

LEGAL DESCRIPTION
 TRACT D, ALBUQUERQUE SOUTH, UNIT ONE (VOL. C34, FOLIO 74; FILED 08/03/)

AREA
 9.4835 ACRES - TOTAL TRACT
 7.9131 AC. - NET AREA
 1.5704 AC. - PUBLIC ROADWAY EASEMENT TO BE DEDICATED AS RIGHT-OF-WAY

APPROVED USES
 RESIDENTIAL: 3.2926 ACRES
 COMMERCIAL: 4.6205 ACRES

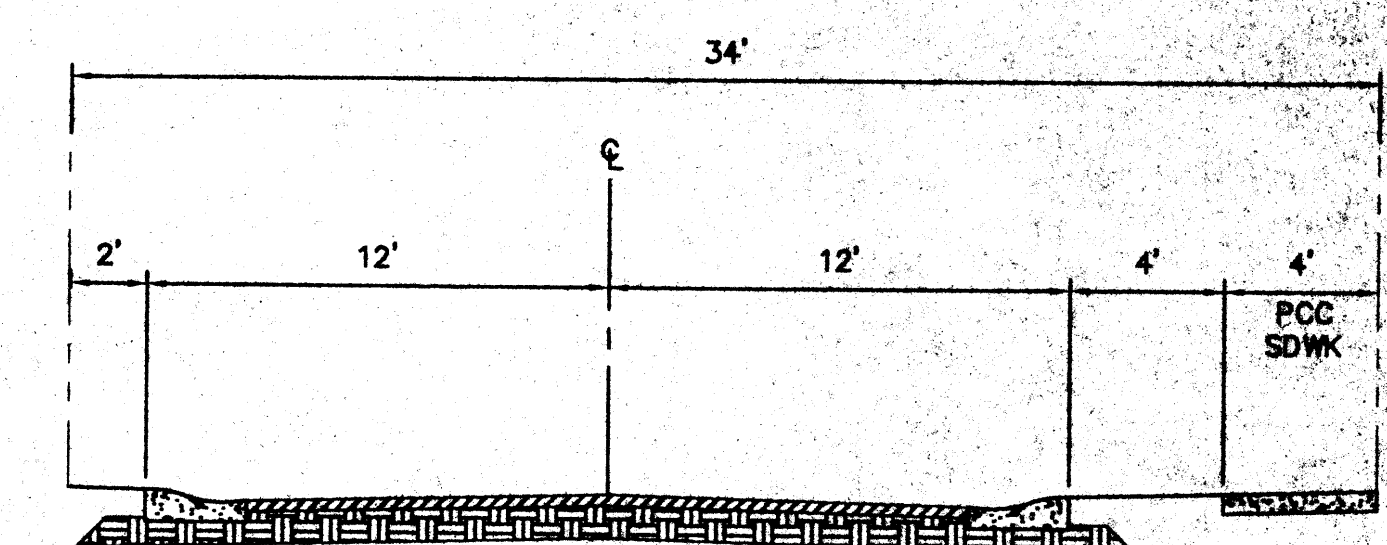
SITE ACCESS
 RESIDENTIAL: THE RESIDENTIAL DEVELOPMENT SHALL BE SERVED BY A PUBLIC ROADWAY (46' R.O.W. : 28' F-F) OFF OF SAPPHIRE ST. SW

COMMERCIAL: PROPOSED TRACTS D-1 AND D-2 SHALL HAVE NO DIRECT VEHICULAR ACCESS OFF OF OR ONTO UNSER BLVD.

TRACT D-1: WALGREENS SITE SHALL BE LIMITED TO ACCESS ONTO SAPPHIRE STREET ONLY ON THE WESTERLY 110 FEET OF THE SITE AND MAY HAVE A FUTURE PRIVATE ACCESS CONNECTION TO THE CUL-DE-SAC THROUGH PROPOSED LOT 19. LOT 19 WOULD THEN BE DEVELOPED ONLY AS A PRIVATE LANDSCAPED AREA MAINTAINED BY THE WALGREENS DEVELOPMENT.

TRACT D-2: FUTURE COMMERCIAL TRACT SHALL BE ACCESSED THROUGH THE WALGREENS SITE WITHIN THE SHOWN PRIVATE ACCESS EASEMENTS.

DRAINAGE: STORM WATERS GENERATED ON TRACT D-2 SHALL PASS THROUGH TRACT D-1 AND BE COLLECTED BY THE ONSITE STORM DRAINS AND THEN CONVEYED TO THE PUBLIC STORM DRAIN SYSTEMS IN SAPPHIRE STREET AND UNSER BLVD.



SECTION A-A
 ACCESS ISLE (LOT 1, 2 & 3)
 SCALE: 1"=5' (H & V)

PEDESTRIAN ACCESS NOTE:
 FINAL PLAT APPROVAL TO INCLUDE A 10' WIDE (MINIMUM) PEDESTRIAN ACCESS EASEMENT, FROM THE RESIDENTIAL DEVELOPMENT TO THE VILLAGE CENTER CORE IN ACCORDANCE WITH THE EPC CONDITION OF APPROVAL NO. 3 (Z-89-64).

PROJECT #1000722
 CASE NUMBER: Z-99-64, DRB-99-220

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on JUNE 17, 1999 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

02-01332
02-01333

SITE DEVELOPMENT PLAN

N/A	Date
<i>Paul J. Dan</i>	9/10/02
Traffic Engineer, Transportation Division	Date
<i>Christina Sandoval</i>	9/16/02
Design and Development, City Parks & Recreation	Date
<i>Roger A. Sheen</i>	9/14/02
Public Works Water Utilities Division	Date
<i>Brad L. Byle</i>	11/22/02
City Engineer, Engineering Division/AMAFCA	Date
<i>John E. Bism</i>	11-6-2002
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	Date
<i>John E. Bism</i>	12/03/2002
City Planner, Albuquerque/Bernalillo County Planning Division	Date

BOUNDARY CURVE TABLE

CURVE	RADIUS	LENGTH (ARC)	CHORD	BEARING	DELTA
C1	789.20	250.43	129.45	S 15°37'40" E	19°21'08"
C2	2789.99	290.49	143.38	N 02°34'50" E	3°56'39"

