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CMP

BDA

**PARKER / DAVIS
 OFFICE CONDOMINIUMS**

**6501 WYOMING NE
 ALBUQUERQUE, NEW MEXICO**

STEVE DAVIS/CHRISTIAN PARKER
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**SITE PLAN
 FOR BUILDING PERMIT**

REV.#	DATE	COMMENTS

REVISIONS

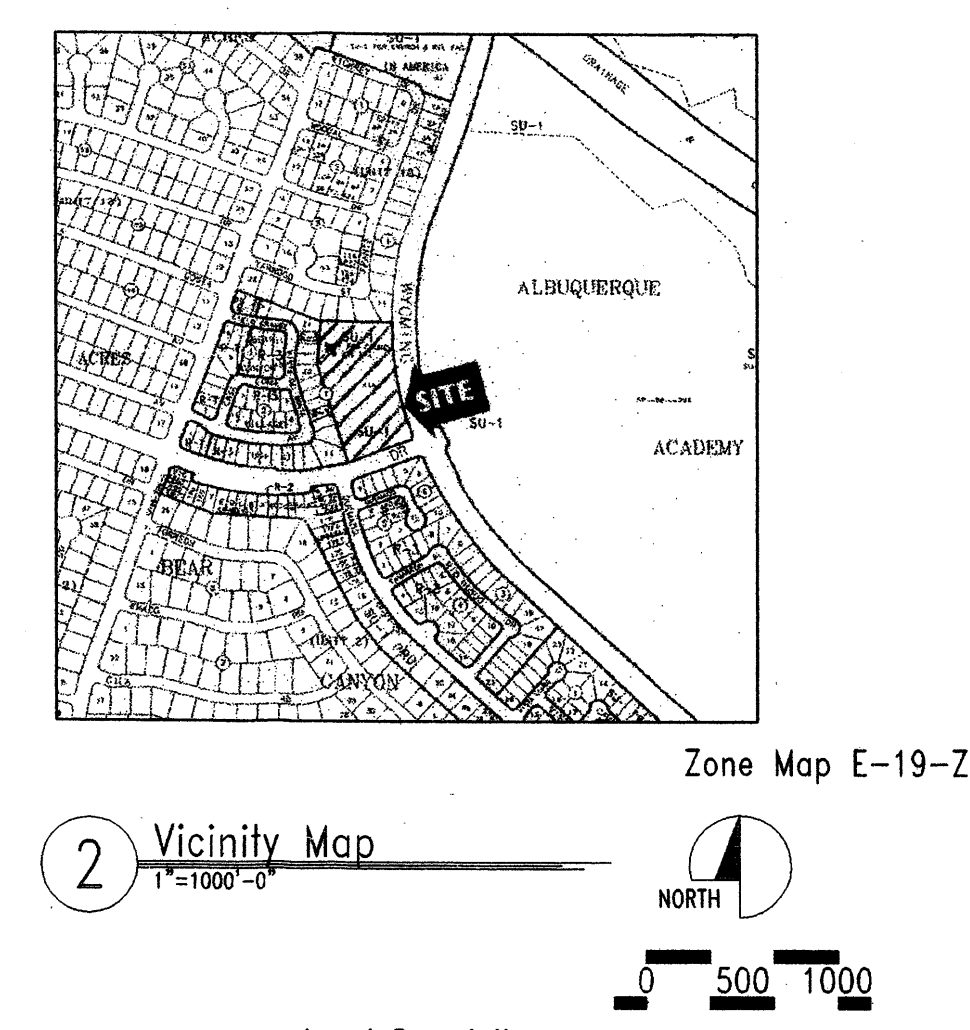
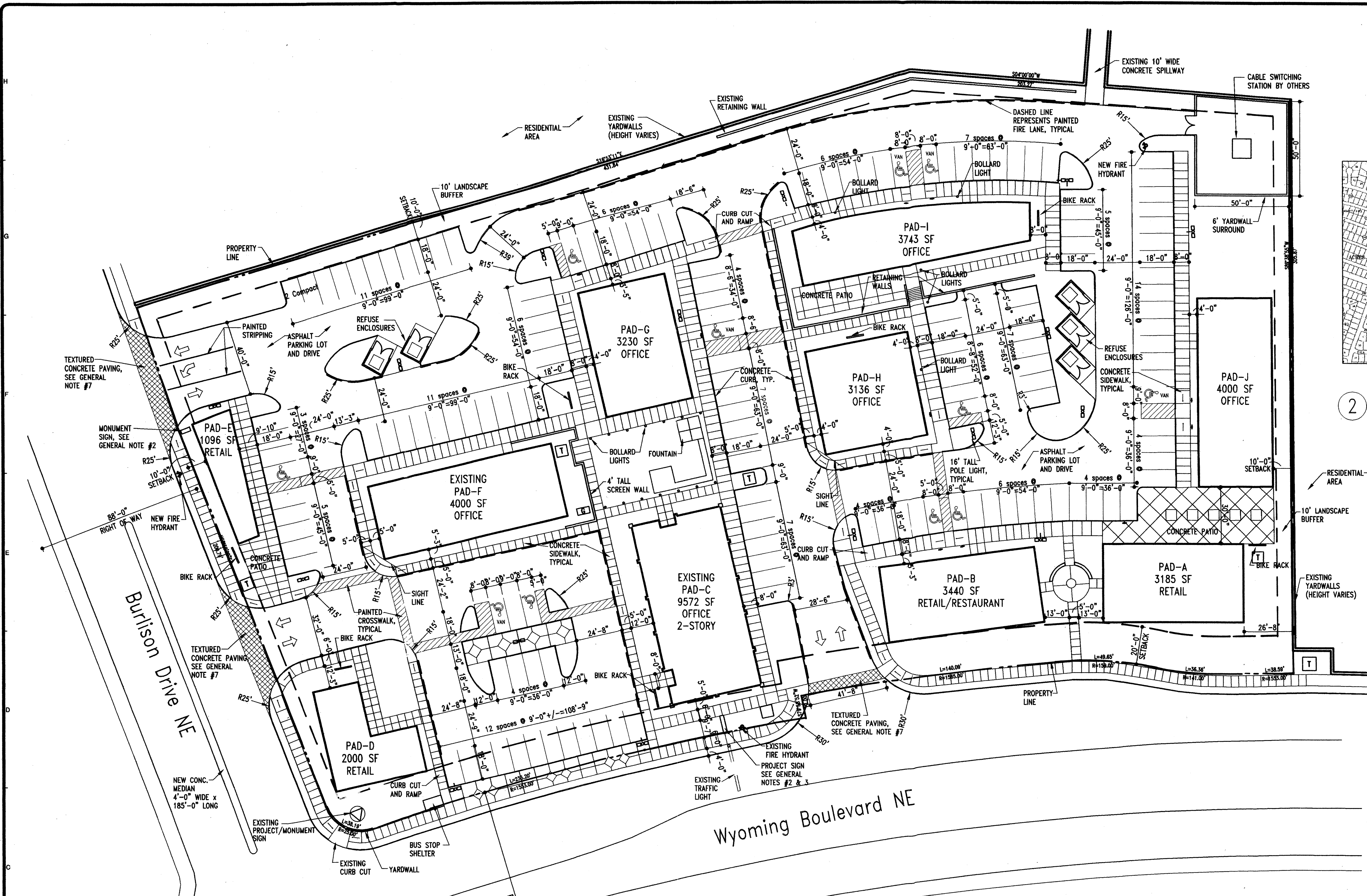
INITIALS	DATE	REVISION
		BDA DSGN. REV.
		BDA TECH REV.

DAVIS
 PROJECT NO.: 0445
 DRAWN: CAC
 DATE: 05/10/05

C01

1 OF 8

PROJECT# 1000692



Legal Description:
 Tract A1A, Academy Acres Subdivision, Unit 13,
 located on the northwest corner of Wyoming Blvd. NE
 and Burlison Dr. NE.

- Index to Drawings:**
- C01 Site Development Plan
 - C02 Grading and Drainage Plan
 - C03 Utilities Site Plan
 - C04 Site Details
 - L01 Landscape Site Plan
 - A01 Building Elevations - Pad A & B
 - A02 Building Elevations - Pad C & D
 - A03 Building Elevations - Pad E & F
 - A04 Building Elevations - Pad G & H
 - A05 Building Elevations - Pad I & J

Site Data:
 Proposed Usage: Office, Retail, & Restaurant
 Zoning: SU-1/C-1
 Lot Area: 177,724.8 sf (4.08 acres)
 Building Area: 37,402 sf

Parking Required:

Building	Gross SF	Net Leasable SF	Parking Factor	Parking Required
Pad-A	3,185	2,707	200	13.54
Pad-B	3,440	2,924	200	14.62
Pad-C (1st)	4,770	4,055	200	20.28
Pad-C (2nd)	4,802	4,082	300	13.61
Pad-D	2,000	1,700	200	8.50
Pad-E	1,096	932	200	4.66
Pad-F	4,000	3,400	200	17.00
Pad-G	3,230	2,746	200	13.73
Pad-H	3,136	2,666	200	13.33
Pad-I	3,743	3,182	200	15.91
Pad-J	4,000	3,400	200	17.00
Totals	37,402	31,794		152
10% reduction for on-site Bus Stop:				137

Parking Provided: 151
Accessible Required: 8
Accessible Provided: 11 (5 Van Space)
Bicycle Spaces Provided: 7 bicycles per 7 racks = 49

- General Notes:**
- Pole mounted light fixtures to be fully shielded, horizontal lamps @ 16 foot tall maximum. Site lighting to be restricted so that no fugitive light escapes beyond or is visible from the property line.
 - See sheet C04 Site Details for project monument signs. Signs to be 10 foot high maximum with 75% face area per sign. Letters to be brushed aluminum finish. Monument signs to be 30" high maximum.
 - See Building Elevations for building mounted signage. Signs to be brushed aluminum finish, area not to exceed 6% of the facade area.
 - All yardwalls to be concrete masonry unit construction with stucco finish to match buildings.
 - There will be no freestanding cell towers or antenna. If antenna are required, the tower will be integrated into the building architecture.
 - All awnings and canopies to be incorporated into building architecture and shall be finished metal. No vinyl or plastic will be used.
 - Pedestrian paths at vehicular entrances will be clearly demarcated textured concrete paving with 1/4" deep patterns.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

CASE NUMBER: DRB-1000692 05DRB-00407

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on _____ and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

DRB Chair: *[Signature]* Date: 5/11/05

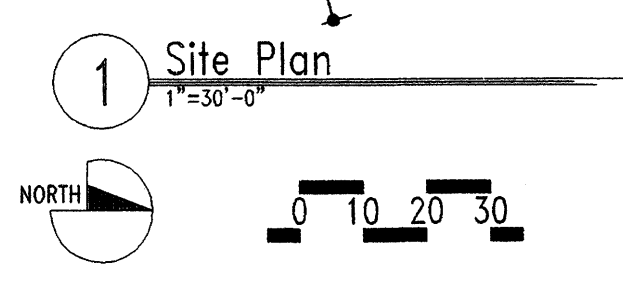
Transportation Development: *[Signature]* Date: 8-31-05

Utilities Development: *[Signature]* Date: 5/11/05

Parks & Recreation: *[Signature]* Date: 8/31/05

City Engineer, Engineering Division / AMAFCA: *[Signature]* Date: 8/24/05

Solid Waste: *[Signature]* Date: 8/24/05



GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL / LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

LEGEND

(S 83°39'25" W)	RECORD BEARING AND DISTANCES	→	DOWN GUY
N 00°07'27" W	MEASURED BEARING AND DISTANCES	○ LP	LIGHT POLE
●	FOUND AND USED MONUMENT	○ ○ ○	YARD LIGHT
—	EX WOOD FENCE	—	UNDERGROUND
—	EX RAILROAD RETAINING WALL	—W-S-O-E—	UTILITY (WATER, SEWER, ELEC., GAS, ETC.)
x 0.89.5	EX SPOT ELEV.	—	FIBER OPTIC COMMUNICATION 4" CONDUIT
◆ FL 09.3	PROP SPOT ELEV.	□	UTILITY RISER
—5160—	EX CONTOUR LINE	○ FP	FLAG POLE
○	POWER POLE	○ V	VENT

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAIL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

