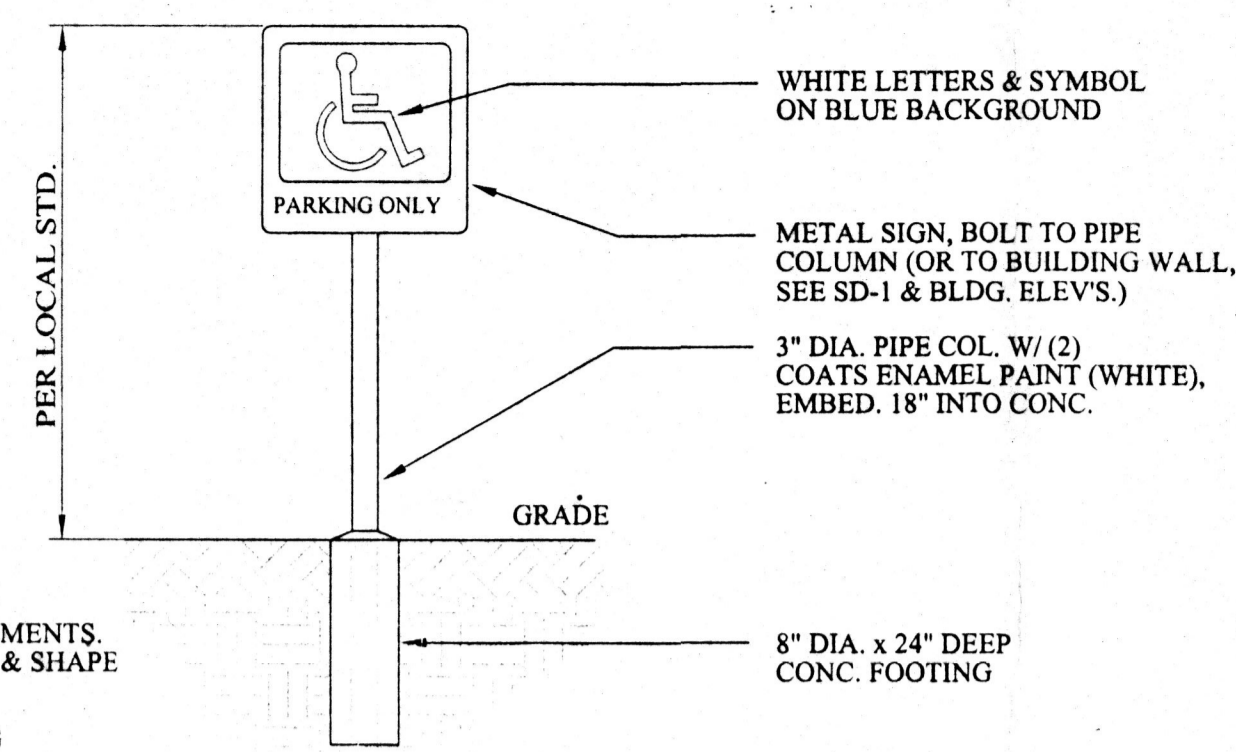
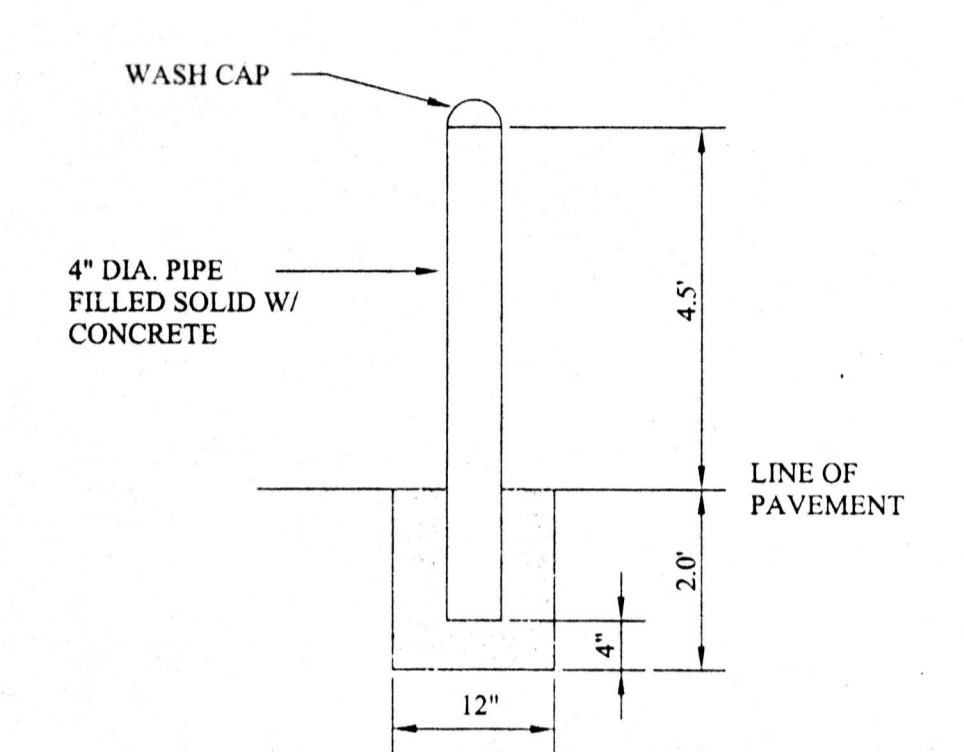


PRD 1000781

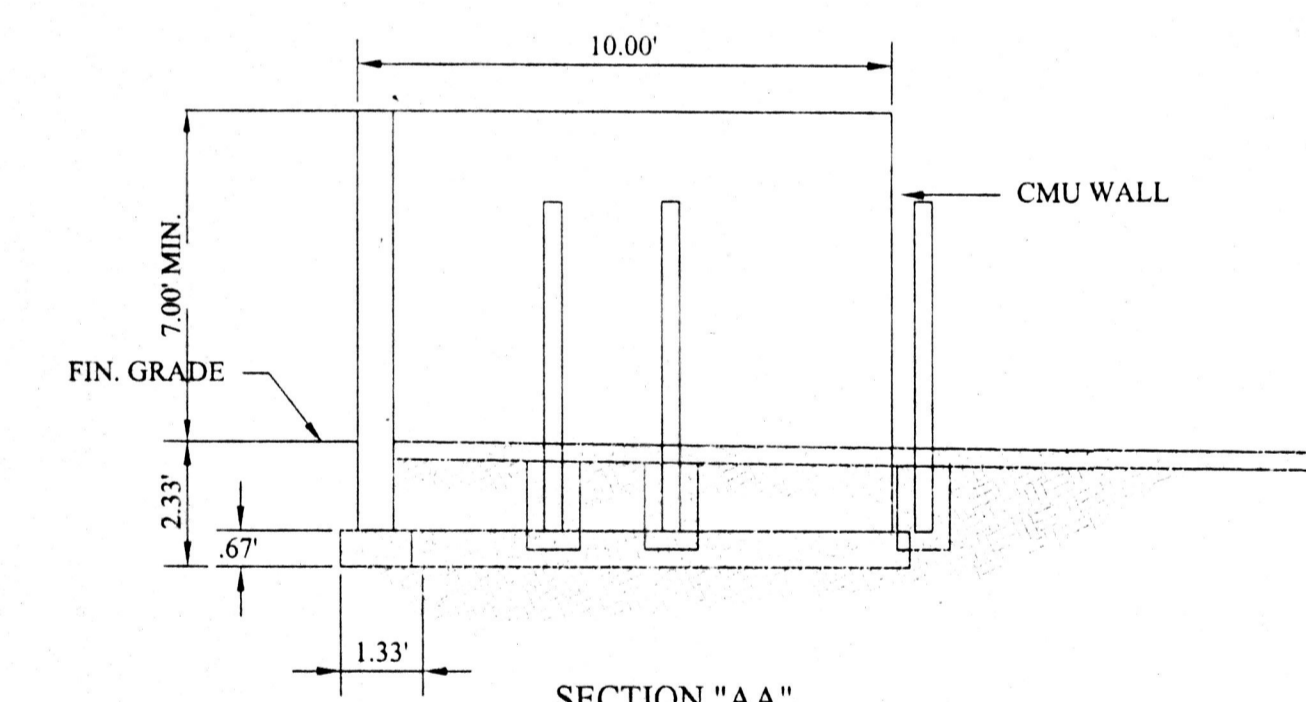


- NOTES:**
- SIGN TO BE PER LOCAL HANDICAPPED REQUIREMENTS. VERIFY WITH CITY SIZE & SHAPE
 - PROVIDE SIGN @ ALL HANDICAPPED PARKING STALLS INDICATED ON SITE PLAN
 - PLACE SIGN 2' FROM THE CURB

