN MOORE #1032 OF THE BUILDING AND THE BUILDING EXTERIOR BELOW FINISH FLOOR THAT AREA WILL ALSO BE COVERED WITH COLOR #2. STRUCTURES ARE TO BE PREDOMINANTLY FLAT - ROOFED HOWEVER PARTIAL BUILDING AREAS SUCH AS PORCHES OR SMALL EXTENSIONS OF BUILDING FUNCTIONS ADJACENT TO THE MAIN BUILDING MUST HAVE SLOPED ROOFS. THESE ROOFS ARE TO BE SHED TYPE AND THE HIGH POINT OF THE ROOF MUST HIT THE MAIN BUILDING WALL BELOW THE TOP OF THE MAIN BUILDING PARAPET. BUILDING HEIGHTS ARE LIMITED TO PARAPET HEIGHTS FOR MAIN BUILDING WALL. THE APPROVAL OF THE SITE PLANS FOR BUILDING PERMITS FOR EACH SITE WILL BE DELEGATED TO THE CITY OF ALBUQUERQUE PLANNING STAFF.

**PAD ARCHITECTURAL DESIGN STANDARDS**

SHALL INCLUDE THE FOLLOWING ELEMENTS TO PROVIDE UNIFORM STANDARDS FOR ALL PADS SEE SHOP BUILDING, FOR EXAMPLE:  
 -- THE LOWER 3'-4" OF THE AREA OF VERTICAL WALLS AND LANDSCAPE WALLS SHALL BE FOUR OR EIGHT INCH SPLIT FACE CONCRETE COLOR #2  
 -- FOUR OR EIGHT INCH SPLIT FACE OR ACCENT BLOCK COLOR #1  
 -- STUCCO COLUMN ENCLOSURES.  
 -- FUEL COMPACTORS TO BE CEMENTITIOUS FINISH COLOR #1  
 LIGHTING TO BE ENTIRELY RECESSED IN SOFFIT OF FUEL COMPACTORS.

**MECHANICAL EQUIPMENT SCREENING**

ALL MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT-OF-WAY. IN ADDITION, IF IT IS DETERMINED THAT THE MECHANICAL UNIT CAN BE OBSERVED FROM THE RESIDENTIAL AREA HORIZONTAL SCREENING PER THE ATTACHED CONCEPTUAL SKETCH IS REQUIRED.

**COLOR PALETTE**

COLOR #1 LIGHT TAN BENJAMIN MOORE #1032  
 COLOR #2 MEDIUM DARK TAN DADD-BAND BASE WALL COLOR & ACCENT BENJAMIN MOORE #951  
 COLOR #3 DESERT GLOW CONCRETE-THE ROOFING AND TRIM

**BUILDING SIGNAGE**

EXCEPT AS NOTED UNDER AWNINGS ALL SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION OR TEN PERCENT OF THE WALL AREA OF THE SHOP BUILDING. NO SIGN SHALL BE ON A BUILDING WALL FACING TOWARD THE ADJACENT RESIDENTIAL AREA. LETTERS ARE TO BE BACK LIT, EXPOSED NEON IF USED MUST BE WITHIN CHANNEL LETTERING. CAN TYPE SIGNS ARE PROHIBITED. ANY SPECIAL LOGOS ASSOCIATED WITH A SPECIFIC TENANT ARE TO BE PROVIDED IN A NON-ILLUMINATED FASHION FOR SPECIFIC APPROVAL.

**LANDSCAPING**

LANDSCAPING OF THE PADS WILL BE FROM THE SAME LANDSCAPING PALETTE AND CONCEPT AS PROVIDED ON THE MASTER LANDSCAPING PLAN.

