

Vegetation Berm Detail
Scale: Not to Scale

General Notes

- Not Used.
- Permission granted by the Environmental Planning Commission for 1"-50'-0" on site plan and 1/8"-1'-0" for building elevations.
- Refer to the utility plan for fire hydrant distribution lines, proposed and existing water/sewer storm drainage facilities proposed
- Streets, parking spaces and associated drives to be asphalt unless noted otherwise.
- Sidewalks to be standard gray scored concrete unless noted otherwise.
- All parking shown shall be 9' x 20' spaces, unless shown otherwise for inbound parking, and 9' x 18' with a 2'-0" overhang at all perimeter parking.
- Wireless telecommunications facilities are not permitted, as requested by Neighborhood Associations.
- The Church will have available a van service to pick up elderly Church members. The Church will also encourage members to carpool.
- Sidewalk widths per code: minimum 6' for the crosswalks from the parking area to the sidewalk, minimum 8' for the sidewalks adjacent to all building facades that contain primary entrances to buildings, a 10' sidewalk along Paseo Del Norte, and 15' at entrances.
- The owner is not requesting direct access to or from Paseo Del Norte.

Zoning Description

SU-1 for IP Uses, with Exceptions (bottling plant, cold storage, golf course or golf driving range, railroad R-O-W, gasoline or oil sales, auto washing or repair.

Legend

- Area Pole Light to comply with Dark Skies Ordinance Height 30'-0", 16'-0" within 100' of residential, see 05/A003
- Pedestrian Walk
- Table and Chairs
- Fire Hydrant

Legal Description

All or a portion of Tract B, Richland Hills Subdivision, Unit 1, and all or a portion of Tract(s) B1A and C1A, Albuquerque west, Unit 1

Site Data

Site Area: 13.8992 Acres 605,453 SF
Actual FAR: 123,946 GSF/605,453 SF=2.05
Maximum Building Height: 50'-0"

Keyed Notes - Final Build-out

- H.C. parking, see 7/A003 & 3/A003
- Automobile Ingress
- Automobile Egress
- Property Line
- Landscape area, see sheet L101
- Outdoor paved area; outdoor seating, shaded.
- Amphitheater/ outdoor seating
- Final Build Out trash enclosure w/ concrete apron, see 2/A003 & 1/A003.
- Sidewalk - concrete, PER COA STD DWG
- Bicycle rack, see 4/A003
- Motorcycle parking designated with sign similar to 7/A003, Color: Beige
- 10' wide multi-purpose trail facility
- Not used
- Tree planter 6" curb
- Designate compact space with paint on pavement.
- Parking island, typical. 15' radius.
- Not used
- Utility easement, to be abandoned.
- Monument sign, see 1/A302
- Building footprint
- Retaining wall, concrete masonry unit, burnished block, Color: Beige
- Drop off drive, no parking
- 6" concrete retaining seat wall w/ 30" concrete seat
- Existing sidewalk
- Light pole, typ. Ref. detail 5/A003. Typ. 20'-0" height, 16'-0" height within 100' of residential.
- Outdoor play area, fenced with 6'-0" ornamental iron, Color: Black.
- Water feature.
- Pedestrian crossing, patterned concrete.
- Patterned concrete service drive w/ flush curb.
- Vegetated berm.
- Stop sign.
- Traffic signal.
- Phase 1 Refuse location. Remove and relocate for Phase 2.
- Future island may be required to prohibit left turns out of this driveway.
- New public curb and gutter, COA work order required.
- New median modifications to accommodate left turn, COA work order required.
- Driveway per COA Std Dwg 2426.



Vicinity Map
SCALE: 1" = 500'-0"

Parking

Final Build-Out: Assembly (1650 seats)
Total Handicap Parking Per Zone Code
Total Motorcycle Parking
Total Bicycle Parking Required

Ratio	Required	Provided
1 Parking/4 Seats	413	710
501-800	16	31
501-750	57	8
1/20	18	21

Project Number: 1000762

Application Number: 07 DRB-00597

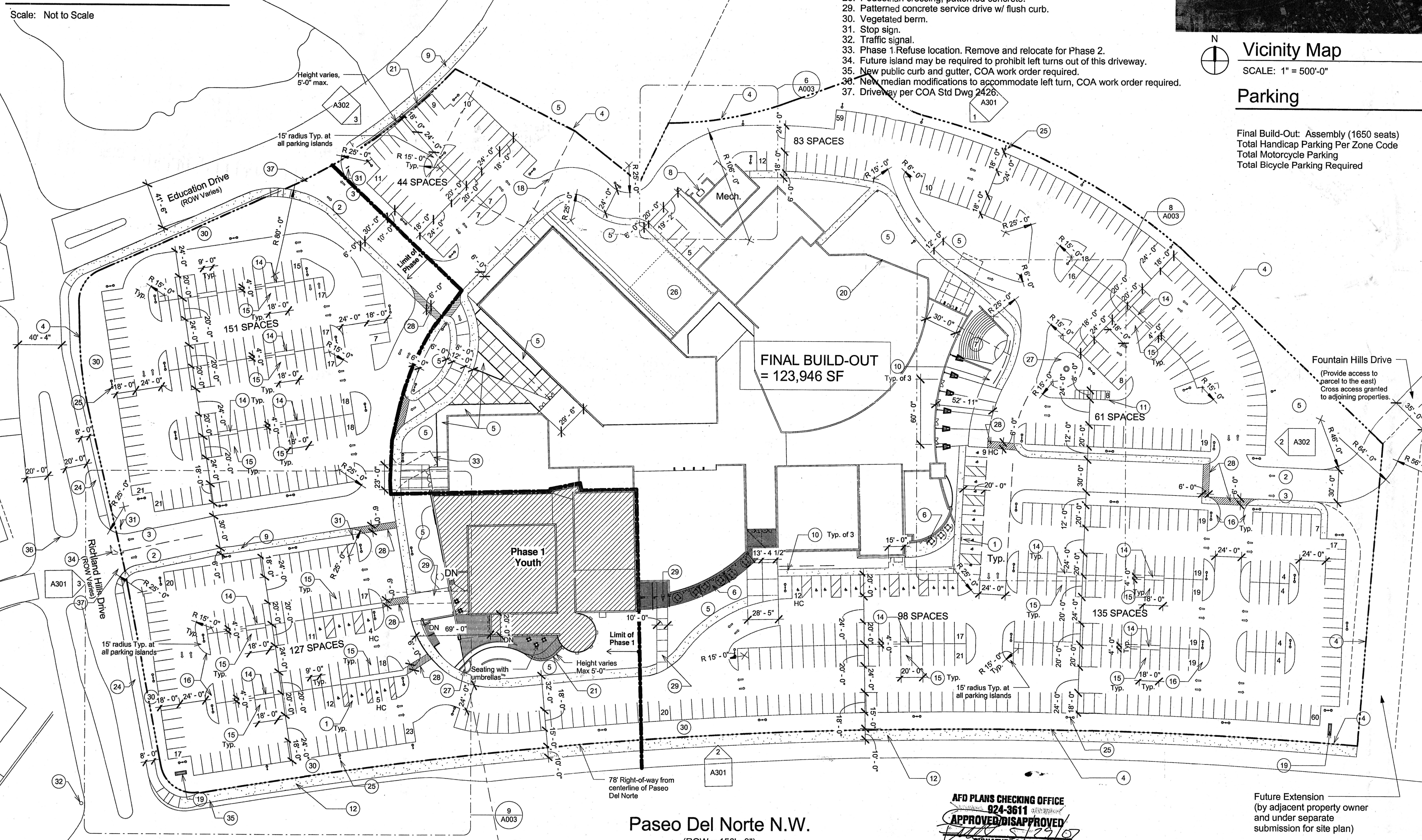
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 4/19/07 and the findings and conditions in the official notification of the decision are satisfied.

Is an infrastructure List Required? (x) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	5-30-07
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	5-30-07
UTILITIES DIVISION	DATE
<i>[Signature]</i>	5-30-07
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	11/21/08
CITY ENGINEER	DATE
<i>[Signature]</i>	5/29/02
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	11/21/08
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
<i>[Signature]</i>	6/5/07

Index of Drawings		
Sheet Number	Sheet Name	05/29/2007
ARCHITECTURAL		
A002	Site Development Plan - Final Build-out	■
A003	Enlarged Site Plans and Details	■
A301	Elevations - Final Build-Out	■
A302	Elevations - Final Build-Out	■
A311	Elevations - Phase 1	■
A312	Elevations - Phase 1	■
Landscape		
L001.1	Landscape Plan - Phase 1	■
L001.2	Landscape Plan - Final Build Out	■
Civil		
C101	Grading Plan Final Build Out	■
C102	Grading Plan Phase 1	■
C103	Grading Details	■
C201	Utility Plan	■



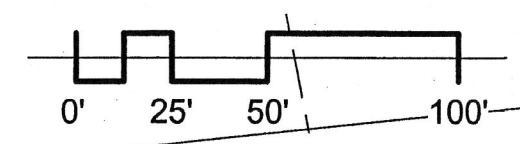
FINAL BUILD-OUT = 123,946 SF

Paseo Del Norte N.W.
(ROW = 156'-0")

AFD PLANS CHECKING OFFICE
024-3611
APPROVED/NOT APPROVED
DATE: 5/29/07
SIGNATURE & DATE

Future Extension
(by adjacent property owner and under separate submission for site plan)

1 Site Plan - Final Build-out
SCALE: 1" = 50'-0"



FOR REGULATORY APPROVAL ONLY
NOT FOR CONSTRUCTION

Architects

Hatfield Halcomb, Inc. D.B.A. HH Architects
5910 North Central Expressway Suite 1200
Dallas, Texas 75206
972-404-1034
Fax 972-404-1036

Site Development Plan for Building Permit

First Baptist Church Albuquerque
4101 Paseo Del Norte NW
Albuquerque, NM 87114

0618 05/29/07

DRB Submittal

Site Development Plan - Final Build-out

A002



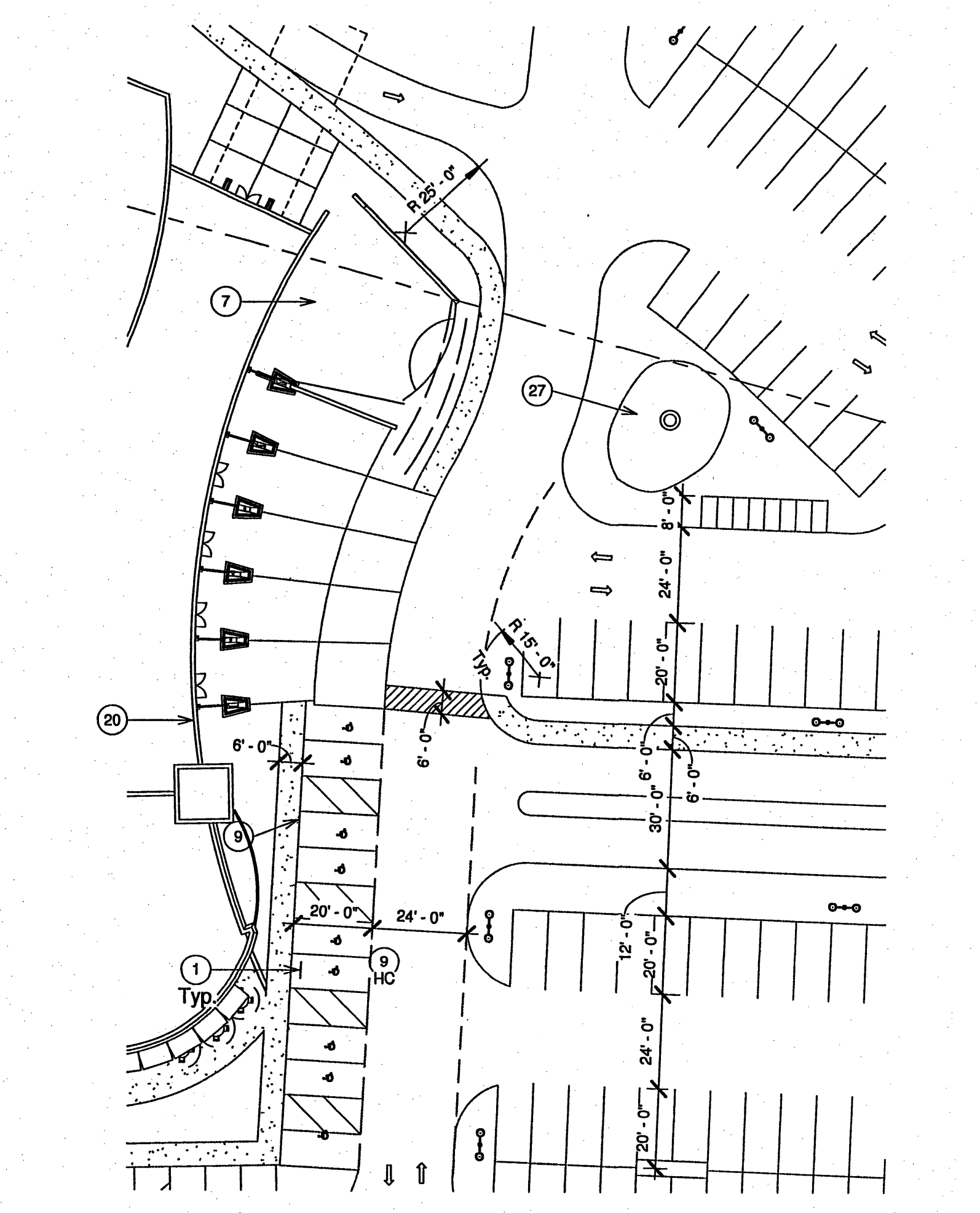
Keyed Notes - Final Build-out

1. H.C. parking, see 7/A003 & 3/A003
2. Automobile Ingress
3. Automobile Egress
4. Property Line
5. Landscape area, see sheet L101
6. Outdoor paved area; outdoor seating, shaded.
7. Amphitheater/ outdoor seating
8. Trash enclosure w/ concrete apron, see 2/A003 & 1/A003.
9. Sidewalk - concrete
10. Bicycle rack, see 4/A003
11. Motorcycle parking designated with sign similar to 7/A003, Color: Beige
12. 10' wide multi-purpose trail facility
13. Not used
14. Tree planter 6" curb
15. Designated compact space
16. Parking island, typical. 15' radius.
17. Not used
18. Utility easement, to be abandoned.
19. Monument sign, see 1/A302
20. Building footprint
21. Retaining wall, concrete masonry unit, burnished block, Color: Beige
22. Drop off drive, no parking
23. 6" concrete retaining seat wall w/ 30" concrete seat
24. Existing sidewalk
25. Light pole, typ. Ref. detail 5/A003. Typ. 30'-0" height, 16'-0" height within 100' of residential.
26. Outdoor play area, fenced with 6'-0" ornamental iron, Color: Black.
27. Water feature.
28. Pedestrian crossing, patterned concrete.
29. Patterned concrete service drive w/ flush curb.
30. Vegetated berm.
31. Stop sign.
32. Traffic signal.
33. Phase 1 Refuse location. Remove and relocate for Phase 2.

