

TYP. ASPHALTIC CONCRETE

	ASPHALTIC CONCRETE	AGGREGATE BASE COURSE
AUTOMOBILE PARKING	2"	4"
AUTOMOBILE DRIVEWAYS	2"	4"
AREAS SUBJECT TO SEMI-TRUCKS	3"	6"

PARKING REQUIREMENTS (CALCULATIONS)

NET OFFICE AREA: 6900 SF  
 8900 / 200 = 44.5  
 = 45 REQUIRED PARKING SPACES

PARKING REQUIREMENTS	
BERNALILLO COUNTY- OFFICE SURFACE PARKING:	
HANDICAPPED	2 CAR
REGULAR AND COMPACT	45 CARS
TOTAL ON SITE PARKING PROVIDED	47 CARS
TOTAL REQUIRED PARKING:	45 CARS

**CASE NUMBER: 1000702**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on **SEPTEMBER 21, 2000** and that the findings and conditions in the Official Notice; Notification of Decision have been compiled with:

**SITE DEVELOPMENT PLAN**

*Richard Dent* 3-07-01  
 Traffic Engineer, Transportation Division Date

*William F. Condelaine* 3/7/01  
 Parks & General Services Department Date

*Roger J. Green* 3/8/01  
 Public Works, Water Utilities Division Date

*Kevin Miller* 3/7/01  
 City Engineer, Engineering Division/ AMAFCA Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual. 3/20/01  
*[Signature]* Date  
 City Planner, Albuquerque / Bernalillo County Planning Division