ABBREVIATIONS

A = AIR LINE	FG = FINISHED GRADE	R/W = RIGHT-OF-WAY
AD = AREA DRAIN	FH = FIRE HYDRANT	S = SLOPE
AIP = ABANDONED IN PLACE	FL = FLOW LINE	SAS = SANITARY SEWER
BLDG = BUILDING	G = GAS PIPE	SD = STORM DRAIN
BM = BENCHMARK	GM = GAS METER	STA = STATION
CATV = CABLE TELEVISION LINE	GV = GATE VALVE	STD = STANDARD
CIP = CAST IRON PIPE	HI PT = HIGH POINT	SW = SIDEWALK
CMP = CORRUGATED METAL PIPE	INV = INVERT ELEVATION	T = TELEPHONE
CMPA = CORRUGATED METAL PIPE ARCH	LF = LINEAL FEET	TA = TOP OF ASPHALT PAVEMENT
CO = CLEANOUT	LP = LIGHT POLE	TAC = TOP OF ASPHALT CURB
COA = CITY OF ALBUQUERQUE	L/S = LANDSCAPING	TC = TOP OF CONCRETE SLAB (PAVEMENT)
CONC = CONCRETE	MH = MANHOLE	TCC = TOP OF CONCRETE CURB
CL = CENTERLINE	NG = NATURAL GROUND	TG = TOP OF GRATE
DIA = DIAMETER	OE = OVERHEAD ELECTRIC LINE	TS = TOP OF SIDEWALK
DIP = DUCTILE IRON PIPE	OT = OVERHEAD TELEPHONE LINE	TW = TOP OF WALL
DTL = DETAIL	PB = ELECTRICAL PULL BOX	TYP = TYPICAL
DWG = DRAWING	PCC = PORTLAND CEMENT CONCRETE	TB = TELEPHONE BOX
E = ELECTRIC LINE	PP = POWER POLE	UE = UNDERGROUND ELECTRIC
ELEC. = ELECTRIC	PROP = PROPOSED	UT = UNDERGROUND TELEPHONE
ELEV = ELEVATION	PVC = POLYVINYL CHLORIDE PIPE	W = WATER
EX = EXISTING	RCP = REINFORCED CONCRETE PIPE	WM = WATER METER
FF = FINISHED FLOOR ELEVATION	RD = ROOF DRAIN	WV = WATER VALVE

100-YEAR HYDROLOGIC CALCULATIONS											
BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	100-YEAR STORM		10-YEAR STORM		
		A (%)	B (%)	C (%)	D (%)		V (6-hr) (acre-ft)	Q (cfs)	V (6-hr) (cu-ft)	Q (cfs)	
EXISTING CONDITIONS											
A	2.1700	0.00	79.20	0.00	20.80	1.22	0.22	9,696	6.73	6,204	4.39
B	1.8900	0.00	100.00	0.00	0.00	0.92	0.14	6,276	4.69	4,186	3.26
PROPOSED CONDITIONS											
A	2.1700	0.00	8.10	8.10	83.80	2.16	0.39	16,988	10.19	11,326	6.79
B	1.8900	0.00	10.80	13.90	75.30	2.06	0.32	14,029	9.54	9,353	5.68
EXCESS PRECIP.		0.66	0.92	1.29	2.36	E (in)					
PEAK DISCHARGE		1.87	2.6	3.45	5.02	Q (cfs)					
		ZONE = 3									
		Pbase (in.) = 2.60									
		Pmax (in.) = 3.10									
		Pmax (in.) = 4.90									
		WEIGHTED E (in) = (Ea)(%A) + (Eb)(%B) + (Ec)(%C) + (Ed)(%D)									
		Vmax (acre-ft) = (WEIGHTED E)(AREA)/12									
		Vmax (cu-ft) = Vmax + (Aa)(Pmax - Pbase)/12									
		Q (cfs) = (Qmax)(Aa) + (Qmax)(Ab) + (Qmax)(Ac) + (Qmax)(Ad)									

DRAINAGE DISCUSSION:

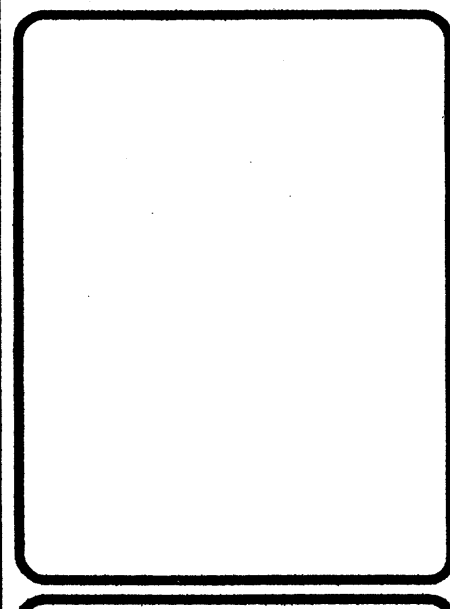
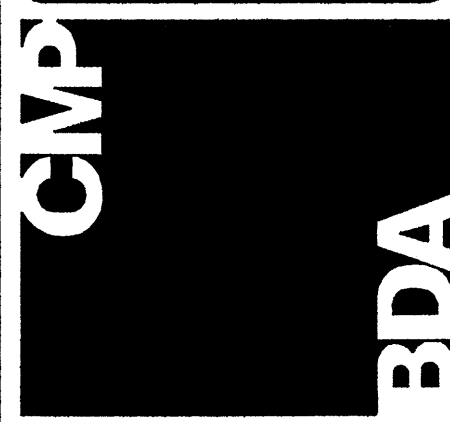
THE EXISTING SITE IS DEVELOPED WITH TWO OFFICE BUILDINGS (PAD C AND F) AS WELL AS A SUBSTANTIAL ASSESS DRIVE AND PARKING ACCESS (16950 sq) OF PAVEMENT. THE MAJORITY OF THE SITE DRAINS NORTH TOWARD THE EXISTING CONCRETE LINED CHANNEL IN THE NORTHWEST CORNER OF THE SITE.

THE PROPOSED NEW DEVELOPMENT WILL ADD 8 ADDITIONAL BUILDINGS TO THE SITE. THESE ADDITIONAL BUILDINGS WILL BE ON LEASED PAD SITES SO NO SUBDIVISION IS PROPOSED.

THE PROPOSED GRADING PLAN HAS DIVIDED THE SITE AS SHOWN. DRAINAGE BASIN B WILL DRAIN NORTH TO THE EXISTING CONCRETE LINED CHANNEL. THE TOTAL FLOW TO THE CHANNEL WILL BE REDUCED FROM 11.6 CFS TO 8.5 CFS DUE REGARDING THE SITE. THE ADDITIONAL AREA, BASIN A WILL DRAIN SOUTH INTO BURLISON DRIVE VIA FOUR 24" WIDE SIDEWALK CULVERTS AT THE SOUTH WEST CORNER OF THE SITE. THE INCREASED FLOW IN BURLISON DRIVE IS WELL WITHIN THE CAPACITY OF THE STREET SECTION DUE TO STEEP SLOPE (4.4%) AND NO OTHER DEVELOPED LAND DISCHARGES INTO THE STREET UNTIL EAST OF TRUCHAS DRIVE.

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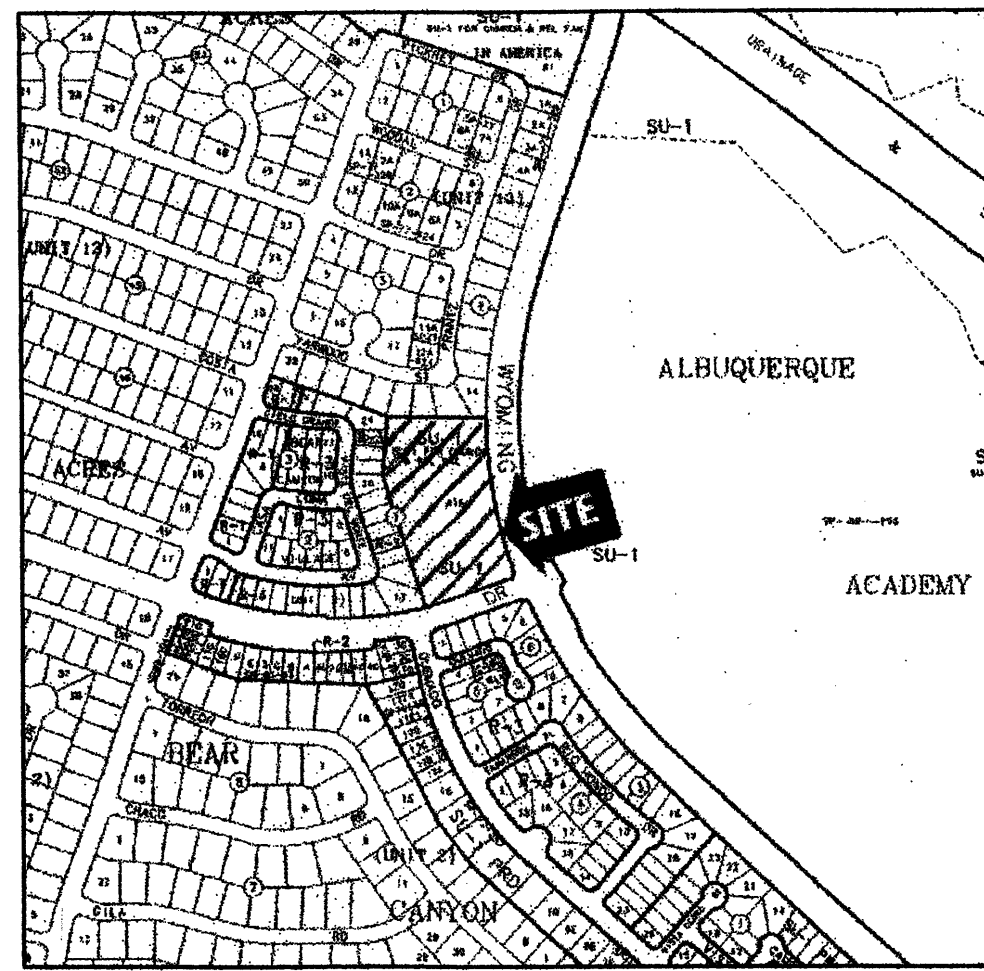
CIVIL GENERAL NOTES		REV.#	DATE	COMMENTS
REVISION:				
REVISION:				
REVISION:				

REVIEWS	
INITIALS	BDA DSGN. REV.
	BDA TECH REV.

DAVIS
PROJECT NO.: 0445
DRAWN: CAC
DATE: 04/07/05
C02
OF

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
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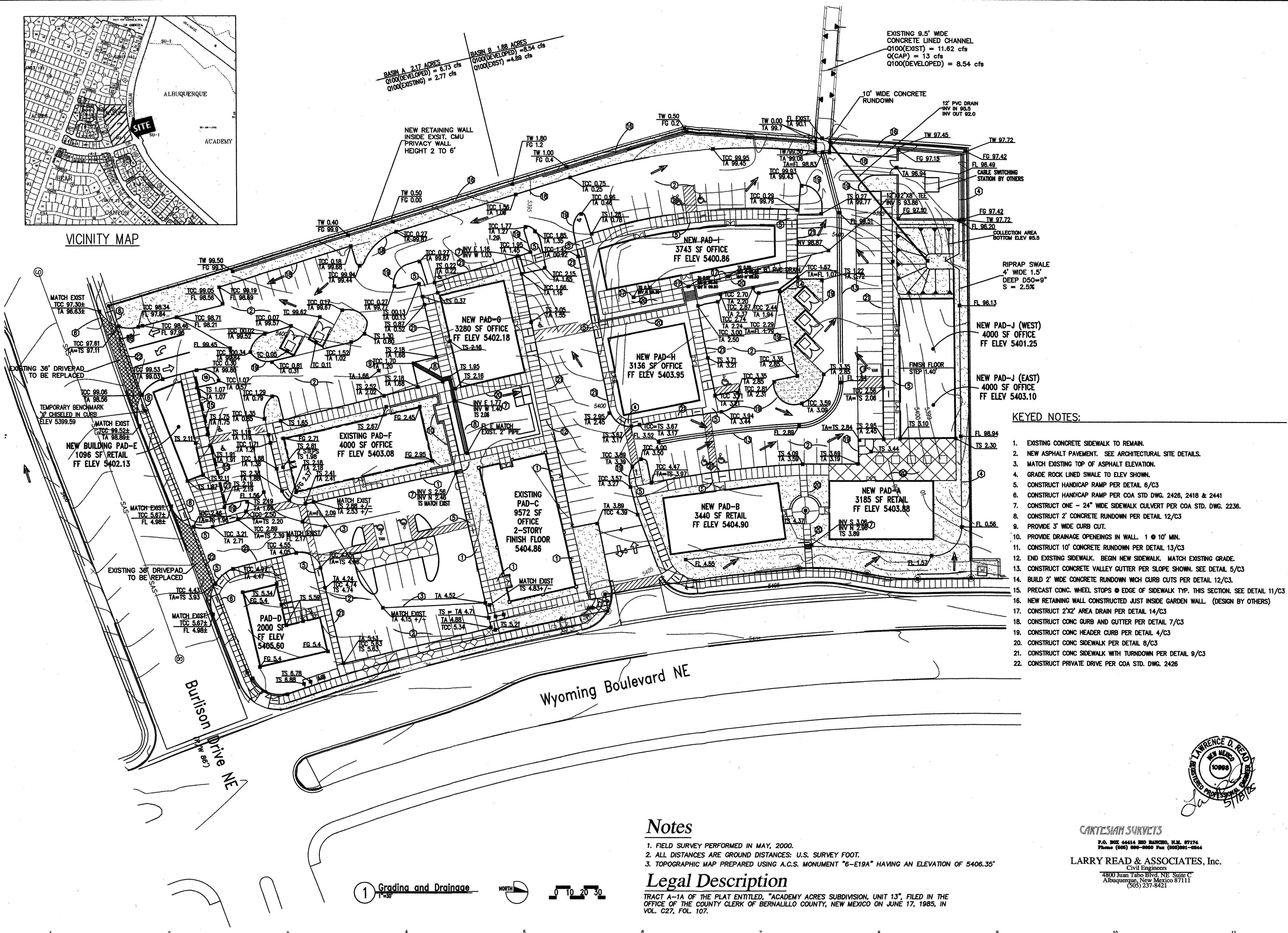