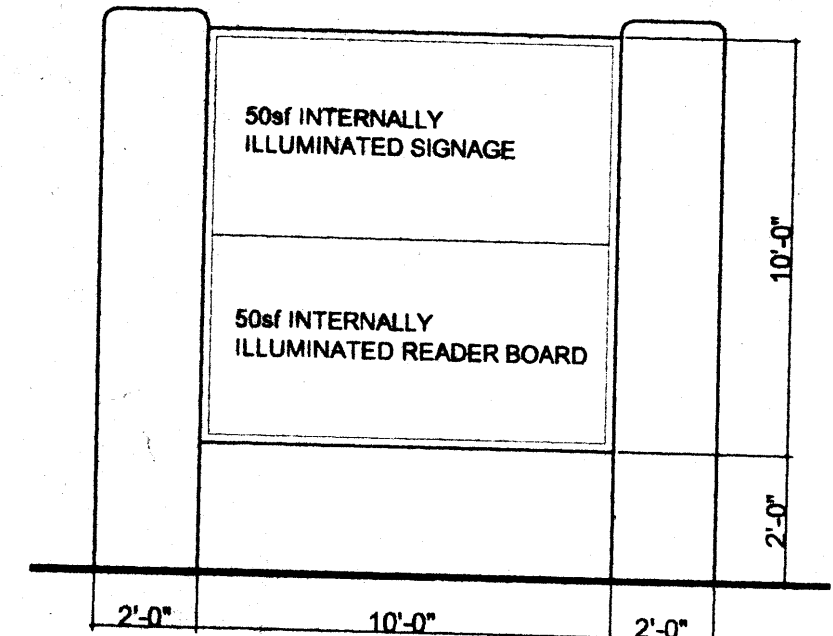
- LEGEND**
- LIMITED ACCESS ALONG UNSER BLVD. AND A PORTION OF SAPPHIRE ST. SW
 - EXISTING CURB & GUTTER
 - FUTURE ROADWAY IMPROVEMENTS ADJACENT TO TRACT 'D'
 - EXIST SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - EXIST WATER LINE
 - PROPOSED 6" WATER LINE
 - CONTOUR INTERVAL (1'F)

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION PURPOSES

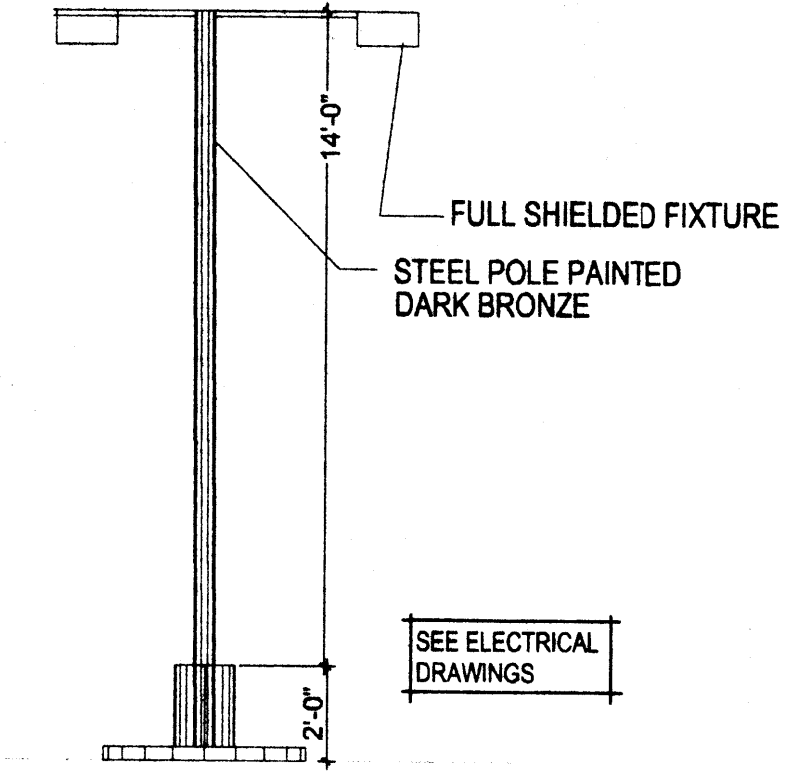
TRACT D
 ALBUQUERQUE SOUTH, UNIT 1
 JULY, 2002

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico

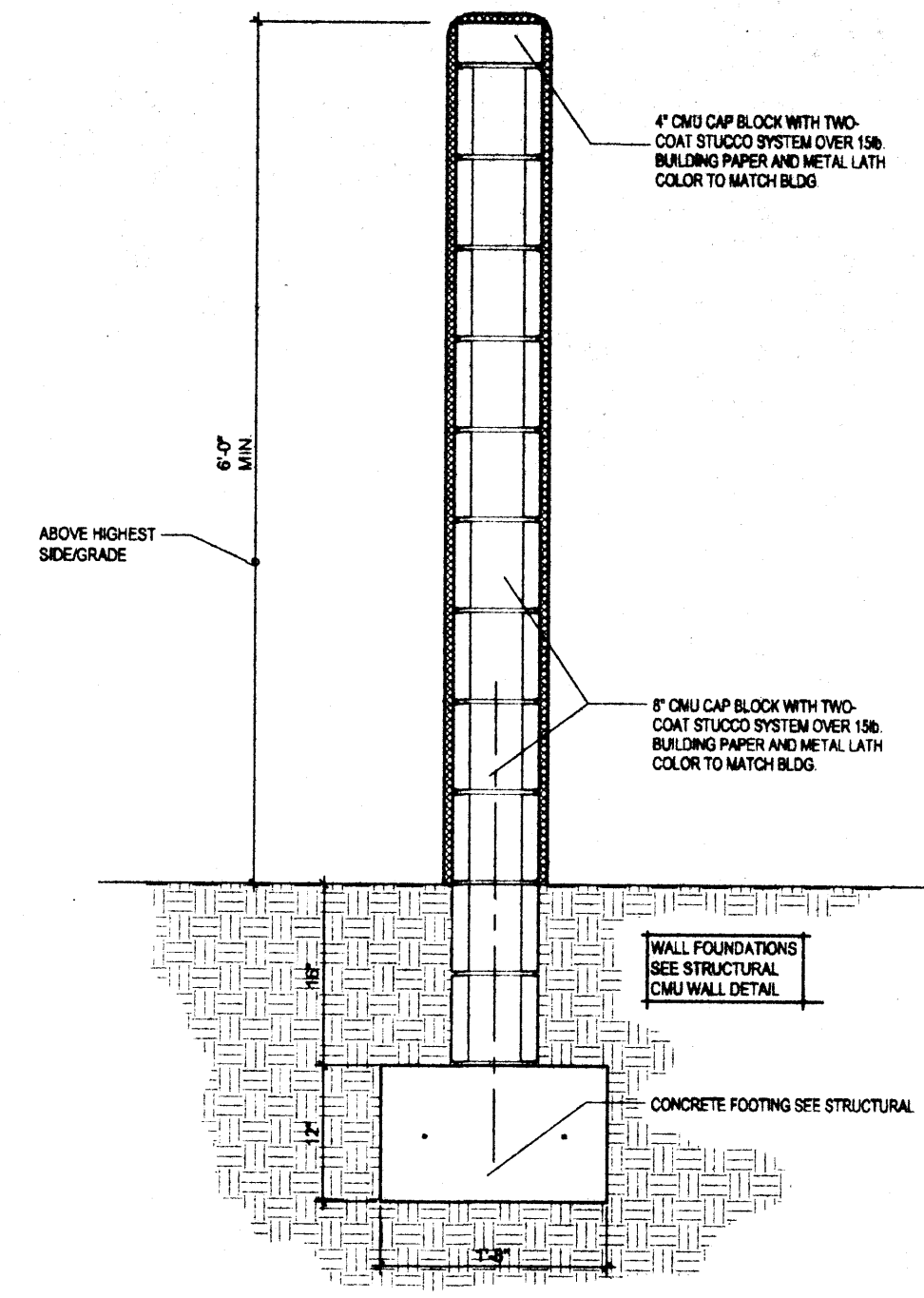
Bruce d. Bish 11/2/02
 November 26, 2002
 Roger A. Green 11/1/02
 Christina Sandoval 9/1/02
 TRANS. DEPT. 9-24-02