**AWNINGS**

AWNINGS ARE PERMITTED ABOVE WINDOW AREAS. AWNINGS WITH PAINTED OR EMBOSSED CORPORATE LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA WHEN ADDED TO ALL OTHER WALL SIGNAGE DOES NOT EXCEED 6 PERCENT OF THE AREA OF BUILDING WALL. ILLUMINATION OF AWNINGS MUST BE FROM PENDANT MOUNTED FIXTURES LOCATED LOCATED ABOVE THE AWNING. ACCENT COLORS ON AWNINGS ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND SAMPLES OF THE PROPOSED AWNING COLORS ARE TO PROVIDED WITH EACH SUBMITTAL.

**GLAZING**

REFLECTIVE GLAZING IS PROHIBITED. CLEAR AND BRONZE TINTED GLASS IS PERMITTED.

**SERVICE AREAS**

SERVICE AREAS SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE TOTALLY SCREENED FROM VIEW FROM THE ADJACENT RESIDENTIAL AREA. PUBLIC RIGHTS OF WAY AND THE ADJACENT MONUMENT AREA FREE-STANDING DUMPSTER LOCATIONS ARE TO BE GATED. SCREENING MATERIAL TO MATCH BUILDING WALL COLOR AND MATERIAL.

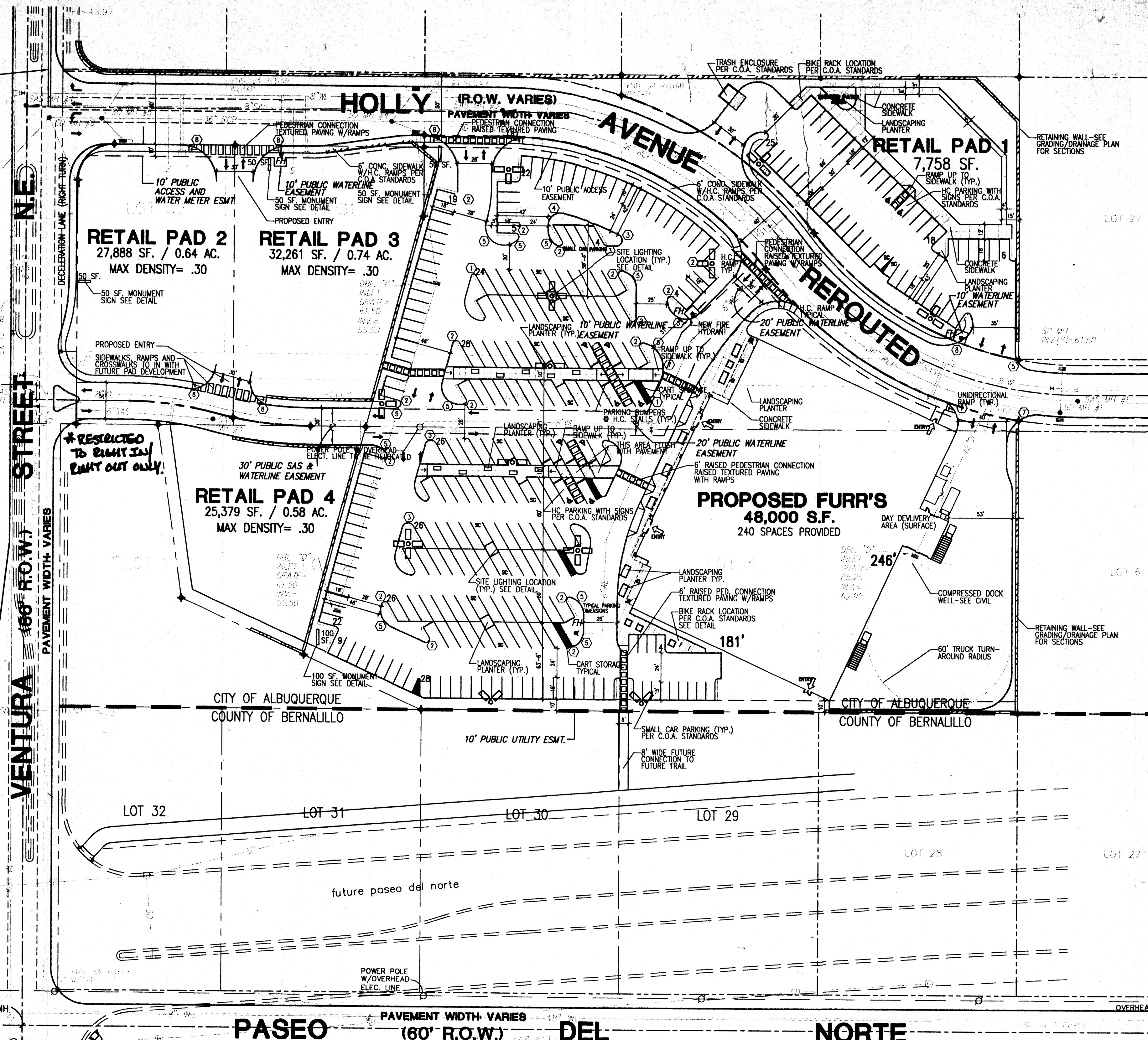
**LIGHTING**

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, IE UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES 23" HEIGHT MAXIMUM INCLUDING BASE.