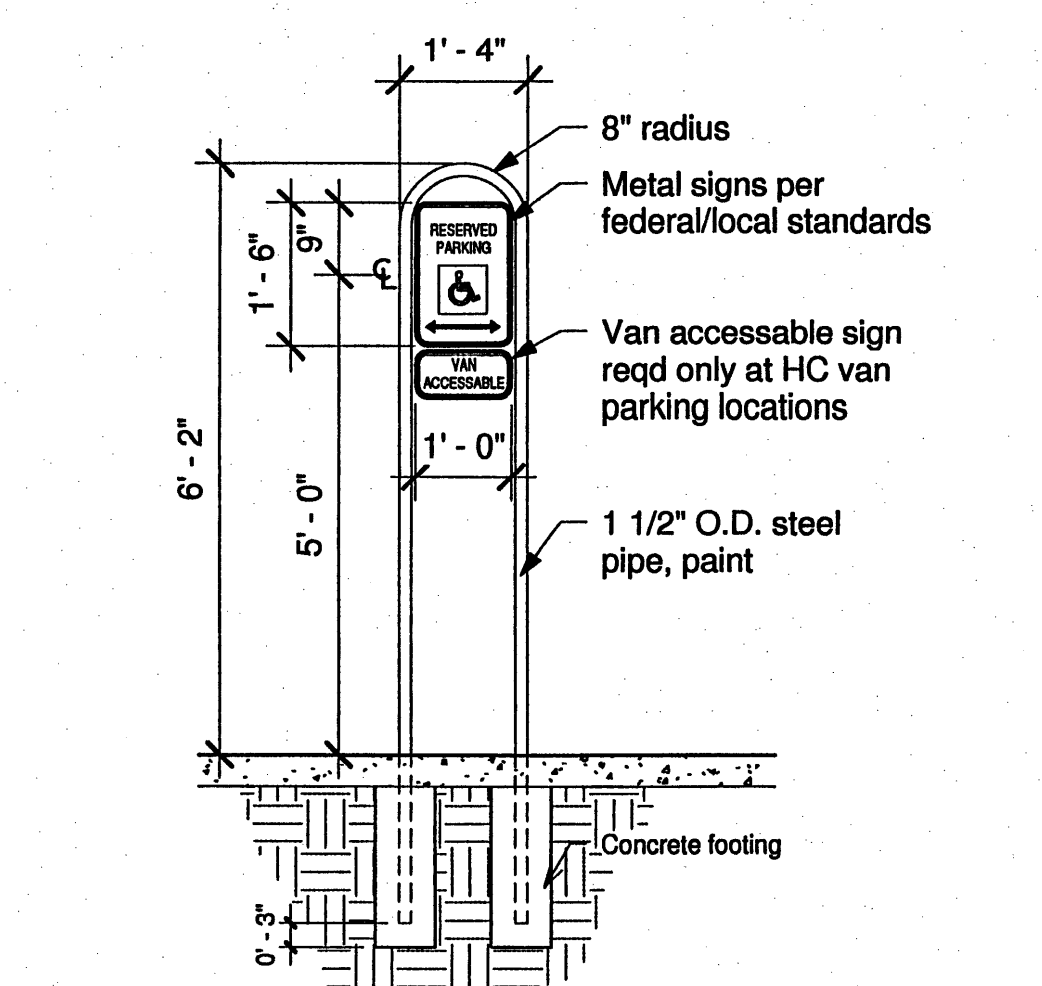
Legend

- Area Pole Light
- to comply with Dark Skies Ordinance
- Height 30'-0", 16'-0" within 100' of residential, see 05/A003
- ▨ Pedestrian Walk
- ⊕ Table and Chairs
- Fire Hydrant

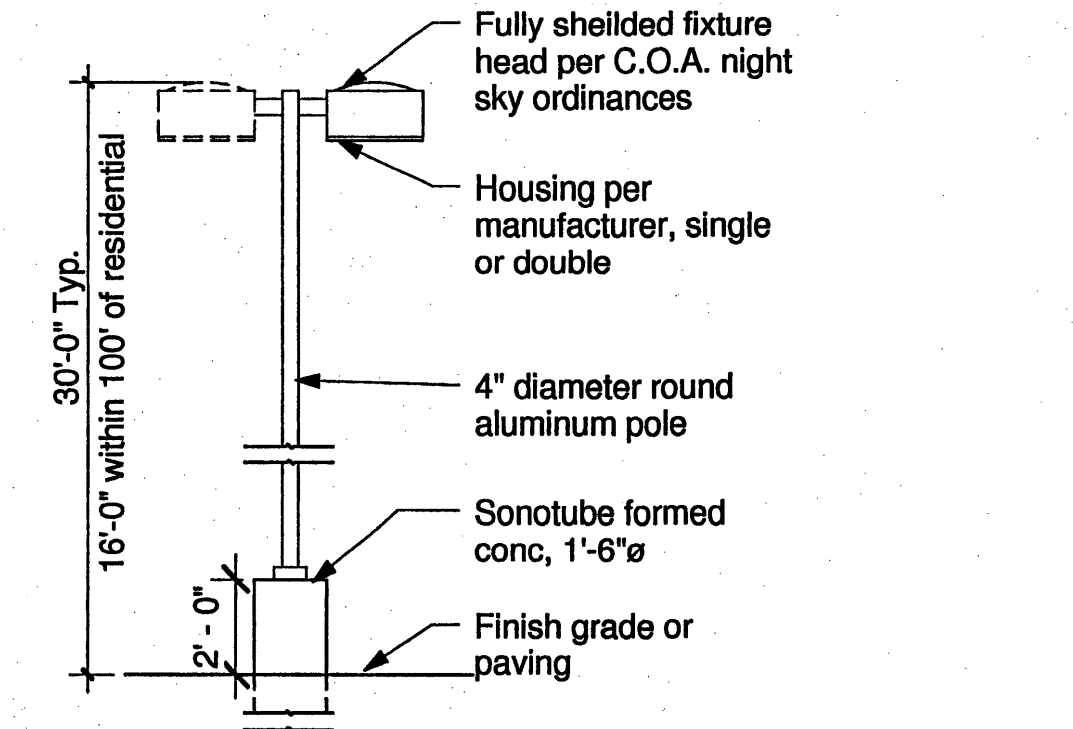
9 West Entry
SCALE: 1" = 30'-0"



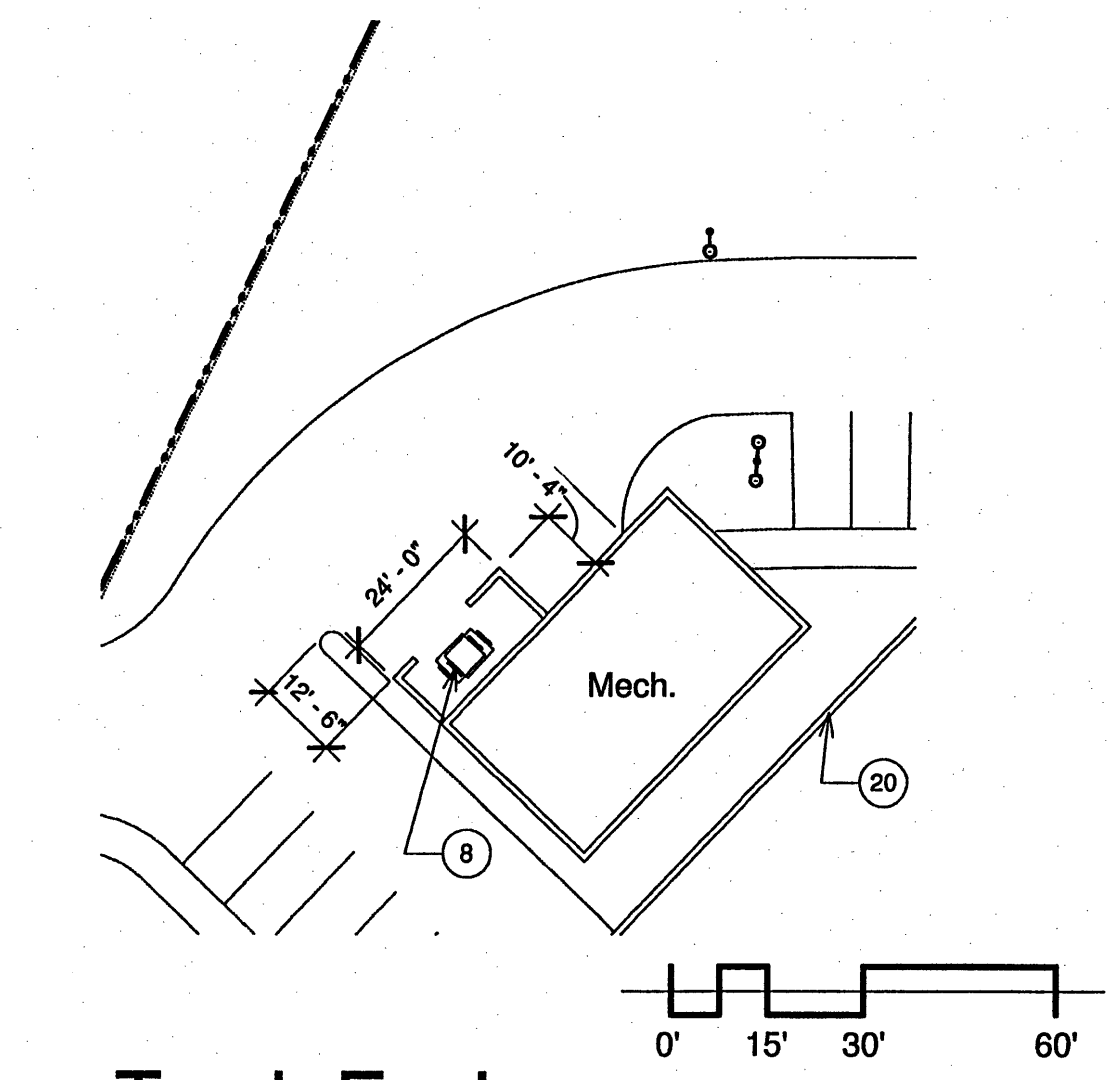
8 East Entry
SCALE: 1" = 30'-0"



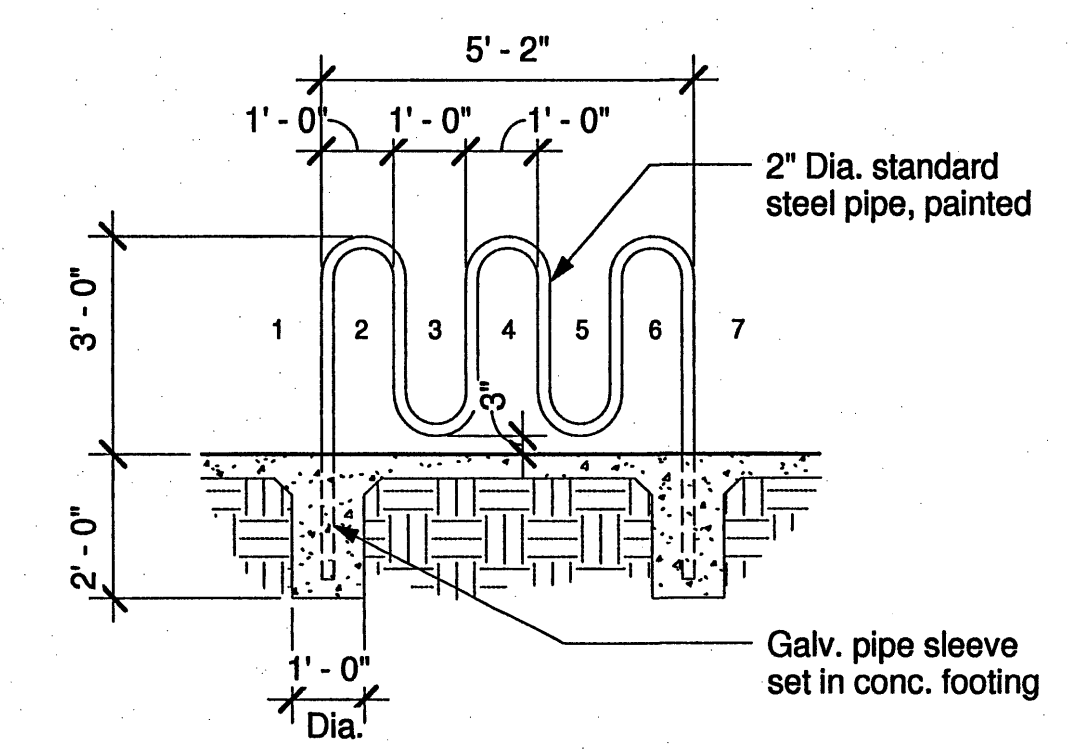
7 Accessible Parking Sign
SCALE: 1/2" = 1'-0"



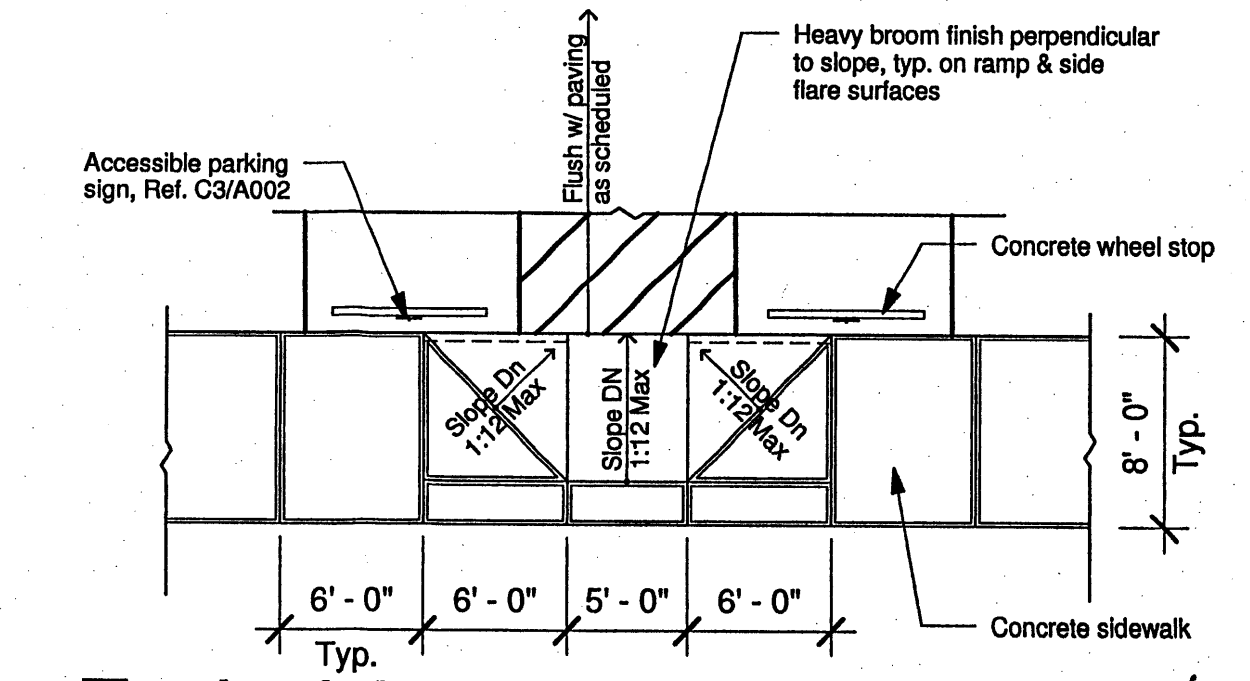
5 Light Pole
SCALE: 1/4" = 1'-0"