2 MONUMENT SIGN W/READER BOARD
 Scale: Not to Scale



4 SITE LIGHTING
 Scale: Not to Scale



5 SCREEN WALL
 NTS

KEYED NOTES:

1. RAISED CONCRETE W/ ROLL-OVER CURB
2. TRANSFORMER LOCATION
3. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS.
4. SITE LIGHT - SEE 4/1
5. WHITE PAINTED ARROW
6. WALGREENS STANDARD MONUMENT SIGN. SIGN SIZE AND TYPE PER APPROVAL FROM LOCAL GOVERNMENT.
7. NEW LANDSCAPE BUFFERS/ISLANDS
8. BICYCLE RACK LOCATION - 4 BIKES. SEE 11/A1.4
9. PROPOSED NEW CURB CUT. SIZE AND FINAL LOCATION PER APPROVAL FROM LOCAL GOVERNMENTAL AGENCY.
10. NEW CONCRETE SIDEWALK
11. PEDESTRIAN CROSS WALK RAISED & TEXTURED MIN. 6" WIDE STRIPING, WHITE, 4" WIDE (TYPICAL)
12. HANDICAPPED SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS.
13. HANDICAP VAN SPACE.
14. GAS METER PER LOCAL REQ. SEE MECH.
15. STANDARD ASPHALT PAVING FOR CAR TRAFFIC- ASPHALTIC CONCRETE OVER SUBGRADE. SEE GEOTECHNICAL REPORT FOR THICKNESS AND ALL OTHER RECOMMENDATIONS
16. GAS METER PER CITY STANDARDS
17. PHARMACY DRIVE THRU
18. 1:12 MAXIMUM SLOPE ON HC RAMP. RED STAINED CONCRETE.
19. NEW CONCRETE SIDEWALK SHALL TIE INTO EXISTING OR NEW CITY SIDEWALK AS REQUIRED PER LOCAL CODE.
20. 8'-0" x 20'-0" OR 18'-0" TYPICAL STRIPPED HANDICAP PARKING SPACE AND ACCESS AISLE.
21. 9'-0" x 18'-0" OR 19'-0" STALLS TYPICAL
22. HEAVY DUTY ASPHALT PAVING FOR TRUCK TRAFFIC- ASPHALTIC CONCRETE OVER SUBGRADE. SEE GEOTECHNICAL REPORT FOR THICKNESS AND ALL OTHER RECOMMENDATIONS
23. NOT USED
24. YELLOW PAINTED ARROW AND 24" HIGH LETTERS.
25. 9'-0" x 18'-0" STALLS TYPICAL

RADIUS INFORMATION:

- | | |
|-------------------|--------------------|
| ① RADIUS = 2'-0" | ⑦ RADIUS = 25'-0" |
| ② RADIUS = 3'-0" | ⑧ RADIUS = 30'-0" |
| ③ RADIUS = 5'-0" | ⑨ RADIUS = 40'-0" |
| ④ RADIUS = 10'-0" | ⑩ RADIUS = 50'-0" |
| ⑤ RADIUS = 15'-0" | ⑪ RADIUS = 60'-0" |
| ⑥ RADIUS = 20'-0" | ⑫ RADIUS = 100'-0" |

Walgreens

FACILITIES PLANNING AND DESIGN
 200 WILSON ROAD
 708-940-2500
 DEERFIELD, IL 60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

PROJECT INFORMATION

LOCATION:
 DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER OF UNSER BOULEVARD AND ARENAL ROAD ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 34, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ATRISCO GRANT BEING AND COMPRISING A PORTION OF TRACT D, ALBUQUERQUE SOUTH UNIT 1, BERNALILLO COUNTY, NEW MEXICO

ARCHITECTS:
 GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110

ZONING: SU-1 / C-1 USES
 FUTURE USES TO BE PERMISSIBLE AND CONDITIONAL TO C-1
 FAR: LOT: 87,121/ BLDG.: 14,560= 5.9

OCCUPANT LOAD: 381 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: ± 2.00 ACRES

CONSTRUCTION TYPE: V-N SPRINKLERED

TOTAL BUILDING AREA: 14,560 SQUARE FEET

PARKING ANALYSIS:
 69 REQUIRED PARKING SPACES
 75 PROVIDED PARKING SPACES
 INCLUDING 71 STANDARD PARKING SPACES AND 4 HANDICAP SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	CONST.
9	6-21-02	SMA	WAG+COA COMMENTS	
8	4-28-02	FAW	ADDED LOT 19	
7	4-22-02	FAW	24' DRIVE @ NWC	
6	4-18-02	FAW	STORE SIZE @ 14,560	
5	3-4-02	FAW	NOTE MONUMENT SIGN	
4	2-29-02	FAW	LOT AREA OF 2.23 AC.	
3	2-28-02	FAW	PER WAG COMMENTS	
2	2-20-02	FAW	PER CAP II COMMENTS	
1	10-16-01	FAW	PER GRA COMMENTS	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