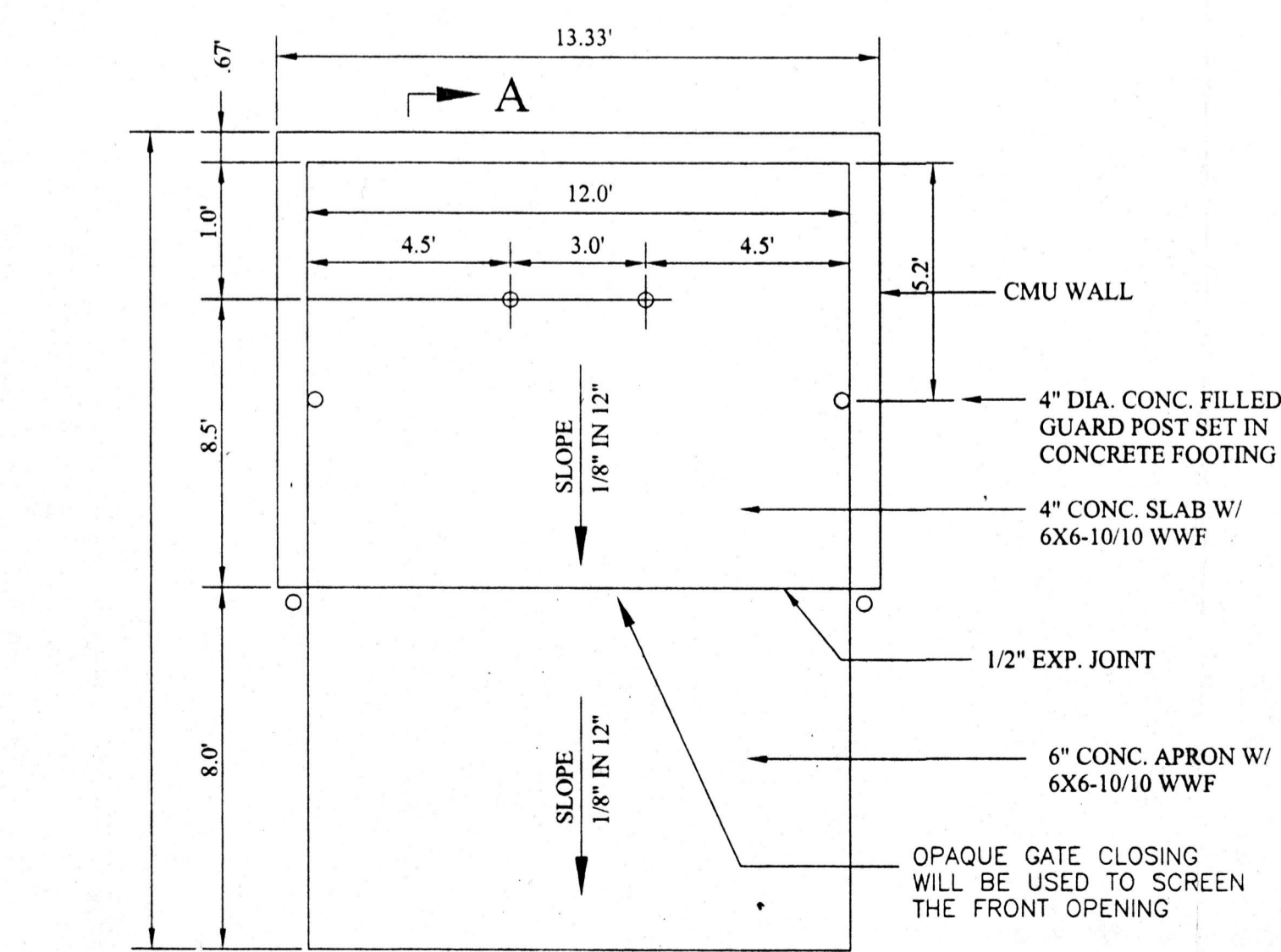
HANDICAP SIGN DETAIL



PIPE POST DETAIL (NO SCALE)

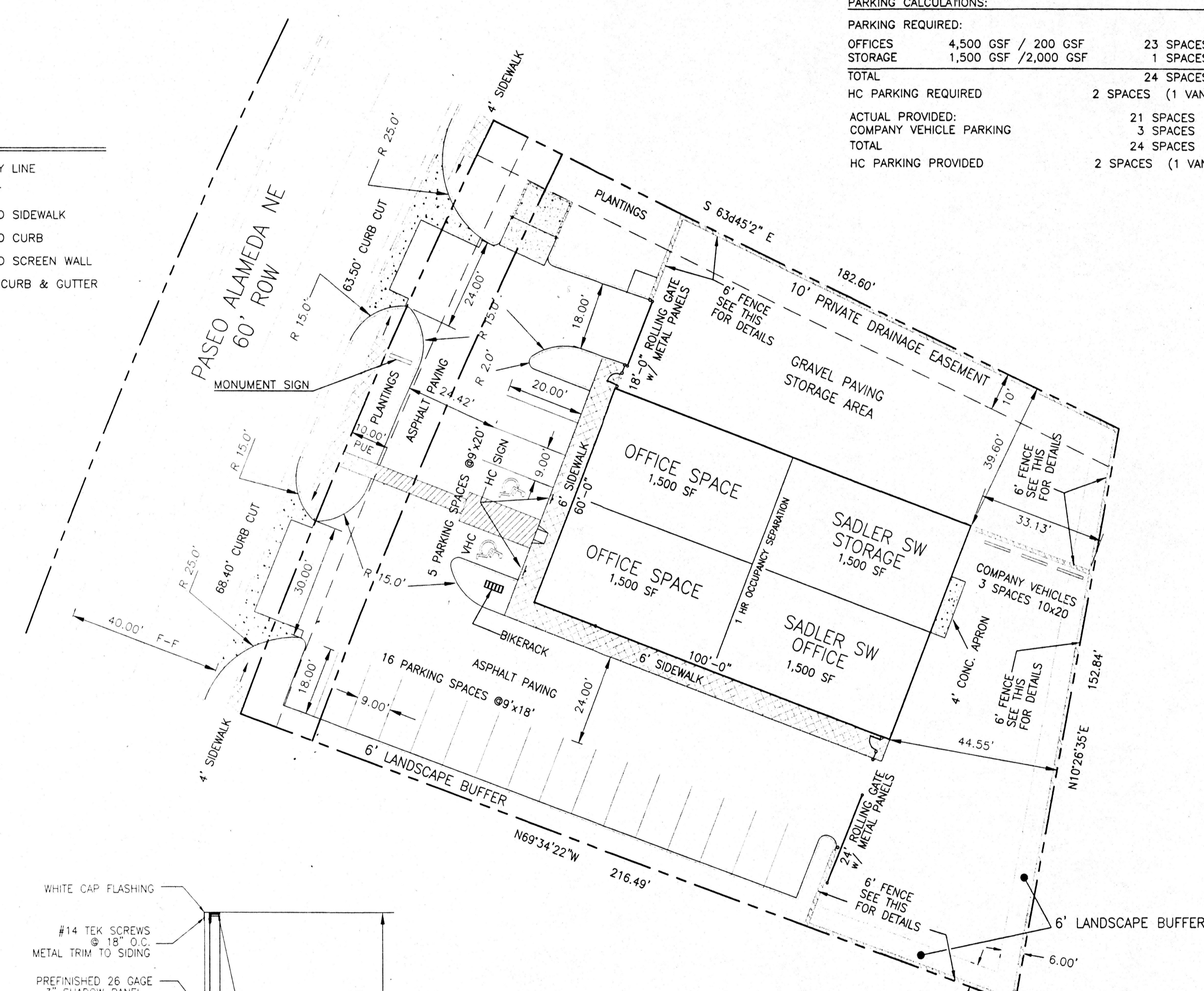


SECTION "AA"



DUMPSTER ENCLOSURE DETAIL

- LEGEND**
- BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - PROPOSED CURB
 - PROPOSED SCREEN WALL
 - EXISTING CURB & GUTTER



GENERAL NOTES:

- SITE LIGHTING WILL BE BUILDING-MOUNTED, HIGH PRESSURE SODIUM, 400 WATTS. LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES.
- THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN. SEE DETAIL THIS SHEET FOR MONUMENT SIGN. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE SIGN CODE. PLUS 01 BLDG MTD SIGN PER TENANT
- THIS SITE PLAN CONFORMS WITH THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN, THE ALAMEDA DESIGN OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE IP, INDUSTRIAL PARK ZONE.
- THIS SITE PLAN ALSO CONFORMS WITH THE APPROVED AMENDED MASTER DEVELOPMENT PLAN FOR THE ALAMEDA BUSINESS PARK DATED 08/04/99, DRB 98-223.

