

SDP1.....SITE PLAN
 C1.....CONCEPTUAL GRADING PLAN
 SDP2.....LANDSCAPE PLAN
 SDP3.....EXTERIOR ELEVATIONS
 SDP4.....CONCEPTUAL UTILITIES

AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAY-OUT MUST BE SUBMITTED BY THE DESIGNER -OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT, INCLUDING A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE T.C.L. VERIFICATION OF T.C.L. ACCEPTABILITY WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.

SITE LIGHTING FIXTURES 16'-0" MAXIMUM W/ SHARP CUT-OFFS LUMINAIRE.

BUILDING MOUNTED SIGNS SHALL BE LIMITED TO 6% OF THE FACADE AREA. SIGNAGE SHALL BE INDIVIDUAL CHANNELIZED LETTERS, METAL LETTERS OR NEON LETTERS AT A MAXIMUM HEIGHT OF 2'-0". SEE SHEET SDP-3 FOR BUILDING MOUNTED SIGNS AND LIGHTS.

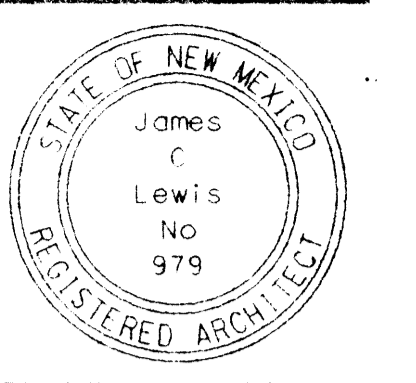
LEGAL
 LEGAL DESCRIPTION
 TRACT 67A3 MAP NO. 24
 ADDRESS
 6308 4TH ST. NW
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

ZONING
 ZONED SU-1 FOR C-1 USES
 PARKING
 REQUIRED KITCHEN= 1200 SF • 1:200 = 6
 BATHROOMS= 300 SF • 1:100 = 3
 DINING = 2500 SF • 1:15 = 164
 WAITING = 200 SF • 1:17 = 24

TOTAL PERSONS = 207
 PARKING = 1 SPACE: 3 PERSONS = 69 SPACES
 LESS 10% FOR BUS ROUTE = -7
 TOTAL REQUIRED = 62 SPACES
 PROVIDED = 77 STANDARD SPACES
 4 HANDICAPPED SPACES (1 VAN SPACE)

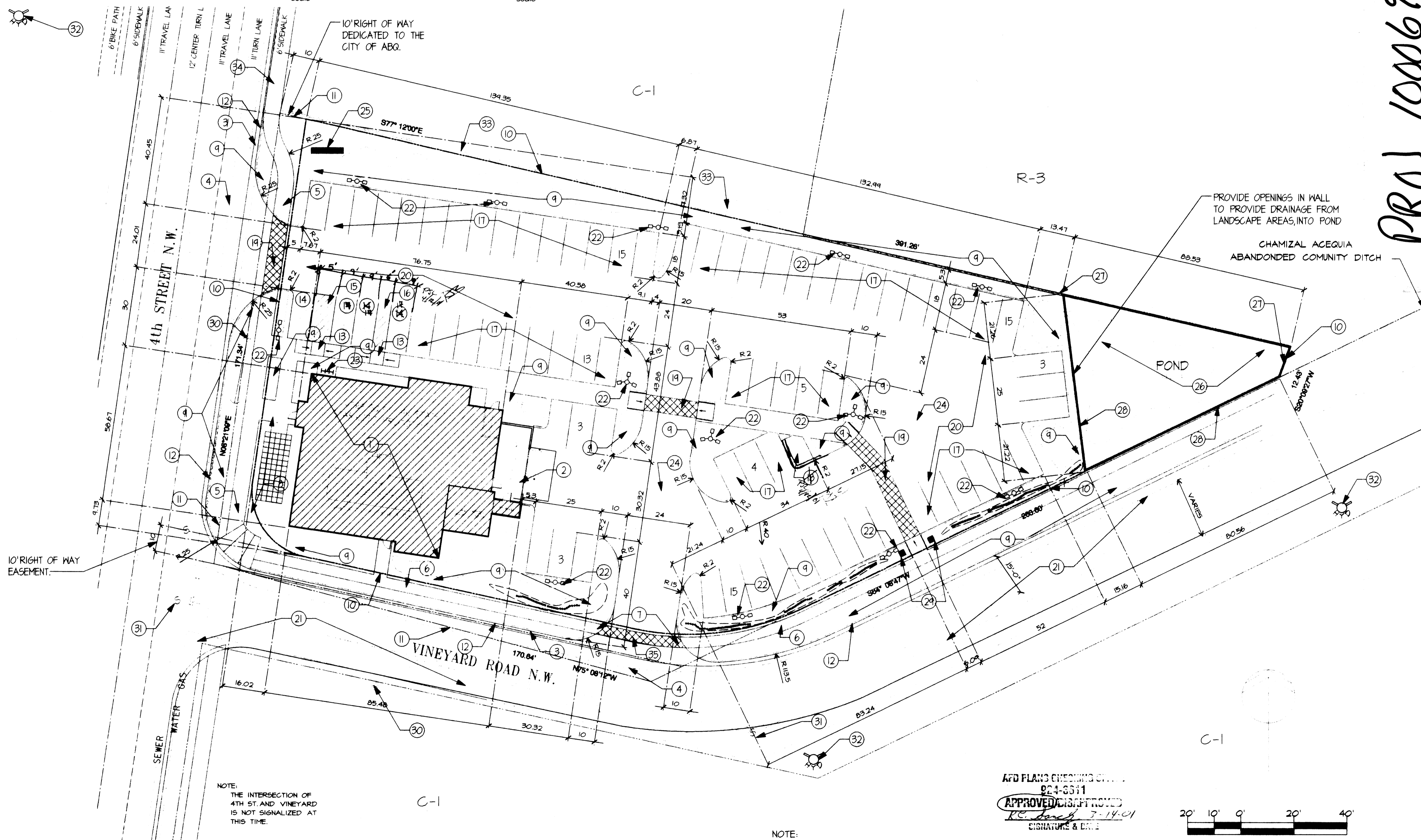
BICYCLE SPACES
 = 1 SPACE: 20 CAR SPACES
 76 SPACES/20 = 3.8 REQUIRED BICYCLE SPACES
 PROVIDED = 5 SPACES