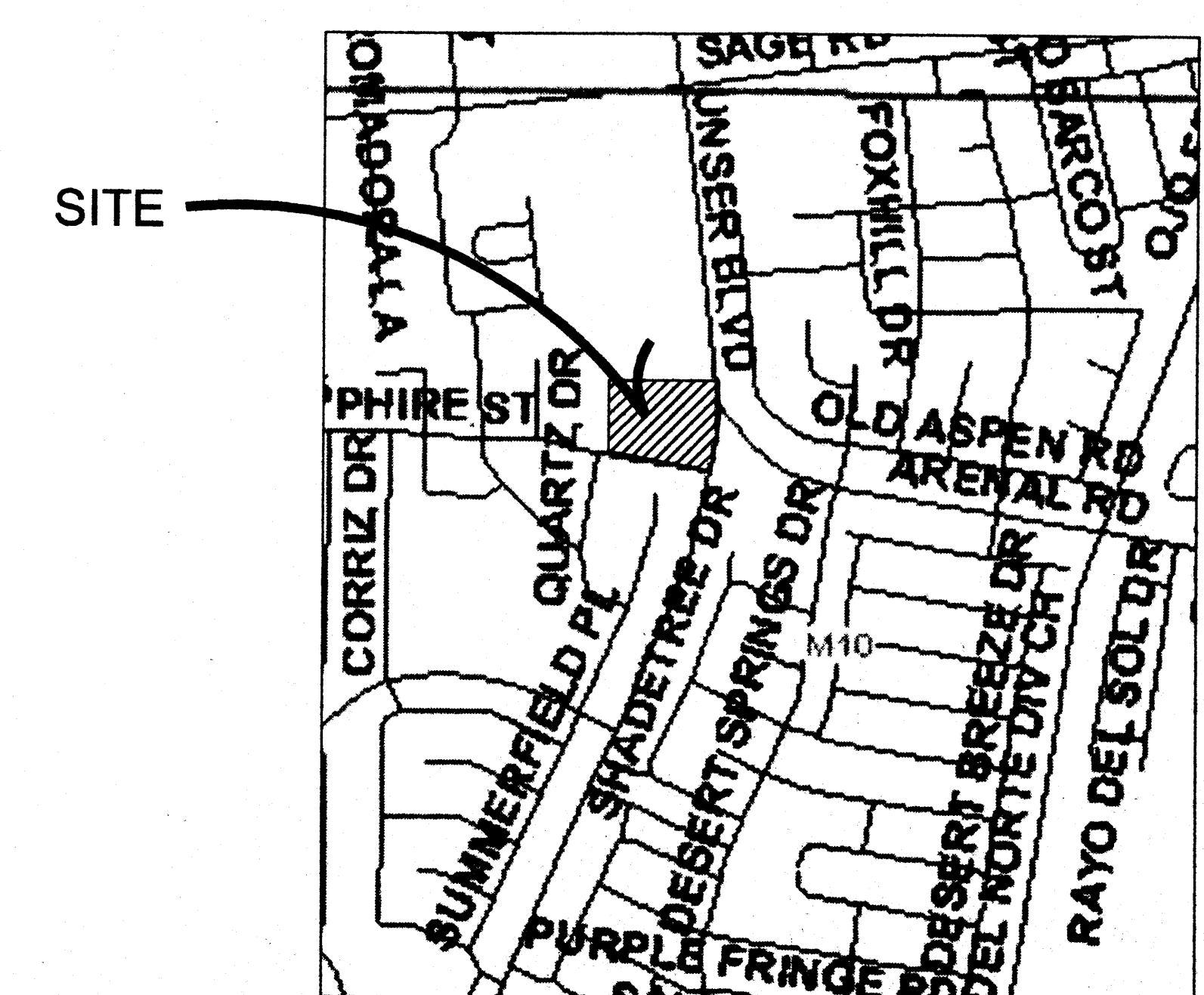
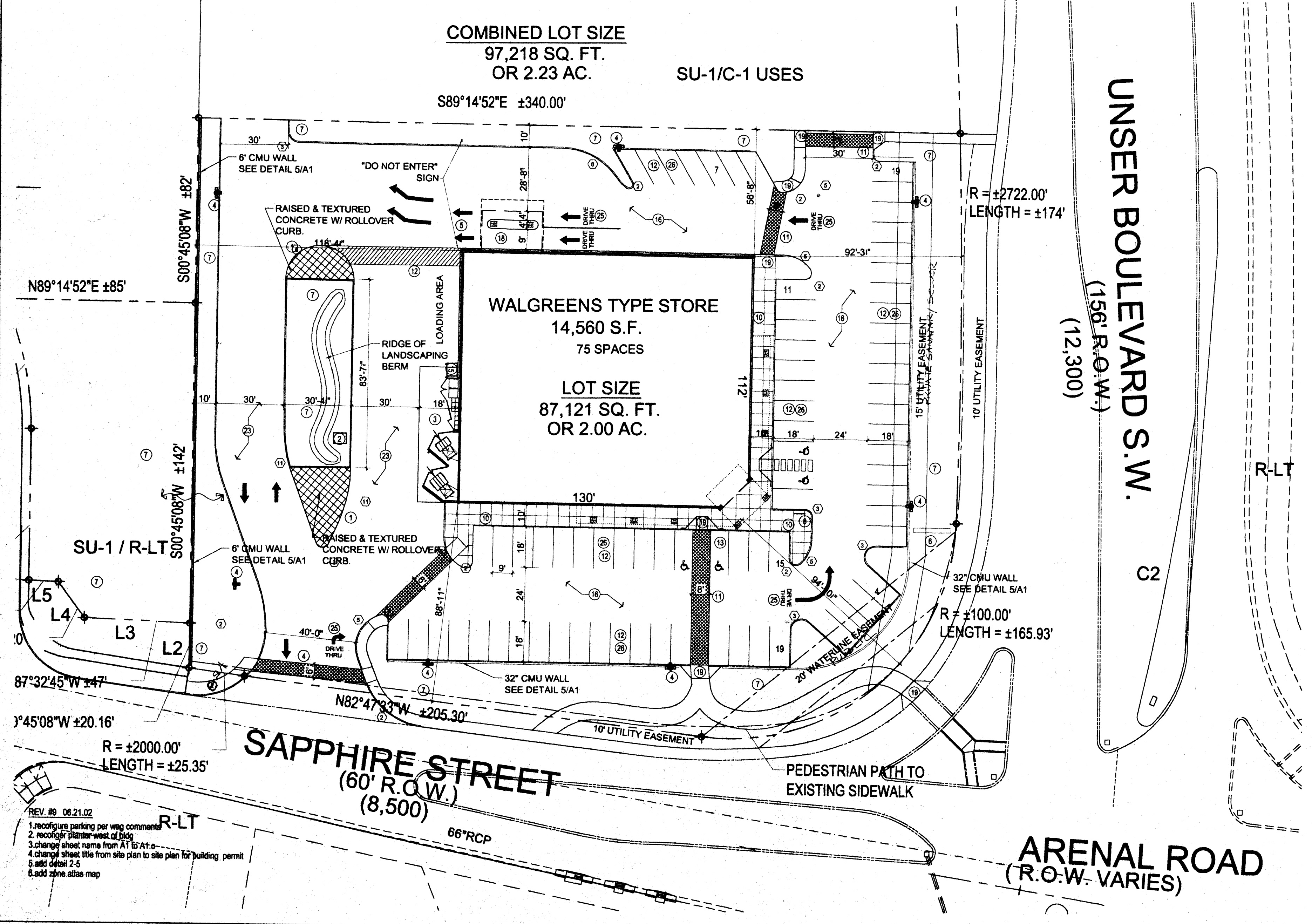