SITE DATA

PROPOSED USAGE:	OFFICE/STORAGE
LOT AREA:	31,869 S.F. (0.7316 ACRES)
OFFICE AREA:	4,500 S.F.
STORAGE AREA:	1,500 S.F.
CONSTRUCTION TYPE:	IN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTIBLE INTERIOR FRAMING)

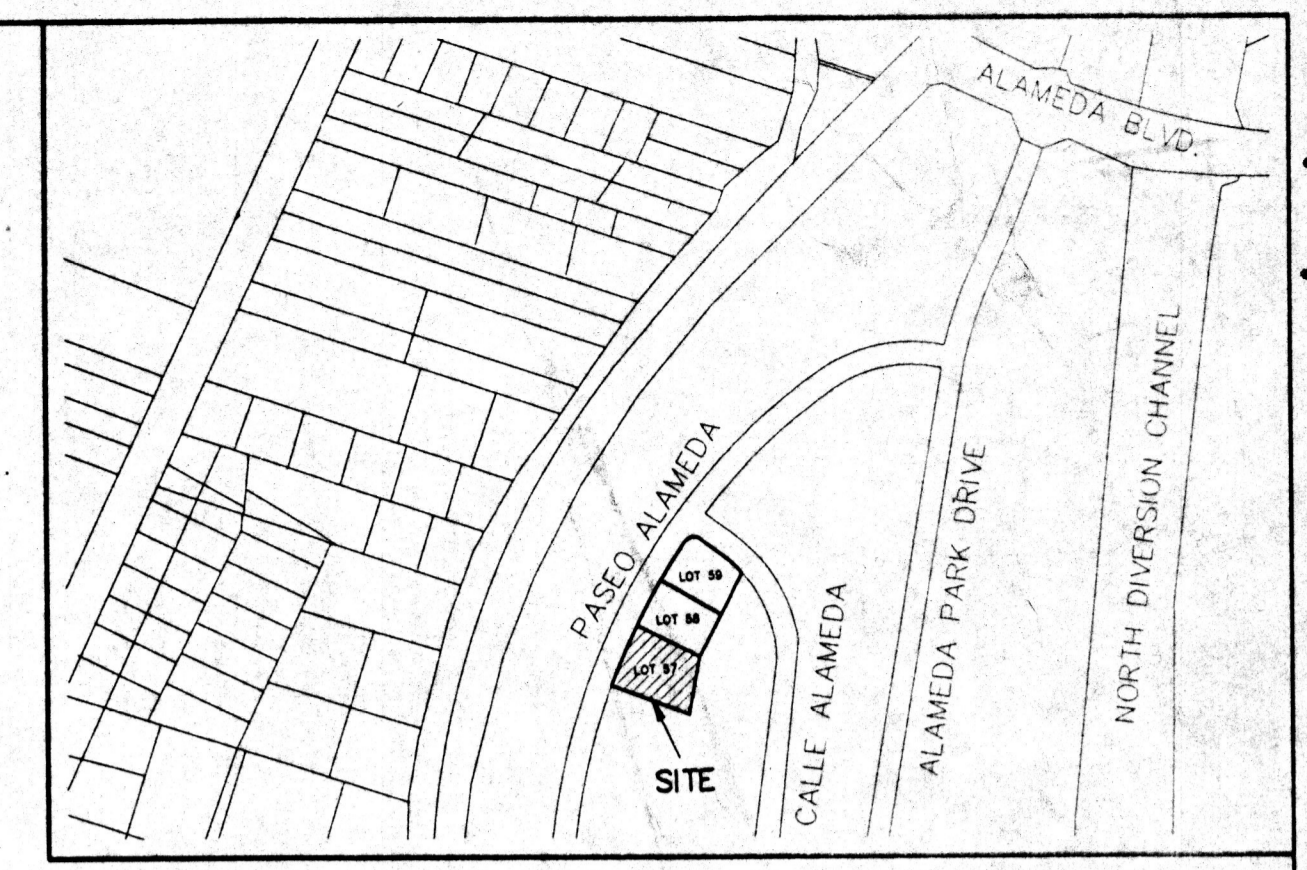
LANDSCAPE CALCULATIONS:

NET LOT AREA	15,241.90 SF ±
NOT COVERED BY OPAQUE FENCE	
BUILDING FOOTPRINT	6,000.00 SF ±
OUTSIDE OPAQUE FENCE	
DIFFERENCE	9,241.90 SF ±

LANDSCAPING REQUIRED:	1,386.29 SF ±
15% OF 9,241.90 SF	
LANDSCAPE PROVIDED	7,295 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:		
OFFICES	4,500 GSF / 200 GSF	23 SPACES
STORAGE	1,500 GSF / 2,000 GSF	1 SPACES
TOTAL		24 SPACES
HC PARKING REQUIRED	2 SPACES (1 VAN)	
ACTUAL PROVIDED:		
COMPANY VEHICLE PARKING		21 SPACES
TOTAL		24 SPACES
HC PARKING PROVIDED	2 SPACES (1 VAN)	



VICINITY MAP:

C-16-Z

LEGAL DESCRIPTION:
LOT 57, ALAMEDA BUSINESS PARK

SHEET INDEX

- SITE PLAN
- LANDSCAPING PLAN
- GRADING AND DRAINAGE PLAN
- ELEVATIONS

LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS" REVISED APRIL 10, 2000) SHALL BE CONSULTED PRIOR DEVELOPMENT OF THE SITE.

00420 00000 01084

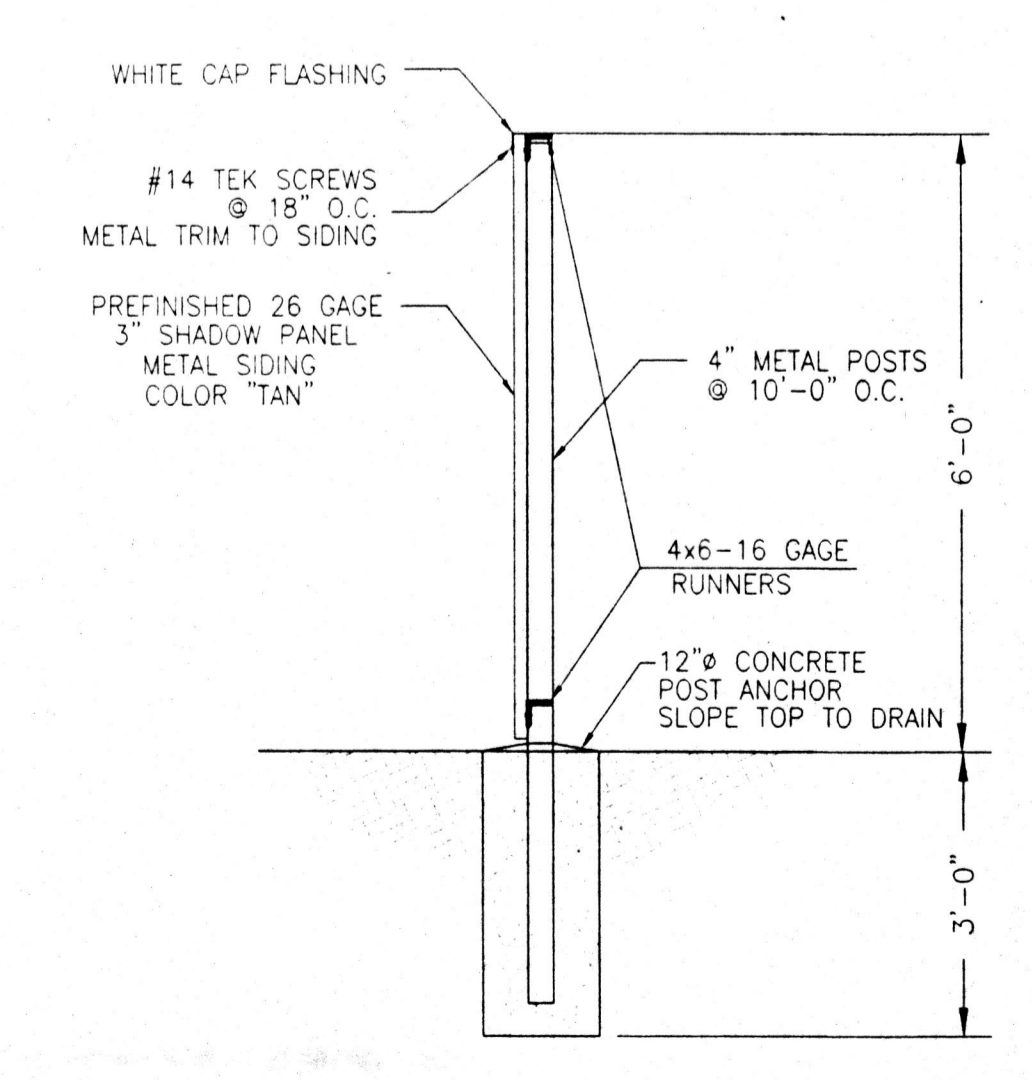
CASE NUMBER: Z-

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [redacted] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with.