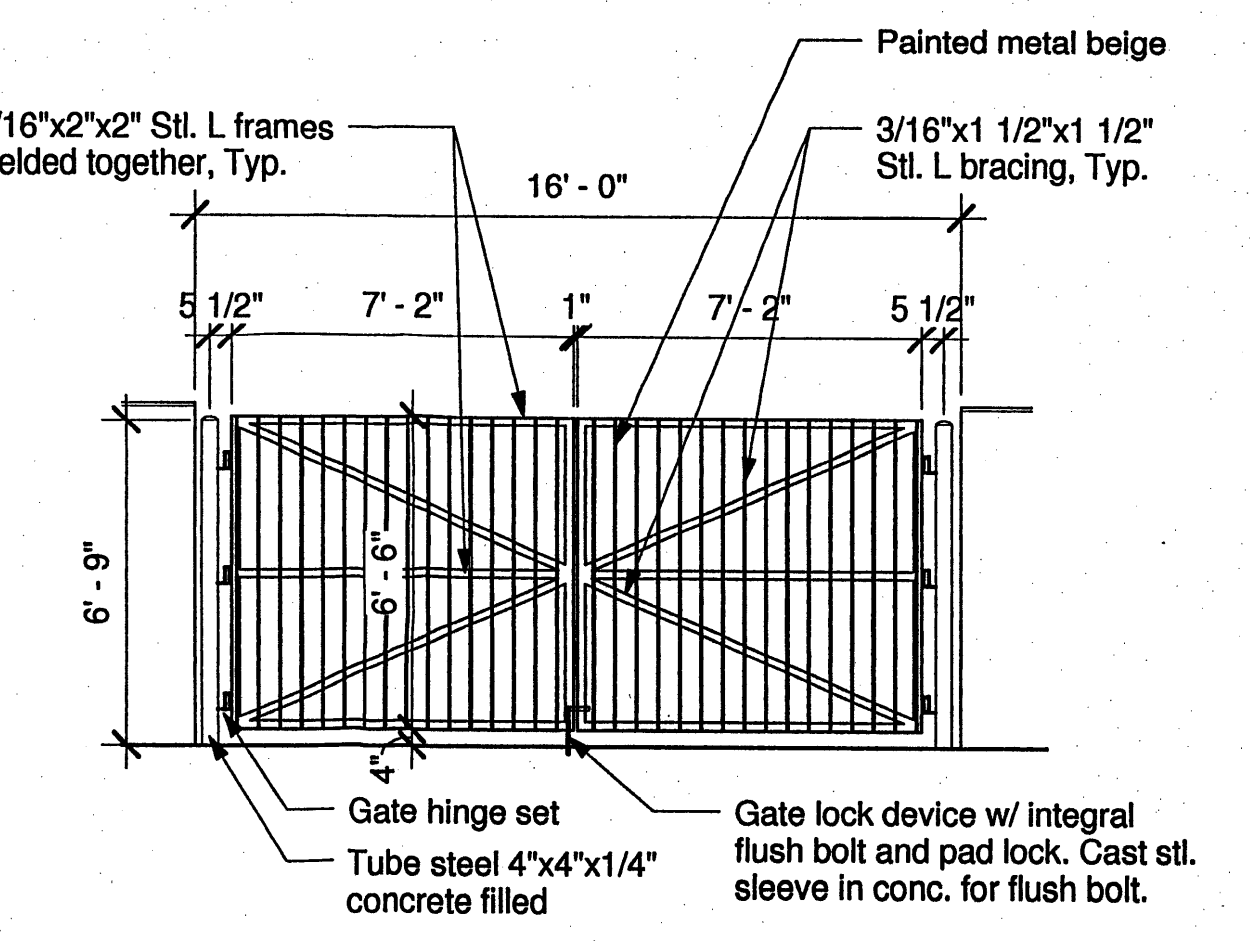
6 Trash Enclosure
SCALE: 1" = 30'-0"



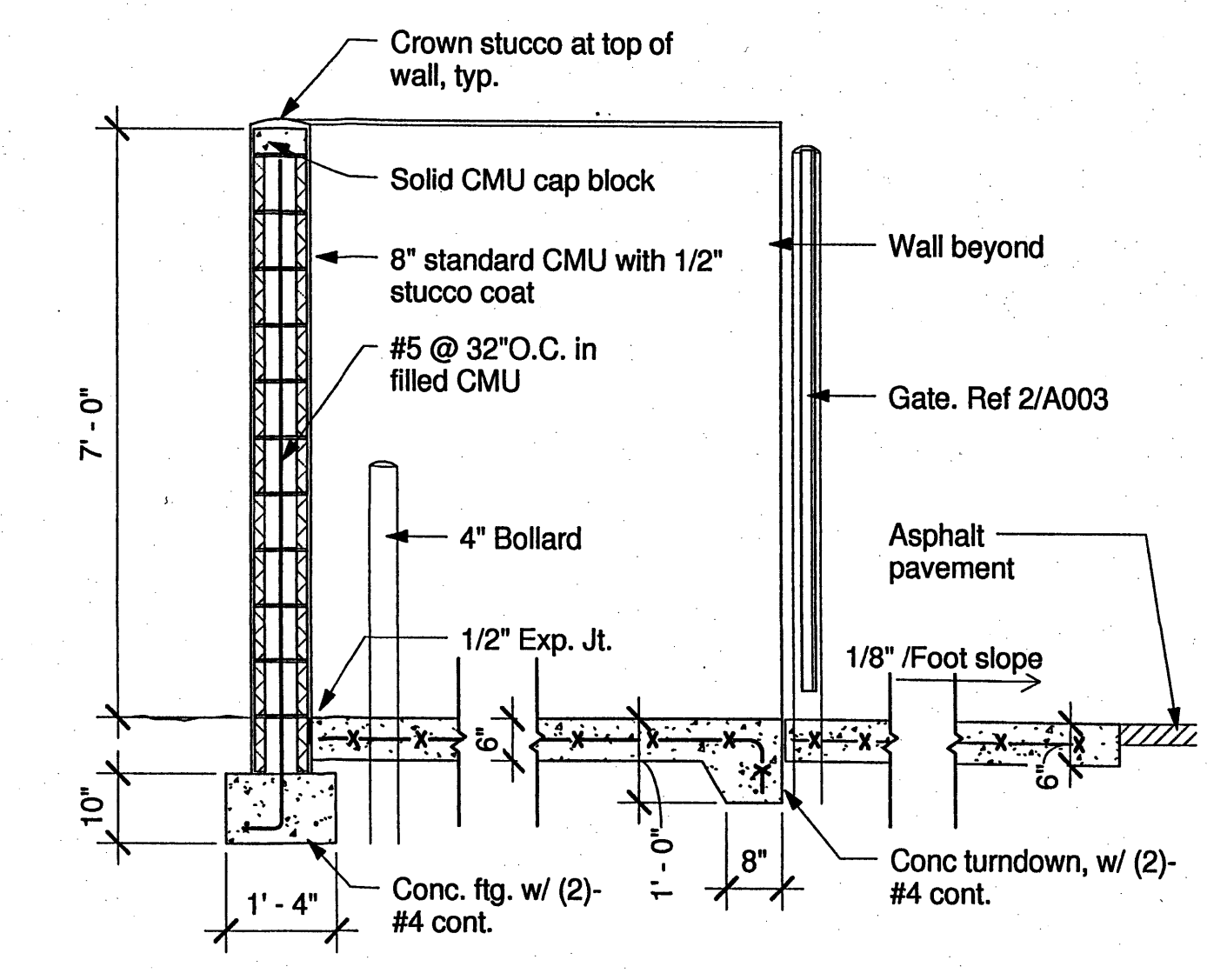
4 Bicycle Rack
SCALE: 3/8" = 1'-0"



3 Typical Accessible Parking - Sidewalk
SCALE: 1/8" = 1'-0"



2 Trash Enclosure Gate
SCALE: 1/4" = 1'-0"



1 Enclosure Section
SCALE: 1/2" = 1'-0"

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NOT FOR CONSTRUCTION

JH Architects
AA 000371
Heitfeld Halcomb, Inc. D.B.A. HH Architects
5910 North Central Expressway Suite 1300
Dallas, Texas 75206
972-404-1034
fax 972-404-1036

Site Development Plan for Building Permit
First Baptist Church Albuquerque
4101 Paseo Del Norte NW
Albuquerque, NM 87114

0618 05/29/07

DRB Submittal
Enlarged Site Plans and Details

A003



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

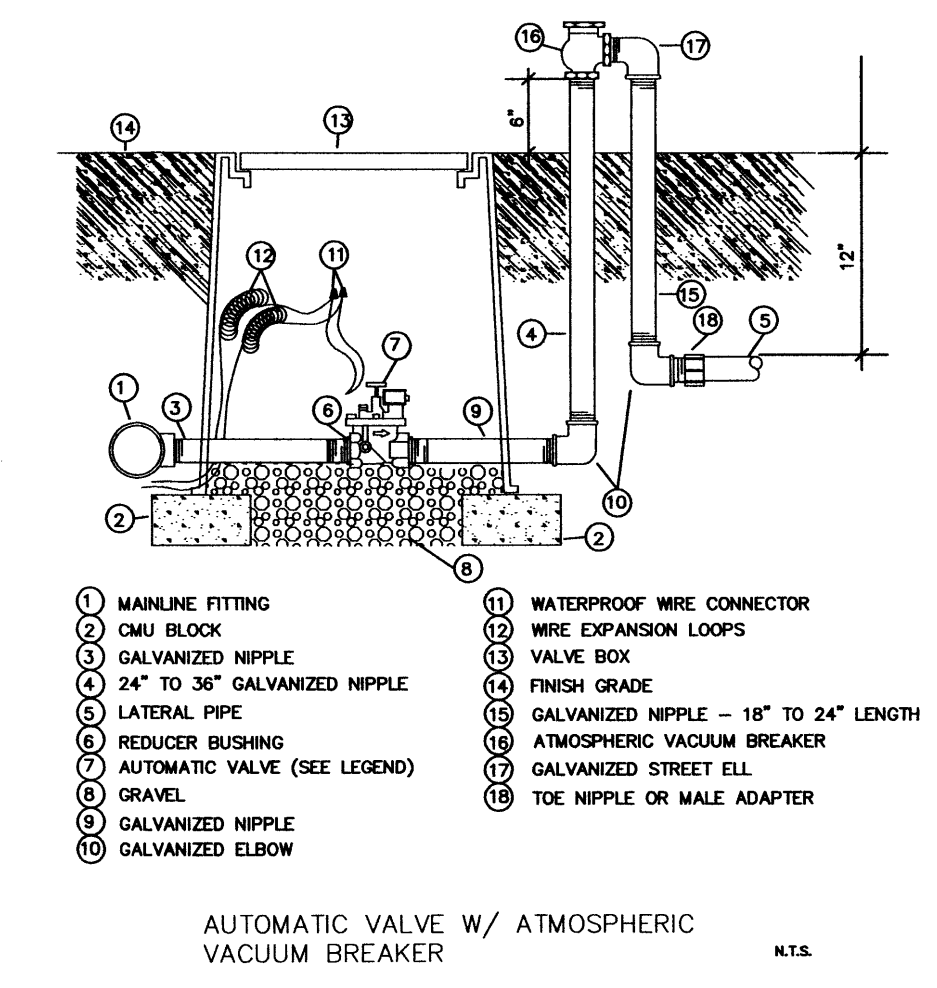
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



PLANT LEGEND - PHASE 1

- | | |
|---|---|
| <ul style="list-style-type: none"> ○ SHUMARD OAK (M) 22
<i>Quercus shumardi</i>
2" Cal. 60"x60" ○ HONEY LOCUST (M+) 6
<i>Gleditsia triacanthos</i>
2" Cal. 80"x80" ○ DESERT WILLOW (L) 6
<i>Chilopsis linearis</i>
5 Gal. 225 sf 20"x25" ○ SILVERBERRY (M) 87
<i>Elaeagnus pungens</i>
10' H green ○ FERN BUSH (L) 33
<i>Chamaeneria millefolium</i>
5 Gal. 36sf
5' H green w/white flowers ○ THREE-LEAF SUMAC (L) 27
<i>Rhus trilobata</i>
5 Gal. 36sf
5' H green ○ CHAMISA (L) 38
<i>Chrysothamnus nauseosus</i>
1 Gal. 25sf
5' H green w/yellow flowers ○ NANDINA (M+) 74
<i>Nandina domestica</i>
5 Gal. 25sf
8' H green bamboo like plant ○ HONEYSUCKLE (L+) 54
<i>Lonicera japonica halliana</i>
1 Gal. 144sf
Each symbol represents 3 plants
Unstaked- To Be Used As Groundcover
2' H green with white flowers ○ PRICKLY PEAR (L) 3
<i>Opuntia macrocentra</i> 9sf ○ SANTA FE BROWN GRAVEL WITH FILTER FABRIC ○ PLANTS USED IN SCREENING | <ul style="list-style-type: none"> ○ CHINESE PISTACHE (M) 21
<i>Pistachia chinensis</i>
2" Cal. 60"x60" ○ CHITALPA (M) 16
<i>Chilopsis X Catalpa</i>
2" cal. ○ GUARA (M) 3
aka WHIRLING BUTTERFLIES
<i>Guara lindheimeri</i>
1 Gal. 16sf ○ TURPENTINE BUSH (L+) 29
<i>Ericameria laricifolia</i>
1 Gal. 16sf
4' H green w/yellow flowers ○ RED YUCCA (L) 97
<i>Hesperaloe parviflora</i>
5 Gal. 9sf ○ BLUE AVENA/OAT GRASS (M) 54
<i>Helictotrichon sempervirens</i>
1 Gal. 9sf ○ LAVENDER (M) 80
<i>Lavandula angustifolia</i>
1 Gal. 9sf ○ GERMANDER (M) 30
<i>Teucrium chamaedrys</i>
1 Gal. 4sf ○ THREADGRASS (M) 90
<i>Stipa tenuissima</i>
1 Gal. 4sf ○ ANGELITA DAISY (L) 55
<i>Hymenoxys acaulis</i>
1 Gal. 4sf ○ KARL FOERESTER REED GRASS (M) 39
<i>Calamagrostis arundinacea</i>
1 Gal. 4sf ○ MEXICAN HAT (L) 64
<i>Ratifida colummaris</i>
1 Gal. 1sf ○ SOFT LEAF YUCCA (L) 35
<i>Yucca recurvifolia</i> 4sf |
|---|---|

STREET TREE REQUIREMENTS
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Paseo del Norte NW
Required# 16 Provided# 16

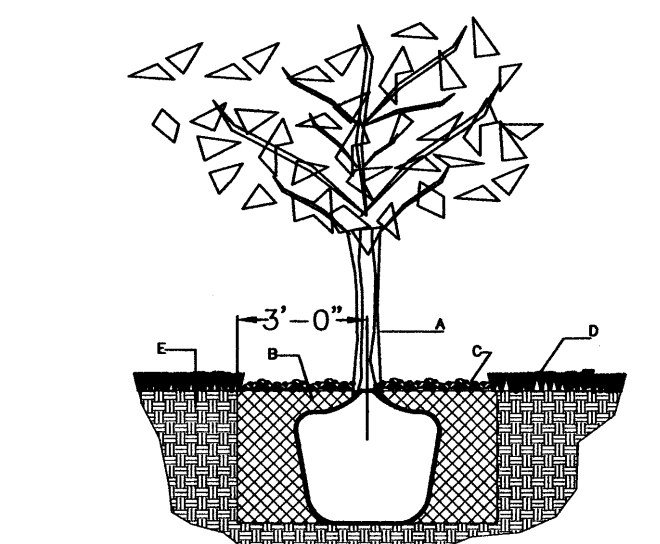
Name of Street: Richland Hills
Required# 13 Provided# 13

Name of Street: Education
Required# 7 Provided# 7

PARKING LOT TREE REQUIREMENTS
Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 31 Provided # 31

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



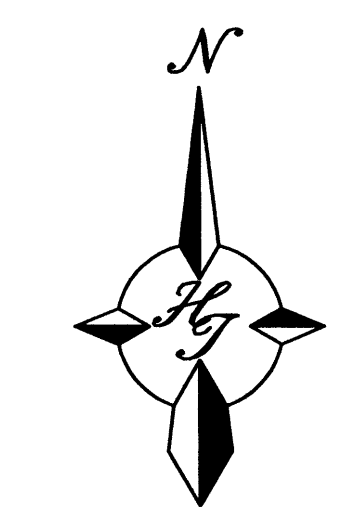
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 4" DEPTH OF BARK MULCH.
D. TURF AT FINISH GRADE.
E. UNDISTURBED SOIL.