PROJECT NAME:
 WALGREENS STORE
 NWC UNSER BOULEVARD AND ARENAL ROAD
 ALBUQUERQUE, NEW MEXICO

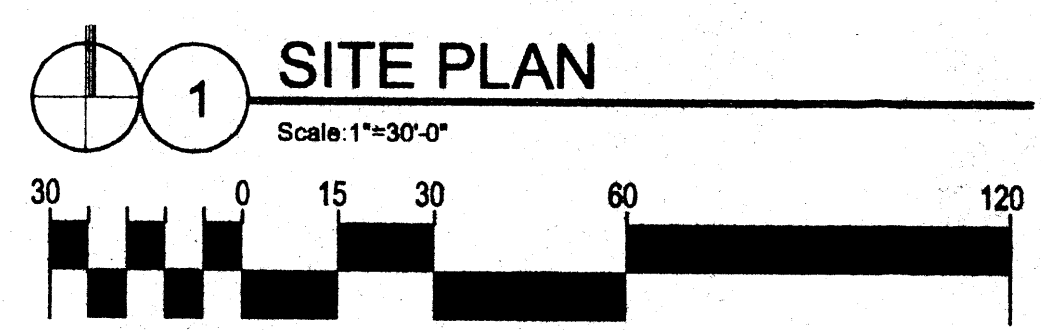
GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

DRAWING TITLE

DATE: 08-16-01	STORE NO.	DRAWING NO.
DRAWN BY: SMA	SCALE: 1"=30'-0"	A1.0
REVIEWED BY:	RELEASED TO CONSTRUCTION:	OF DWGS.



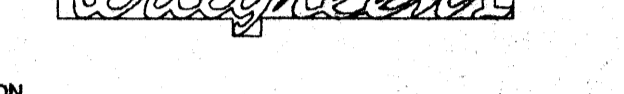
ZONE ATLAS MAP M-10-Z
 SCALE 1:500



1 SITE PLAN
 Scale: 1"=30'-0"

- REV. #9 06.21.02
1. Landscape parking per wag comments
 2. reconfig. drive west of Bldg
 3. change sheet name from AT 15-A1-o
 4. change sheet title from site plan to site plan for building permit
 5. add detail 2-5
 6. add zone atlas map

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	



EAST ELEVATION	AREA
28'-8 1/2" x 36" WALGREENS SCRIPT SIGN	55.8 SF
18" PHARMACY	19.2 SF
18" 1 HR PHOTO	21.0 SF
10' DRIVE THRU PHARMACY BOX SIGN	12.6 SF
TOTAL	108.6 SF

WEST ELEVATION	AREA
10' EXIT BOX SIGNAGE	2.16 SF

TOWER SIGN	AREA
PRIMARY PANEL	20.0

SOUTH ELEVATION	AREA
28'-8 1/2" x 36" WALGREENS SCRIPT SIGN	55.8 SF
18" PHARMACY	19.2 SF
18" 1 HR PHOTO	21.0 SF
TOTAL	96 SF

NORTH ELEVATION	AREA
	0.0 SF

MONUMENT SIGN	AREA
PRIMARY PANEL	50.0
READER BOARD	50.0
TOTAL	100.0 SF

BUILDING TOTAL	AREA
	328.6 SF

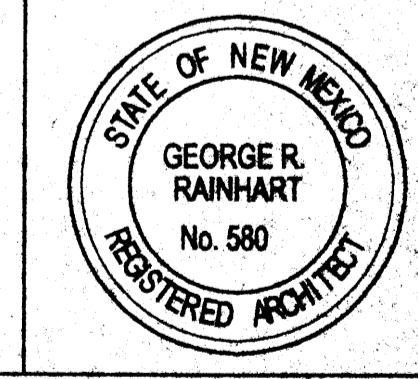
SIGNAGE BY SEPARATE PERMIT

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4				
3				
2				
1				

REVISIONS

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PROJECT NAME
WALGREENS STORE
NWC UNSER BOULEVARD AND ARENAL ROAD
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 864-9110 FAX (505) 837-9877
www.gra-arch.com