SHEET INDEX

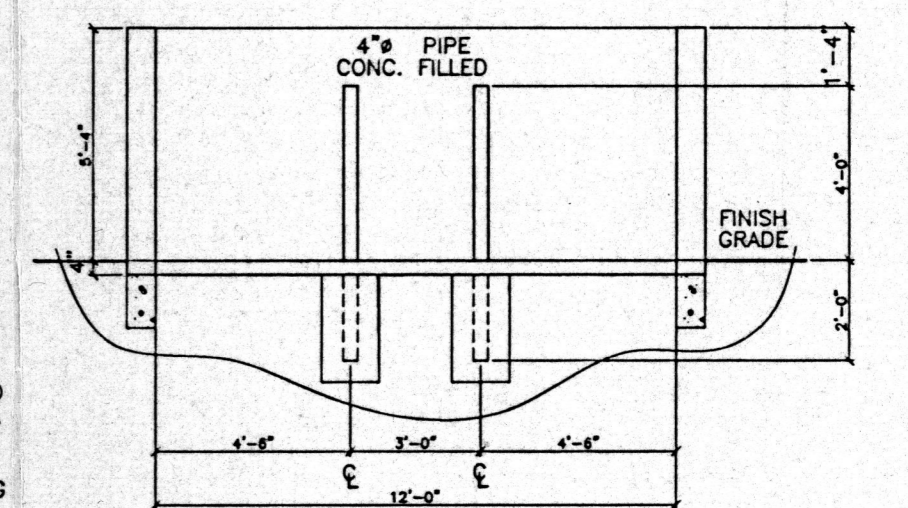
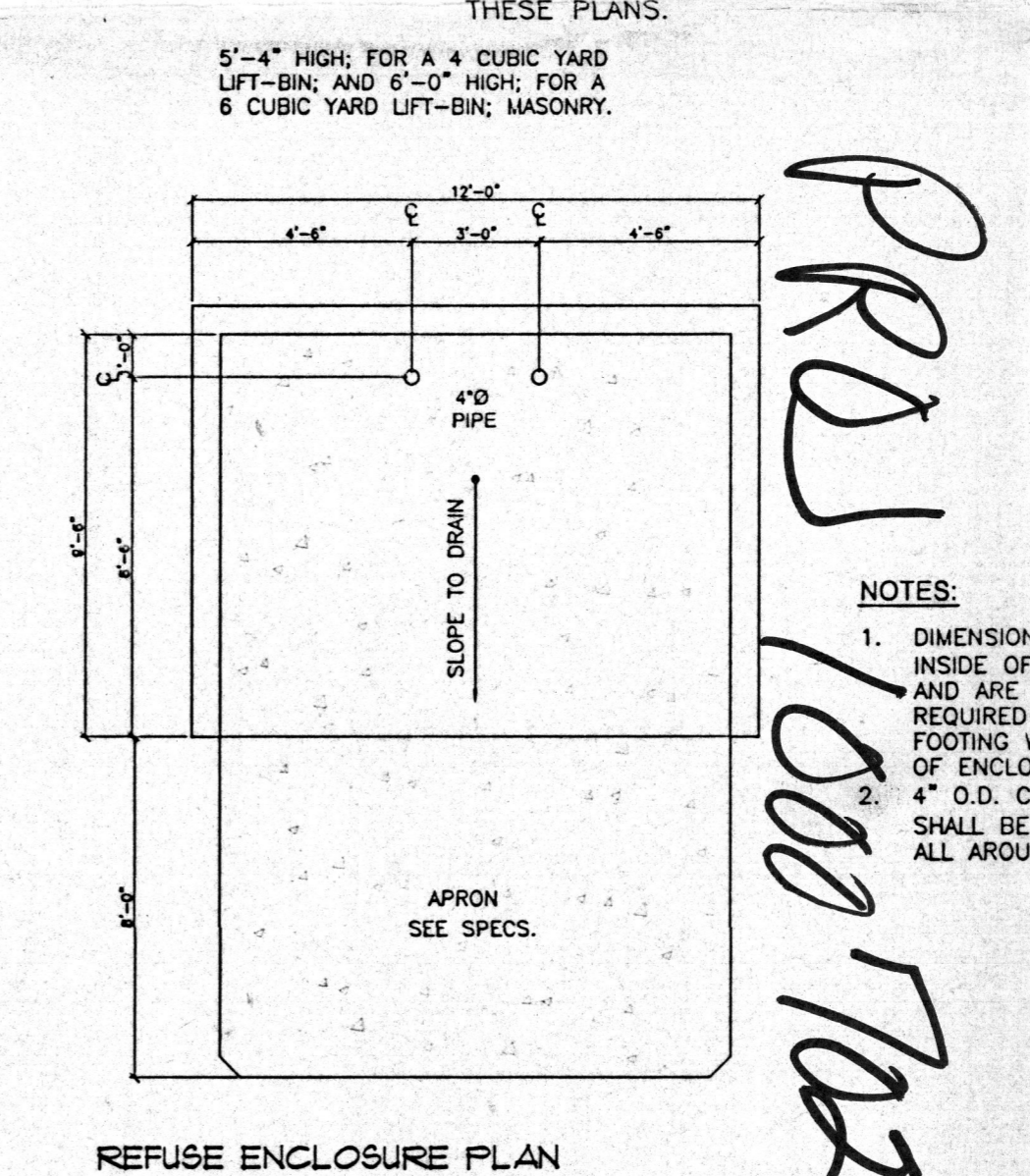
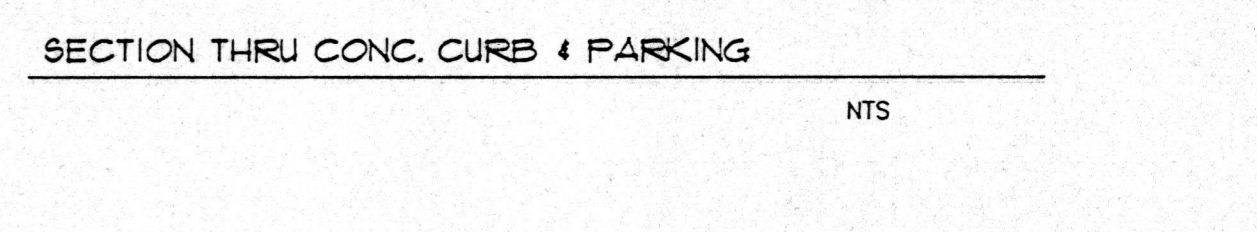
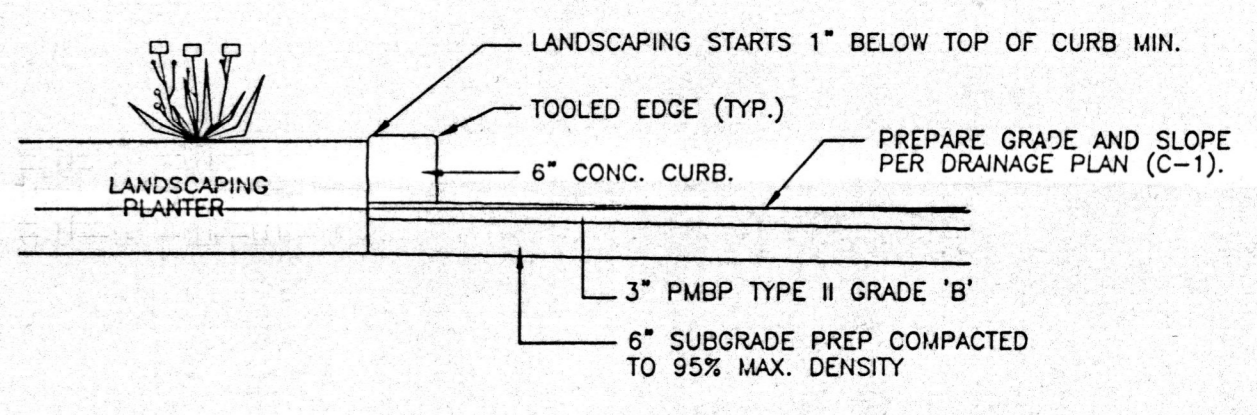
- A-1 SITE / PARKING PLAN
- C-1 GRADING & DRAINAGE PLAN
- AD-1 DEMOLITION PLAN
- L-1 LANDSCAPE PLAN
- S-1 FOUNDATION PLAN
- S-2 FOUNDATION DETAILS
- S-3 FRAMING PLAN
- S-4 FRAMING DETAILS
- S-5 FRAMING DETAILS
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 ELEVATIONS
- A-5 ELEVATIONS
- A-6 SECTIONS
- A-7 SECTIONS
- A-8 ROOFPLAN
- A-9 DETAILS
- A-10 DETAILS
- A-11 DETAILS
- A-12 ADA & ANSI SHEET
- A-13 FIRST FLOOR REFLECTED CEILING PLAN
- A-14 SECOND FLOOR REFLECTED CEILING PLAN
- E-1 FIRST FLOOR POWER DISTRIBUTION AND NETWORK PLAN
- E-2 SECOND FLOOR POWER DISTRIBUTION AND NETWORK PLAN
- E-3 SECOND FLOOR LIGHTING PLAN
- M-1 FIRST FLOOR MECHANICAL PLAN
- M-2 SECOND FLOOR MECHANICAL PLAN