TREE PLANTING DETAIL
NTS

PHASE 1 LANDSCAPE CALCULATIONS

TOTAL LOT AREA	218691	square feet
TOTAL BUILDINGS AREA	21190	square feet
NET LOT AREA	197501	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	29625	square feet
TOTAL BED PROVIDED	31763	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	23822	square feet
TOTAL GROUNDCOVER PROVIDED	31189 (98%)	square feet
TOTAL TURF PROVIDED (MAX 20%)	0	square feet
TOTAL LANDSCAPE PROVIDED	31763 (16%)	square feet



GRAPHIC SCALE
50 25 0 25 50
SCALE: 1"=50'

elevation revision 8-30-07 rmm
site plan revision 8-28-07 rmm
site plan revision 8-6-07 rmm

JH Architects
AA
0003571
Hatfield Holcomb, Inc. D.B.A. HH
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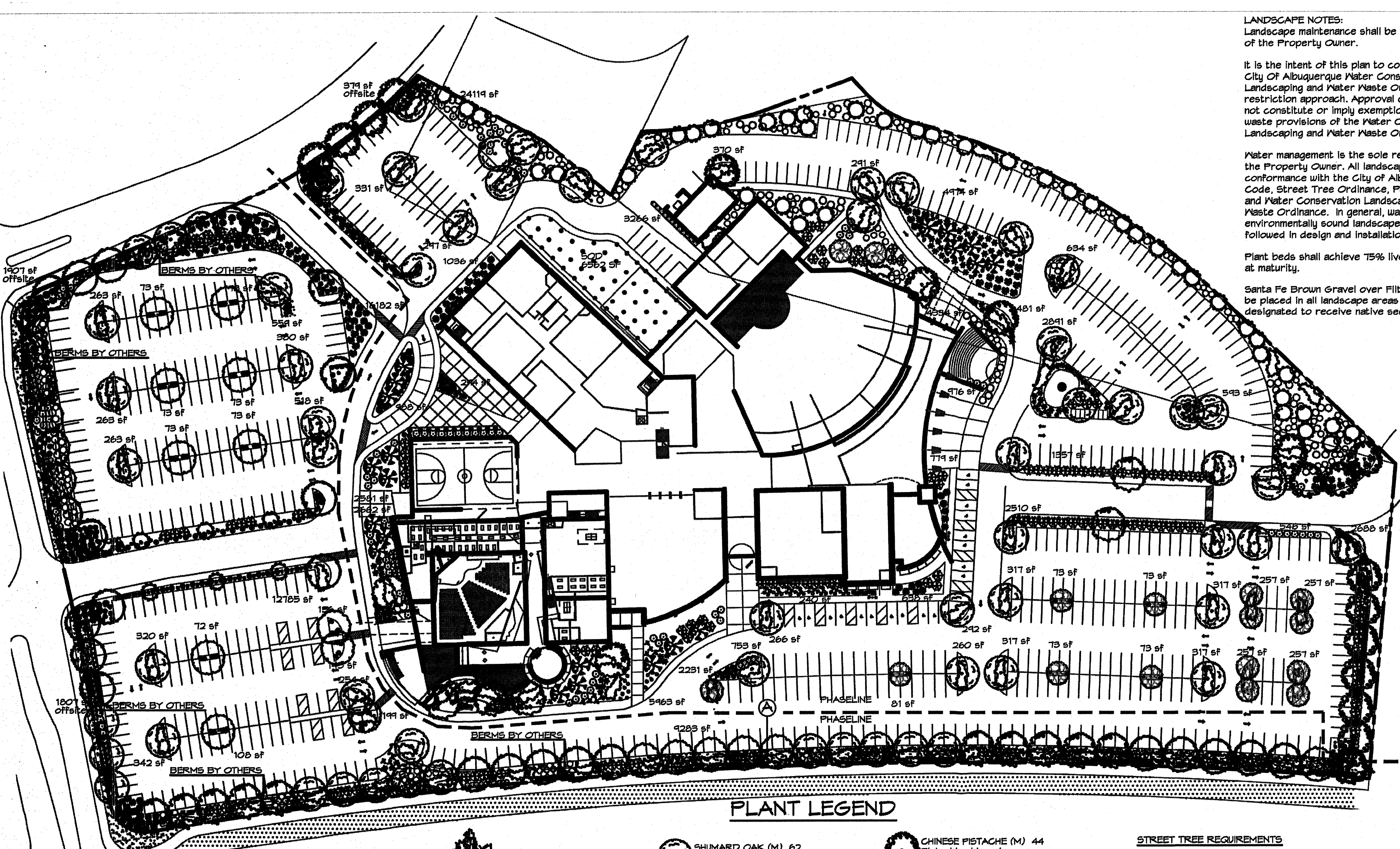
DRB Submittal: Site Plan for Building Permit
4101 Paseo Del Norte NW
Albuquerque, NM 87114

0618 8-30-07

Landscape Plan -Phase One

L001.1

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



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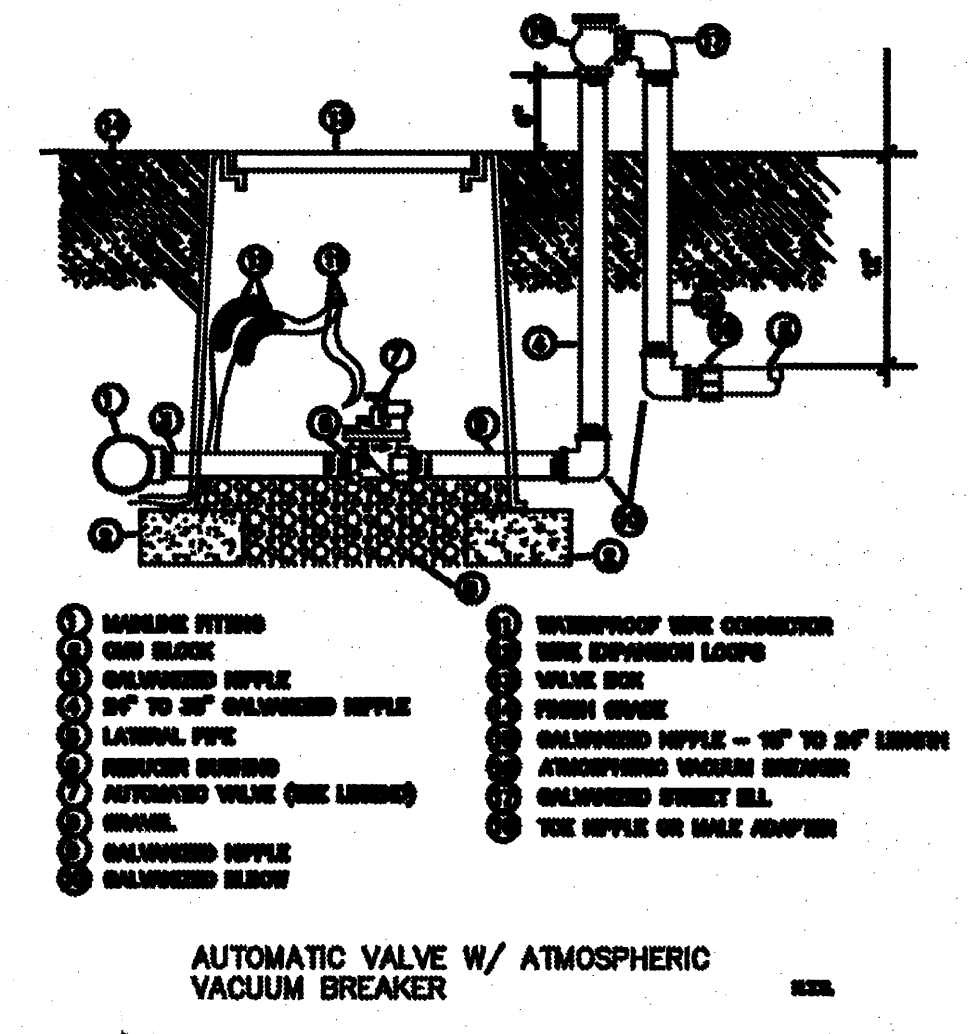
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PLANT LEGEND

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Quercus shumardii
2" Cal. 60"x60"
- HONEY LOCUST (M+) 19
Gleditsia triacanthos
2" Cal. 20"x20"
- DESERT WILLOW (L) 50
Chilopsis linearis
5 Gal. 225 sf 20"x25"
- SILVERBERRY (M) 187
Elaeagnus pungens
5 Gal. 100sf
10' H green
- FERN BUSH (L) 109
Chamaeneria millefolium
5 Gal. 36sf
5' H green w/white flowers
- THREE-LEAF SUMAC (L) 108
Rhus trilobata
5 Gal. 56sf
5' H green
- CHAMISA (L) 33
Chrysothamnus nauseosus
1 Gal. 25sf
5' H green w/yellow flowers
- APACHE PLUME (L) 255
Fallugia paradoxa
5 Gal. 25sf
5' H green w/pink seed plumes
- HONEYSUCKLE (L+) 261
Lonicera japonica halliana
1 Gal. 144sf
Each symbol represents 3 plants
Unstaked - To Be Used As Groundcover
2' H green with white flowers
- FRICKLY PEAR (L) 20
Opuntia macrocentra 4sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- COMPACTED GREY CRUSHER FINES WITH FILTER FABRIC
- SOD WITH POP UP SPRINKLER
- CHINESE PISTACHE (M) 44
Pistachia chinensis
2" Cal. 60"x60"
- CHITALPA (M) 38
Chilopsis X Catalpa
15 Gal. 50"x50"
- VITEX (M) 21
Vitex agnus-castus
15 Gal. 225sf 20"x20"
- GUARA (M) 92
aka WHIRLING BUTTERFLIES
Guara lindheimeri
1 Gal. 16sf
- TURPENTINE BUSH (L+) 29
Ericameria laricifolia
1 Gal. 16sf
4' H green w/yellow flowers
- RED YUCCA (L) 164
Hesperaloe parviflora
5 Gal. 4sf
- BLUE AVENA/OAT GRASS (M) 91
Helictotrichon sempervirens
1 Gal. 4sf
- LAVENDER (M) 249
Lavandula angustifolia
1 Gal. 4sf
- GERMANDER (M) 113
Teucrium chamaedrys
1 Gal. 4sf
- THREADGRASS (M) 43
Stipa tenuissima
1 Gal. 4sf
- ANGELITA DAISY (L) 117
Hymenoxys acutis
1 Gal. 4sf
- KARL FOERSTER REED GRASS (M) 55
Calamagrostis arundinacea
1 Gal. 4sf
- MEXICAN HAT (L) 112
Ratibida columnaris
1 Gal. 16sf
- SOFT LEAF YUCCA (L) 103
Yucca recurvifolia 4sf
- OVERSIZED GRAVEL

STREET TREE REQUIREMENTS
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Paseo del Norte NW
Required# 37 Provided# 37

Name of Street: Education
Required# 11 Provided# 11

Name of Street: Fountain Hills
Required# 9 Provided# 9

PARKING LOT TREE REQUIREMENTS
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 70 Provided # 70

NOTE TO CLIENT:
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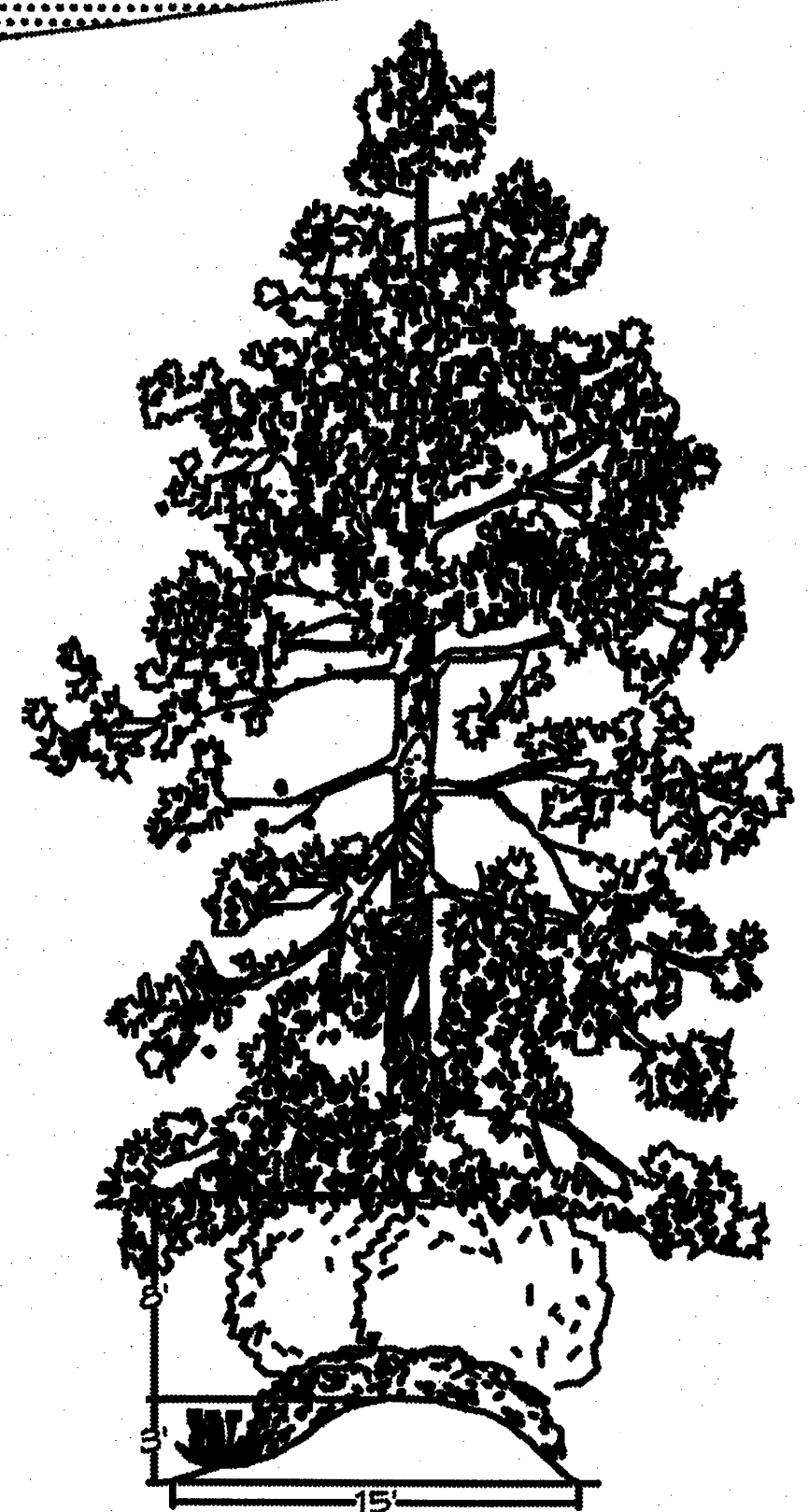
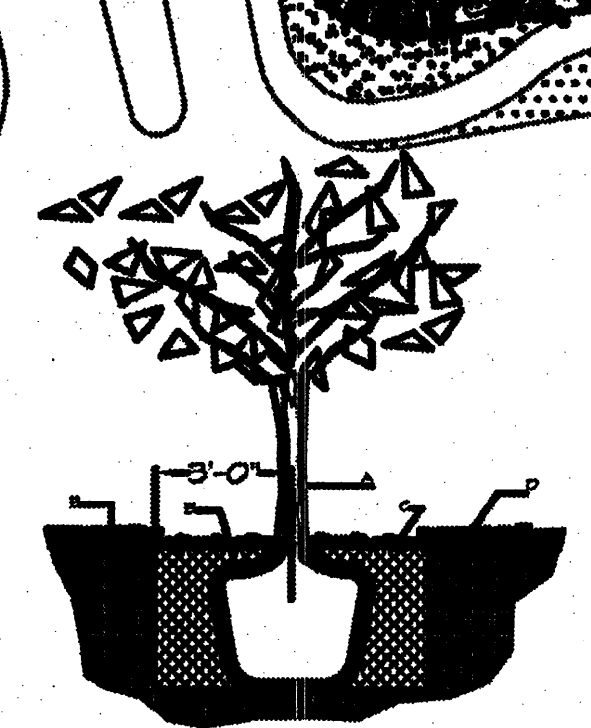
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	605453	square feet
TOTAL BUILDINGS AREA	123946	square feet
NET LOT AREA	481507	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	72228	square feet
TOTAL OFFSITE LANDSCAPING	21855	square feet
TOTAL BED PROVIDED	114818	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	86113	square feet
TOTAL GROUNDCOVER PROVIDED	95842(83%)	square feet
TOTAL TURF PROVIDED (MAX 20%)	6562 (5%)	square feet
TOTAL LANDSCAPE PROVIDED	121380 (25%)	square feet