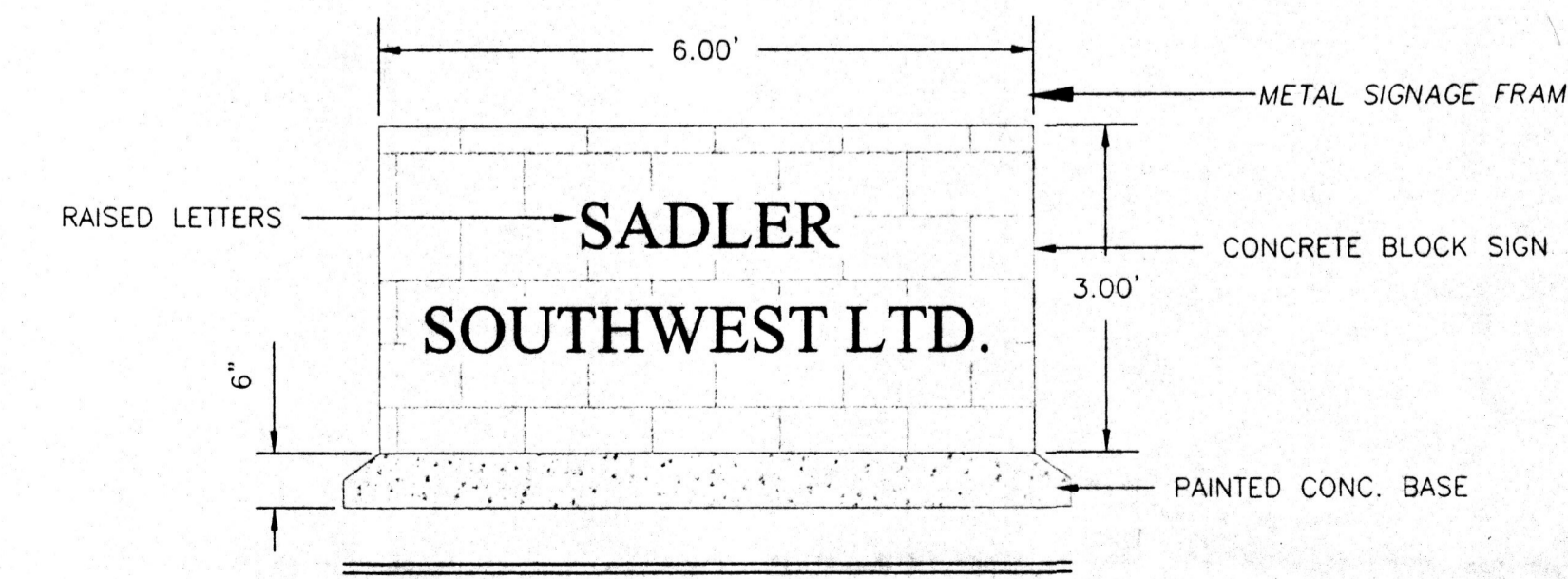
SITE DEVELOPMENT PLAN

<i>Michael D. Smith</i>	9-06-00
Traffic Engineer, Transportation Division	Date
<i>Adriana E. Castellana</i>	9/6/00
Parks & General Services Department	Date
<i>Roger A. Kline</i>	9/6/00
Public Works, Water Utilities Division	Date
<i>Robert M. Williams</i>	9/21/00
City Engineer, Engineering Division / AMAFCA	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
<i>Janet S. [redacted]</i>	9/27/00
City Planner, Albuquerque / [redacted]	Date
<i>Shirley B. [redacted]</i>	9-6-00
Solid Waste	Date
<i>Shirley B. [redacted]</i>	Sept 6, 2000
ENVIRONMENTAL HEALTH	Date

PLNZ (10706) 4/96

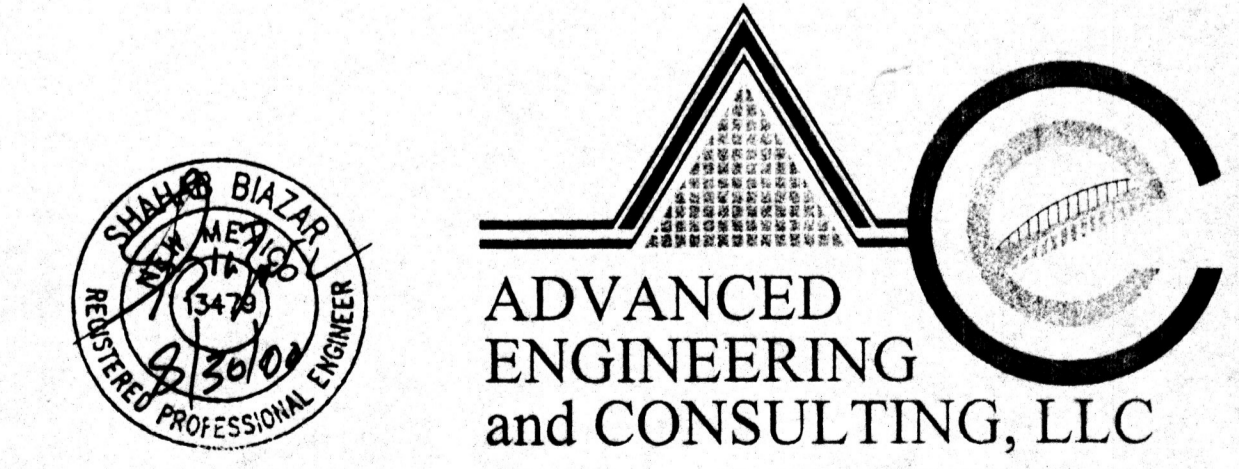
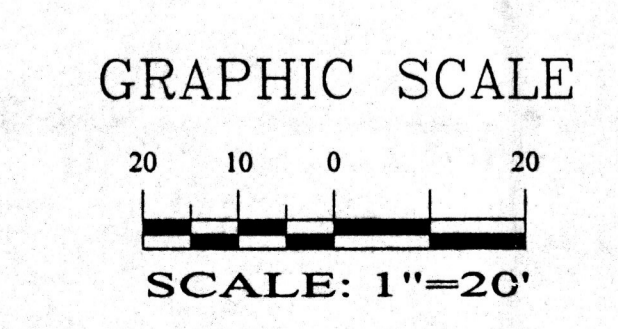


METAL FENCE @ PERIMETER DETAIL
NTS




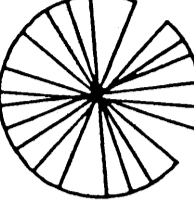
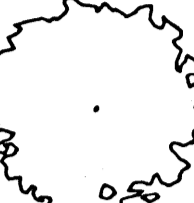




MONUMENT SIGN

SCALE: 1/2"=1'-0"



SHAHAB BIAZAR P.E. #13479		10205 SNOWFLAKE CT., NW ALBUQUERQUE, NEW MEXICO 87114 (505)899-5570	
SADLER SOUTHWEST LTD. OFFICE BUILDING SITE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
2017-ST.DWG	SBB	07-17-00	1 OF 4

LAST REVISION: 06-20-00

PLANT MATERIALS:	
	SANTA FE BROWN GRAVEL MULCH OVER FILTER FABRIC
	EVERGREEN: LEYLAND CYPRESS (CYPRESSOCYPARIS LEYLAND II) 1- 50' H x 25' W
	DECIDUOUS: ASH (FRAXINUS TEXANA) BLACK LOCUST (ROBINIA PSUEDOACACIA) 2 ASH 30' H x 25' W 2 LOCUST 50' H x 30' W
	TAM JUNIPER (JUNIPERUS SABINA) 1 GAL. 9 - 18" H x 10'-20' W
	FOURWING SALTBUCH (ATRIPLEX CANESCENS) 1 GAL. 28 - 2'5" H x 3' W
	APACHE PLUME (FALLUGIA PARADOXA) 1 GAL. 33 - 2'-8" - 5' H x 2'-6" W
	MIXED PERENNIAL FLOWERING SHRUBS LOW WATER USE AS SELECTED 9- 30" H x 30" W
NOTE: ALL LANDSCAPING AT MATURITY SHALL PROVIDE 75% LIVE COVERAGE OF PLANTING AREAS.	