DRAWING TITLE

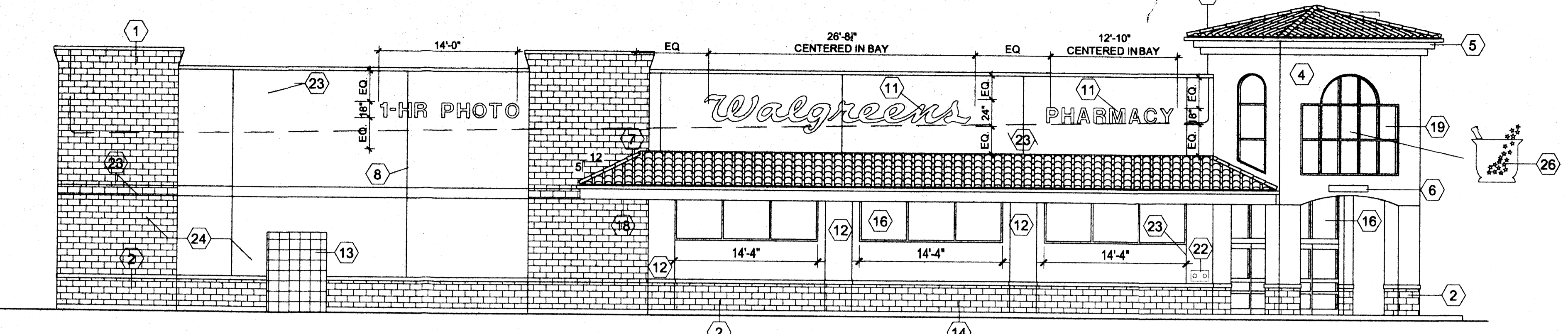
DATE	STORE NO.	DRAWING NO.
06-21-02		

DRAWN BY: SMA SCALE: 1/8"=1'-0" DRAWING NO. **A2.1**

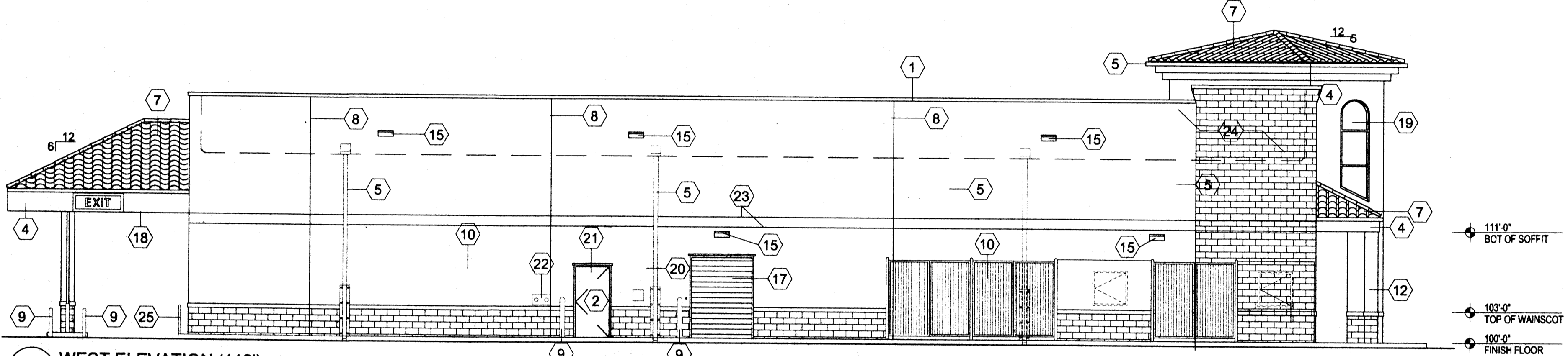
REVIEWED BY: OF DWGS

KEYED NOTES

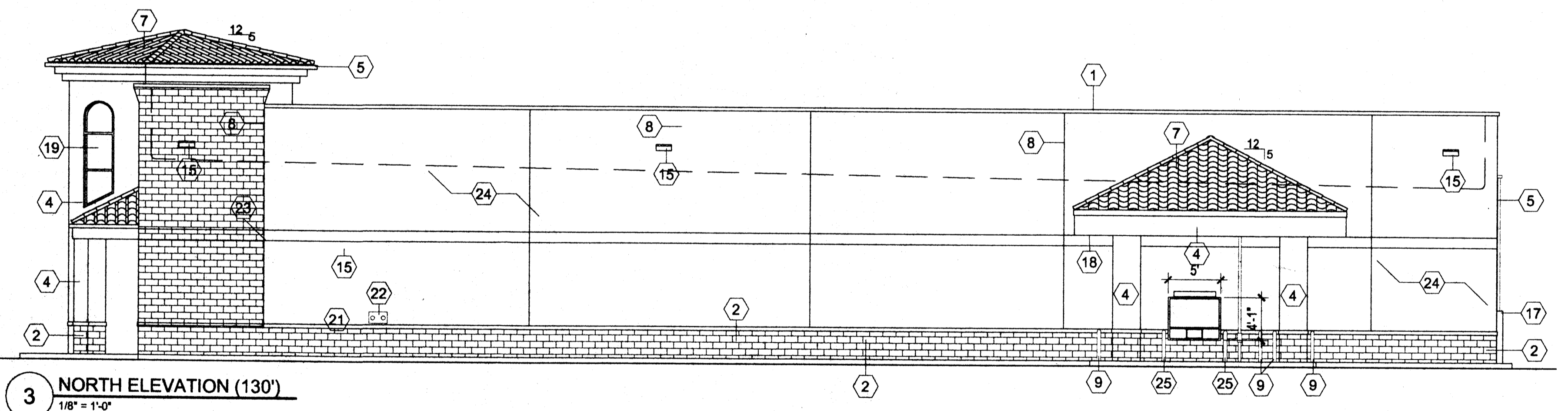
- EIFS FINISH OVER FOAM CORNICE UNA-CLAD "ALMOND" SEE 4/A2.3
- SPLIT-FACE BLOCK TO PAINT TO MATCH "BM 1032"
- TOTE ENCLOSURE WITH METAL GATES PAINT TO MATCH BUILDING
- ELASTOMERIC FINISH COAT ON PORTLAND CEMENT STUCCO BASE OVER 20 GA LATH AND PAPER ON STRUCTURAL SHEATHING. (COLOR TO MATCH BM #951)
- PREFINISHED SHEET METAL GUTTERS AND DOWNSPOUT. COLOR TO MATCH UNA-CLAD "ALMOND"
- BUILDING ADDRESS NUMBERS PER CITY REQ.
- MONIER ROOF TILE SIGNATURE SERIES "MISSION" "S" STYLE. PINTO #16970 COLOR BLEND ON 1" x 2" BATTENS ON 30" FELT ON STRUCTURAL SHEATHING
- MASONRY CONTROL JOINT. SEE STRUCTURAL FOR LOCATIONS
- STEEL PIPE BOLLARDS. SEE DETAIL 5/A1.4
- COMPACTOR/TOTE ENCLOSURE WITH METAL GATES. SEE A1.4
- TENANT SIGNAGE. PROVIDE ELECTRICAL JUNCTION BOXES ON REAR OF WALL FOR INDIVIDUAL LETTERS ILLUMINATED. SEE ELECTRICAL
- CMU COLUMNS W/ ELASTOMERIC FINISH COAT ON PORTLAND CEMENT STUCCO BASE (COLOR TO MATCH "BM #951")
- 2X2 TUBE STEEL TRELLIS PAINT TO MATCH "BM 1032"
- AUTOMATIC SLIDING DOOR ENTRANCE/EXIT. SEE DETAILS 889/A4.3
- LIGHT FIXTURE. SEE ELECTRICAL
- CLEAR ANODIZED STOREFRONT SYSTEM WITH 1" TINTED INSULATING GLAZING SEE A4.3
- 18" THICK BENT STEEL PLATE (TO PROTECT DOWNSPOUT) BOLTED TO MASONRY COPE AROUND BULLNOSE. SEE DETAIL 2/A1.3
- SOFFIT BEYOND. PAINT TO MATCH "BM #946"
- CLEAR ANODIZED STOREFRONT SYSTEM WITH 1/4" CLEAR GLAZING. SEE A4.3
- STEEL ROLLING DOOR W/ HEAD DRIP FLASHING. PAINT TO MATCH "BM # 1032"
- PAINTED HOLLOW METAL DOOR AND FRAME WITH HEAD-DRIP FLASHING. PAINT TO MATCH "BM #1032"
- WALL HYDRANT. SEE PLUMBING PLAN
- 1/4" x 1/4" STUCCO REVEAL JOINT, KEENE #40 OR EQUIVALENT
- ELASTOMERIC FINISH COAT ON PORTLAND CEMENT STUCCO BASE ON CMU (COLOR TO MATCH BM #946)
- FLEXIBLE DELINEATOR POST
- NEON MORTER & PESTAL SIGN 20SF.