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 4" DEPTH OF BARK MULCH.
D. TURF AT FINISH GRADE.
E. UNDISTURBED SOIL.

TREE PLANTING DETAIL



(A) CROSS SECTION OF SCREENING

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AA 0003571

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DRB Submittal: Site Plan for Building Permit
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Cont. Lic. #26458
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Albuquerque, NM 87184
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cmj@hilltoplandscaping.com

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GRAPHIC SCALE

0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

EXIST STORM DRAIN TO BE ROUTED THROUGH PUBLIC STREETS OF FOUNTAIN HILLS DEVELOPMENT.

GRADING & STORM DRAIN KEYED NOTES

1. INSTALL TYPE "C" STORM INLET PER COA STD DWG 2205.
2. INSTALL TYPE "A" STORM INLET PER COA STD DWG 2206.
3. CONNECT NEW STORM DRAIN TO DROP INLET. THE DROP INLET TO EXISTING 18" STORM DRAIN.
4. INSTALL 6" ROOF DRAIN LINE TO WITHIN 5' OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
5. INSTALL STORM DRAIN CLEANOUT PER DETAIL 4/C103.
6. SEGMENTAL RETAINING WALL, SEE DETAIL 12/C103.
7. STUB 18" STORM DRAIN 15' PAST EDGE OF PAVEMENT.
8. TIE THE NEW 18" STORM DRAIN TO BACK OF EXISTING DROP INLET, SO-19 PERMIT REQUIRED. CONTRACTOR SHALL COORDINATE WITH CITY FOR REQUIRED PERMIT AND INSPECTION.
9. 2' WIDE OPENING IN FUTURE CURB.

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Site Development Plan for Building Permit

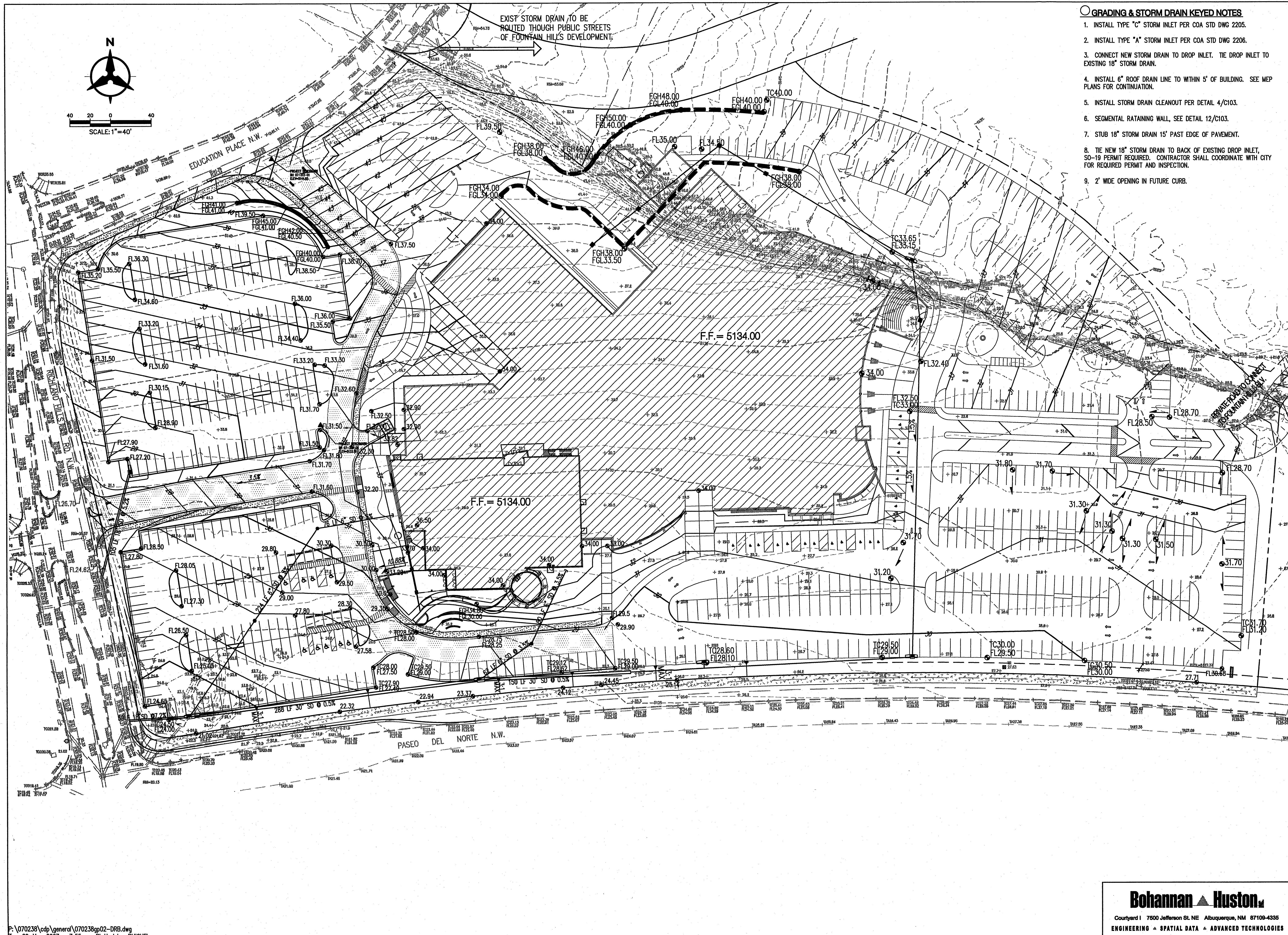
First Baptist Church of Albuquerque
4101 Paseo Del Norte NW
Albuquerque, NM 87114

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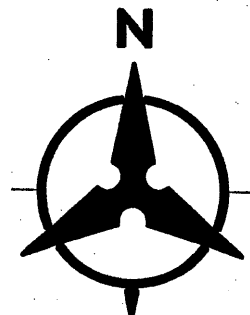
FINAL BUILD OUT
GRADING PLAN

C101

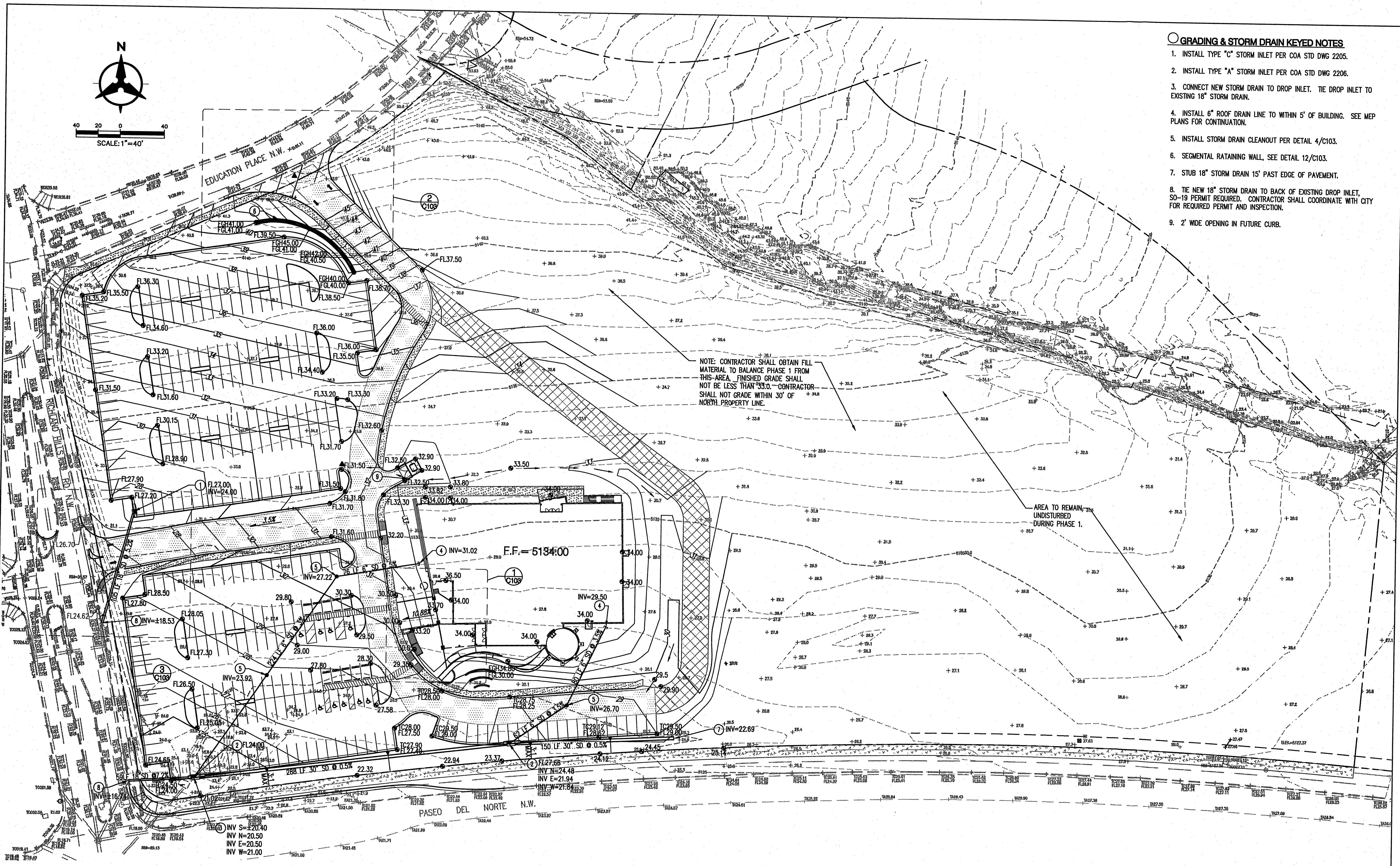
Bohannon & Huston
Court yard | 7500 Jefferson St NE Albuquerque, NM 87109-4335
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SCALE: 1"=40'



GRADING & STORM DRAIN KEYED NOTES

1. INSTALL TYPE "C" STORM INLET PER COA STD DWG 2205.
2. INSTALL TYPE "A" STORM INLET PER COA STD DWG 2206.
3. CONNECT NEW STORM DRAIN TO DROP INLET. THE DROP INLET TO EXISTING 18" STORM DRAIN.
4. INSTALL 6" ROOF DRAIN LINE TO WITHIN 5' OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
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7. STUB 18" STORM DRAIN 15' PAST EDGE OF PAVEMENT.
8. TIE NEW 18" STORM DRAIN TO BACK OF EXISTING DROP INLET, SO-19 PERMIT REQUIRED. CONTRACTOR SHALL COORDINATE WITH CITY FOR REQUIRED PERMIT AND INSPECTION.
9. 2' WIDE OPENING IN FUTURE CURB.

NOTE: CONTRACTOR SHALL OBTAIN FILL MATERIAL TO BALANCE PHASE 1 FROM THIS AREA. FINISHED GRADE SHALL NOT BE LESS THAN 33.0'. CONTRACTOR SHALL NOT GRADE WITHIN 30' OF NORTH PROPERTY LINE.

AREA TO REMAIN UNDISTURBED DURING PHASE 1.