AREAS
 LOT = 46,576 SF
 BUILDING = 4,364 SF
(F) LEGAL NOTES



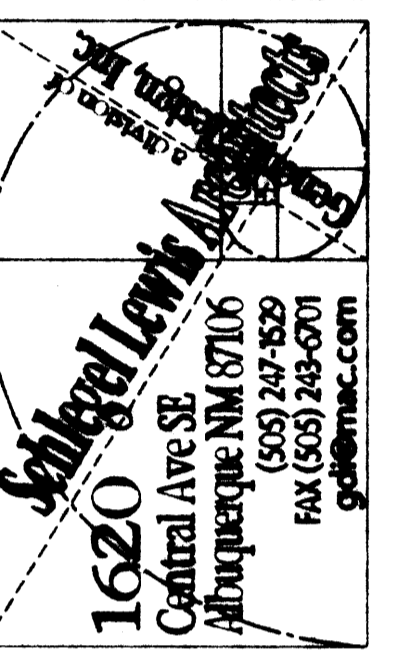
CONSULTANT

(A) DETAIL NOT USED **(B) DETAIL NOT USED** **(C) INDEX OF DRAWINGS** **(D) GENERAL NOTES**



PROJ 1000699

1. PROPOSED 4,364 SQ. FT. RESTAURANT
2. PROPOSED TRASH ENCLOSURE
3. PROPOSED STREET ALIGNMENT
4. EXISTING STREET ALIGNMENT
5. PROPOSED 6' WIDE CONCRETE SIDEWALK
6. PROPOSED 4' WIDE CONCRETE SIDEWALK
7. 24" CURB CUTS W/ 15" RETURNS
8. OUTDOOR WAITING & SITTING AREA 250 SQ'
9. PROPOSED LANDSCAPE AREA
10. PROPOSED PROPERTY LINE
11. EXISTING PROPERTY LINE
12. PROPOSED CURB AND GUTTER
13. PROPOSED HC RAMP SEE DETAIL H SHT SDP3
14. PROPOSED 8'X10' HC PARKING SPACE(S)
15. PROPOSED 8'X10' HC ACCESS AISLE
16. PROPOSED 8'X10' HC ACCESS AISLE
17. PROPOSED 9'X10' PARKING SPACE(S)
18. PROPOSED 8'X10' SMALL CAR SPACE
19. 6' WIDE PEDESTRIAN CONNECTION, RAISED & TEXTURED CONCRETE
20. PROPOSED ASPHALT PAVING
21. EXISTING ASPHALT PAVING
22. PROPOSED SITE POLE LIGHTING, SEE SHT SDP3
23. PROPOSED BIKE RACK LOCATION, SEE SHT SDP3 FOR DETAIL
24. TRASH TRUCK ROUTE
25. PROPOSED MONUMENT SIGN, SEE SHT SDP3 FOR DETAIL
26. PROPOSED DRAINAGE POND SEE GRADING PLAN
27. PROPOSED 6' SOLID WALL
28. PROPOSED 6' ROD IRON WALL SEE SHT SDP3 FOR DETAIL
29. PROPOSED GATE
30. EXISTING UTILITY POLE
31. EXISTING MAN HOLE
32. EXISTING FIRE HYDRANT
33. EXISTING RETAINING WALL
34. EXISTING CONC. SIDEWALK
35. 4' WIDE PEDESTRIAN CONNECTION, RAISED & TEXTURED CONCRETE



CONTRACTOR

Applebee's
 6308 4TH ST. NW
 Albuquerque, New Mexico

KEYED NOTES

Case No.: 00128 00000 01633

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on EPC 1/8/01 and DRB and that the findings and conditions in the Official Notice of Decision have been complied with.

Rachel Duen 4-10-01
 Traffic Engineer, Transportation Division Date

William E. Cardenas 2/14/01
 Parks & Recreation Dept Date

Rachel Duen 3/14/01
 Public Works, Water Utilities Division Date

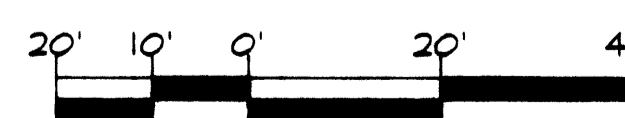
Tom Sullivan 4/11/01
 City Engineer, Engineering Div/AMFCA Date

Shirley DeBora 3-14-01
 Solid Waste Department Date

ISSUE DATE:
 13 FEB 01

REVISIONS:
 22 FEB 01
 14 MAR 01

APD PLANS CHECKING OFFICER
 224-3311
APPROVED/REVISIONS
RC 3-14-01
 SIGNATURE & DATE



(T) SITE DEVELOPMENT PLAN - CONCEPTUAL REVISION

NOTE:
 SEE SHEET SDP4 FOR UTILITIES.

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.

[Signature] 4/16/01
 Date
 ALBUQUERQUE PLANNING DEPARTMENT

SIGNATURE BLOCK

SITE PLAN
CONCEPTUAL REVISION

SHEET
SDP1
 OF 5

Symbol	Scientific Name Common Name	Size	Initial Size/Spacing Ultimate Size	Water Use
FN	Pinus Nigra Austrian Pine	6-8 Ft	6-8 Ft 40 Ft Height	Medium
KP	Koeleruteria paniculata Golden-rod tree	2" B4B	16" ht. x 6' spr. 25" ht. x 20' spr.	Medium
PC	Pyrus calleryana 'Bradford' Bradford Pear	2" B4B	16" ht. x 6' spr. 30" ht. x 25' spr.	Medium
V	Vitex Agrostoides Vitex	5-gal	10" ht. x 6' spr. 20" ht. x 20' spr.	Medium

ROCK MULCH
Santa Fe Brown Crusher Fines, 2"-4" Santa Ana Tan Cobbles (Accent)