DESIGN DATA

- I. APPLICABLE CODES AND REGULATIONS. UNIFORM BUILDING CODE, 1997 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, 1992 NFPA, 1990
- II. BUILDING FLOOR AREA ( UBC SEC. 504) FIRST FLOOR 6,900 S.F. SECOND FLOOR 6,532 S.F. TOTAL FLOOR AREA 13,432 S.F. COVERED OR WALK-OUT DECKS 1,670 S.F.
- III. OCCUPANCY GROUP (UBC TABLE 5A) OFFICE B
- IV. EXTERIOR WALLS AND OPENINGS UBC TABLE 5A
- V. BUILDING HEIGHT 26'-0" -TALLEST POINT (TWO-STORY)
- VI. TYPE OF CONSTRUCTION UBC TABLE 5A: TYPE I-N
- VII. BASIC ALLOWABLE FLOOR AREA UBC TABLE 5B: 8000 SF
- VIII. FIRE RESISTIVE REQUIREMENTS UBC TABLE 6-A: TYPE V-N
- IX. OCCUPANT LOAD UBC TABLE 10-A
- X. EXIT REQUIREMENTS A. NUMBER OF EXITS: UBC TABLE 10-A B. WIDTH: UBC 1003.2.3
- XI. SEISMIC ZONE: 2B
- XII. WIND SPEED: 70 MPH
- XIII. EXPOSURE: C
- XIV. SOIL BEARING CAP.(ASSUMED) 1500 PSF
- XV. ROOF LOAD (TOTAL) 40 PSF
- XVI. FLOOR LOAD (TOTAL) 125 PSF

TRAFFIC REQUIRED NOTES

- 1) THE SITE HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: 1.) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY C.O. IN ORDER TO CORRECT UNAPPROVED WORK; AND 2.) INCREASE IN CONST. COSTS TO RESPONSIBLE PARTIES.
- 2) THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- 3) ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION AND BEFORE TEMP. C.O. WILL BE SCHEDULED.
- 4) ALL PARKING SPACES ARE TYPICAL (8'-6"x20') UNLESS OTHERWISE NOTED.
- 5) " THE DESIGNER OF RECORDS CERTIFICATION REQUIRED BY TRANSPORTATION DEVELOPMENT SERVICES MUST INCLUDE CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED WITH THE TCL BEFORE A C.O. IS RELEASED."
- 6) ALL EXISTING ASPHALT SURFACE AND CONCRETE CURB & GUTTER MUST BE REMOVED & REPLACED, AS DIRECTED BY THE ENGINEER, AND AS SET OUT BY THESE PLANS.