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Site Development Plan for Building
Permit

First Baptist Church of Albuquerque
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PHASE 1
GRADING PLAN

Bohannon & Huston
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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C102

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GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOECHANICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SLT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

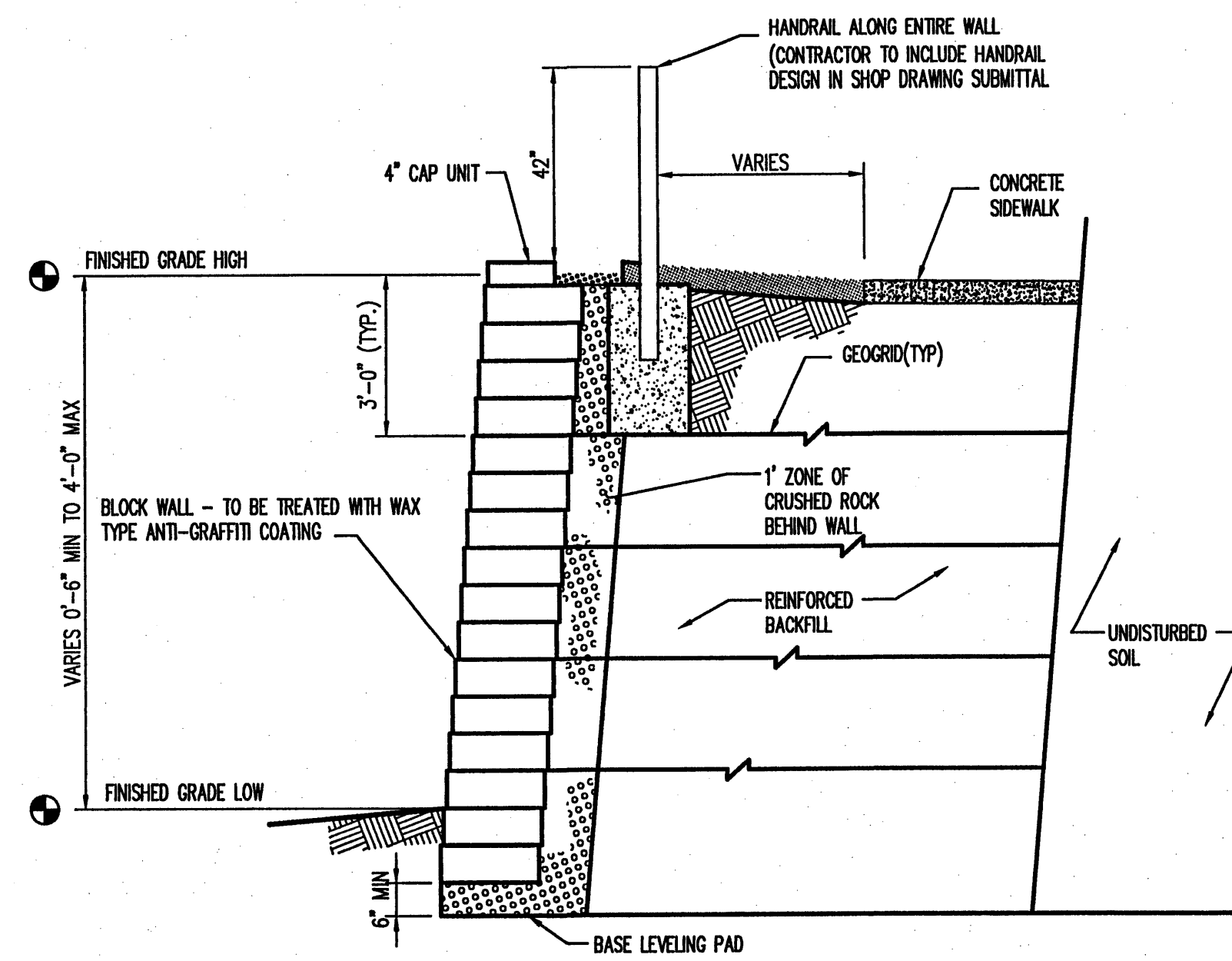
NOTICE TO CONTRACTORS (SO 19)

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FL=FLOW LINE
- FOI=FINISHED GRADE HIGH
- FGL=FINISHED GRADE LOW
- EX=EXISTING, TO-TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE

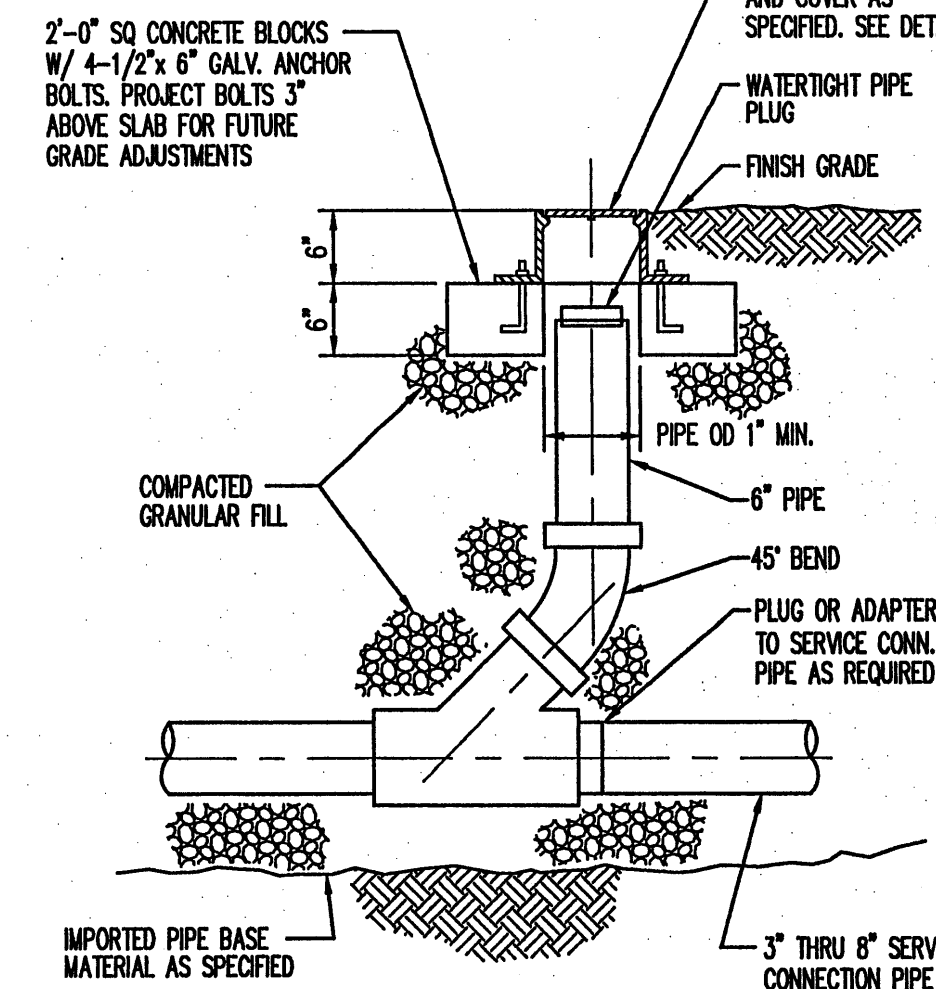
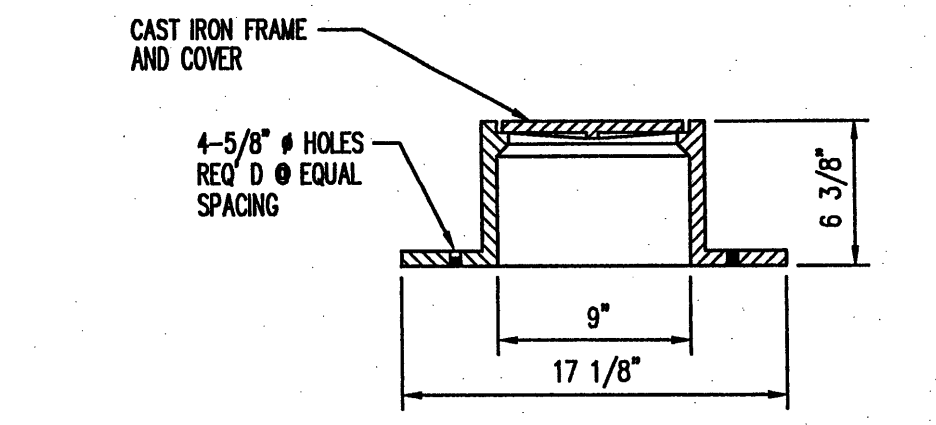


12 TYPICAL SEGMENTAL RETAINING WALL SECTION

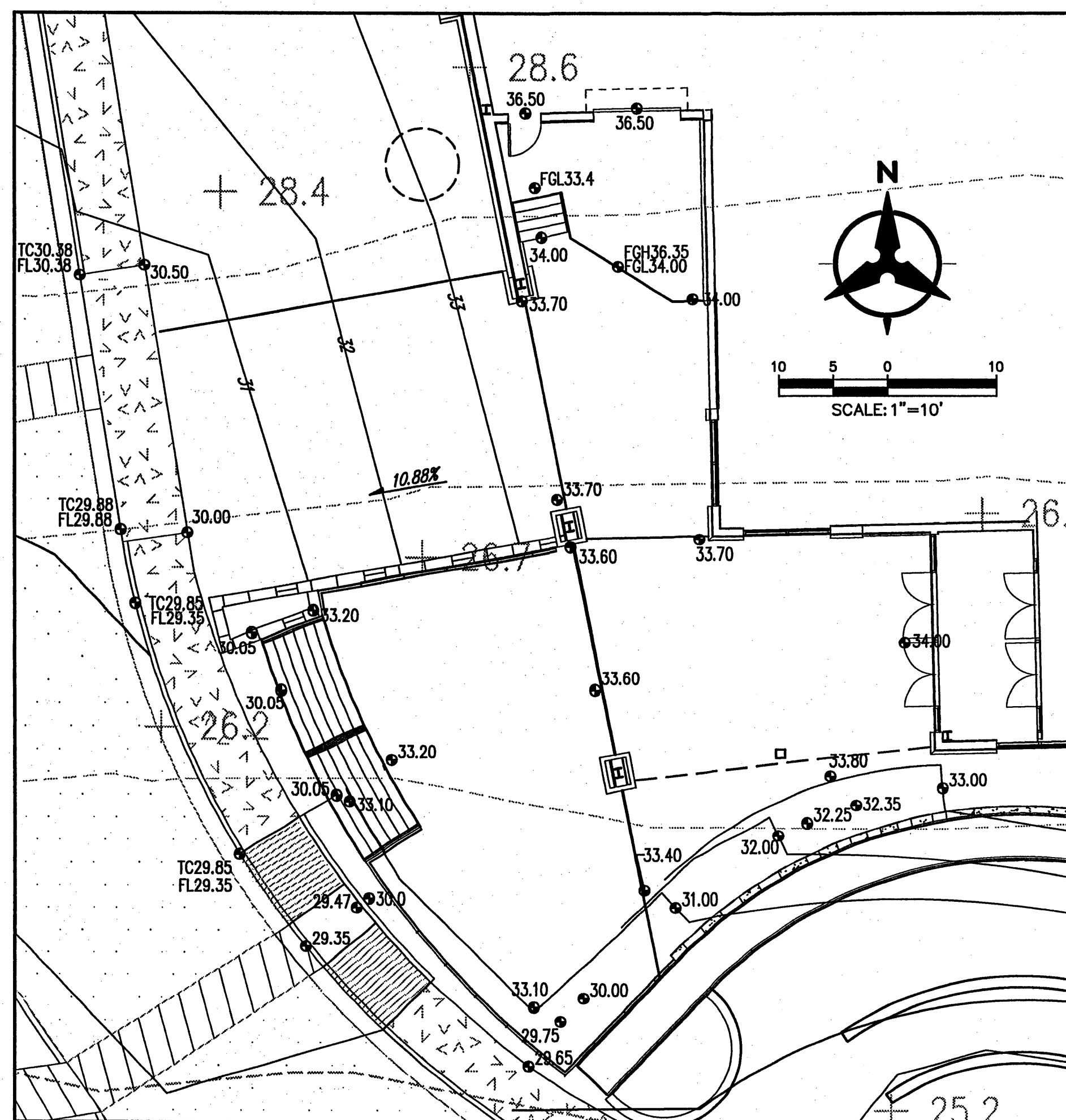
N.T.S.
(NOTE: RETAINING WALL CONTRACTOR TO PERMIT WALL DIRECTLY THROUGH THE PERMITTING AUTHORITY. CONTRACTOR TO PROVIDE BOHANNAN HUSTON INC. WITH SHOP DRAWINGS (FOR APPROVAL) FOR EACH WALL PRIOR TO CONSTRUCTION.)

SEGMENTAL RETAINING WALL CONSTRUCTION NOTES:

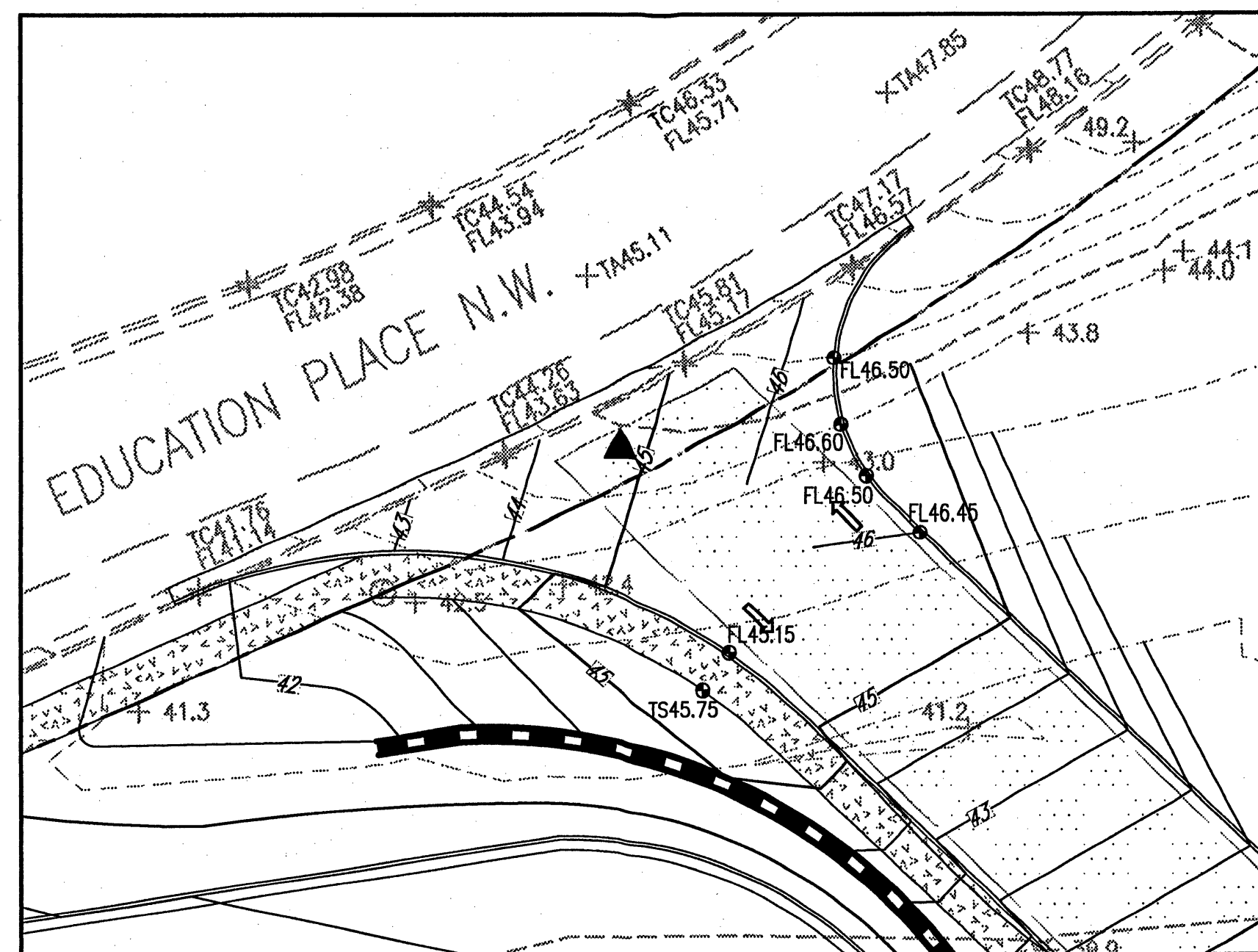
- CONTRACTOR TO PROVIDE SHOP DRAWINGS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN NEW MEXICO & QUALIFIED TO DESIGN SEGMENTAL RETAINING WALLS TO BOHANNAN HUSTON FOR REVIEW PRIOR TO SUBMITTING TO GOVERNING ENTITY.
- RETAINING WALL SYSTEM REQUIREMENTS (PROVIDED BY MANUFACTURER OR CONTRACTOR).
- SOIL AND COMPACTION TESTING SHALL BE PERFORMED DURING CONSTRUCTION (BASE, 1/2 HEIGHT, AND FINAL).
- APPROVED SHOP DRAWINGS MUST BE AVAILABLE ON-SITE AT ALL TIMES.
- CONTRACTOR TO PROVIDE OWNER WITH COLOR SAMPLES FOR FINAL COLOR SELECTION.
- ELEVATIONS SHOWN ARE TO TOP OF WALL AND BOTTOM OF WALL AT FINAL GRADE (DOES NOT INCLUDE FOOTER).
- CONTRACTOR TO INCLUDE ANY OVER EXCAVATION AND CONTROLLED BACKFIELD ASSOCIATED WITH RETAINING WALL IN RETAINING WALL BID.