VICINITY MAP

BASIN A 2.17 ACRES
 Q100(DEVELOPED) = 6.73 cfs
 Q100(EXISTING) = 2.77 cfs

BASIN B 1.88 ACRES
 Q100(DEVELOPED) = 8.54 cfs
 Q100(EXISTING) = 4.89 cfs

EXISTING 9.5' WIDE
 CONCRETE LINED CHANNEL
 Q100(EXIST) = 11.62 cfs
 Q(CAP) = 13 cfs
 Q100(DEVELOPED) = 8.54 cfs



KEYED NOTES:

- EXISTING CONCRETE SIDEWALK TO REMAIN.
- NEW ASPHALT PAVEMENT. SEE ARCHITECTURAL SITE DETAILS.
- MATCH EXISTING TOP OF ASPHALT ELEVATION.
- GRADE ROCK LINED SWALE TO ELEV SHOWN.
- CONSTRUCT HANDICAP RAMP PER DETAIL 6/C3
- CONSTRUCT HANDICAP RAMP PER COA STD DWG. 2426, 2418 & 2441
- CONSTRUCT ONE - 24" WIDE SIDEWALK CULVERT PER COA STD. DWG. 2236.
- CONSTRUCT 2' CONCRETE RUNDOWN PER DETAIL 12/C3
- PROVIDE 3" WIDE CURB CUT.
- PROVIDE DRAINAGE OPENINGS IN WALL. 1 @ 10' MIN.
- CONSTRUCT 10' CONCRETE RUNDOWN PER DETAIL 13/C3
- END EXISTING SIDEWALK. BEGIN NEW SIDEWALK. MATCH EXISTING GRADE.
- CONSTRUCT CONCRETE VALLEY GUTTER PER SLOPE SHOWN. SEE DETAIL 5/C3
- BUILD 2' WIDE CONCRETE RUNDOWN HIGH CURB CUTS PER DETAIL 12/C3.
- PRECAST CONC. WHEEL STOPS @ EDGE OF SIDEWALK TYP. THIS SECTION. SEE DETAIL 11/C3
- NEW RETAINING WALL CONSTRUCTED JUST INSIDE GARDEN WALL. (DESIGN BY OTHERS)
- CONSTRUCT 2'X2' AREA DRAIN PER DETAIL 14/C3
- CONSTRUCT CONC CURB AND GUTTER PER DETAIL 7/C3
- CONSTRUCT CONC HEADER CURB PER DETAIL 4/C3
- CONSTRUCT CONC SIDEWALK PER DETAIL 8/C3
- CONSTRUCT CONC SIDEWALK WITH TURNDOWN PER DETAIL 9/C3
- CONSTRUCT PRIVATE DRIVE PER COA STD. DWG. 2426

Notes

- FIELD SURVEY PERFORMED IN MAY, 2000.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- TOPOGRAPHIC MAP PREPARED USING A.C.S. MONUMENT "6-E19A" HAVING AN ELEVATION OF 5406.35'

Legal Description

TRACT A-1A OF THE PLAT ENTITLED, "ACADEMY ACRES SUBDIVISION, UNIT 13", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 17, 1985, IN VOL. C27, FOL. 107.



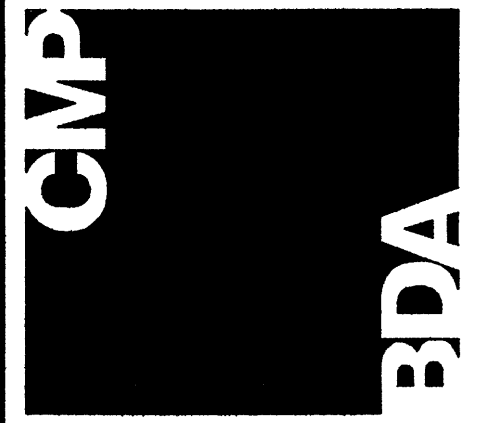
CARTESIAN SURVEYS

P.O. BOX 44414 BEO BANCHE, N.M. 87174
 Phone (505) 898-0050 Fax (505)891-0844

LARRY READ & ASSOCIATES, Inc.
 Civil Engineers
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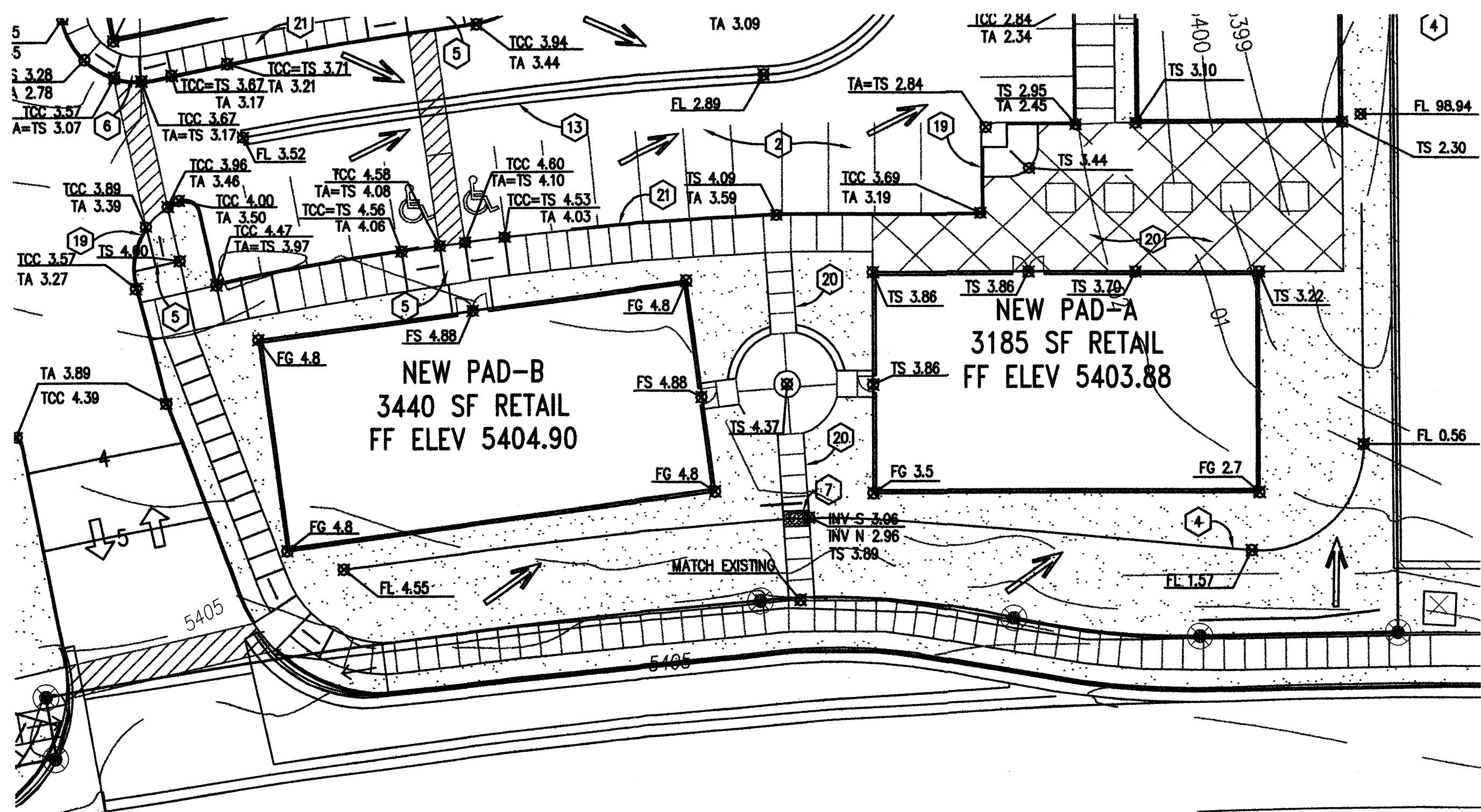
GRADEING & DRAINAGE
 MASTER PLAN

REV.#	DATE	COMMENTS

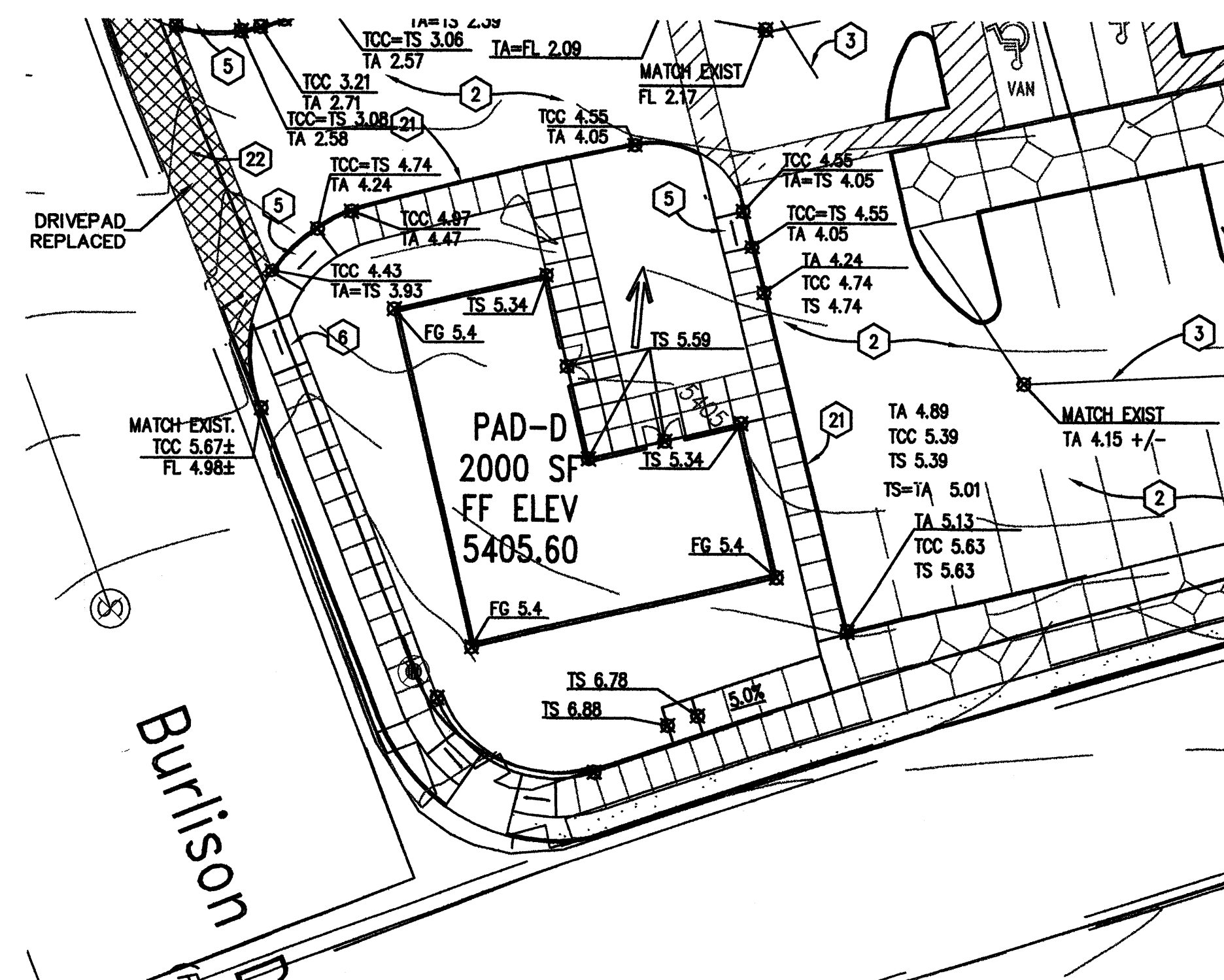
INITIALS	REVIEWS
	BDA DSGN. REV.
	BDA TECH. REV.