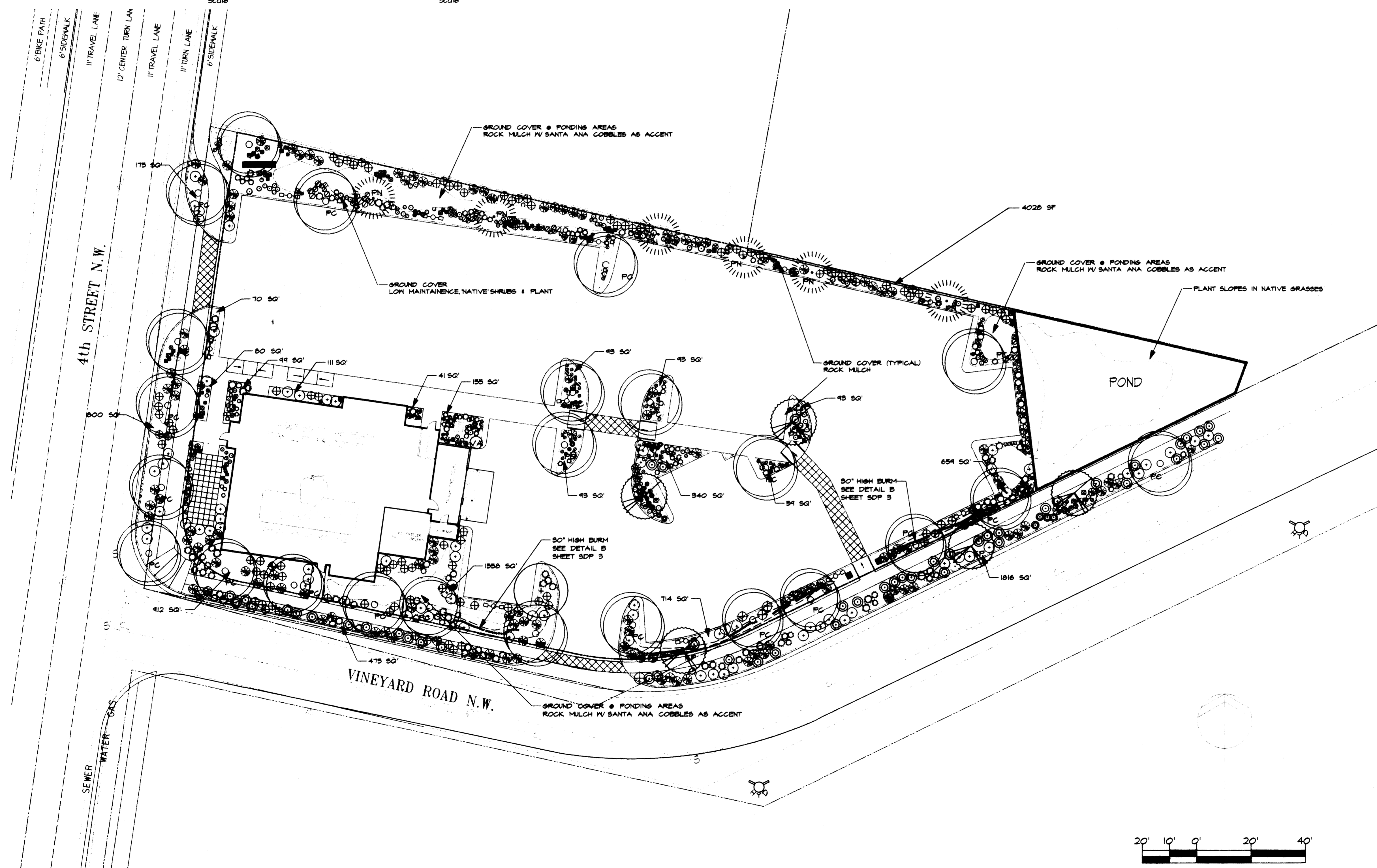
Symbol	Scientific Name Common Name	Size	Initial Size/Spacing Ultimate Size	Water Use
⊗	Artemisia 'Ponis Castle' 'Ponis Castle' Sage	1-6al	3" o.c. 3' ht. x 4' spr.	Low
⊕	Baccharis 'Starr' Thompson Baccharis	5-6al	4" o.c. 2' ht. x 4' spr.	Low
⊖	Perovskia atriplicifolia Russian Sage	1-6al	5" o.c. 4' ht. x 5' spr.	Medium
⊙	Coryopteris clandonensis Blue Mist	5-6al	4" o.c. 3' ht. x 4' spr.	Medium
⊚	Cotoneaster apiculatus Cranberry cotoneaster	5-6al	4" o.c. 3' ht. x 4' spr.	Medium
⊛	Lonicera japonica 'Halliana' Hall's Honeysuckle	1-6al	4" o.c. 2' ht. x 5' spr.	Medium
⊜	Rhus trilobata 'Autumn Amber' 'Autumn Amber' Sumac	5-6al	4" o.c. 2' ht. x 5' spr.	Medium
⊝	Salvia greggii Cherry Sage	1-6al	3" o.c. 3' ht. x 3' spr.	Medium
⊞	Potentilla fruticosa Shrubby Cinquefoil	1-6al	2.5" o.c. 2.5' ht. x 2.5' spr.	Medium
⊟	Taenidium chamaedrys 'Prostratum' Creeping Germander	1-6al	2" o.c. 6' ht. x 2' spr.	Medium

Ⓐ DETAIL NOT USED

Ⓑ DETAIL NOT USED

PLANT SYMBOL / LEGEND

DETAIL NOT USED



Ⓙ LANDSCAPING PLAN

DETAIL NOT USED

THE DESIGN AND PROVISION OF LANDSCAPE FEATURES WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, FOLLEN ORDINANCE, AND THE WATER CONSERVATION, LANDSCAPING, AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

TREE REQUIREMENTS
STREET TREES REQUIRED UNDER THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE ARE AS FOLLOWS:

4TH STREET & VINYARD
REQUIRED: 6
PROVIDED: 14

TREES WITHIN THE PARKING AREA ARE REQUIRED AT A RATE OF (1) TREE PER (5) PARKING SPACES.

REQUIRED: 8
PROVIDED: 16

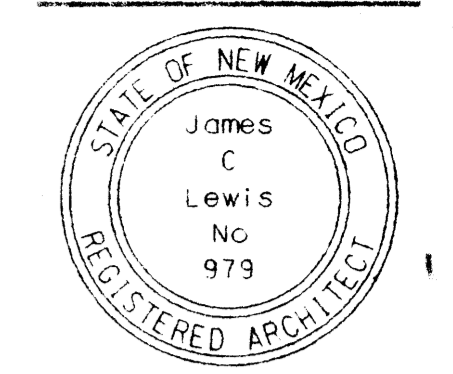
IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED DRIP IRRIGATION SYSTEM WILL BE UTILIZED TO IRRIGATE TREES, SHRUB, AND GROUND COVER PLANTING AREAS.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THAT WITHIN THE ADJACENT PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE OWNER.