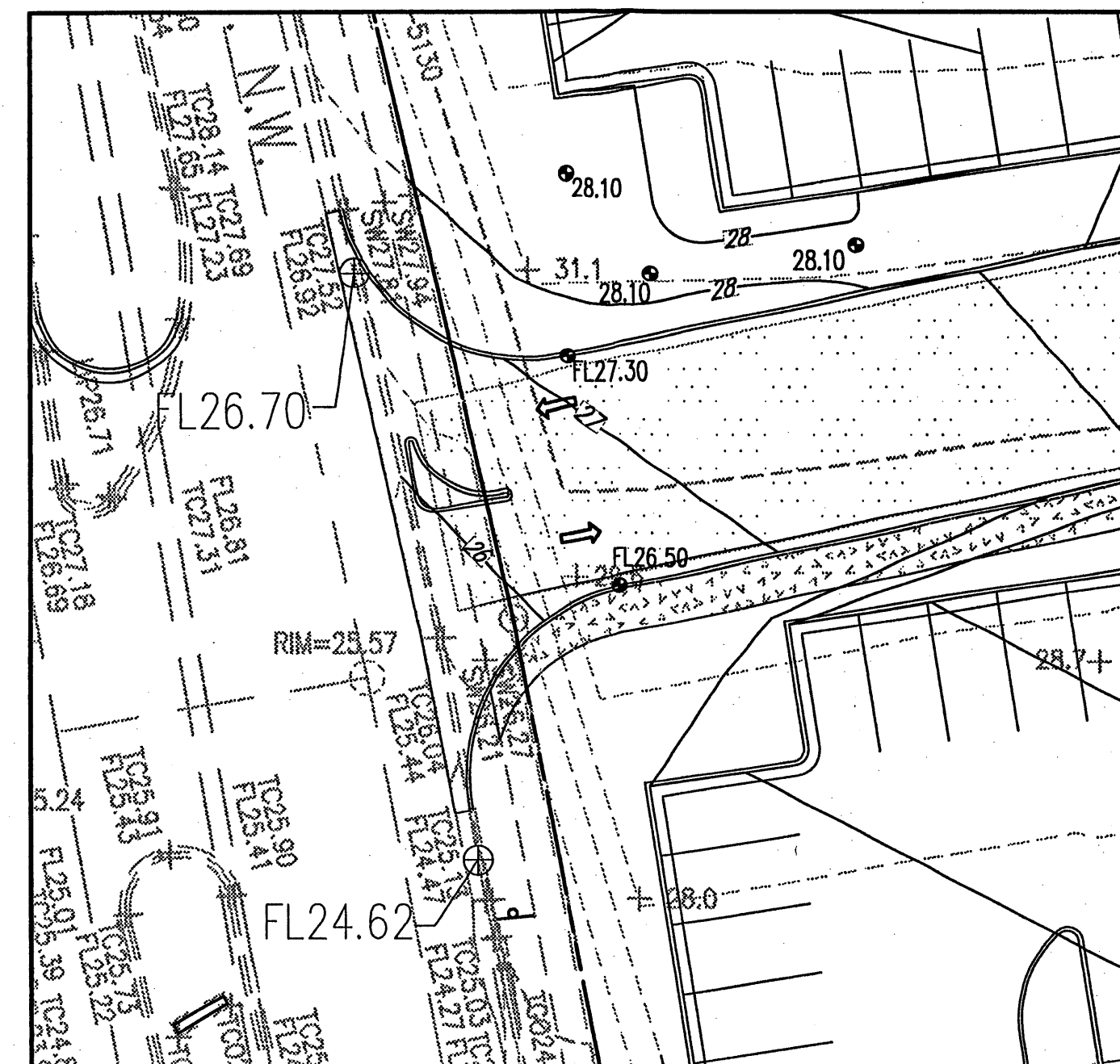
4 CLEANOUT DETAIL



1 DETAIL GRADING AT PLAZA ENTRANCE
Scale: 1:10



2 DETAIL GRADING AT EDUCATION PLACE ENTRANCE
Scale: 1:20



3 DETAIL GRADING AT RICHLAND HILLS ENTRANCE
Scale: 1:20

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fax

Site Development Plan for Building Permit

First Baptist Church of Albuquerque
4101 Pasco Del Norte NW
Albuquerque, NM 87114

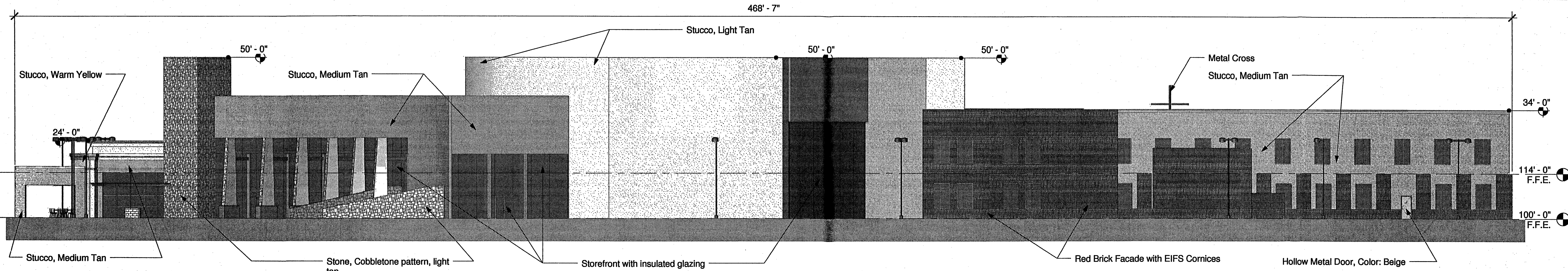
0618 05/29/07

GRADING DETAILS

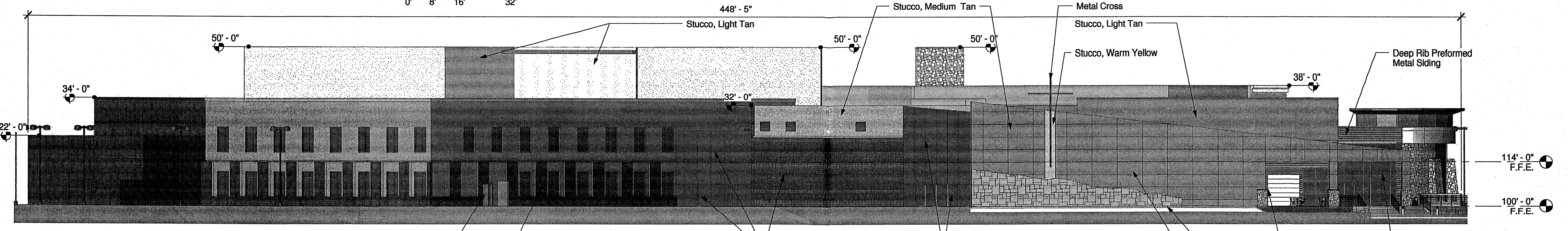


C103

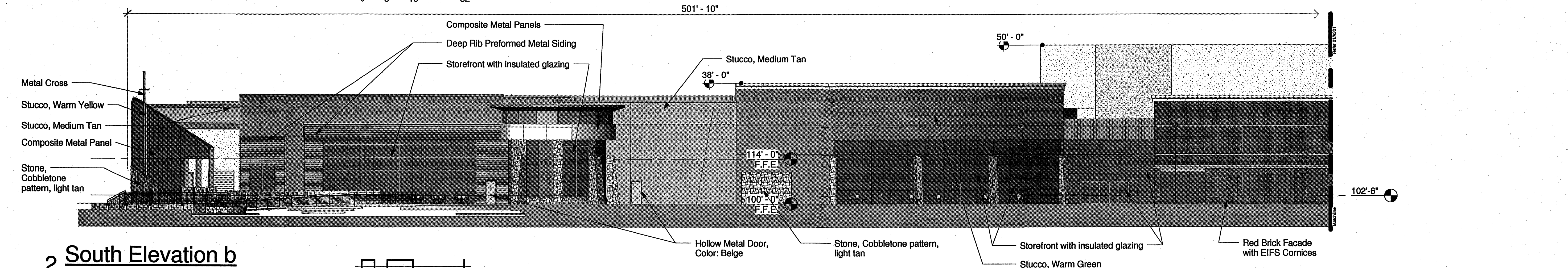
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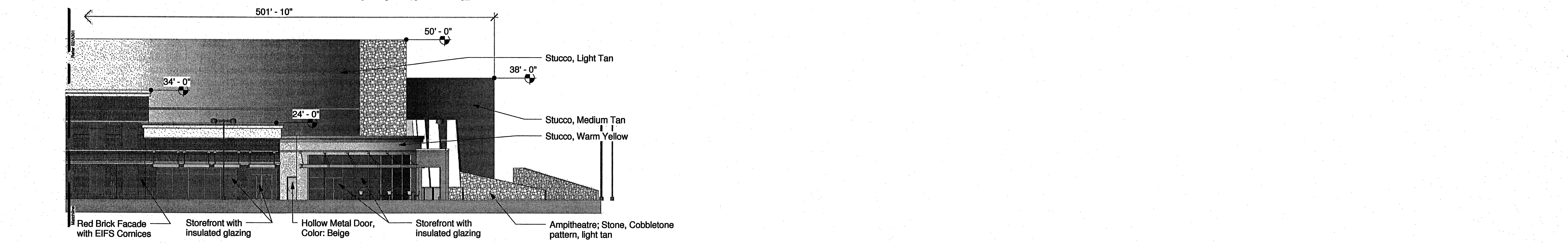
4 Northeast Elevation
SCALE: 1/16" = 1'-0"



3 West Elevation
SCALE: 1/16" = 1'-0"



2 South Elevation b
SCALE: 1/16" = 1'-0"



1 South Elevation a
SCALE: 1/16" = 1'-0"

3

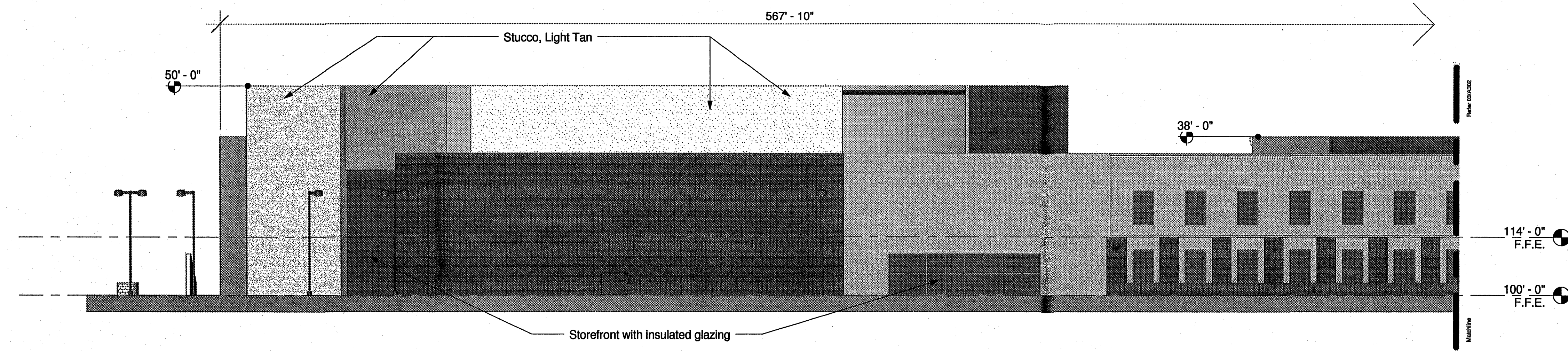
JJJ Architects
Herfield Halcomb, Inc. D.B.A. JH Architects
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Site Development Plan for Building
Permit
FBC Albuquerque
4101 Paseo Del Norte NW
Albuquerque, NM 87114

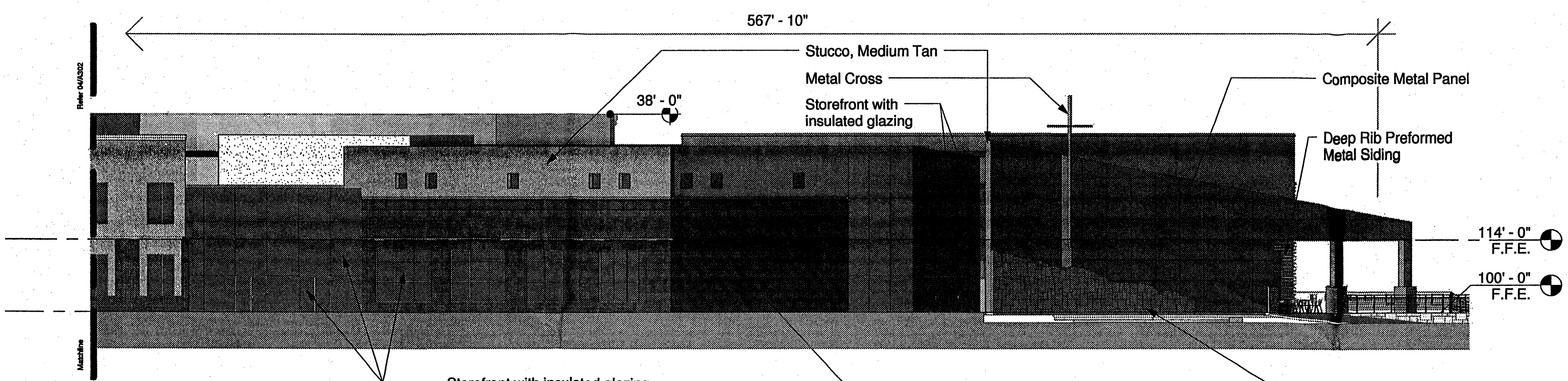
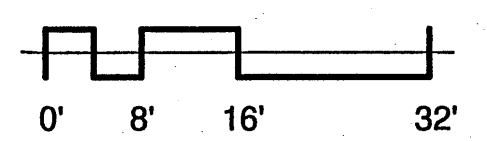
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DRB Submittal
Elevations - Final Build Out