DAVIS
 PROJECT NO.: 0445
 DRAWN: CAC
 DATE: 04/07/05

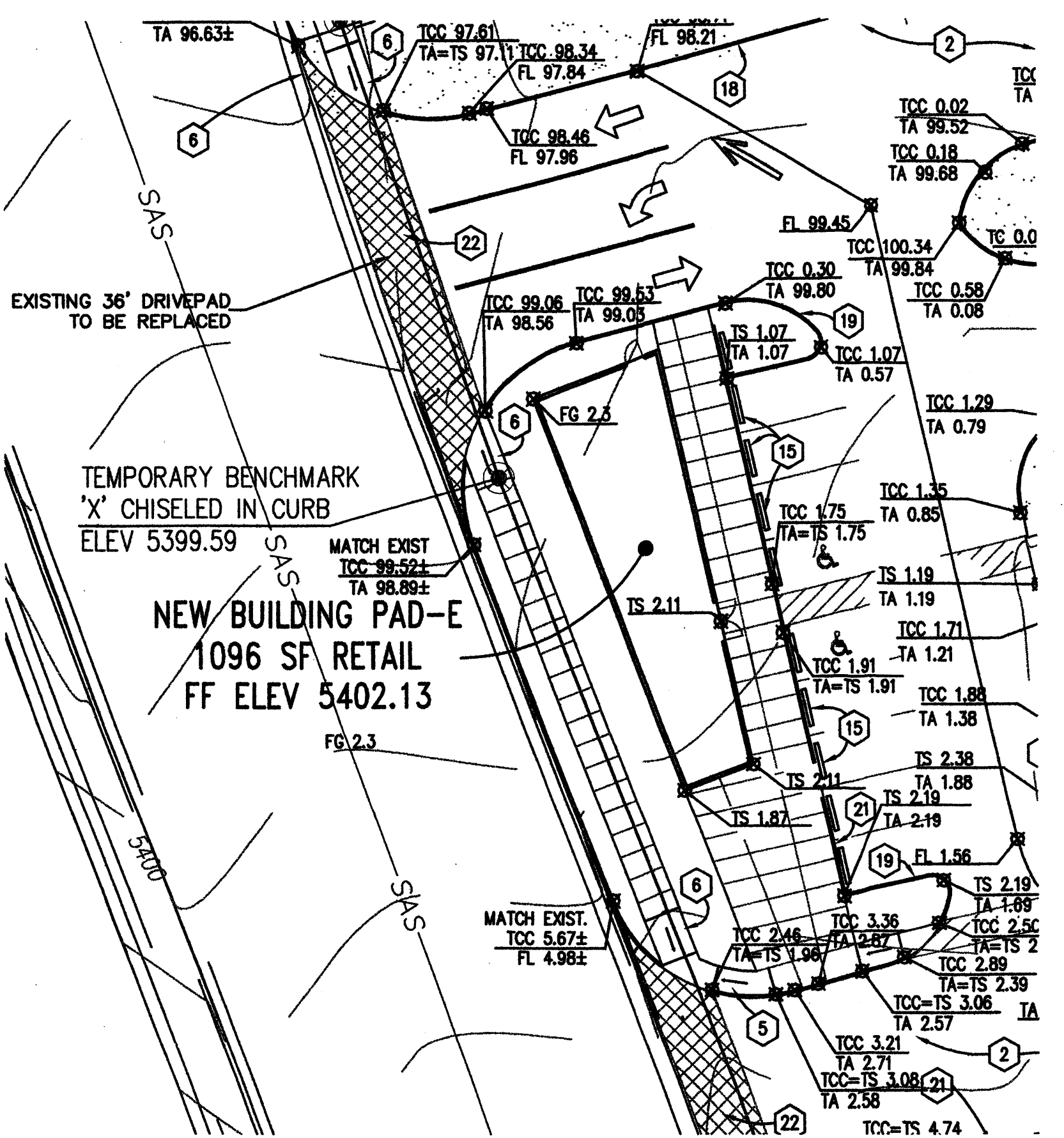
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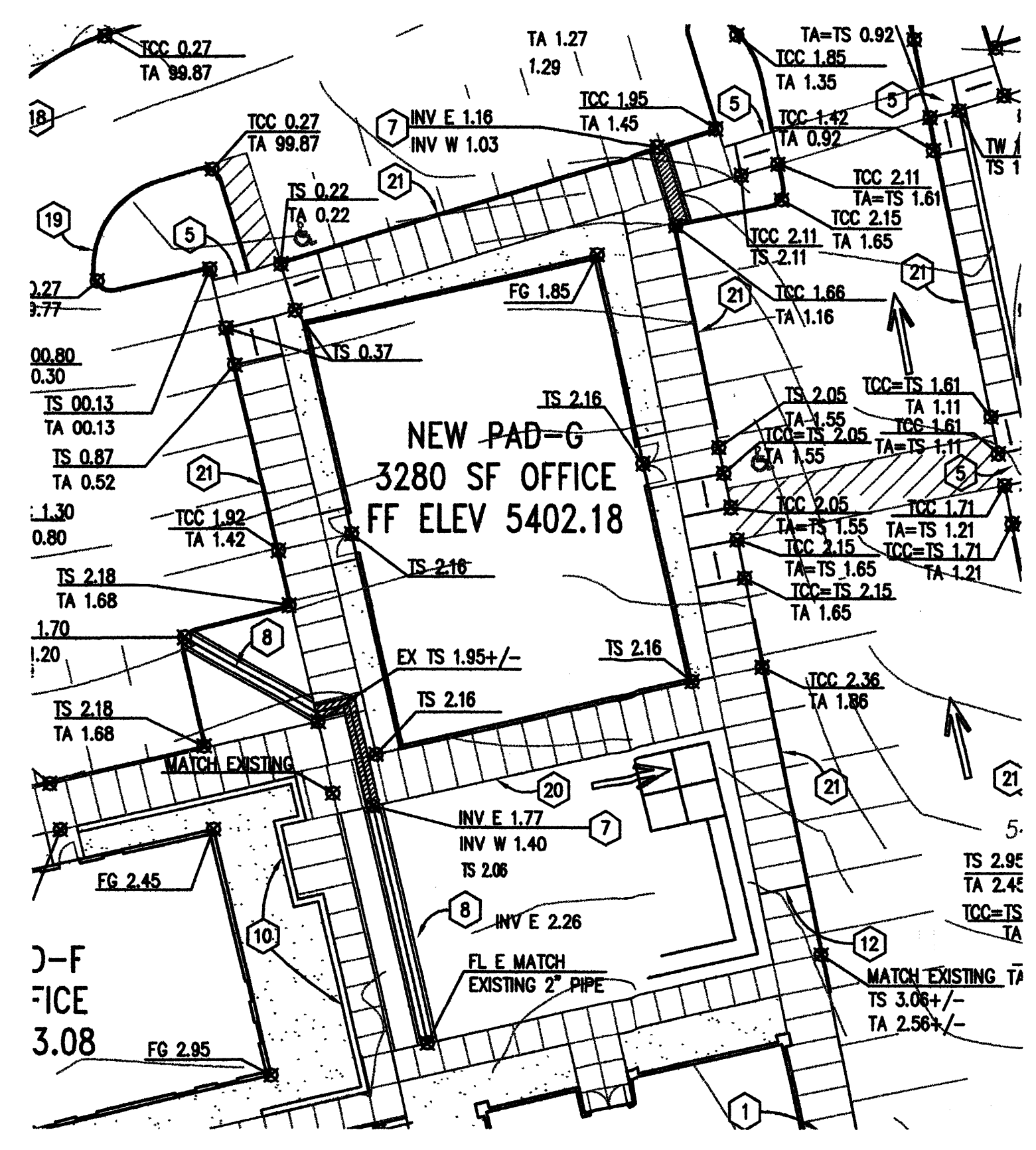
PAD SITE A AND B



PAD SITE D



PAD SITE E



PAD SITE G

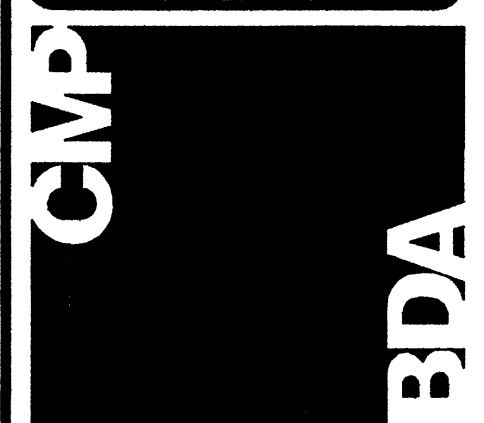
KEYED NOTES:

1. EXISTING CONCRETE SIDEWALK TO REMAIN.
2. NEW ASPHALT PAVEMENT. SEE ARCHITECTURAL SITE DETAILS.
3. MATCH EXISTING TOP OF ASPHALT ELEVATION.
4. GRADE ROCK LINED SWALE TO ELEV SHOWN.
5. CONSTRUCT HANDICAP RAMP PER DETAIL 6/C3.
6. CONSTRUCT HANDICAP RAMP PER COA STD DWG. 2426, 2418 & 2441.
7. CONSTRUCT ONE - 24" WIDE SIDEWALK CULVERT PER COA STD. DWG. 2236.
8. CONSTRUCT 2' CONCRETE RUNDOWN PER DETAIL 12/C3.
9. PROVIDE 3' WIDE CURB CUT.
10. PROVIDE DRAINAGE OPENINGS IN WALL. 1 @ 10' MIN.
11. CONSTRUCT 10' CONCRETE RUNDOWN PER DETAIL 13/C3.
12. END EXISTING SIDEWALK. BEGIN NEW SIDEWALK. MATCH EXISTING GRADE.
13. CONSTRUCT CONCRETE VALLEY GUTTER PER SLOPE SHOWN. SEE DETAIL 5/C3.
14. BUILD 2' WIDE CONCRETE RUNDOWN W/CH CURB CUTS PER DETAIL 12/C3.
15. PRECAST CONC. WHEEL STOPS @ EDGE OF SIDEWALK TYP. THIS SECTION. SEE DETAIL 11/C3.
16. NEW RETAINING WALL CONSTRUCTED JUST INSIDE GARDEN WALL. (DESIGN BY OTHERS)
17. CONSTRUCT 2'X2' AREA DRAIN PER DETAIL 14/C3.
18. CONSTRUCT CONC GURB AND GUTTER PER DETAIL 7/C3.
19. CONSTRUCT CONC HEADER CURB PER DETAIL 4/C3.
20. CONSTRUCT CONC SIDEWALK PER DETAIL 8/C3.
21. CONSTRUCT CONC SIDEWALK WITH TURNDOWN PER DETAIL 9/C3.
22. CONSTRUCT PRIVATE DRIVE PER COA STD. DWG. 2426.



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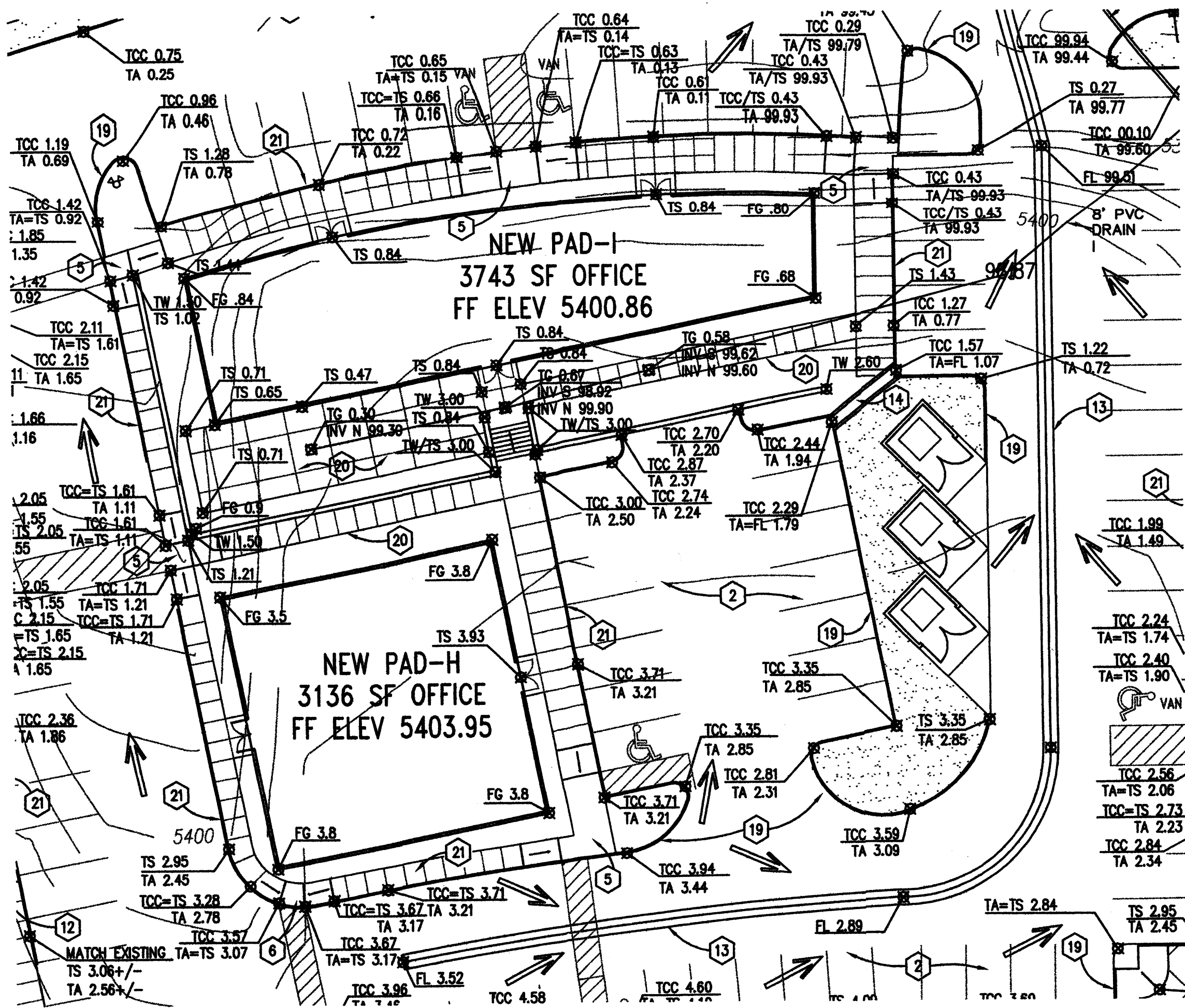
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GRADING & DRAINAGE PAD SITES PLAN		REV.#	DATE	COMMENTS
REVISION:				
REVISION:				
REVISION:				