ZONING CODE LANDSCAPE REQUIREMENTS

TOTAL SITE AREA	45,640 SF
BUILDING AREA	4,369 SF
TOTAL AREA	41,473 SF
REQUIRED PERCENTAGE	X.15
LANDSCAPE AREA REQUIRED	6,241 SF
LANDSCAPE AREA PROVIDED	12,464 SF

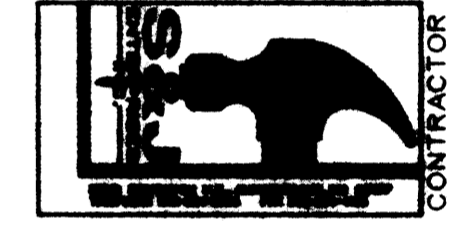
LANDSCAPE NOTES



CONSULTANT

Seiberg Lewis Architects
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Albuquerque, NM 87106
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FAX (505) 248-0718
gsl@aol.com

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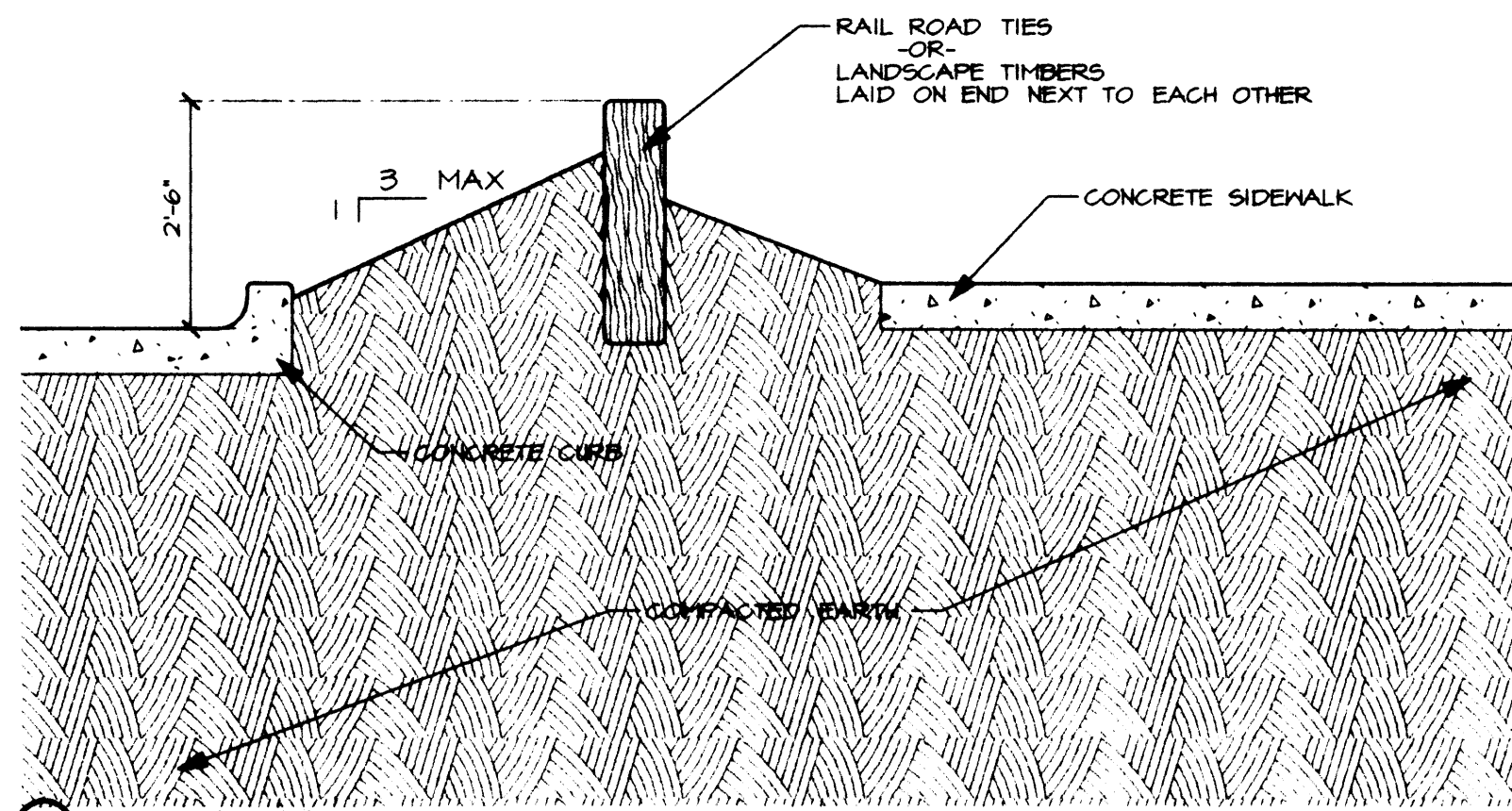