**NOTICE OF DECISION CONDITIONS OF APPROVAL:**

- ALL PUBLIC WORKS TRANSPORTATION RELATED REQUIREMENT SHALL BE MET INCLUDING THE FOLLOWING:
  - THE SITE ACCESS, CIRCULATION PATTERN, AND STRUCTURE ORIENTATION/CONFIGURATION MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER.
  - THE PROPOSED NW ENTRANCE REQUIRES A THROAT AREA OF 60'.
  - PROVIDE A MAXIMUM OF TWO DRIVEWAYS FOR PAD NO. 1. THE MIDDLE DRIVEWAY SHALL BE ELIMINATED.
  - REQUIRED UTILITY LINES MUST BE CONSTRUCTED OR FINANCIALLY GUARANTEED PRIOR TO DRB.
  - AN APPROVED DRAINAGE REPORT IS REQUIRED PRIOR TO DRB APPROVAL.
  - PROVIDE TWO (2) 36 YARD COMPACTORS, ONE FOR TRASH AND ONE FOR RECYCLING.
  - REDUCE THE WIDTH OF THE ASPHALT DRIVE TO THE SOUTH OF FURRS TO A MAXIMUM OF 30' WIDTH.
- PROVIDE THE FOLLOWING PEDESTRIAN, BICYCLE AND VEHICLE CIRCULATION IMPROVEMENTS:
  - PROVIDE BICYCLE PARKING SPACES AT THE RATE OF 1 BICYCLE SPACE/20 AUTOMOBILE SPACES. PROVIDE SECURE BICYCLE STORAGE FOR EMPLOYEES.