CONCRETE SLAB:	4" THICK; 3,000 PSI 3/4" AGG. W/6X6-10/10 W/M OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT.	FOOTING:	AS REQUIRED BY DESIGN
APRON:	6" THICK; 3,000 PSI 3/4" AGG. W/6X6-10/10 W/M OR EQUAL. 12'-0" X 8'-0" X 6" WITH 1/2" EXPANSION JOINT.	ENCLOSURE WALLS:	5'-4" HIGH; FOR A 4 CUBIC YARD LIFT-BIN AND 6'-0" HIGH; FOR A 6 CUBIC YARD LIFT-BIN; OPAQUE MATERIAL TO BLEND WITH ARCHITECTURAL STYLE OF BUILDING

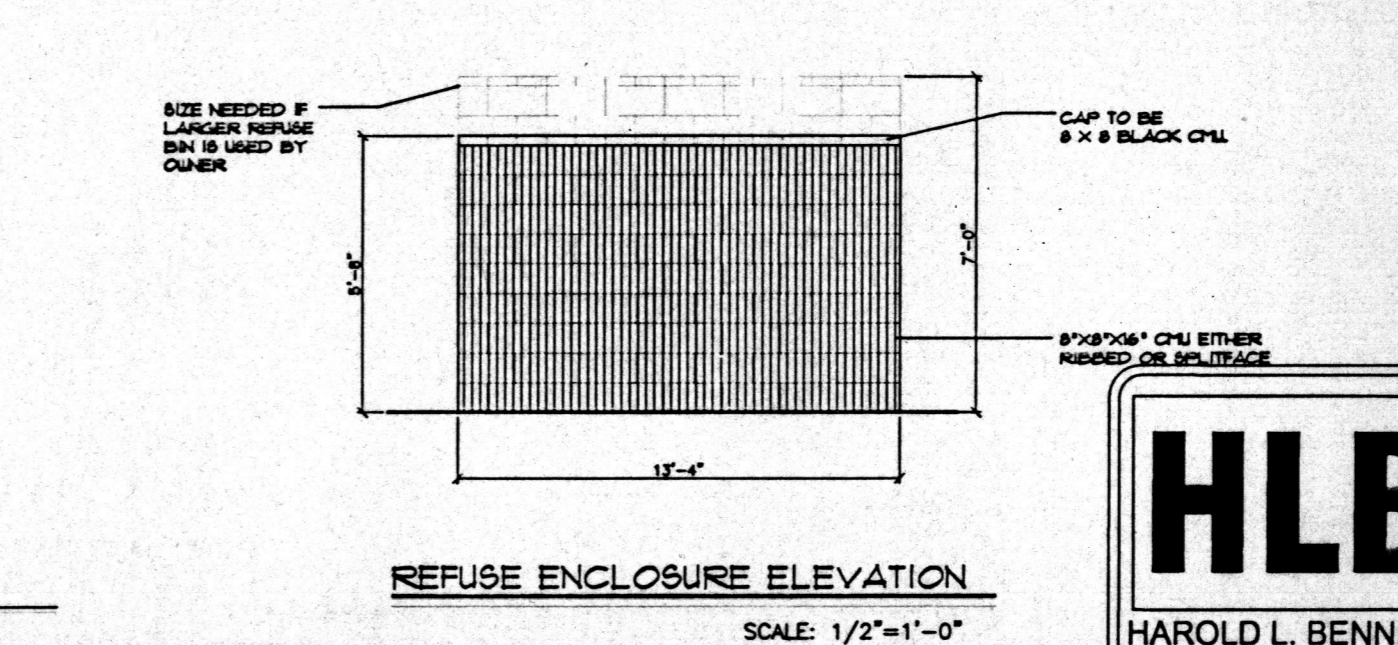
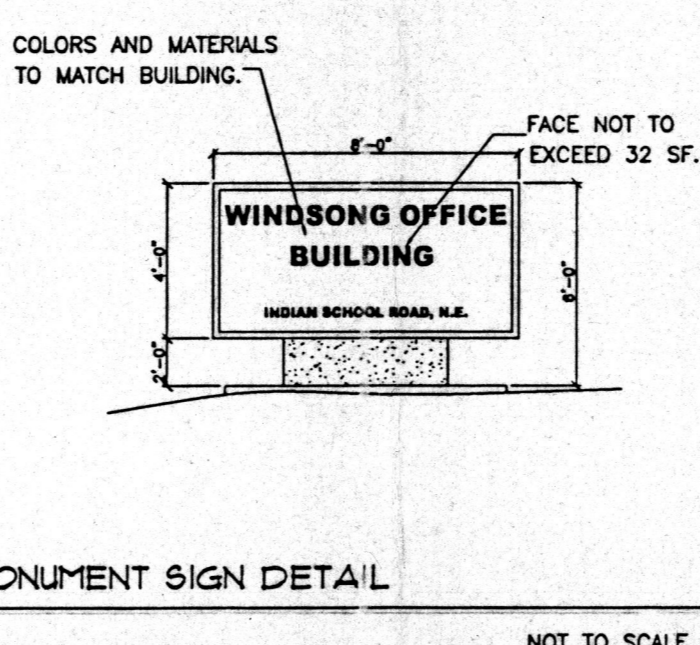
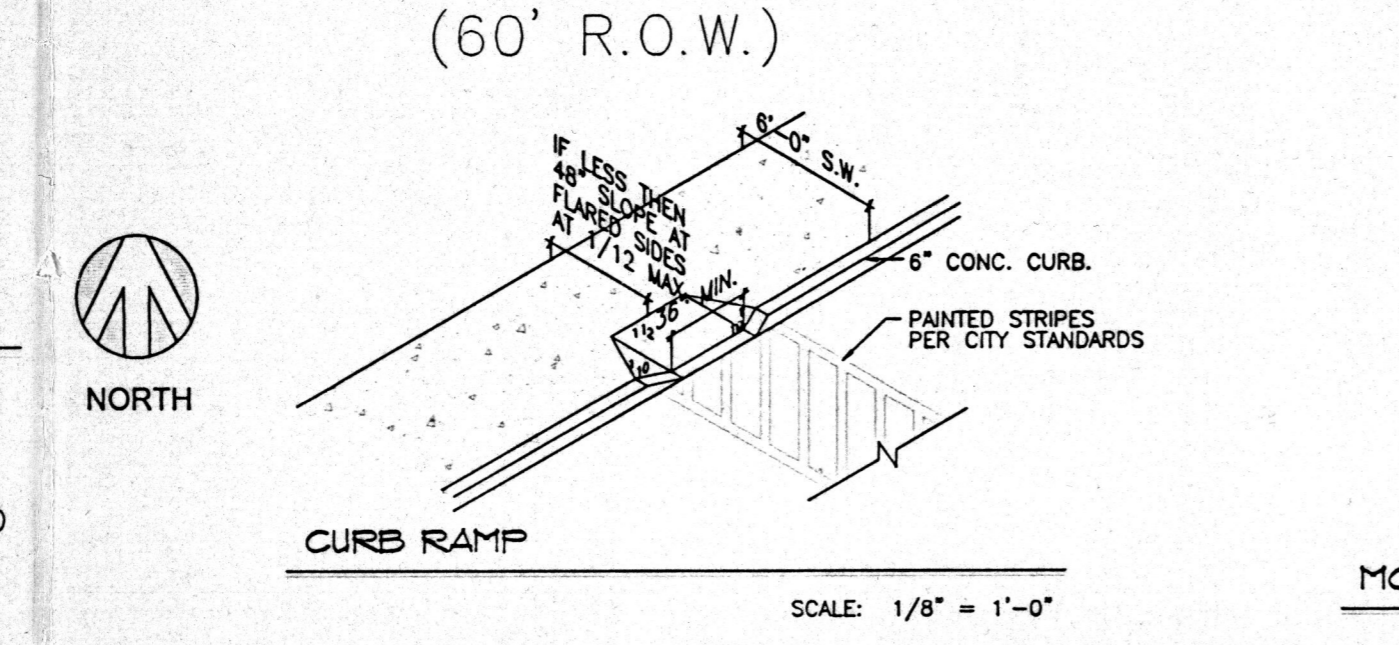
**SITE PLAN**

LEGAL: TRACT X TEMPLE ADDITION, ALBUQ., NEW MEXICO

SCALE: 1" = 20'-0"

BAR SCALE 0 5 10 20

ZONE ATLAS MAP: J-18



**bill.buckley**  
 LAS CRUCES, NM

**KCC** OFFICE # 830-3637 MOBILE # 249-5606

DESIGN COLLABORATIVE  
 THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: WINDSONG OFFICE BUILDING

REVISION: 2/20/01	FILE NAME: WINDOFF-A1	JOB NO.:	DATE: 10/9/00
-------------------	-----------------------	----------	---------------

SHEET TITLE: SITE PLAN DRAWN BY: REZ

**HLB** HAROLD L. BENNETT P.E.

**ARL** ARNOLD L. BENNETT REGISTERED PROFESSIONAL ENGINEER

**A-1**