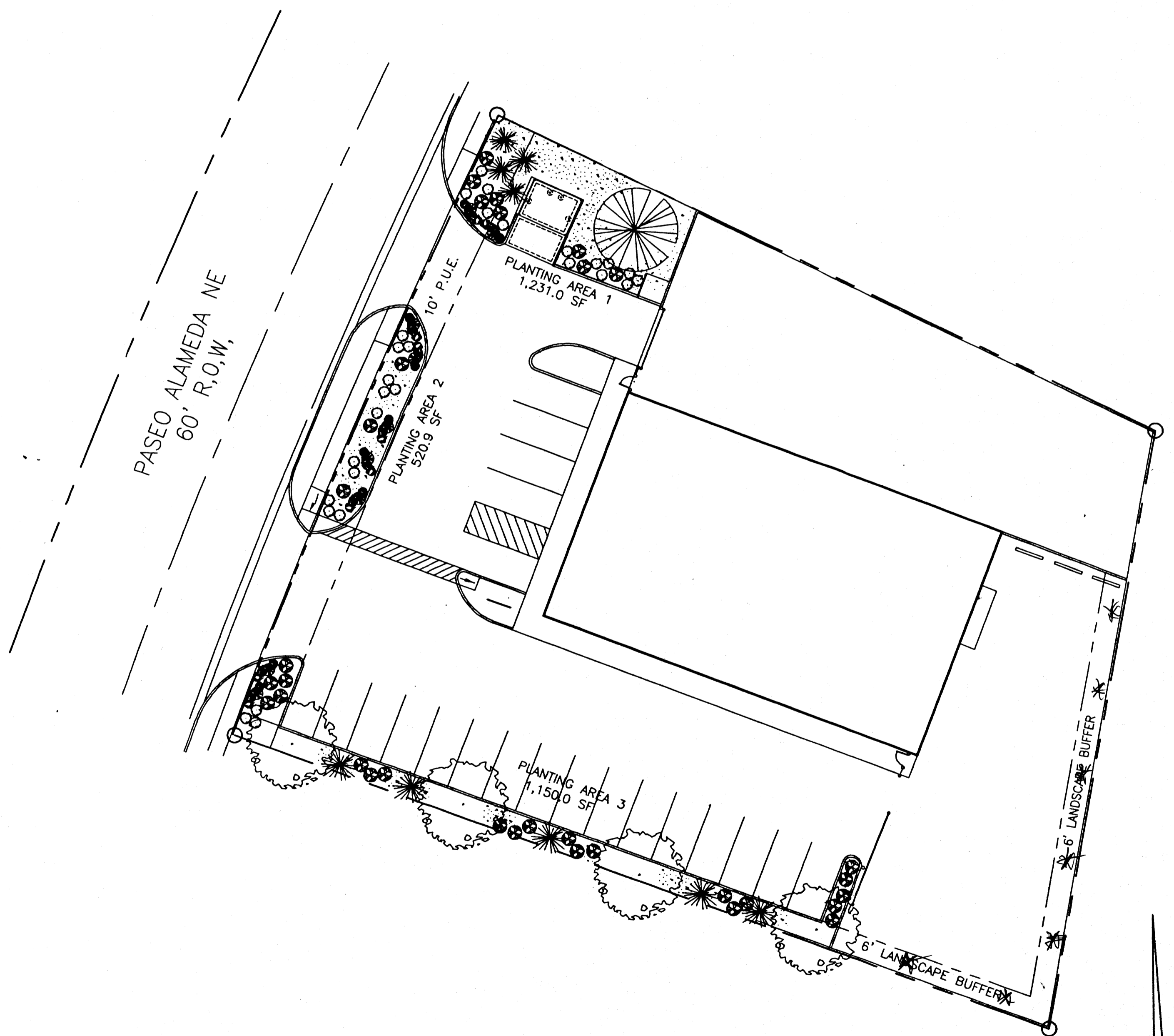
LANDSCAPE CALCULATIONS:	
REQUIRED LANDSCAPED AREA: NET LOT AREA NOT CONCEALED BY OPAQUE FENCE	15,241.9 GSF
BUILDING FOOTPRINT OUTSIDE OPAQUE FENCE	<u>6,000.0 GSF</u>
NET LANDSCAPE LOT AREA:	9,241.9 SF
	x 15 %
REQUIRED AREA:	1,386.29 GSF
LANDSCAPE PROVIDED:	
PLANTING AREA 1 =	1,231.0 SF
PLANTING AREA 2 =	520.9 SF
PLANTING AREA 3 =	1,150.0 SF
TOTAL PROVIDED	2,897.9 GSF

LANDSCAPE NOTES:

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
ALL PLANT MATERIALS WHICH DO NOT SURVIVE SHALL BE REPLACED WITHIN 60 DAYS.
THE INSTALLED LANDSCAPING IS TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCES. THIS DESIGN IS BASED ON THE PLANTING RESTRICTIONS APPROACH. ALL PLANTS ARE LOW & MEDIUM WATER USE, AND SOD IS LESS THAN 20% OF THE TOTAL LANDSCAPED AREA.
LANDSCAPE INSTALLATION SHALL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.

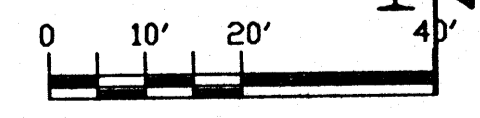
IRRIGATION NOTES:

IRRIGATION SYSTEM SHALL BE AN AUTOMATIC CONTROLLED WATERING SYSTEM.
TREES & SHRUBS:
TO RECEIVE FIVE 1.0 GPM DRIP EMITTERS
SHRUBS TO RECEIVE ONE 1.0 GPM DRIP TYPE EMITTER
RUN TIME PER EMITTER TO BE APPROXIMATELY 15 MINUTES AS ADJUSTED FOR INDIVIDUAL PLANT REQUIREMENTS.



1
L1 LANDSCAPE PLAN

SCALE: 1"=20.0'



1" = 20'-0"

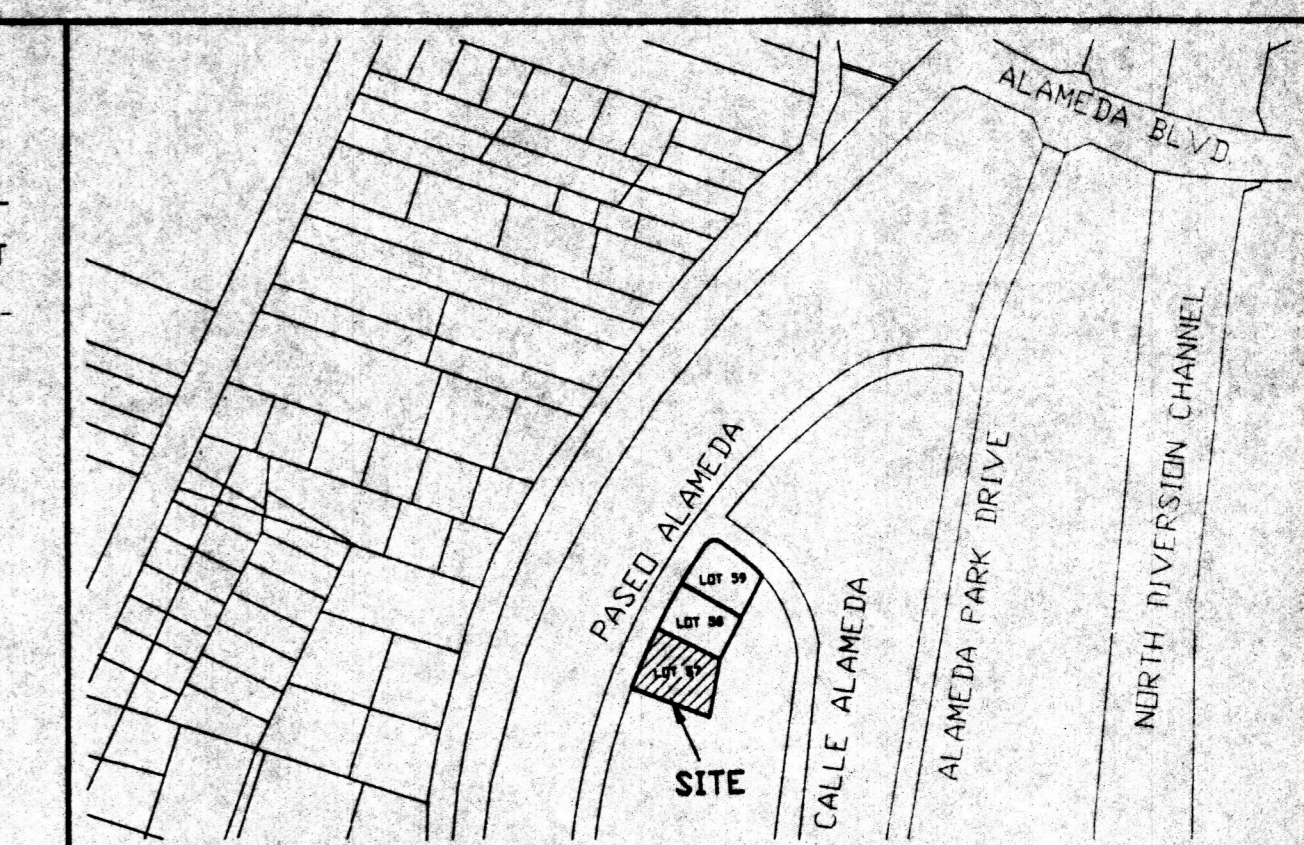
MASTERWORKS ARCHITECTS, INC.
516 ELEVENTH ST. NW 242-1866
ALBUQUERQUE, NM 87102-1806