- PROVIDE ADEQUATE PEDESTRIAN CIRCULATION WITH DISABLE D FEATURES WITHIN THE SITE AND TO THE ADJACENT STREETS. UNIDIRECTIONAL HANDICAPPED PARKING SHOULD BE USED AT ALL ENTRANCES, INCLUDING THOSE ON VENTURA STREET AND HOLLY AVENUE.
- PEDESTRIAN PATHS SHALL BE MINIMUM 6' WIDE. PROVIDE A DIFFERENT PAVING MATERIAL, TEXTURED, AND SLIGHTLY RAISED (FOR TRAFFIC DAMPENING) WHERE PEDESTRIAN PATHS CROSS VEHICULAR CIRCULATION, EXCEPT ON HOLLY AVENUE.
- PEDESTRIAN PATHS ADJACENT TO PARKING SHALL BE PROTECTED. WHERE ADJACENT PARKING IS PERPENDICULAR OR ANGLED TO THE PATH, BOLLARDS SHALL BE USED OR A 1' RASSED PATHS SHALL BE PROVIDED. WHERE ADJACENT PARKING IS PARALLEL TO THE PATH, A MINIMUM 3' LANDSCAPE AREA SHALL BE PROVIDED BETWEEN THE PATH AND ADJACENT PARKING.
- EXTEND TO THE PEDESTRIAN PAVED AREA AT THE SOUTHWEST CORNER OF THE FURRS BUILDING ABOUT 25' TO THE SOUTH AND CARRY IT AROUND TO THE SOUTH SIDE OF THE BUILDING.
- OUTSIDE DISPLAYS ON SIDEWALK AREAS SHALL BE LIMITED TO SEASONAL AND HOLIDAY ITEMS SUCH AS CHRISTMAS TREES, PUMPKINS, PLANTS AND FLOWERS.
- PROVIDE 12' OF SIDEWALK AREA IN FRONT OF BUILDING AT PAD 1.
- SMALL CAR PARKING SPACES SHALL BE DISTRIBUTED IN THE ENTIRE PARKING AREA INSTEAD OF CLUSTERED IN TWO AREAS.
- INDICATE LOCATION(S) OF CART STORAGE AREAS.
- PROVIDED A MINIMUM OF 15' WIDE WALK ALONG THE ENTIRE WEST FRONT OF FURRS. PEDESTRIAN SHADOW SIDEWALK SHALL BE PROVIDED WITH EITHER ORNAMENTAL TREES AT 20' ON CENTER OR SHADE TREES AT 30' ON CENTER. THE SHADE TREES SHALL BE A DISTANCE OF NO GREATER THAN 30' IN ANY DIRECTION FROM THE ENTRANCE CANOPY.



**LEGAL DESCRIPTION:**

LOTS NUMBERED 28-32 IN BLOCK NINETEEN (19) AND LOTS NUMBERED 1-5 IN BLOCK TWENTY (20) BOTH OF TRACT THREE (3), UNIT THREE (3) OF NORTH ALBUQUERQUE ACRES. LOCATED ON THE EAST SIDE OF VENTURA STREET NE, BETWEEN PASEO DEL NORTE NE, AND HOLLY AVENUE NE., ALBUQUERQUE, NM.

CURRENT ZONING: SU-1 FOR C-1 PERMISSIVE USES WITH PACKAGED LIQUOR SALES WITHIN 500 FEET OF A RESIDENTIAL ZONE, ONLY IN CONJUNCTION WITH A FULL SERVICE GROCERY STORE.

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 ZONE ATLAS: C-20-Z

**BUILDING AREA & PARKING CALCULATIONS:**

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FURR'S:	48,000 SF. BUILDING
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	SPACES REQUIRED 240 SPACES
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**PARKING NOTES:**

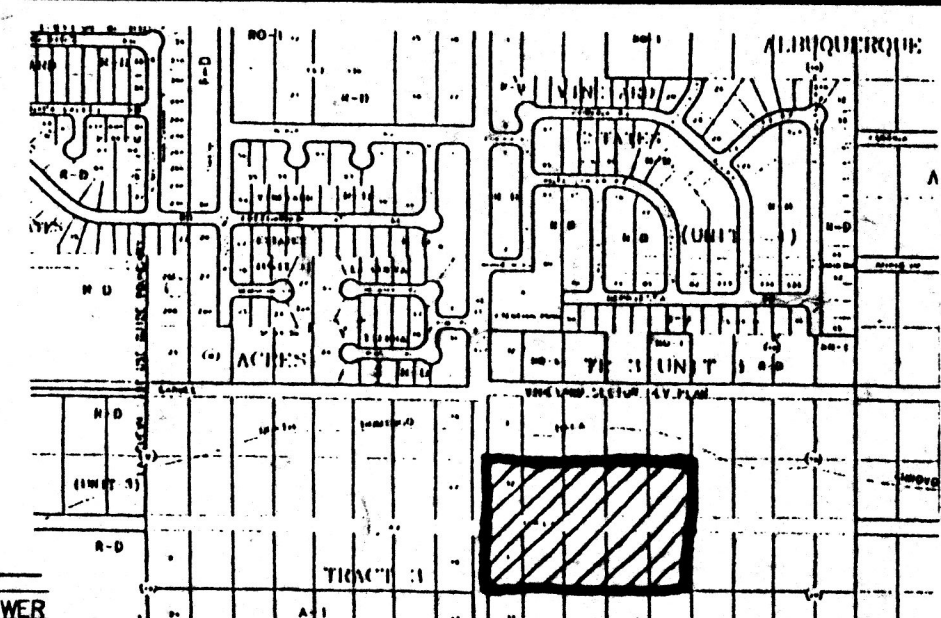
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 WITH A 6' WIDE ACCESS AISLE