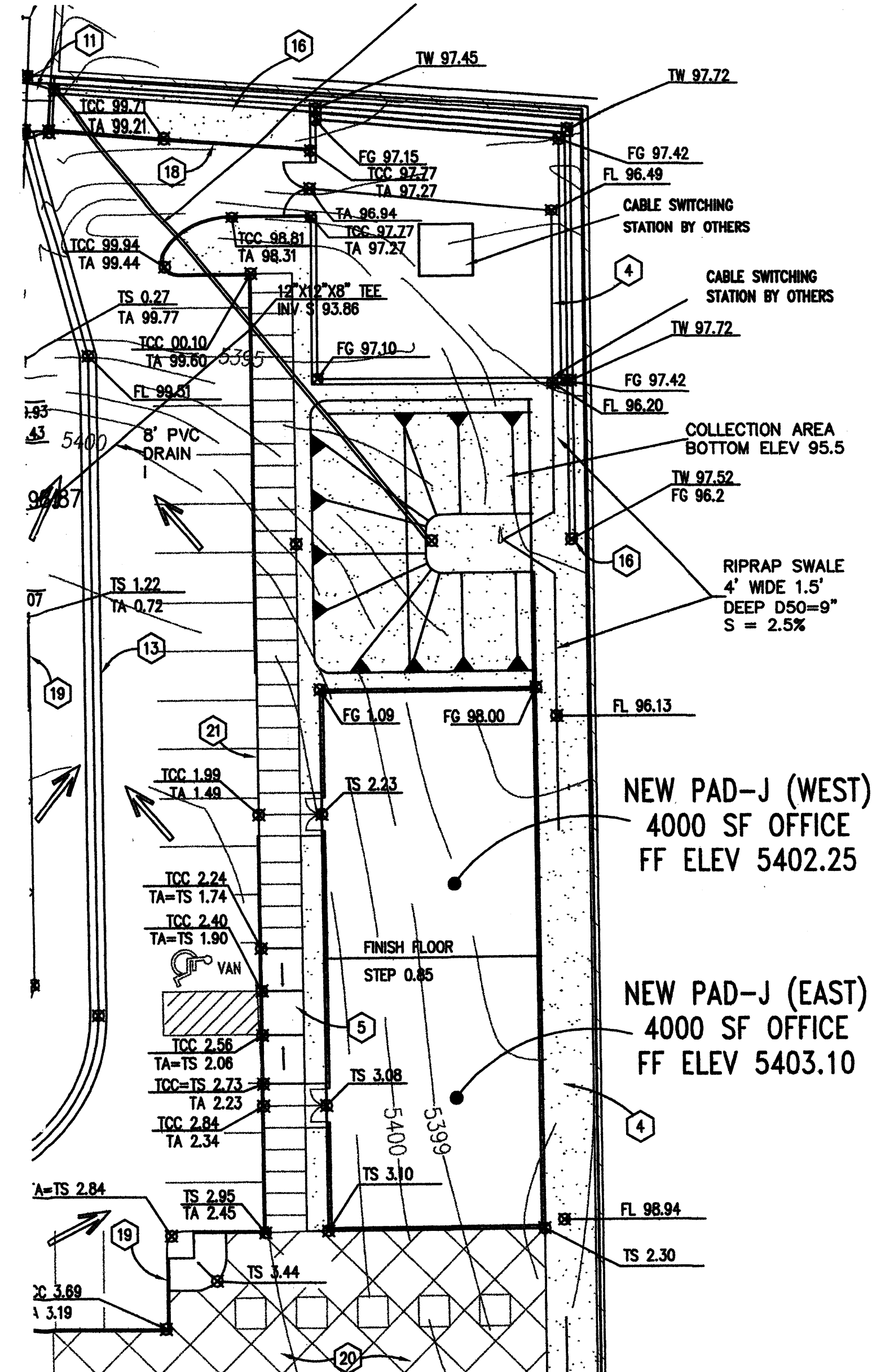
REVIEWS	
INITIALS	BDA DSGN. REV.
	BDA TECH REV.

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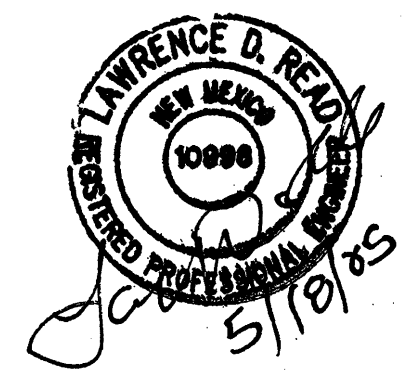
PAD SITE H AND I



PAD SITE J

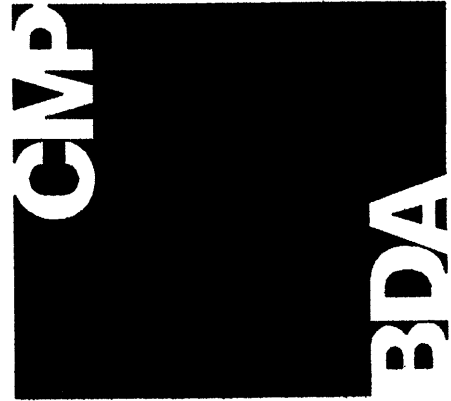
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21. CONSTRUCT CONC SIDEWALK WITH TURNDOWN PER DETAIL 9/C3
22. CONSTRUCT PRIVATE DRIVE PER COA STD. DWG. 2426



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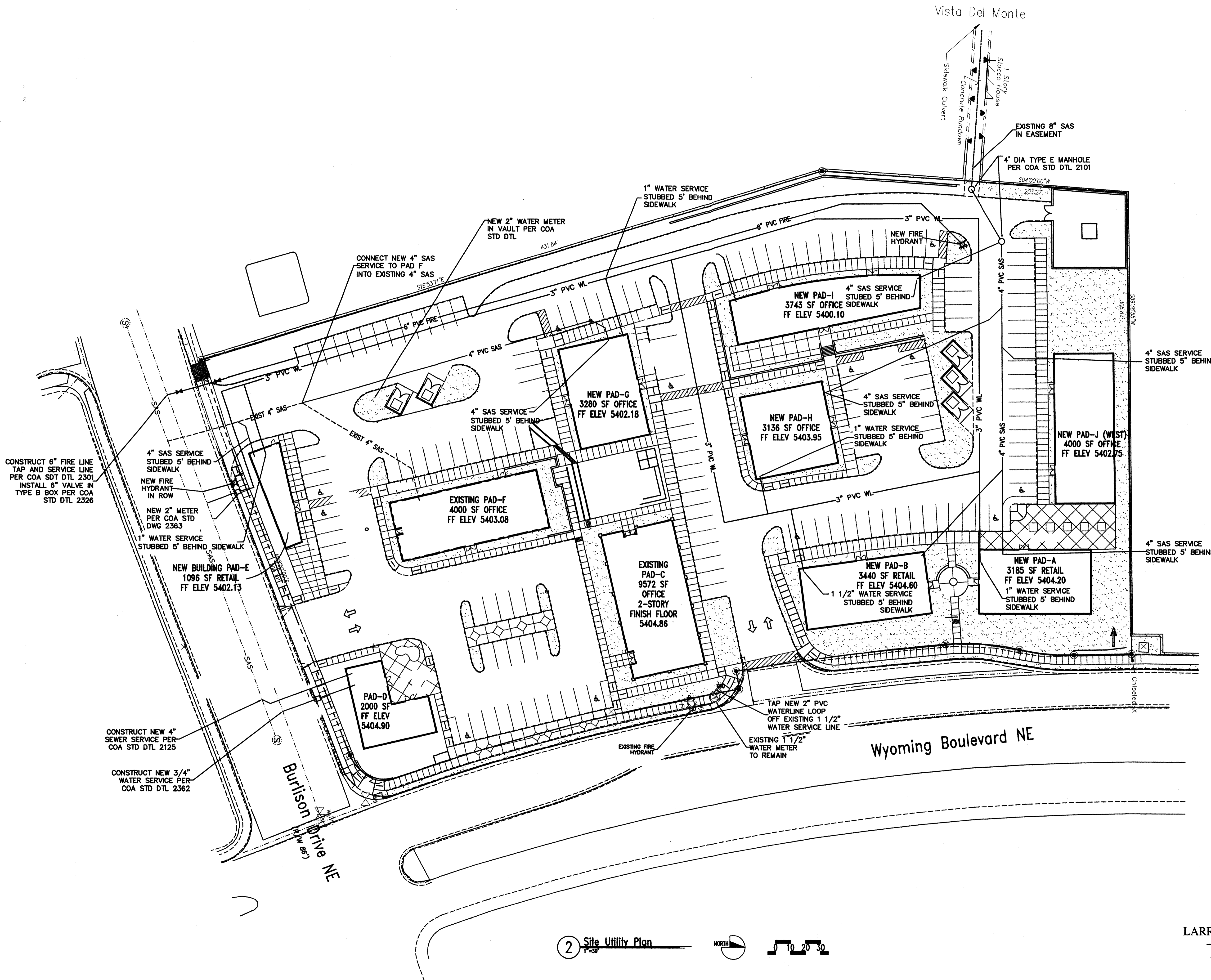
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GRADING & DRAINAGE PAD SITES PLAN		REV.#	DATE	COMMENTS
REVISION				
REVISION				
REVISION				

REVIEWS	
INITIALS	
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BDA TECH REV.	

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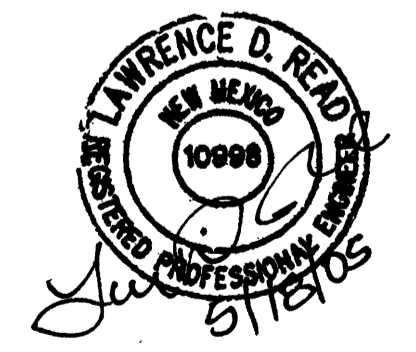
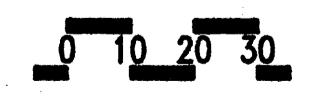