FILE # 00406SITE
28 JUL 00
REVISED:
30 AUG 00

A NEW OFFICE BUILDING FOR
SADLER SOUTHWEST LTD.
PASEO ALAMEDA NE
ALBUQUERQUE, NM

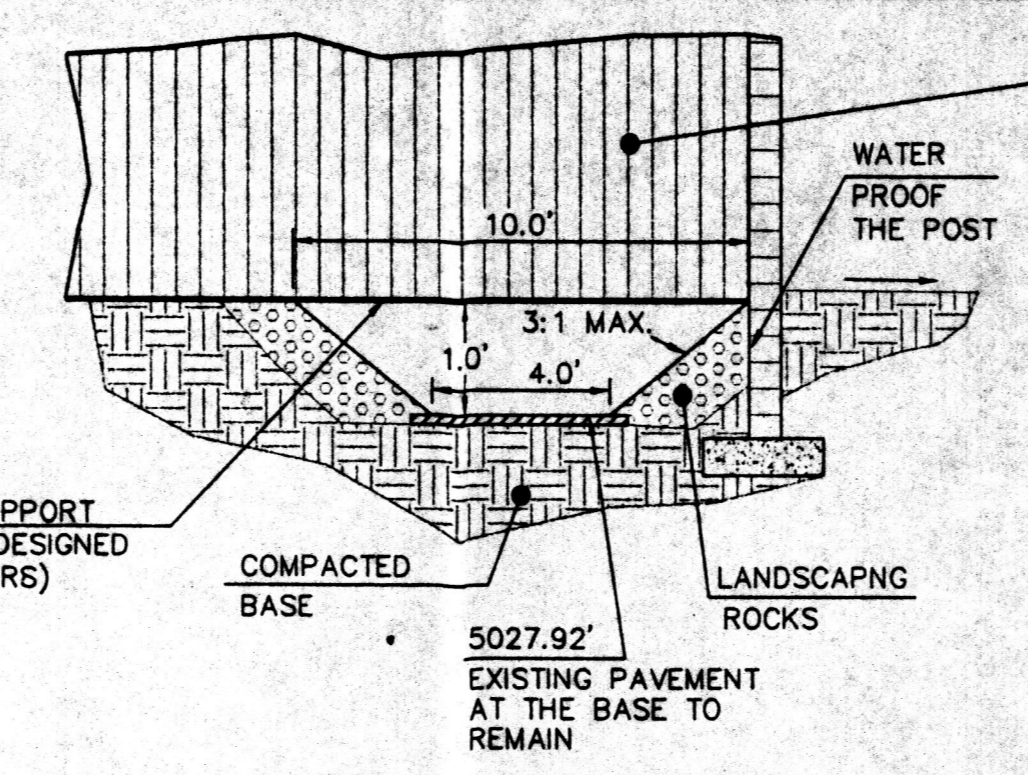
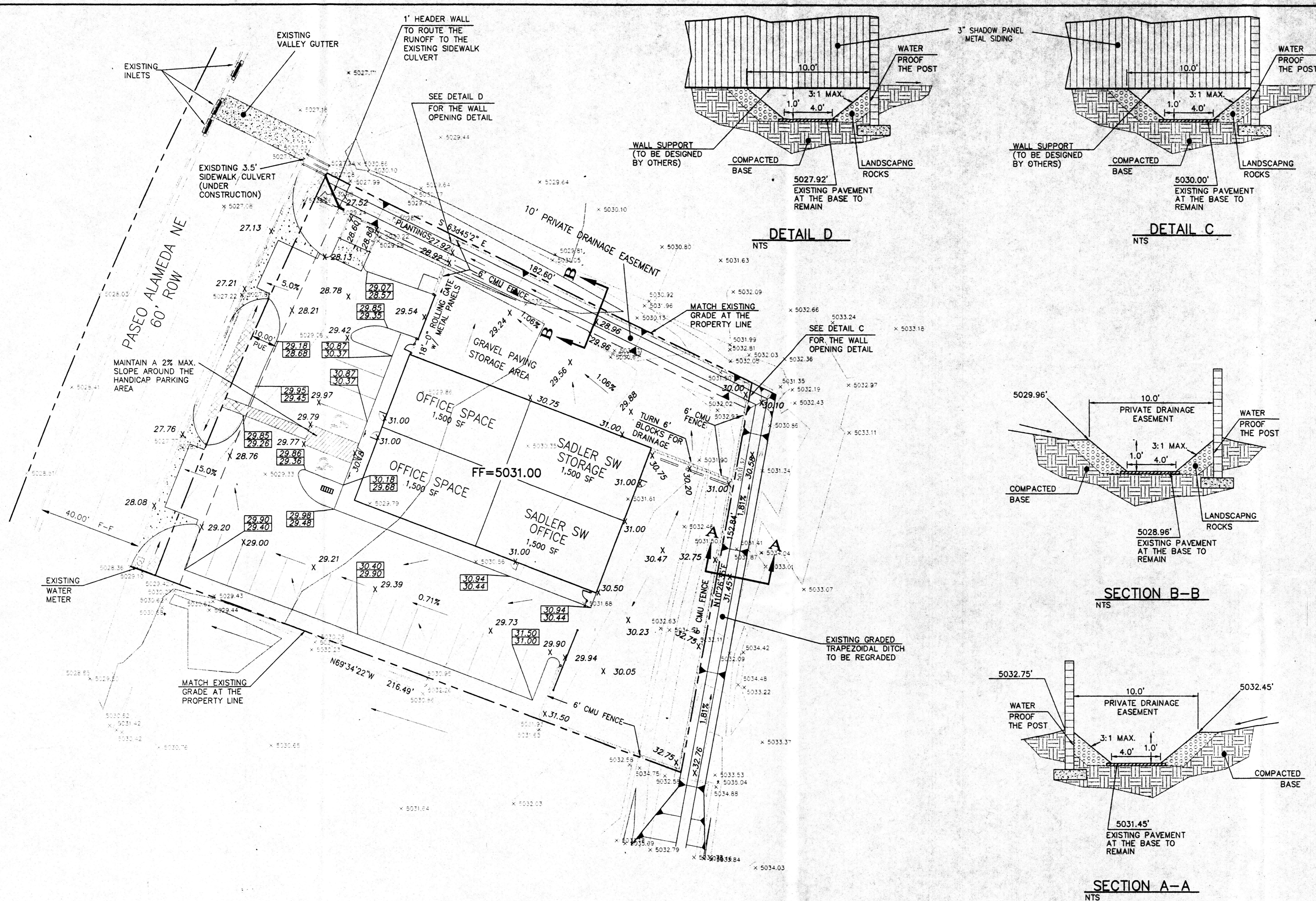
SADLER SOUTHWEST LTD.
Real Estate, Development, Construction
Albuquerque, NM (505) 856-7939