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TOTAL PROVIDED	49 SPACES

**RADIUS:**

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 50'-0"
- ⑩ RADIUS = 65'-0"
- ⑪ RADIUS = 100'-0"



**CONDITIONS OF APPROVAL: CONT.**

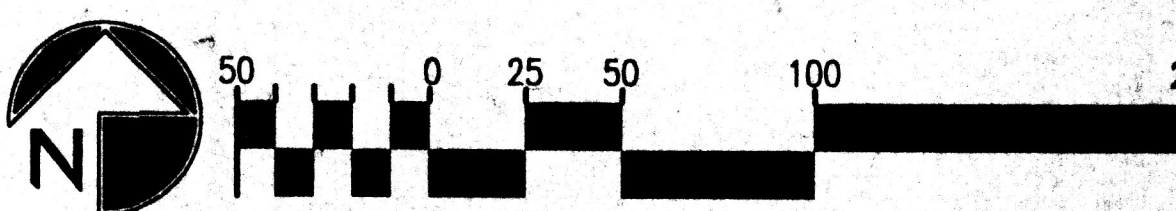
- A SMALL SHADE PATIO AREA SHALL BE ADDED ADJACENT TO PAD 1 WITH A MINIMUM OF 250 SQUARE FEET OF SURFACE AREA SHADE TREES OR SHADE STRUCTURE.
- PROVIDE THE FOLLOWING LANDSCAPE IMPROVEMENTS:
    - PROVIDE A 5' LANDSCAPE STRIP AT ALL LOCATION ADJACENT TO THE RETAINING WALL ON THE EAST/SOUTH AND NORTH PROPERTY LINE.
    - STREET TREES ALONG HOLLY AVENUE AND VENTURA STREET SHALL BE PLANTED AT A RATE OF ONE TREE FOR EVERY 25' OF STREET FRONTAGE AND SHALL BE A MIX OF DECIDUOUS AND EVERGREEN TREES.
    - PROVIDE A 6' SOLID SCREEN WALL AT RETAINING WALLS MEASURED FROM FINISH GRADE OUTSIDE THE PROPERTY. THE LANDSCAPE STRIP ADJACENT TO THE PROPERTY LINE SHALL BE TERRAZED UP AS NECESSARY TO PREVENT EXCESSIVELY HIGH BLANK WALLS.
    - PROVIDE APPROPRIATE LANDSCAPE ON EARTH BANK AT EAST END OF RETAIL PAD 3 DURING INTERIM PRIOR TO DEVELOPMENT OF PAD 3.
    - SHADE TREES SHALL BE LOCATED A MINIMUM 5' BY 5' PLANTERS AT 25' ON CENTER ALONG THE SOUTH SIDE OF EACH EAST/WEST PEDESTRIAN PATHWAY PERPENDICULAR TO THE FRONT ENTRY OF FURRS.
    - ADD MINIMUM 6' WIDE LANDSCAPE STRIP WITH TREES AND SHRUBS EXTENDED TO APPROXIMATELY MID POINT OF THE SOUTH ELEVATION OF FURRS.
    - ADD STREET TREES AT 30' ON CENTER ALONG PASEO
    - A MIX OF EVERGREEN TREES AND STREET TREES SHALL BE PROVIDED IN AT THE AREAS NOTED AS SECTION AA AND BB AT 25' ON CENTER.