Applebee's
Neighborhood Grill & Bar
6308 4TH ST., NW
Albuquerque, New Mexico

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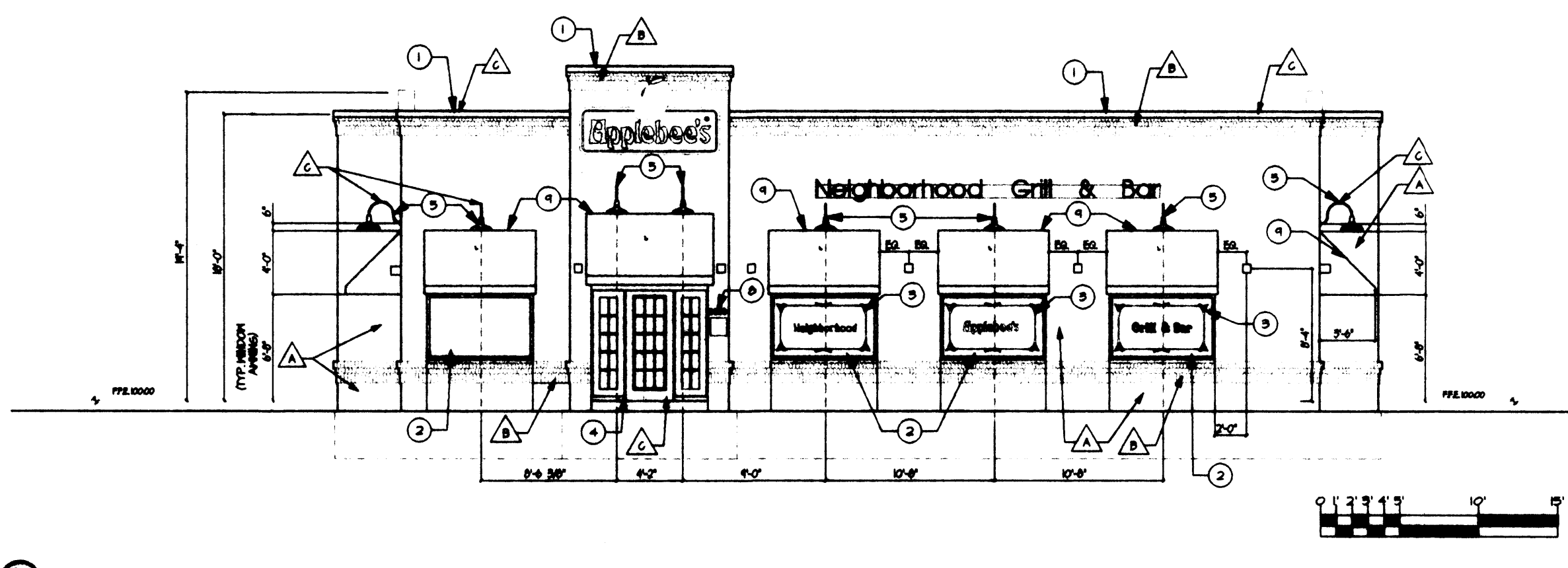
**SITE DEVELOPMENT PLAN
LANDSCAPE PLAN**
SHEET
PROJECT 00-11
SDP-2
OF 5

Scale: 1"=20'-0"