SHEET
L1
OF 04

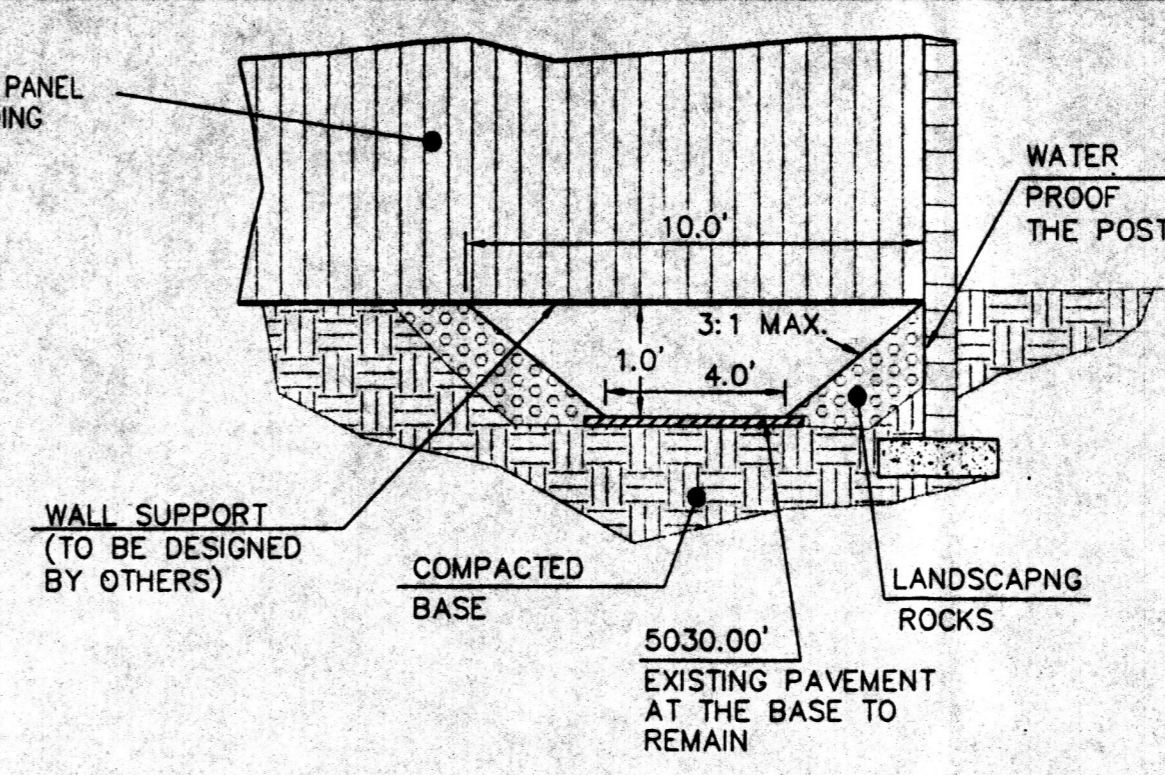


VICINITY MAP: C-16-Z

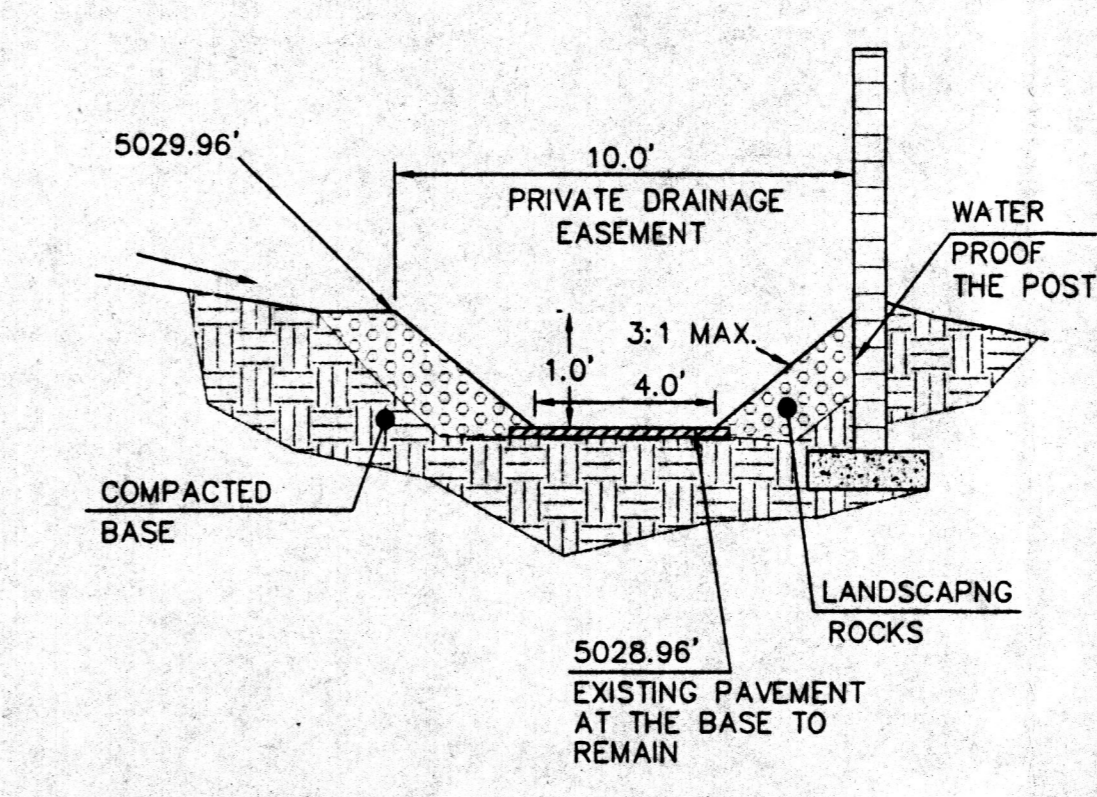
LEGAL DESCRIPTION:
LOT 57, ALAMEDA BUSINESS PARK



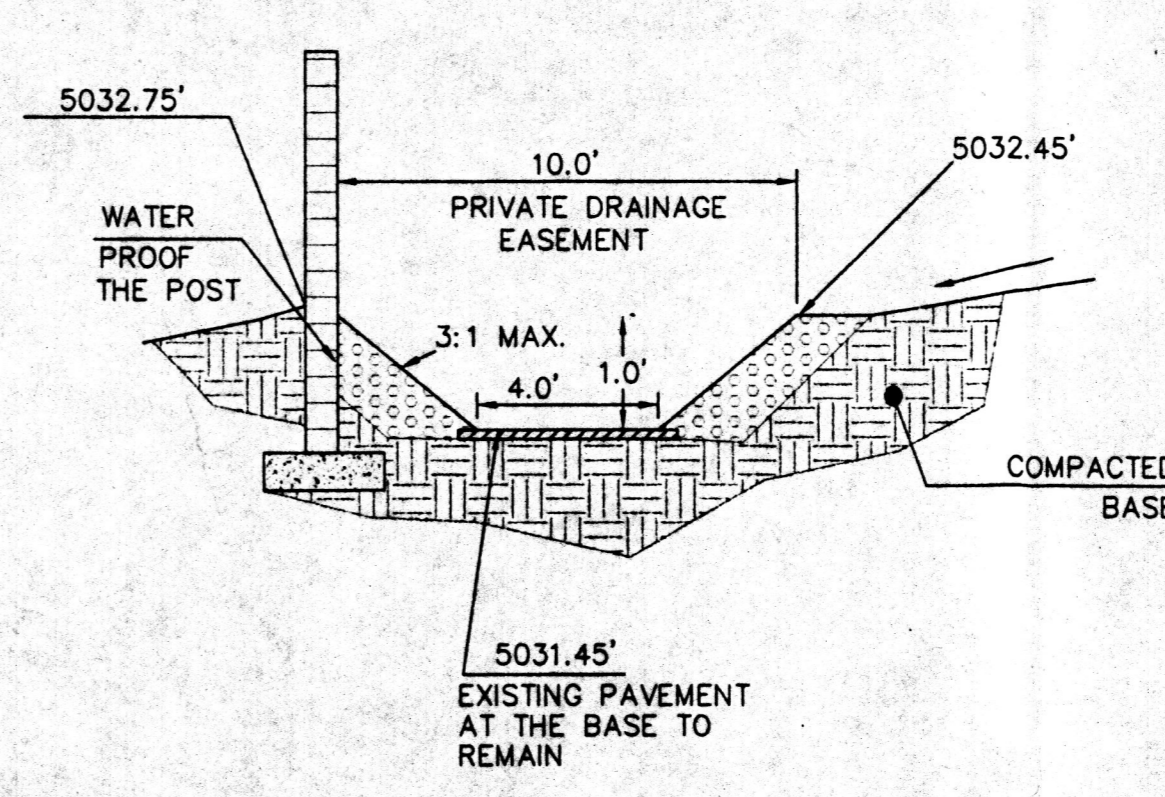
DETAIL D
NTS



DETAIL C
NTS



SECTION B-B
NTS



SECTION A-A
NTS

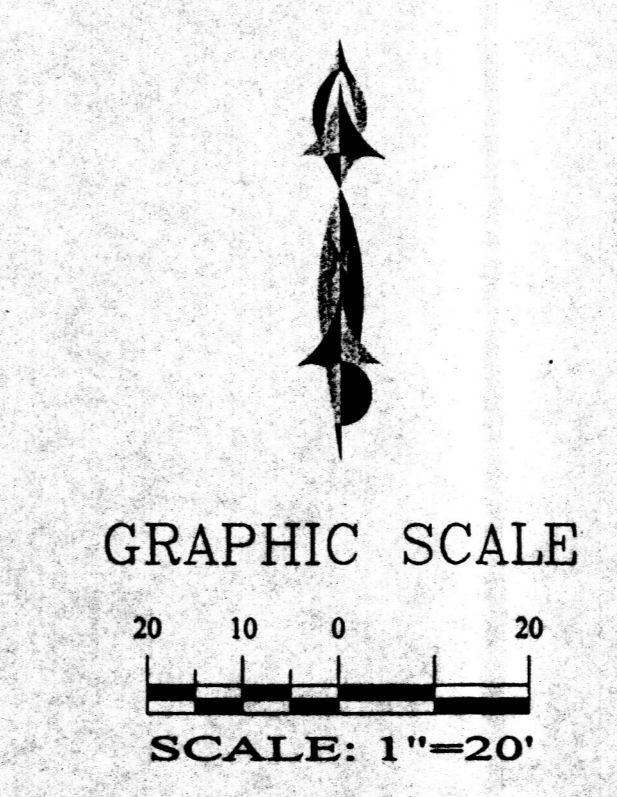
LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE

- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

- GENERAL NOTES:**
- ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 - CONTOUR INTERVAL IS ONE (1) FOOT.
 - ELEVATIONS ARE BASED ON THE AMAFCA BRASS TABLET "NDC-7" HAVING AN ELEVATION OF 5062.60 FEET ABOVE SEA LEVEL.
 - UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - SLOPES ARE AT 3:1 MAXIMUM.