**CONDITIONS OF APPROVAL: CONT.**

- PROVIDE THE FOLLOWING BUILDING & SIGNAGE RELATED IMPROVEMENTS:
  - ROOFTOP EQUIPMENT SHALL NOT BE HIGHER THAN THE BUILDING PARAPET.
  - THE BUILDING AT PAD 1 SHOULD BE SET BACK 15' FROM THE PROPERTY LINES.
  - AWNINGS ON THE PAD 1 BUILDING INCLUDING COLOR AND SIGNAGE ON AWNINGS SHALL BE PROVIDED ON THE DRB SUBMITTAL TO THE SATISFACTION OF THE PLANNING DEPARTMENT. NO VINYL COATED AWNINGS SHALL BE PERMITTED.
  - DELETE BUILDING MOUNTED SIGNS ON THE NORTH ELEVATION OF THE FURR'S BUILDING.
  - DELETE BUILDING MOUNTED SIGNS SHALL BE CHANNELIZED LETTERS. BOX OR PANEL SIGNS SHALL NOT BE USED.
  - BUILDING MOUNTED SIGNS ON PAD 1 SHALL BE LOCATED WITHIN THE 30' AREA DEFINED BY DASHED LINES INDICATED ON THE BUILDING ELEVATION BUT MAY BE LOCATED HORIZONTALLY TO SUIT TENANTS. TOTAL SIGNAGE AREA INCLUDING SIGNAGE ON AWNINGS, MAY NOT EXCEED THAT INDICATED BY DASHED LINES ON THE ELEVATIONS.
  - DIMENSIONS OF THE LARGER MONUMENT SIGNS SHALL BE 8' x 12' AND SMALLER MONUMENT SIGN DIMENSIONS SHALL BE 6' x 8' IN ORDER TO ACHIEVE A HORIZONTAL PRESENTATION.
  - THE MONUMENT SIGN AT THE NORTHWEST CORNER OF THE FURR'S SHALL BE REDUCED TO 48 SQUARE FEET.
  - THE SIGNAGE INDICATED ON THESE PLANS AND ELEVATIONS AND THESE CONDITIONS FOR THE FURR'S AND PAD 1 SITES SHALL BE CONSIDERED ADEQUATE; NO ADDITIONAL SIGNS SHALL BE PERMITTED ON THESE 2 SITES.
  - STUCCO FINISHED SHALL BE TEXTURED.
  - THE LOWER 3'-4" OF WALLS INCLUDING LANDSCAPE WALLS SHALL BE SPLIT GRAY DARK MEDIUM TAN COLOR.

**For REFERENCE ONLY**

**1 Site Plan For Building Permit**  
 Scale: 1" = 50'-0"



**EPC CASE #** \_\_\_\_\_ **DRB CASE # DRB** \_\_\_\_\_

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	<i>[Signature]</i>	1-12-99
Parks and Recreation Department	<i>[Signature]</i>	1-12-99
Public Works, Water Utilities Division	<i>[Signature]</i>	1-12-99
City Engineer, Engineering Division / AMAFCA	<i>[Signature]</i>	2-12-99

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division  
*[Signature]* 4/2/99 Date

Solid Waste 9-15-99

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

STATE OF NEW MEXICO  
 GEORGE R. RAINHART  
 NO. 580  
 REGISTERED ARCHITECT

**Furr's Supermarket INC.**  
 Paseo Del Norte and Ventura Street NE  
 Albuquerque, New Mexico

PROJECT MANAGER: George Rainhart, AIA  
 DRAWN BY: WMS  
 JOB NO.: 96006  
 SHEET TITLE: Site Plan

DATE: 12/11/98  
 SCALE: 1"=50'-0"  
 SHEET NO.: 7 of 9