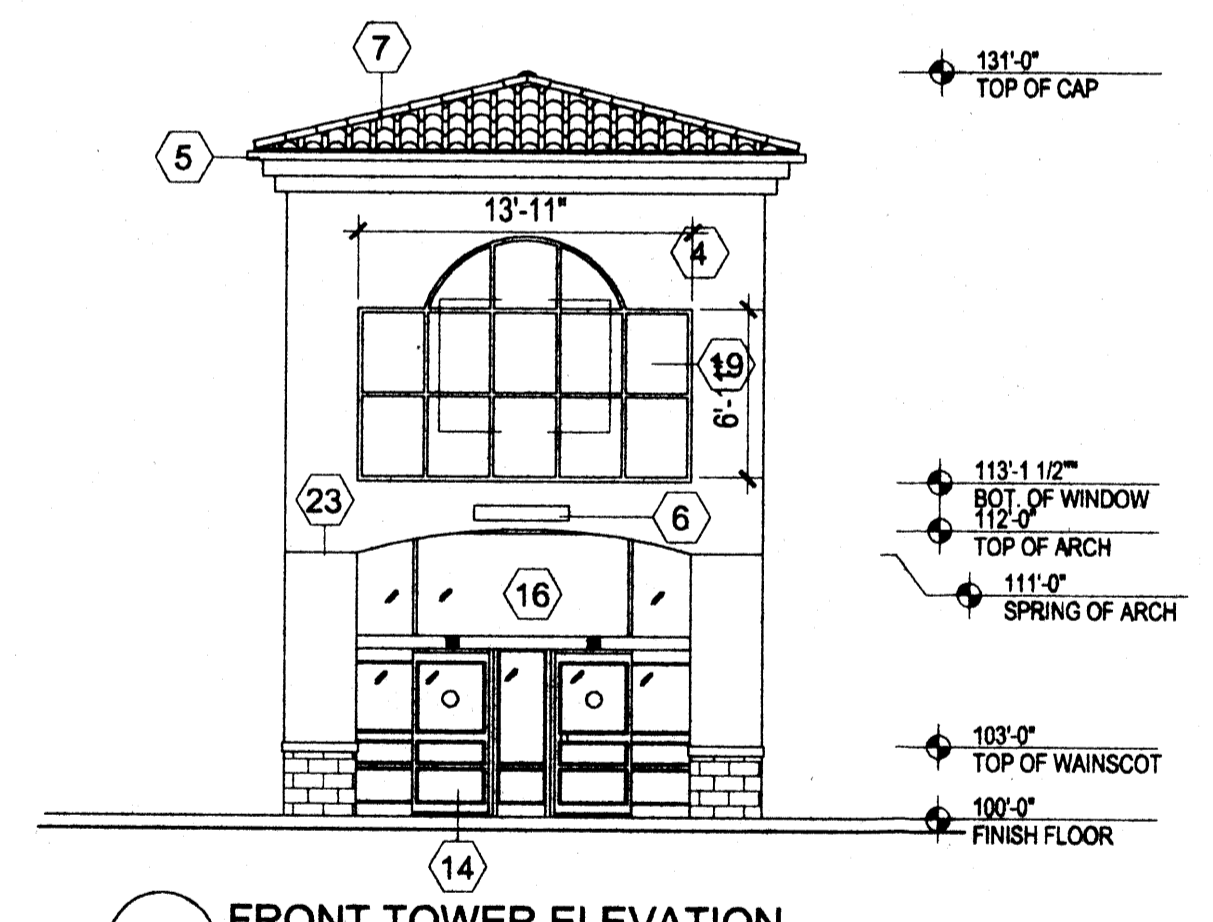
1 SOUTH ELEVATION (130')
1/8" = 1'-0"



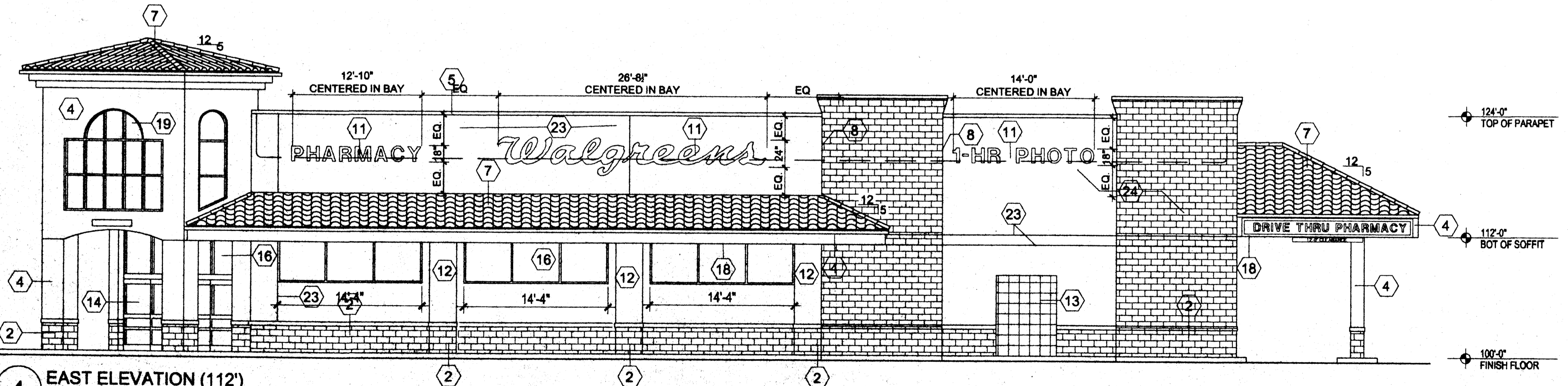
2 WEST ELEVATION (112')
1/8" = 1'-0"



3 NORTH ELEVATION (130')
1/8" = 1'-0"



5 FRONT TOWER ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION (112')
1/8" = 1'-0"

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE NORTHWEST CORNER OF UNSER BOULEVARD AND ARENAL ROAD ALBUQUERQUE, NEW MEXICO