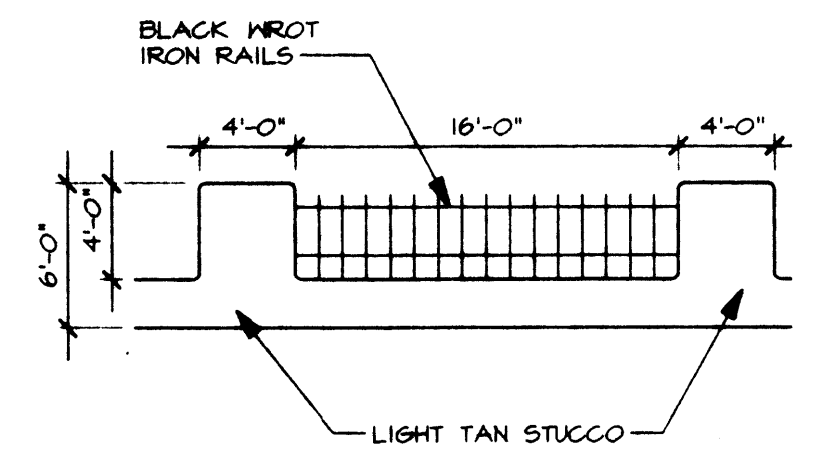


A DETAIL NOT USED

B BURM DETAIL

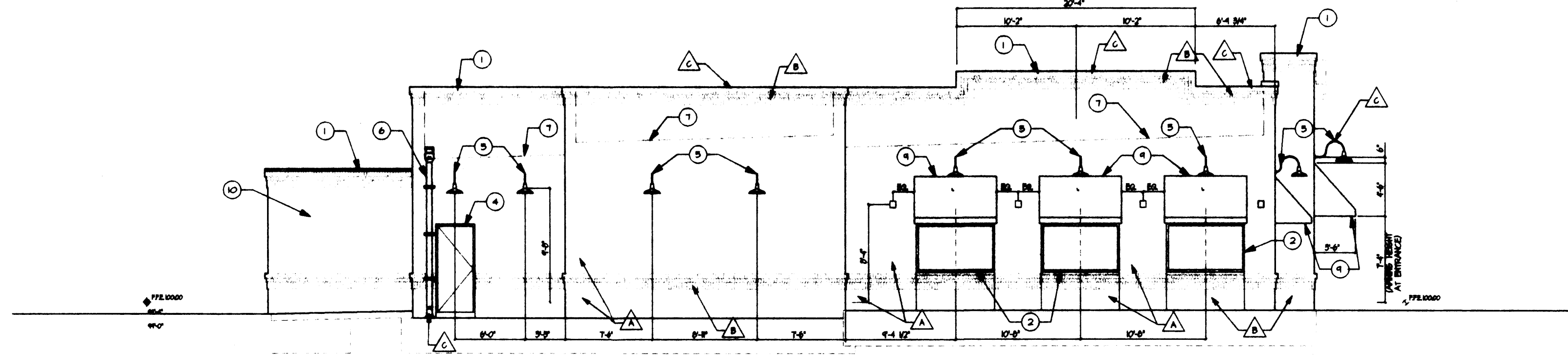


D WEST ELEVATION

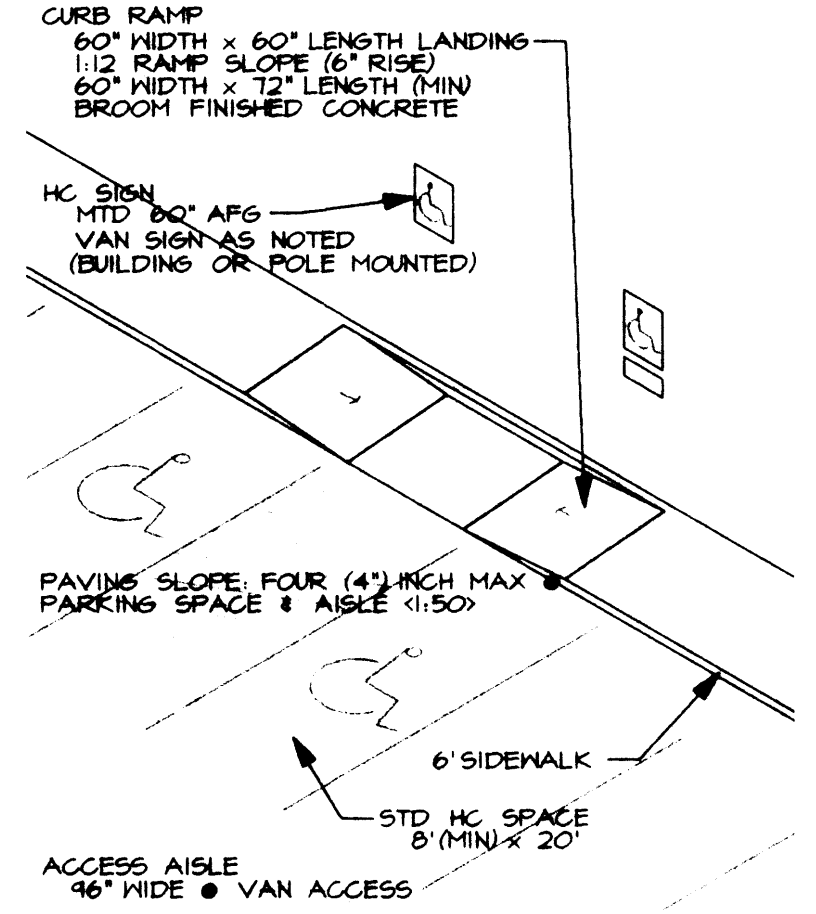


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H FENCE

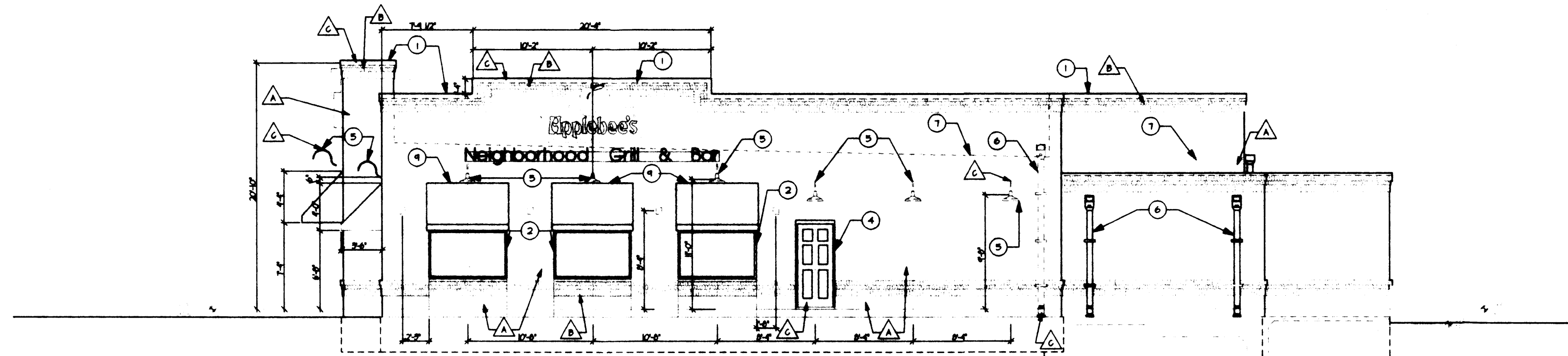


I RIGHT ELEVATION

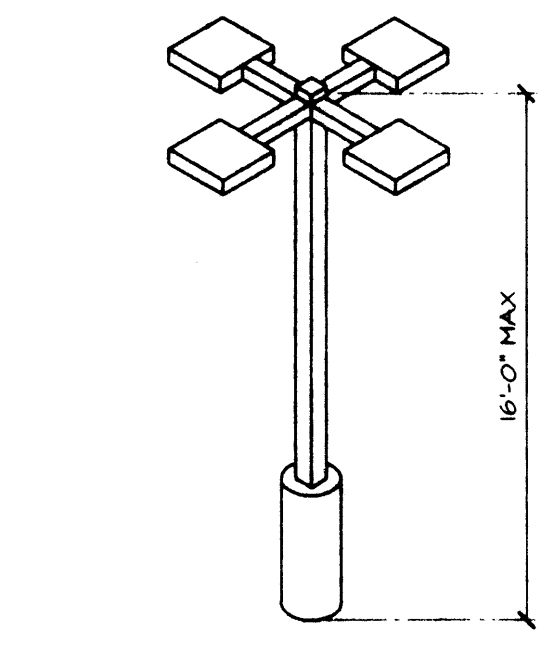


N DETAIL NOT USED

O HC RAMP AND SIGN

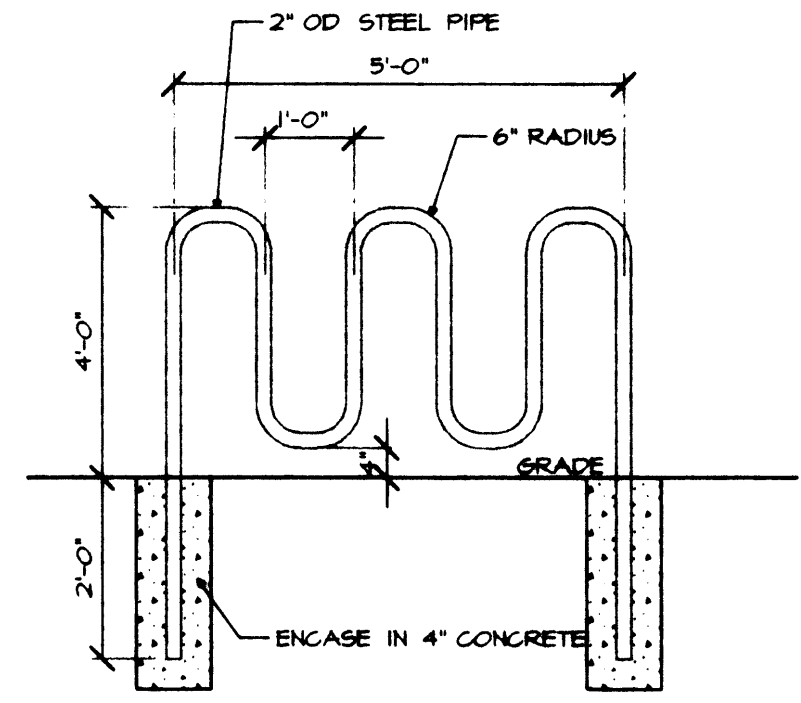


P LEFT ELEVATION

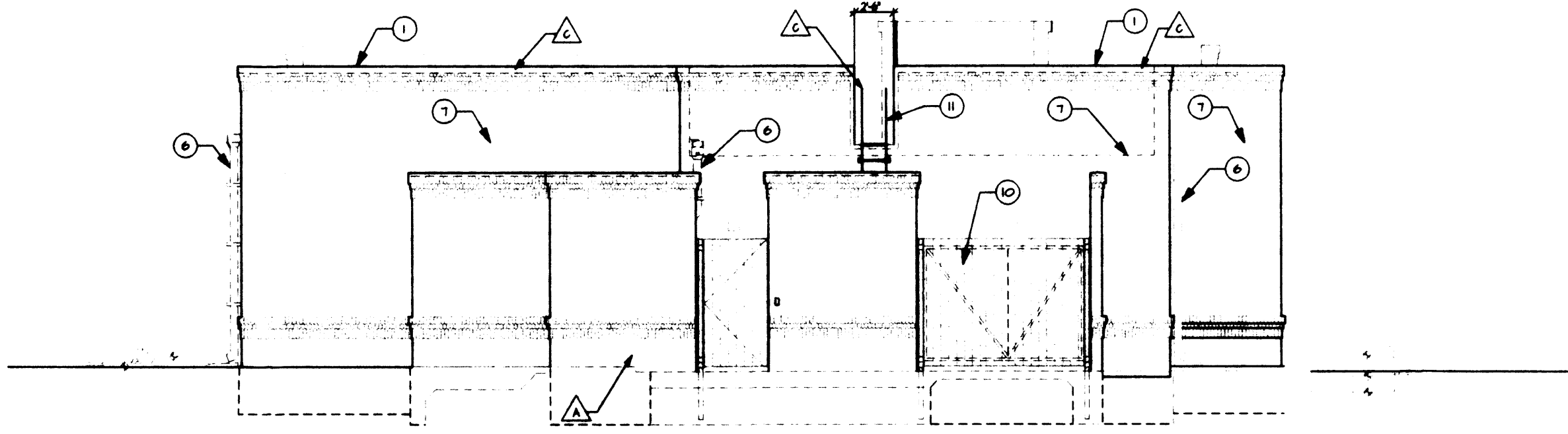


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U LIGHT POLE

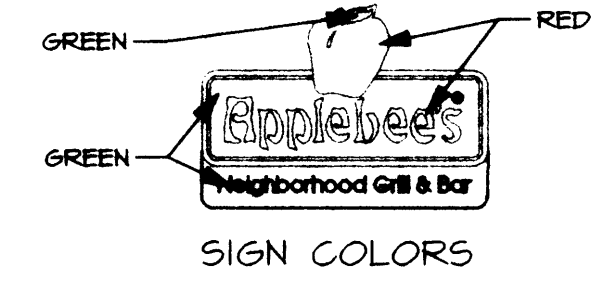


V BIKE RACK



W REAR ELEVATION

SIGNS
 MONUMENT SIGN SHALL HAVE A MAXIMUM 75 SQ. FT. OF FACE AREA, AND BE A MAXIMUM 15'-0" HIGH.