ROUGH GRADING APPROVAL _____ DATE _____



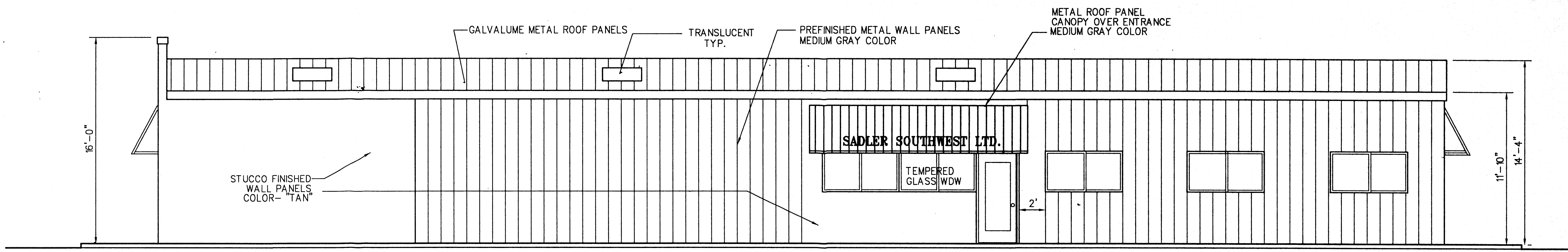
ADVANCED ENGINEERING and CONSULTING, LLC

SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

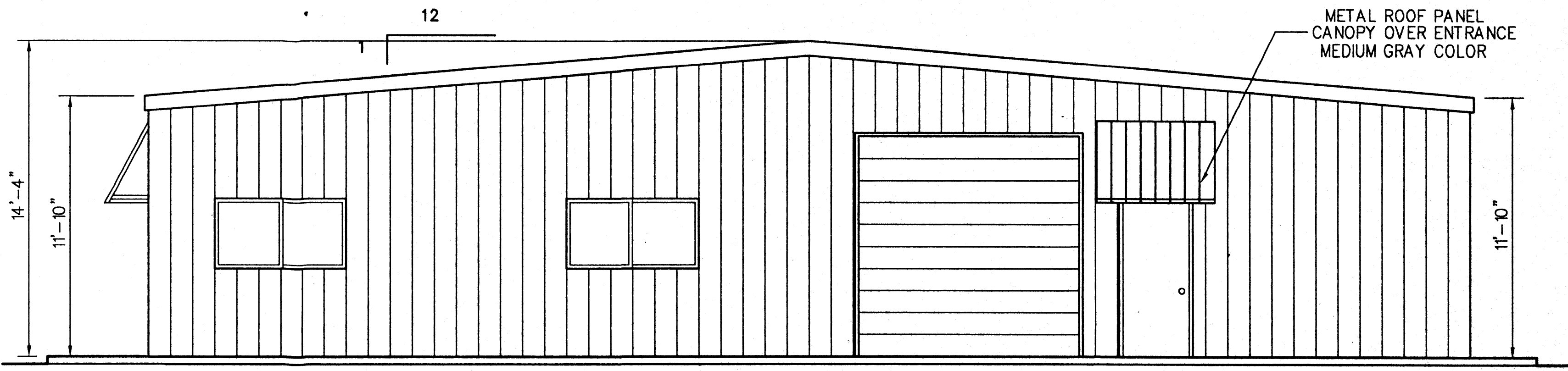
OFFICE BUILDING LOT 57, ALAMEDA BUSINESS PARK GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
2017-GR.DWG	SBB	07-20-00	3 OF 4

LAST REVISION: 07-20-00



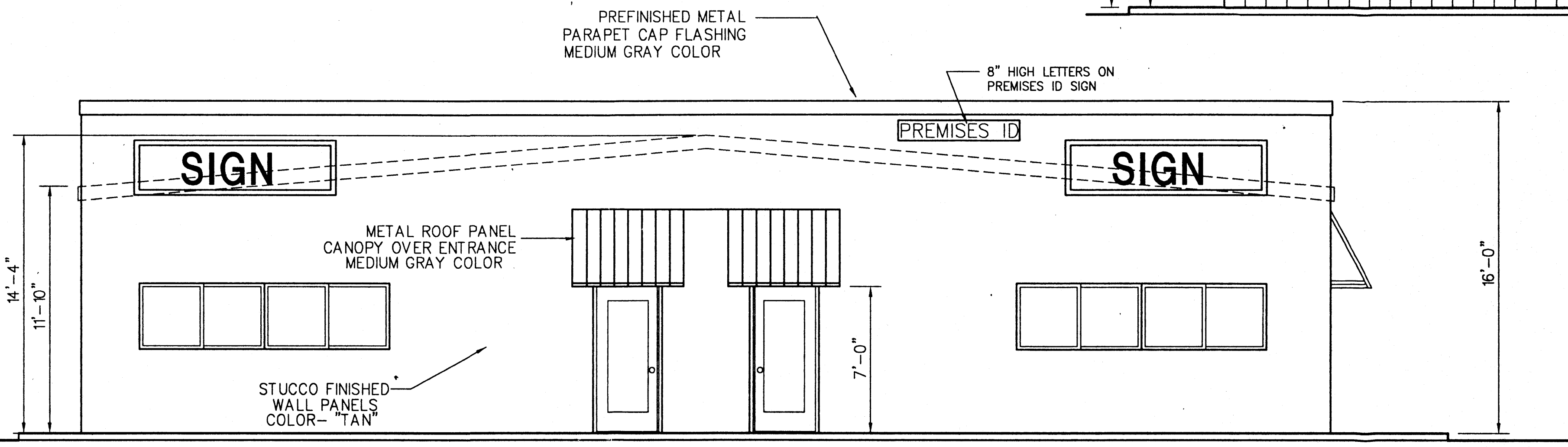
1 SOUTH ELEVATION
A2

SCALE: 1/4" = 1'-0"



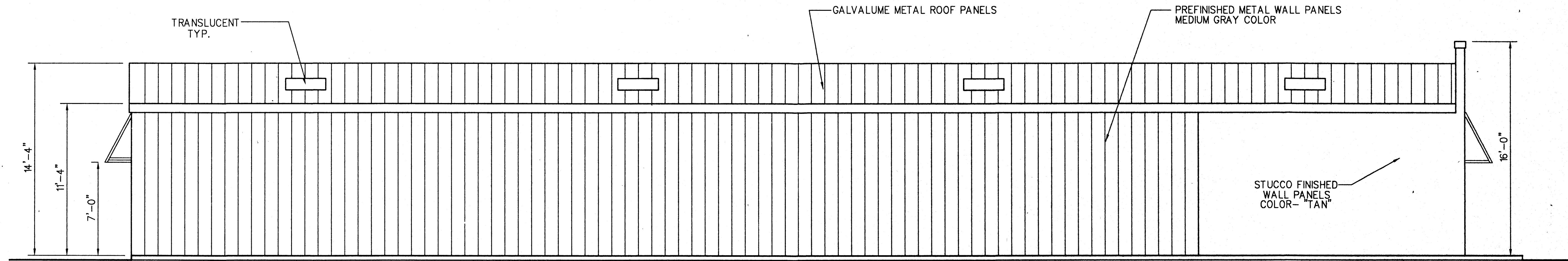
2 EAST ELEVATION
A2

SCALE: 1/4" = 1'-0"



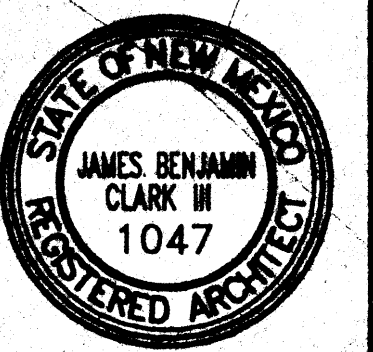
3 WEST ELEVATION
A2

SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
A2

SCALE: 1/4" = 1'-0"



MASTERWORKS ARCHITECTS, INC
516 ELEVENTH ST. NW 242-1866
ALBUQUERQUE, NM 87102-1806

FILE # 0040bARCH
31 JUL 00

A NEW OFFICE BUILDING FOR
SADLER SOUTHWEST LTD.
PASEO ALAMEDA
ALBUQUERQUE, NM

SADLER SOUTHWEST LTD.
Real Estate, Development, Construction
Albuquerque, NM (505) 856-7939

SHEET
A2
OF 03