ARCHITECTS: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110

ZONING: SU-1/C-1 USES
 OCCUPANT LOAD: 381 OCCUPANTS
 OCCUPANCY GROUP: M (MERCANTILE)
 TOTAL ACREAGE: ± 2.23 ACRES
 CONSTRUCTION TYPE: V-N SPRINKLERED
 TOTAL BUILDING AREA: 14,560 SQUARE FEET
 PARKING ANALYSIS: 69 REQUIRED PARKING SPACES
 78 PROVIDED PARKING SPACES
 INCLUDING 74 STANDARD PARKING SPACES AND 4 HANDICAP SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	CONST.
2	8/27/02	cmd	epc comments	
1			PER G.R.A. COMMENTS	

REVISIONS

CERTIFICATION AND SEAL

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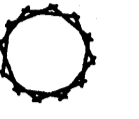






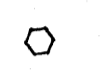


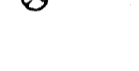

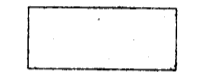

PROJECT NAME: WALGREENS STORE
NWC UNSER BOULEVARD AND ARENAL ROAD
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

DRAWING TITLE: LANDSCAPE PLAN

DATE: 8/25/02	STORE NO.:	DRAWING NO.:
DRAWN BY: CMD	SCALE: 1"=30'-0"	L1
REVIEWED BY:	RELEASED TO CONSTRUCTION:	

PLANT LEGEND

-  ASH (H) OR HONEY LOCUST (H) 16
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
-  AUSTRIAN PINE (H) 6
Pinus nigra
6'-8'
-  DESERT WILLOW (L) 8
Chilopsis linearis
15 Gal.
-  PALM YUCCA (L) 4
-  RED YUCCA (L) 22
Hesperaloe parviflora
5 Gal.
-  APACHE PLUME (L) 28
Fallugia paradoxa
5 Gal. 25sf
-  MAIDENGRASS (M) 17
Miscanthus sinensis
5 Gal. 16sf
-  LANAS/ SCOTCH BROOM (M) 7
Cytisus scoparius/
Genista hispanica
5 Gal.
-  RUSSIAN SAGE (M) 39
Perovskia atriplicifolia
5 Gal.
-  AUTUMN SAGE (M) 36
Salvia greggii
2 Gal. 9sf
-  CHAMISA (L) 34
Chrysothamnus nauseosus
1 Gal. 25sf
-  HONEYSUCKLE (M) 38
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
-  WILDFLOWER 48
1 Gal. 4sf
-  TAM JUNIPER (M) 24
Juniperus sabina
5 Gal. 225sf
-  MESA BROWN GRAVEL WITH FILTER FABRIC
-  OVERSIZED GRAVEL & 4 BOULDERS

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	87,121 square feet
TOTAL BUILDINGS AREA	14,560 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	72,561 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	10,884 square feet
TOTAL LANDSCAPE PROVIDED	21458 square feet
TOTAL BED PROVIDED	21458 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

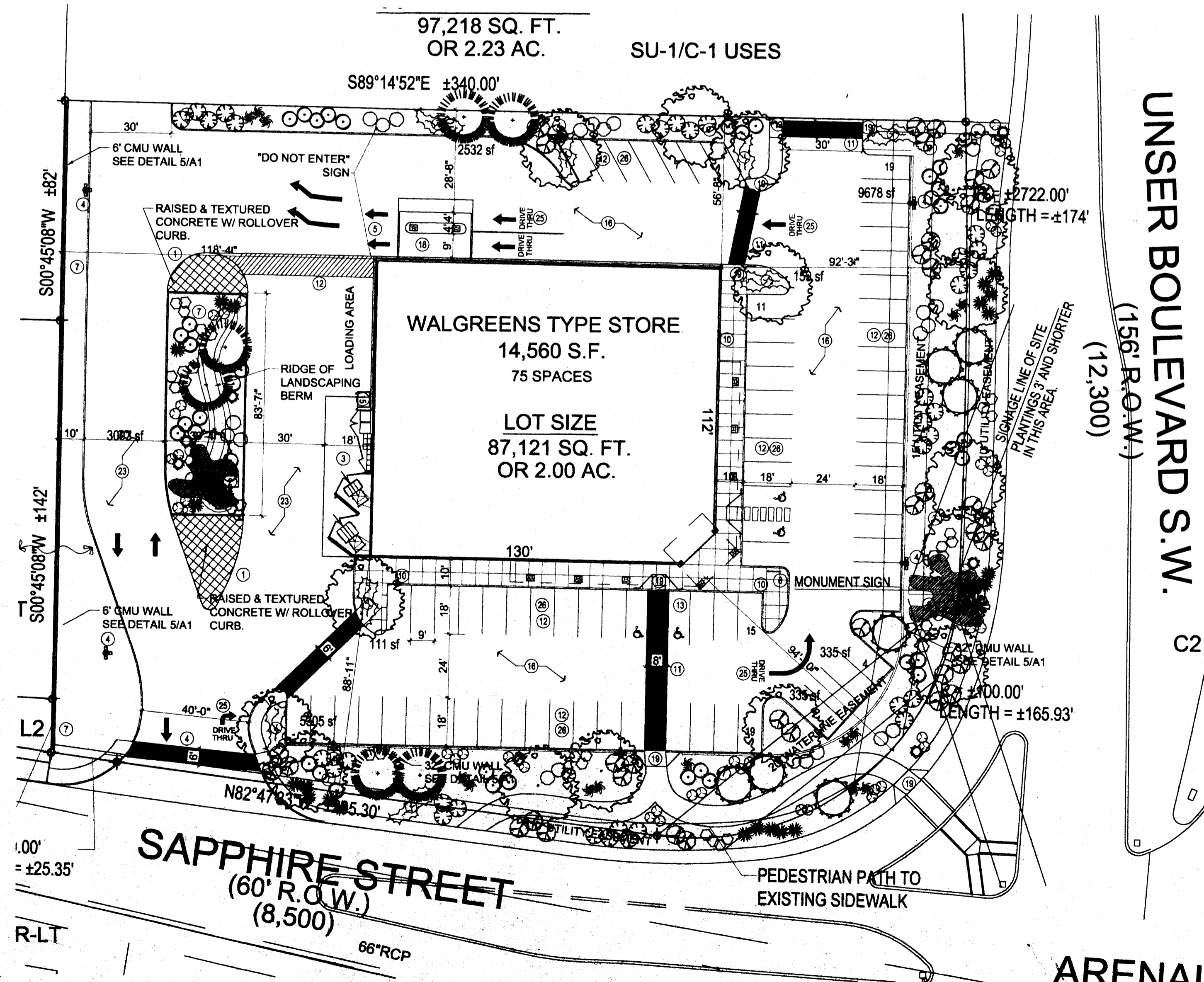
Mesa Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

UNSER BLVD.
Required 7 Provided 7

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
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