 WALL MOUNTED SIGNS SHALL NOT EXCEED 12.5% OF THE FACADE AREA, AND SHALL NOT EXCEED A MAXIMUM HEIGHT OF 23'-0".
 BOTH TYPES OF SIGNS WILL BE INTERNALLY ILLUMINATED AND SHALL HAVE A RED AND GREEN COLOR SCHEME.

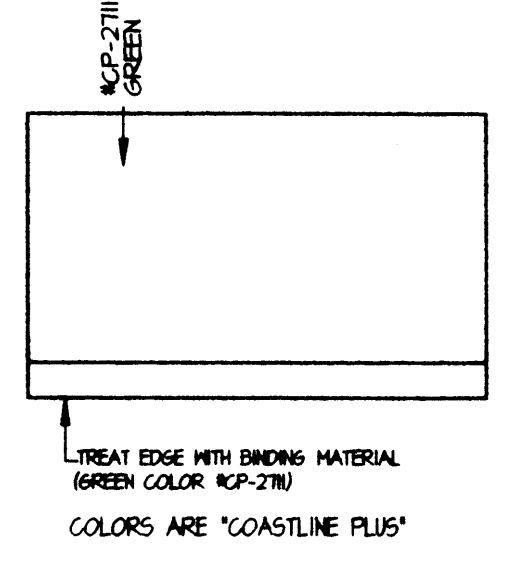


GENERAL NOTES

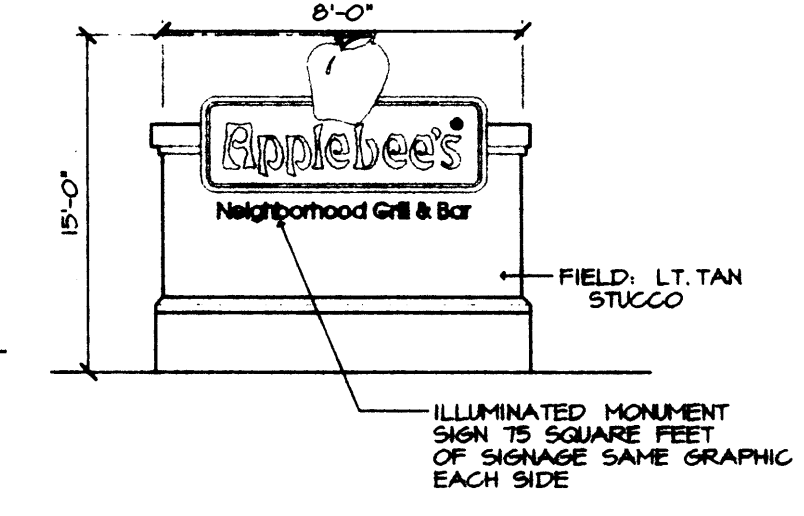
- PRE-FINISHED METAL CAP
- GLASS AND ALUMINUM STOREFRONT FRAMING, GREEN FLUOROPON FINISH ON ALUMINUM, CLEAR INSULATING GLASS
- ETCHED GLASS
- DOOR AND FRAME, PAINT FINISH
- WALL MOUNTED LIGHT FIXTURE 9'-6"
- GALVANIZED 6"x6" DOWNSPOUT (PAINT FINISH) SECURE DOWNSPOUT TO WALL WITH MINIMUM OF 3 BRACKETS
- LINE OF ROOF DECK
- PREMISE I.D. LOCATION
- FABRIC AWNING, EXTEND 2" PAST MASONRY OPENINGS, SEE COLOR SCHEME BELOW
- TRASH ENCLOSURE
- ROOF LADDER