Vista Del Monte

Wyoming Boulevard NE

Burlison Drive NE

2 Site Utility Plan
1"=30'



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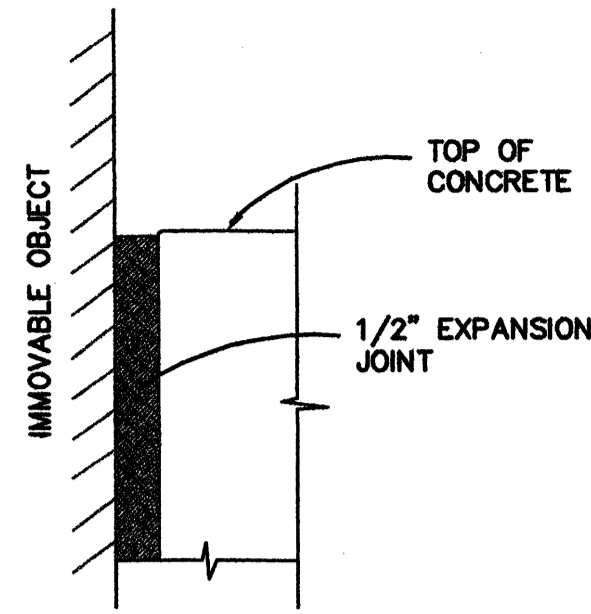
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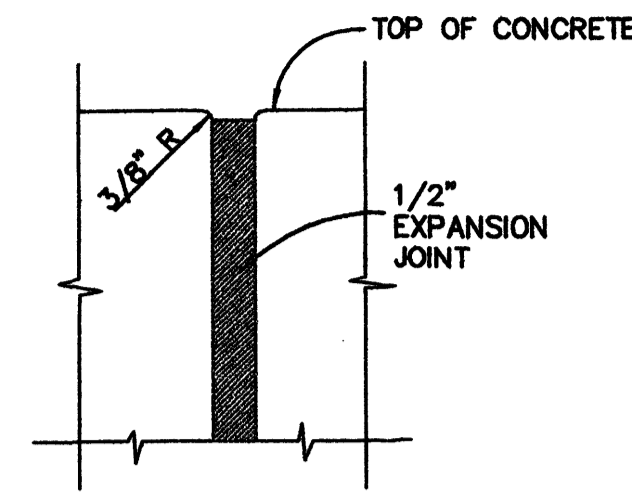
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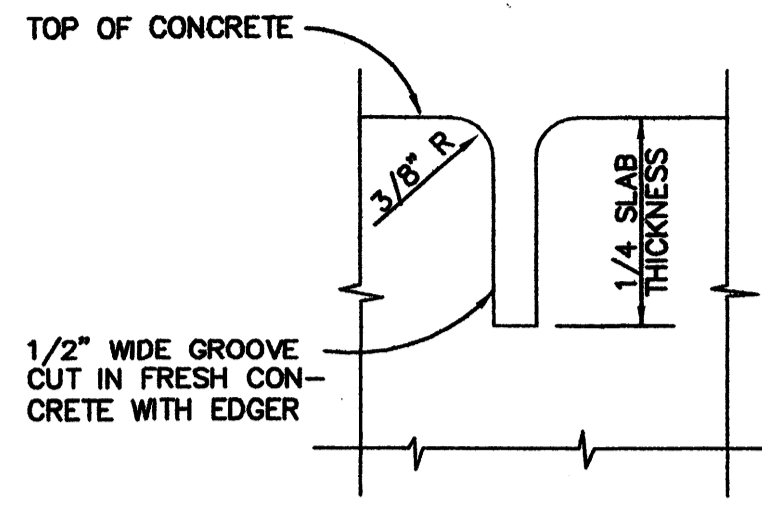
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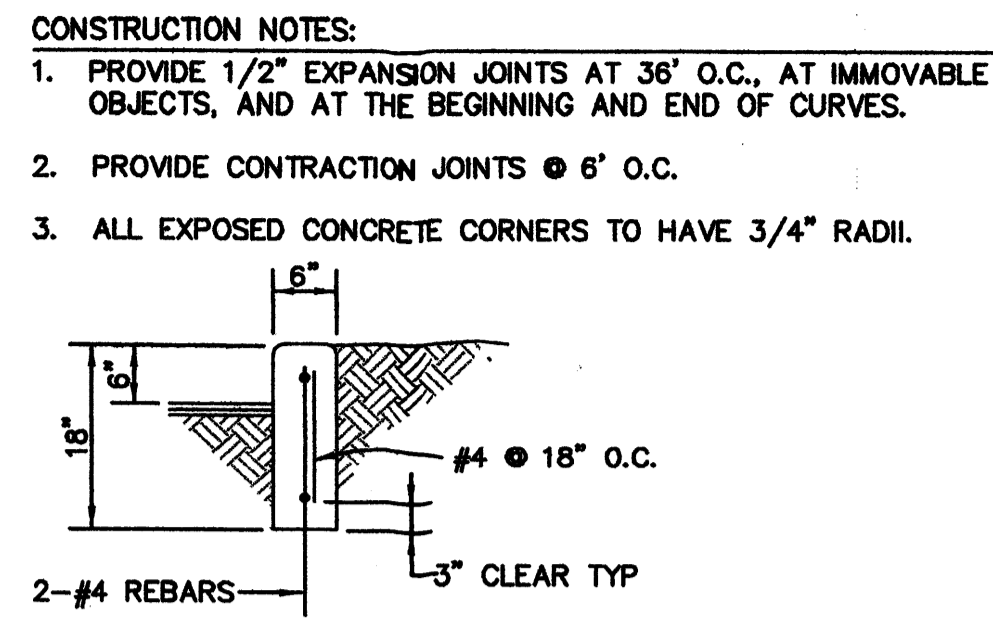
1 EXPANSION JOINT AT IMMOVABLE OBJECT
N. T. S.



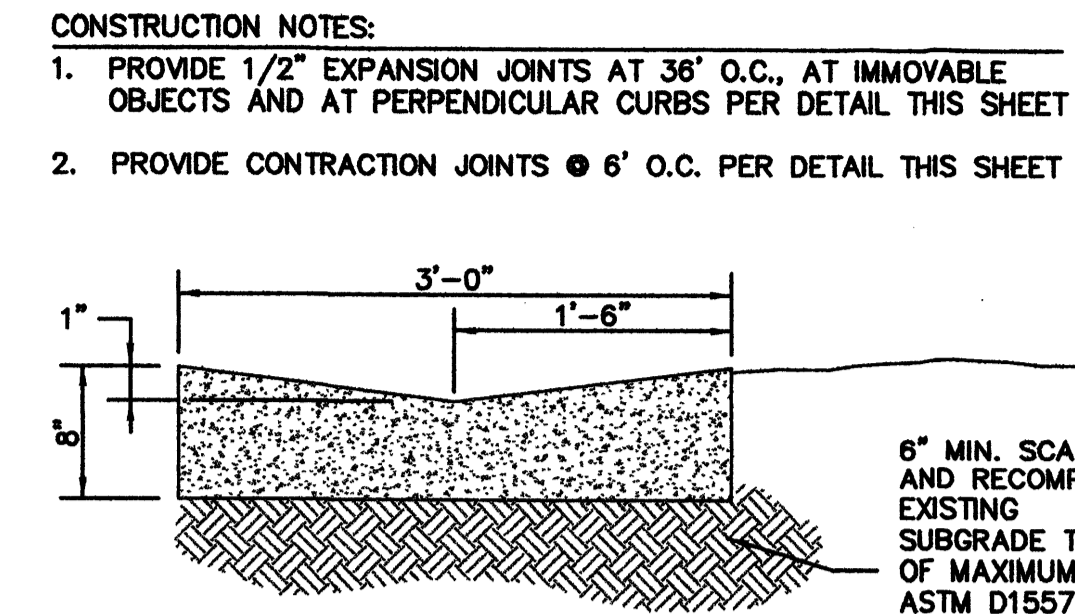
2 EXPANSION JOINT DETAIL
N. T. S.



3 CONTRACTION JOINT DETAIL
N. T. S.



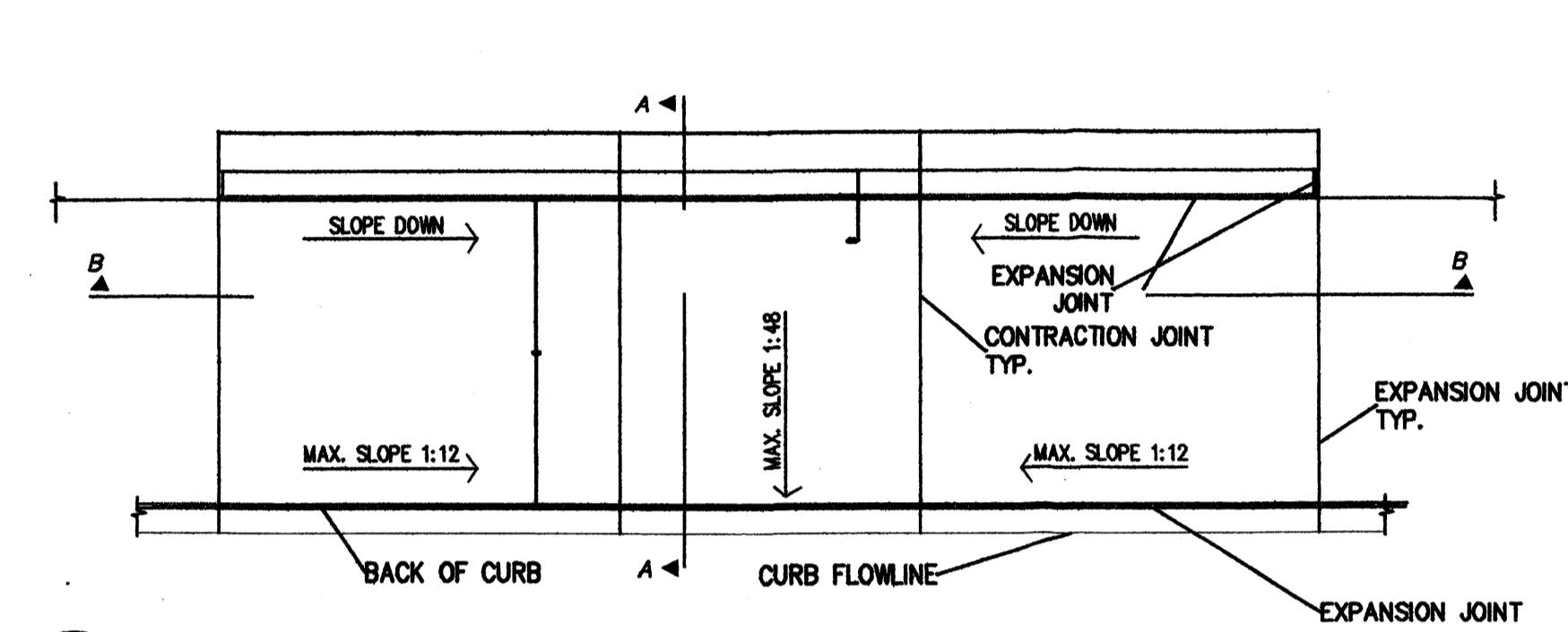
4 CONCRETE HEADER CURB DETAIL
N. T. S.



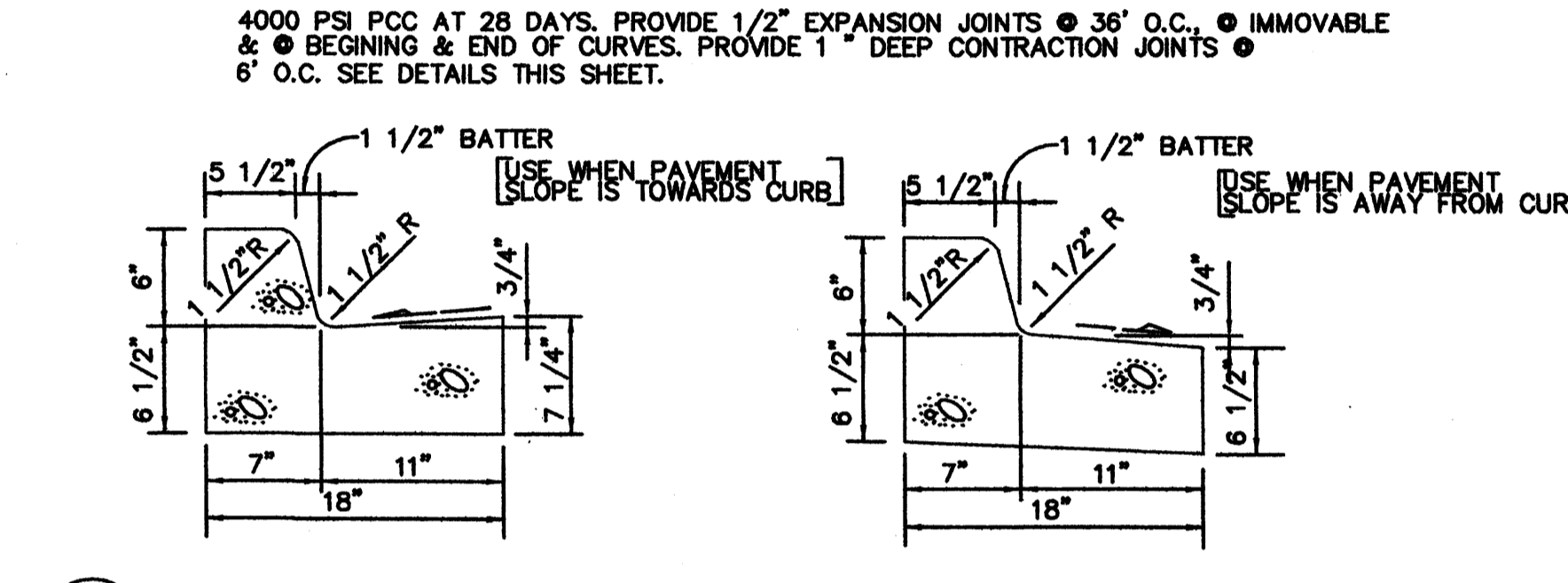
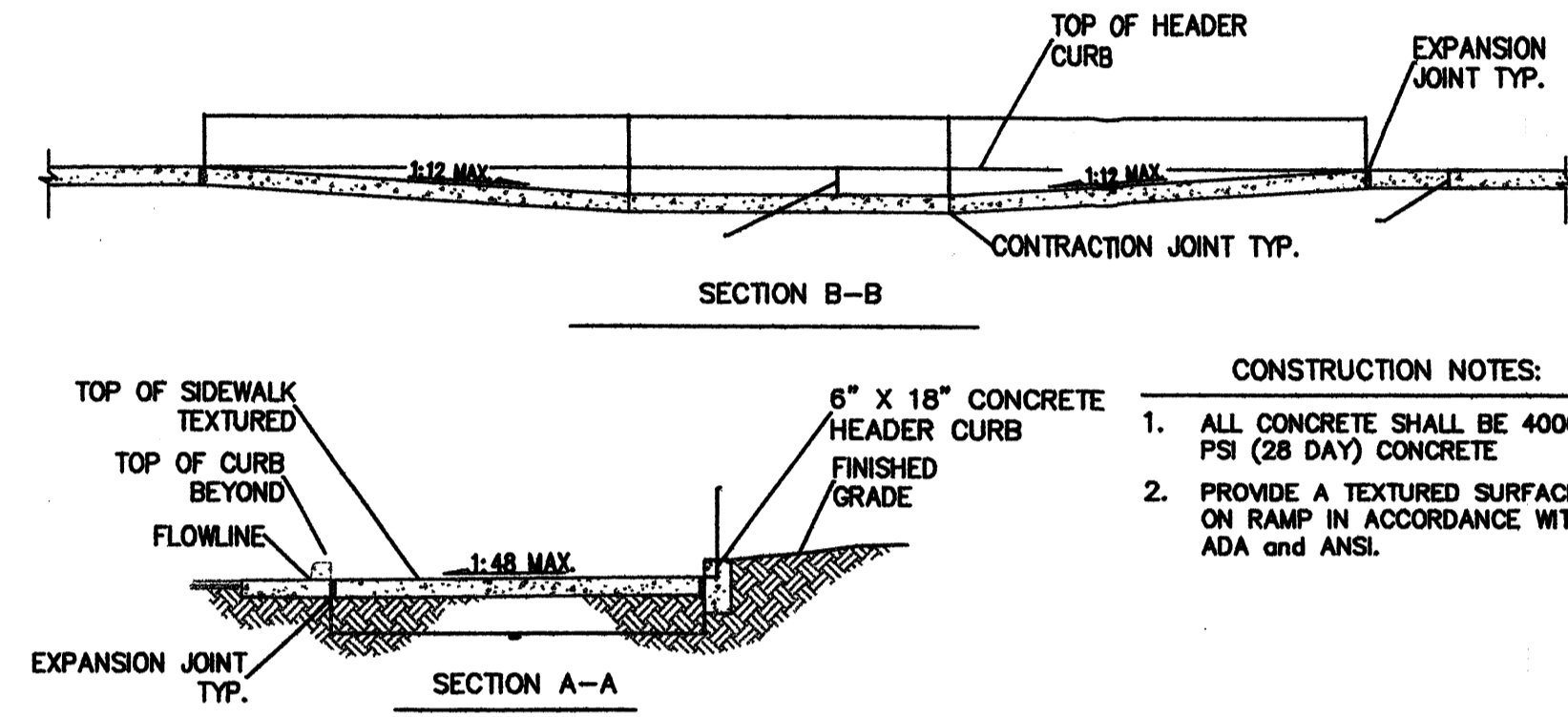
5 CONCRETE VALLEY GUTTER
N. T. S.

CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS, AND AT THE BEGINNING AND END OF CURVES.
2. PROVIDE CONTRACTION JOINTS @ 6' O.C.
3. ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADII.

CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS PER DETAIL THIS SHEET
2. PROVIDE CONTRACTION JOINTS @ 6' O.C. PER DETAIL THIS SHEET



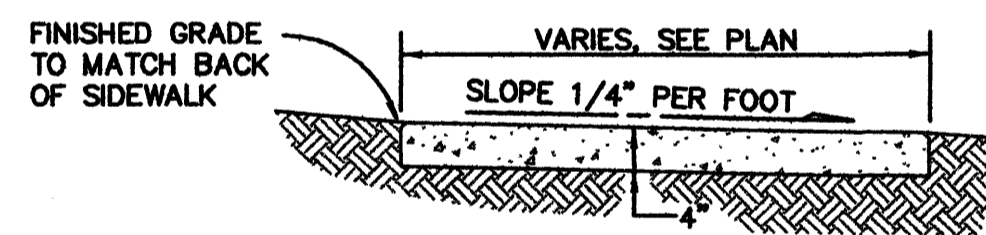
6 CONCRETE HANDICAP RAMP DETAIL
N. T. S.



7 6 X 18 CONCRETE CURB AND GUTTER
N. T. S.

CONSTRUCTION NOTES:
1. ALL CONCRETE SHALL BE 4000 PSI (28 DAY) CONCRETE.
2. PROVIDE A TEXTURED SURFACE ON RAMP IN ACCORDANCE WITH ADA and ANSI.

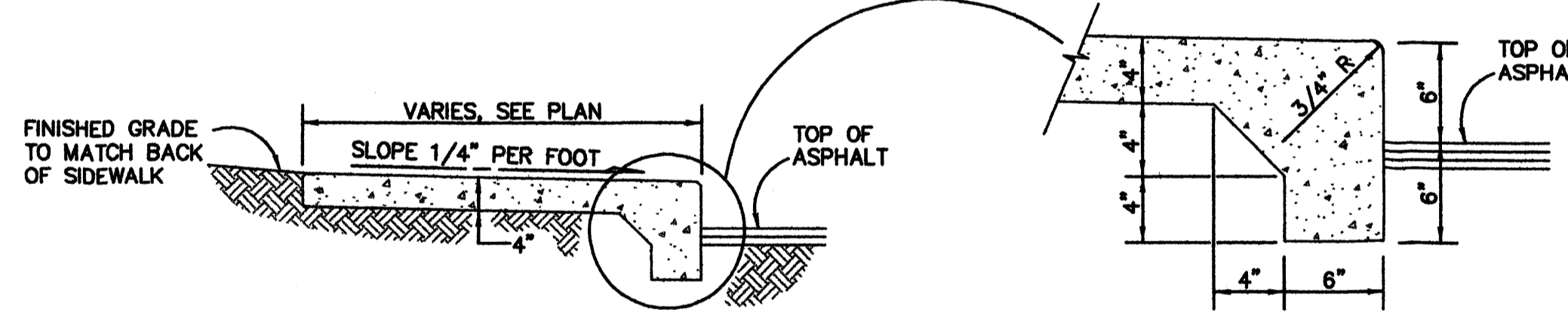
4000 PSI PCC AT 28 DAYS. PROVIDE 1/2" EXPANSION JOINTS @ 36' O.C., @ IMMOVABLE & @ BEGINNING & END OF CURVES. PROVIDE 1" DEEP CONTRACTION JOINTS @ 6' O.C. SEE DETAILS THIS SHEET.



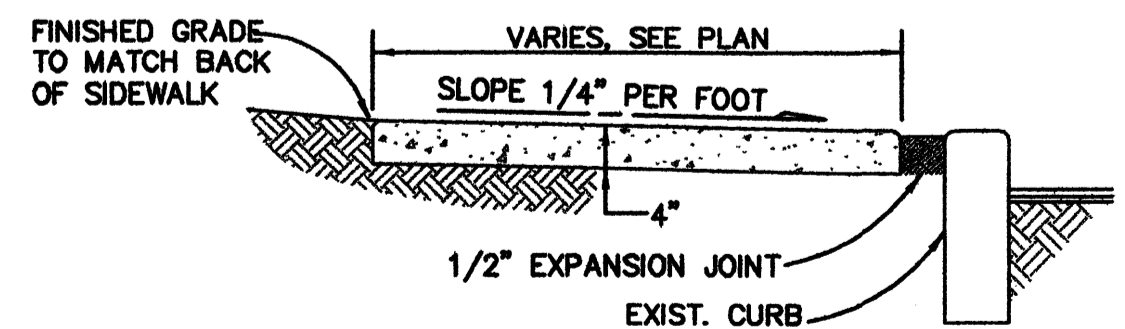
8 SIDEWALK DETAIL
N. T. S.

CONSTRUCTION NOTES:
1. A CROSS SLOPE OF 1/4" PER FOOT SHALL BE PROVIDED AND SHALL SLOPE TOWARDS THE DIRECTION OF THE DRAINAGE AREA.
2. CONCRETE WALKS SHALL HAVE CONTRACTION JOINTS AT 6' INTERVALS. 1/2" EXPANSION JOINTS SHALL BE INSTALLED EVERY 36', UNLESS OTHERWISE SHOWN ON PLANS. SEE DETAILS THIS SHEET.
3. 1/2" EXPANSION JOINTS SHALL BE INSTALLED WHERE WALKS ABUT RIGID STRUCTURES, SUCH AS CURBS, BUILDINGS, OR LIGHT STANDARDS. SEE DETAIL THIS SHEET.

CONSTRUCTION NOTES:
1. A CROSS SLOPE OF 1/4" PER FOOT SHALL BE PROVIDED AND SHALL SLOPE TOWARDS THE DIRECTION OF THE DRAINAGE AREA.
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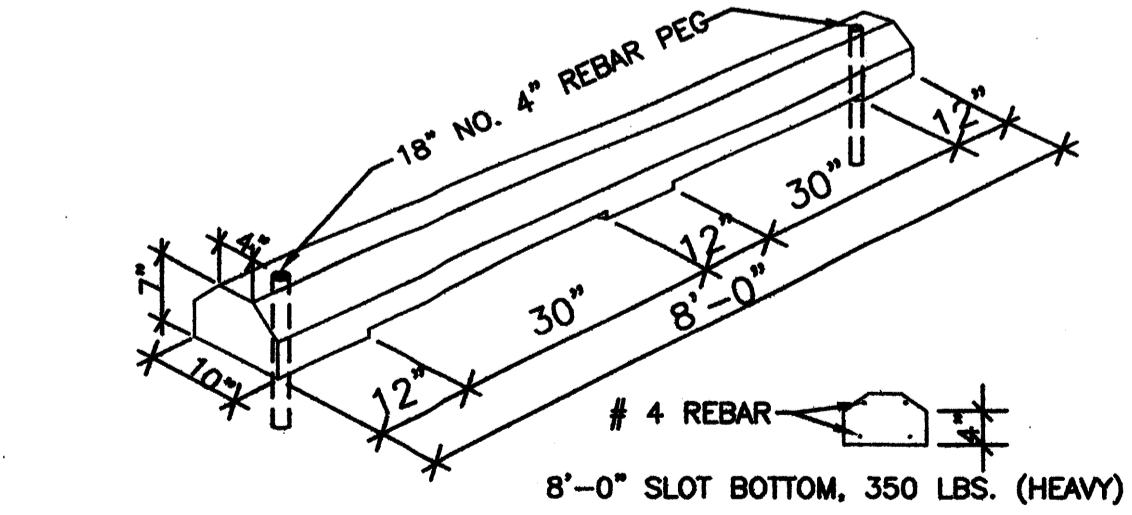


9 SIDEWALK DETAIL WITH TURNDOWN
N. T. S.



10 SIDEWALK ABUTTING CURB DETAIL
N. T. S.

CONSTRUCTION NOTES:
1. A CROSS SLOPE OF 1/4" PER FOOT SHALL BE PROVIDED AND SHALL SLOPE TOWARDS THE DIRECTION OF THE DRAINAGE AREA.
2. CONCRETE WALKS SHALL HAVE CONTRACTION JOINTS AT 6' INTERVALS. 1/2" EXPANSION JOINTS SHALL BE INSTALLED EVERY 36', UNLESS OTHERWISE SHOWN ON PLANS. SEE DETAILS THIS SHEET.
3. 1/2" EXPANSION JOINTS SHALL BE INSTALLED WHERE WALKS ABUT RIGID STRUCTURES, SUCH AS CURBS, BUILDINGS, OR LIGHT STANDARDS. SEE DETAIL THIS SHEET.



11 PRECAST CONCRETE WHEEL STOP
N. T. S.

CMP
BDA

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SITE DETAILS

REV.#	DATE	COMMENTS

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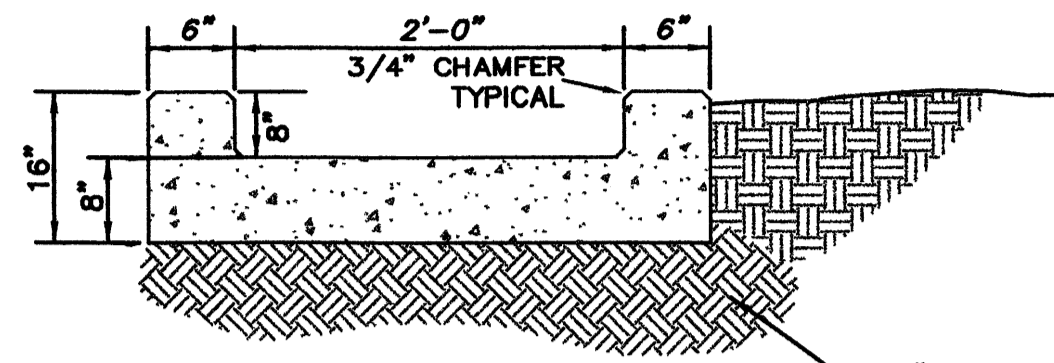
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DRAWN: CAC
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Albuquerque, New Mexico 87111
(505) 237-8421

LAWRENCE D. READ
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
10098
5/18/05

CONSTRUCTION NOTES:

1. USE 4000 PSI PCC AT 28 DAYS.
2. PROVIDE 3/4" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS.
3. PROVIDE CONSTRUCTION JOINTS @ 6' O.C.
4. ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" CHAMFER.