- FIELD - LIGONIER TAN SK 2191
- ACCENT - GRANBERRY BOG SK 2306
- TRITON GREEN

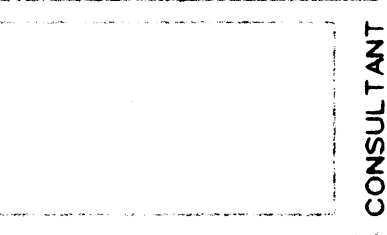
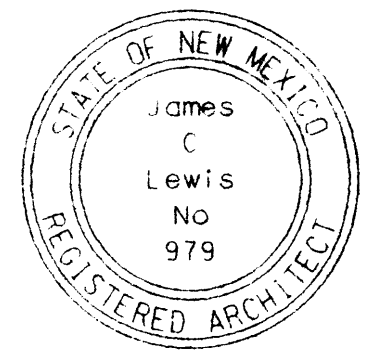
KEYED NOTES



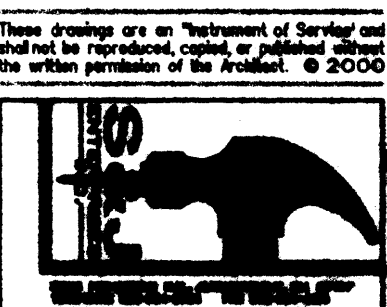
ENLARGED AWNING DETAIL



MONUMENT SIGN



1620 Central Ave. SE Albuquerque, NM 87106
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 FAX (505) 248-0701
 gcl@nmac.com

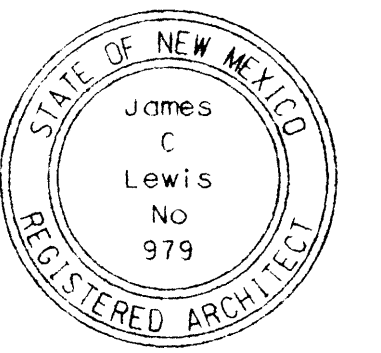


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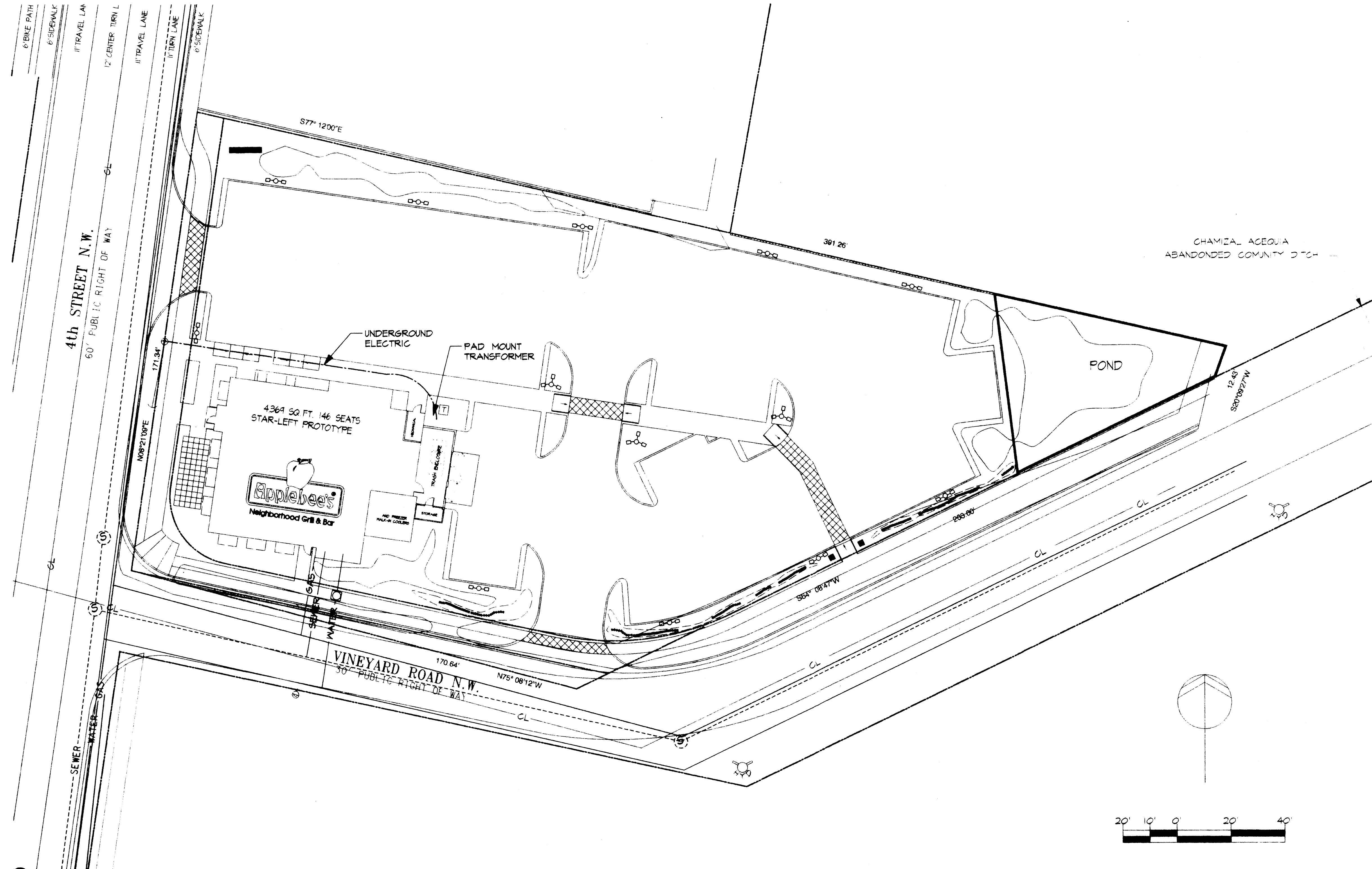
ELEVATIONS

PROJECT SHEET
SDP3
 OF 5



CONSULTANT

A DETAIL NOT USED Scale B DETAIL NOT USED Scale C DETAIL NOT USED Scale D DETAIL NOT USED Scale E DETAIL NOT USED Scale F DETAIL NOT USED Scale G DETAIL NOT USED Scale



G CONCEPTUAL UTILITY PLAN

Scale: 1"=20'-0"

Salgado Law Architects
1620 Central Ave SE
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505.247.4529
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gsal@slaw.com

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M DETAIL NOT USED Scale

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Neighborhood Grill & Bar
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Albuquerque, New Mexico

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REVISIONS:
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14 MAR 01

CONCEPTUAL UTILITIES
PROJECT SHEET
SDP4
OF 5

NOTES

Scale