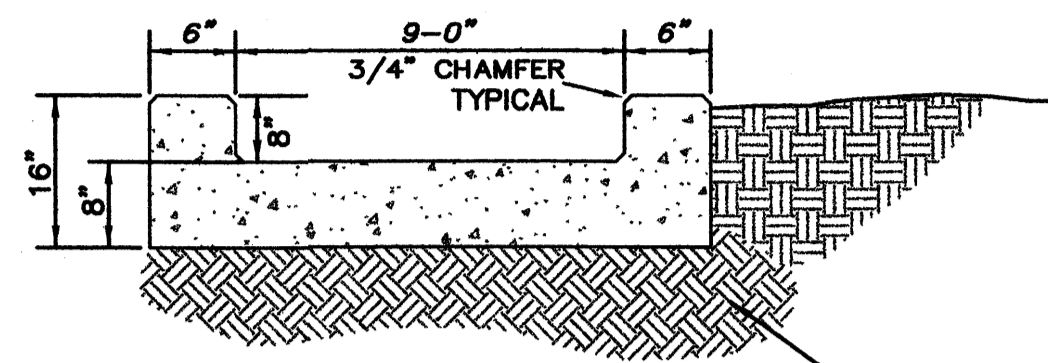


6" MIN. SCARIFY AND COMPACT EXISTING SUBGRADE TO 95% OF MAXIMUM PER ASTM D1557.

12 CONCRETE RUNDOWN - 2' WIDTH
C3 N. T. S.

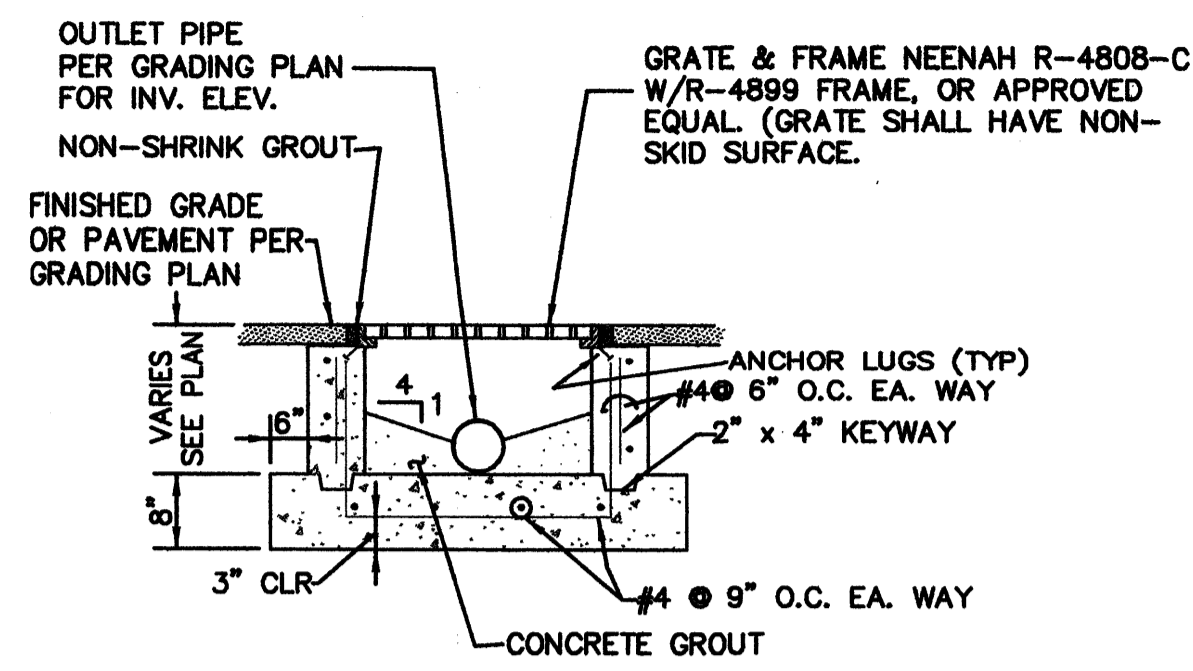
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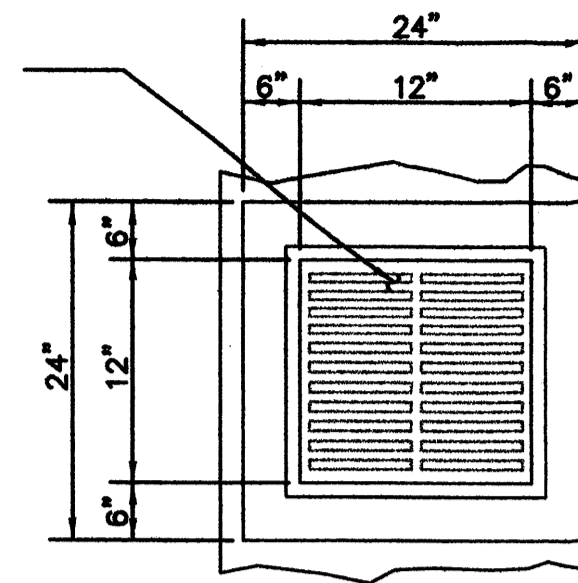


6" MIN. SCARIFY AND COMPACT EXISTING SUBGRADE TO 95% OF MAXIMUM PER ASTM D1557.

13 CONCRETE RUNDOWN - 10' WIDTH
C3 N. T. S.



14 AREA DRAIN
C3 N. T. S.



SITE DETAILS

REV. #	DATE	COMMENTS

REVIEWS	
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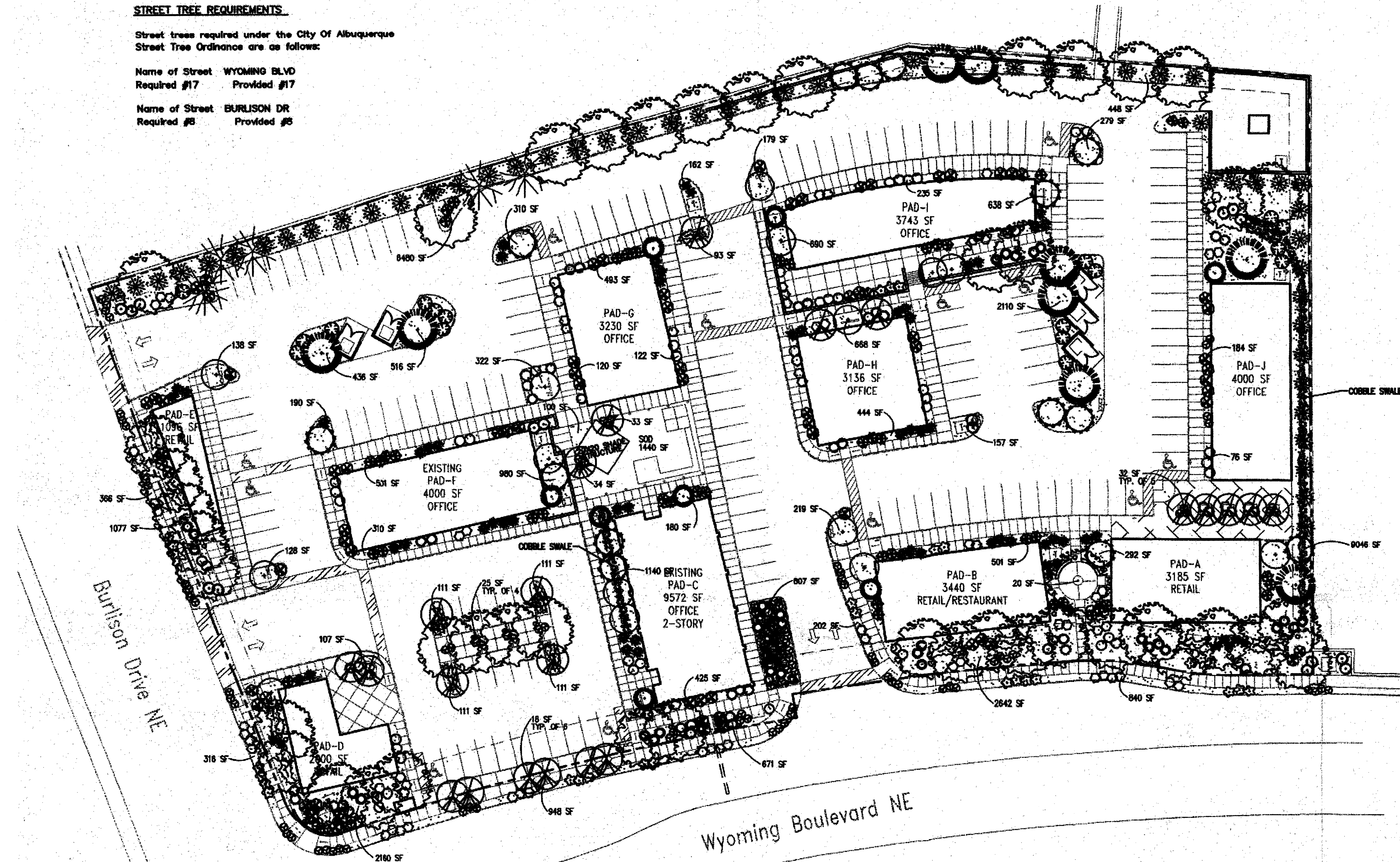
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STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: WYOMING BLVD
 Required #17 Provided #17

Name of Street: BURLISON DR
 Required #8 Provided #8



PLANT LEGEND

- EXISTING TREE TO REMAIN
- FLOWERING PEAR (H) 22
Pyrus calleryana
2" Cal
- PALM YUCCA (L) 3
- NEW MEXICO OLIVE (M) 15
Forestiera neo-mexicana
15 gal
- INDIAN HAWTHORN (M) 74
Raphanocarpus indica
5 gal
- RUSSIAN SAGE (M) 18
Perovskia atrorubra
5 gal
- APACHE PLUME (L) 49
Folgia parviflora
5 gal
- DWARF MAIDENGRASS (L) 18
Miscanthus sinensis
5 gal
- PHOTINIA (M) 51
Photinia fraseri
5 gal
- AUTUMN SAGE (M) 75
Salvia greggii
1 gal
- CHAMISA (L) 17
Chrysothamnus nauseosus
1 gal
- TAM JUNIPER (M) 35
Juniperus sabinia
1 gal
- OVERSIZED GRAVEL & BOULDERS
- ASH (H) OR HONEY LOCUST (H)
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
- AUSTRALIAN PINE (M) 9
Pinus nigra
6"-8"
- PINON PINE (M) 8
Pinus edulis
6"-8"
- DESERT WILLOW (L) 14
Chilopsis linearis
15 gal
- PYRACANTHA (M) 51
Pyracantha kalandi
5 gal
- CREEPING ROSEMARY (M) 32
Rosmarinus officinalis
5 GAL
- BLUE MIST (M) 45
Caryopteris x clandonensis
5 gal
- SILVERBERRY (M) 45
Elaeagnus pungens
5 gal
- POTENTILLA (M) 29
Potentilla fruticosa
1 gal
- WILDFLOWER 98
1 gal
- SFR CRUSHER FINES W/ FILTER FABRIC
- SOD
- COMMERCIAL GRADE STEEL EDGING

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Santa Fe Brown Crusher Fines over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

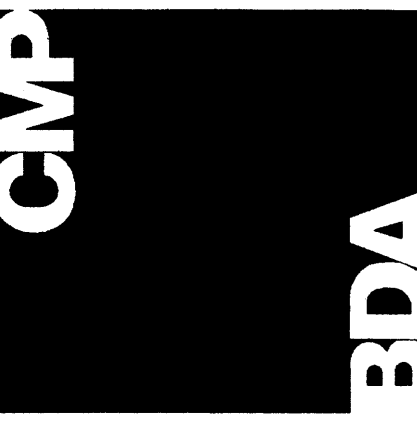


LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	177,848 square feet
TOTAL BUILDINGS AREA	37,402 square feet
OFFSITE AREA	2,470 square feet
NET LOT AREA	137,976 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	20,696 square feet
TOTAL LANDSCAPE PROVIDED	41,775 square feet
TOTAL BED PROVIDED	40,335 square feet
TOTAL SOD PROVIDED	1,440 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

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 OFFICE CONDOMINIUMS**

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LANDSCAPE PLAN

REV.#	DATE	COMMENTS

INITIALS	REV.
	BDA DSGN. REV.
	BDA TECH. REV.

DAVIS
 PROJECT NO.: 0445
 DRAWN: CAC
 DATE: 04/07/05