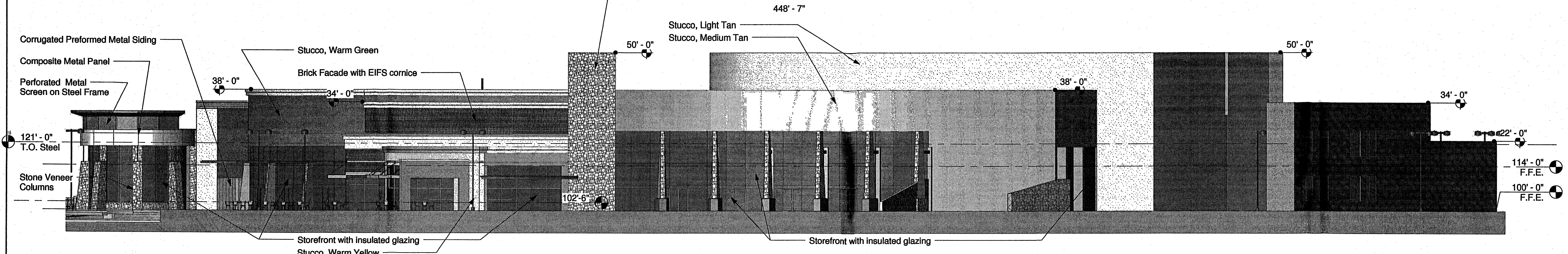
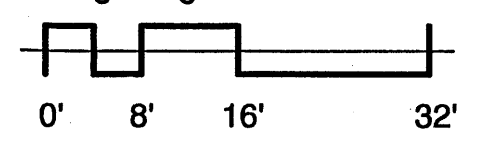
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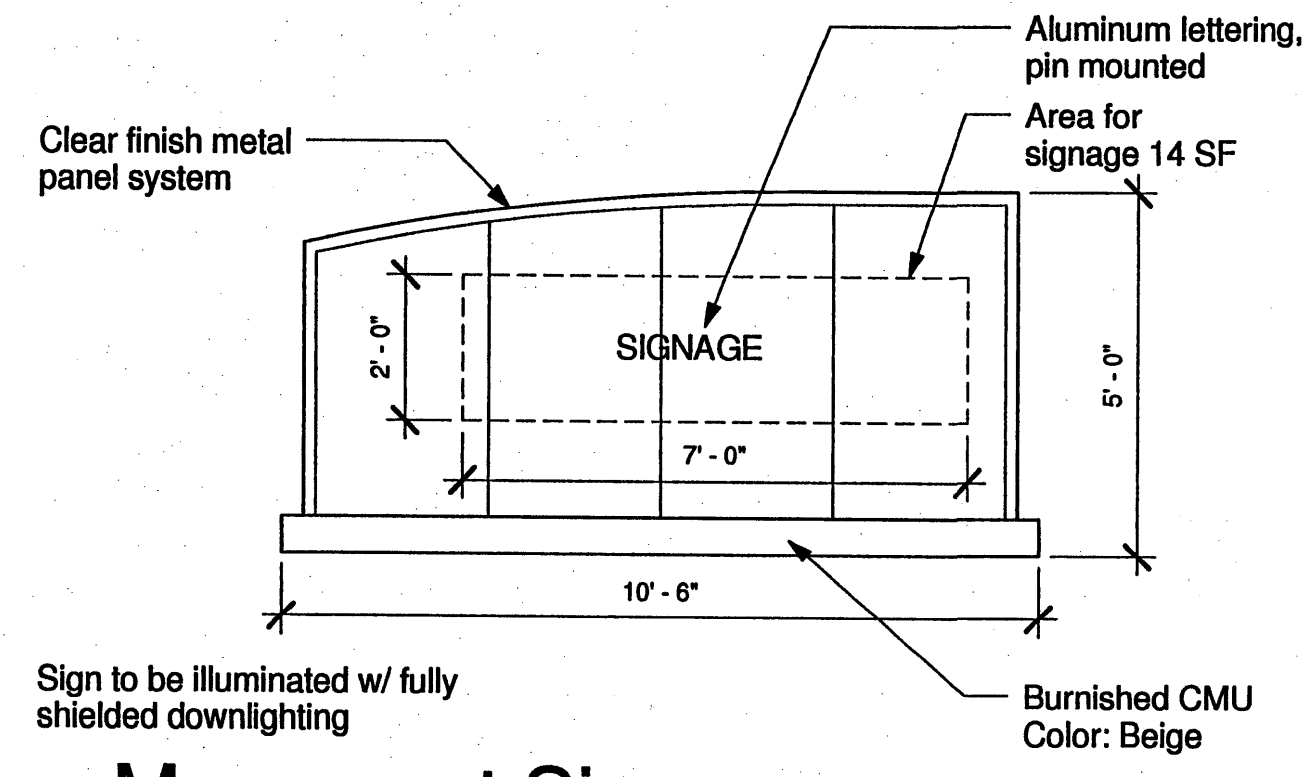
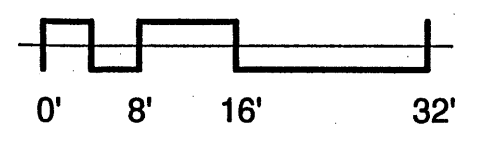
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SCALE: 1/16" = 1'-0"



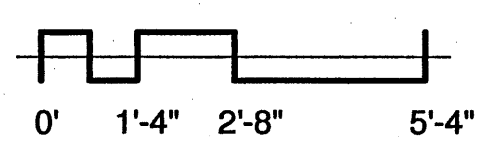
3 Northwest Elevation a
SCALE: 1/16" = 1'-0"



2 East Elevation
SCALE: 1/16" = 1'-0"



1 Monument Sign
SCALE: 3/8" = 1'-0"



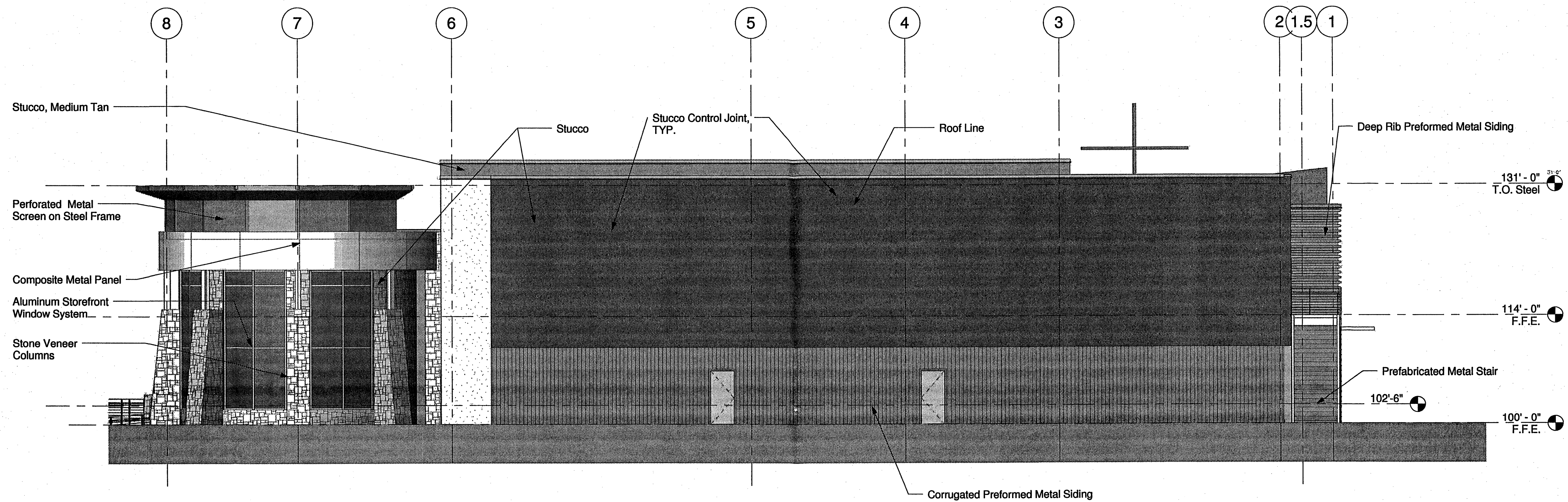
HH Architects
Haefield Halcomb, Inc. D.B.A. HH Architects
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fax 972-404-1036

Site Development Plan for Building
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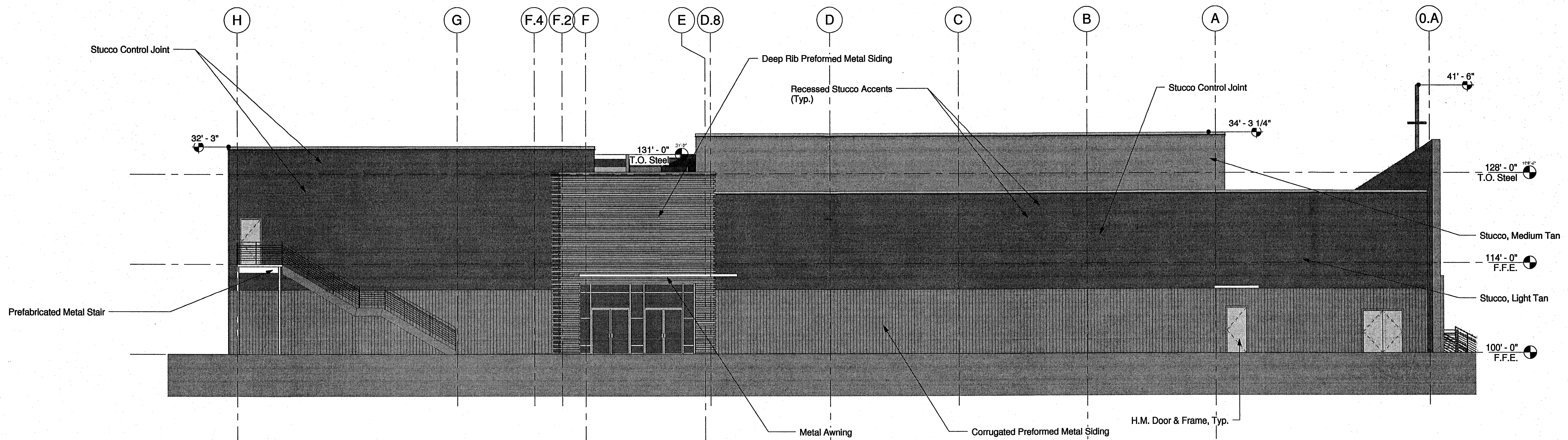
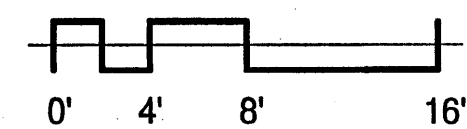
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DRB Submittal
Elevations - Final Build Out

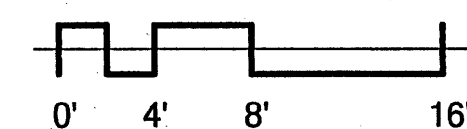
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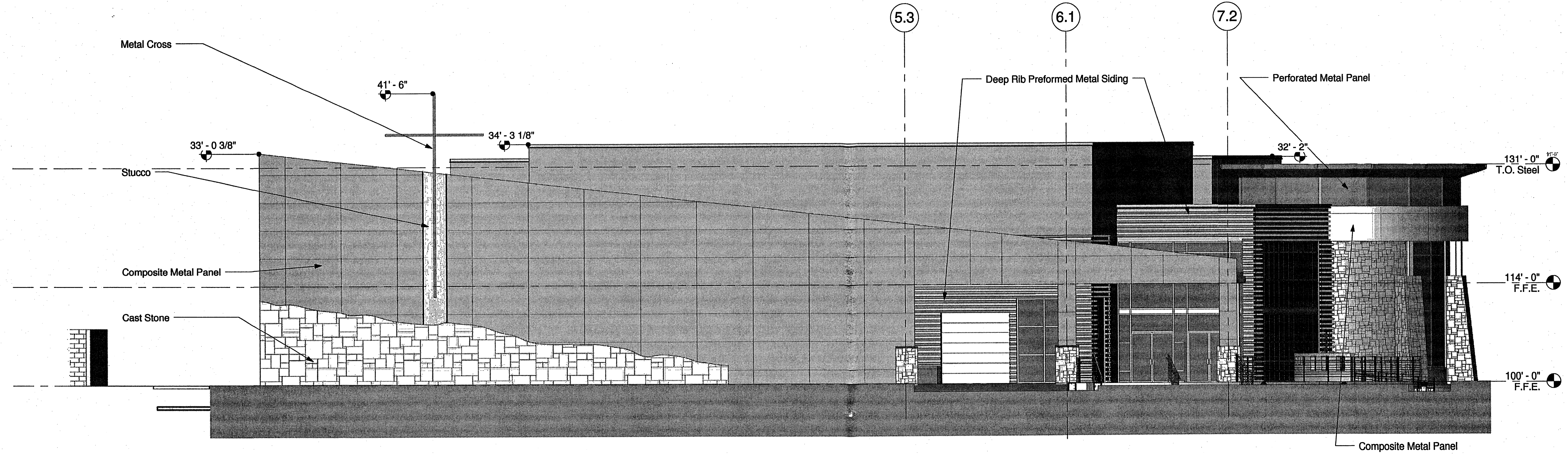


2 East Elevation - Phase 1
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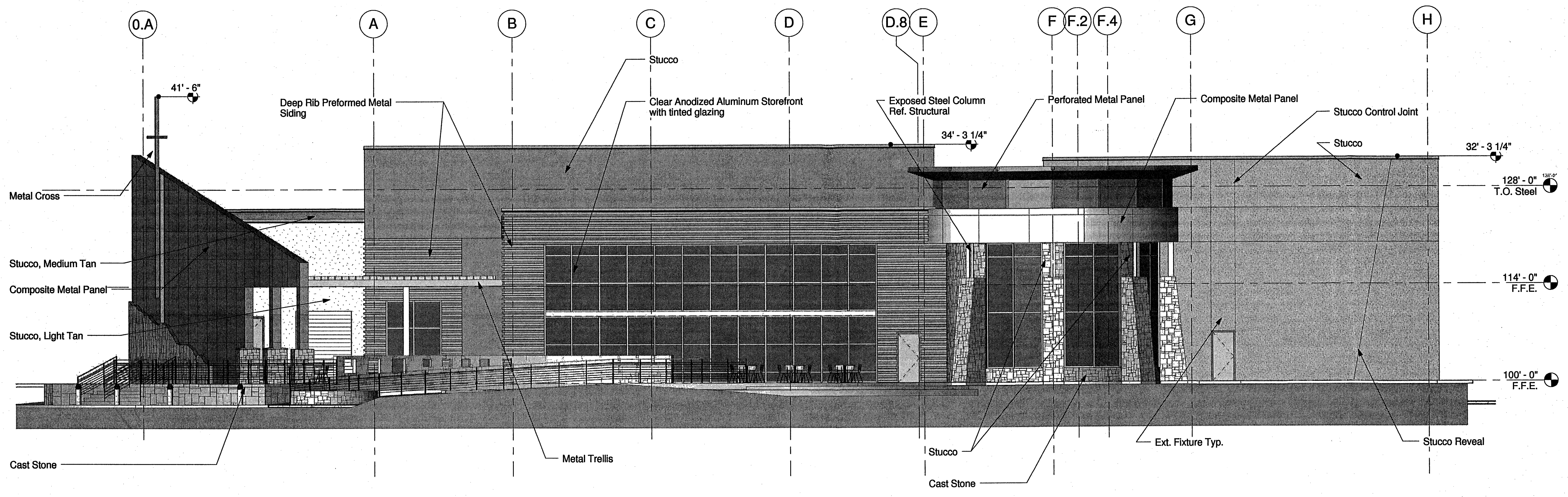
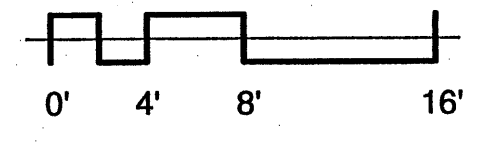


1 North Elevation - Phase 1
SCALE: 1/8" = 1'-0"

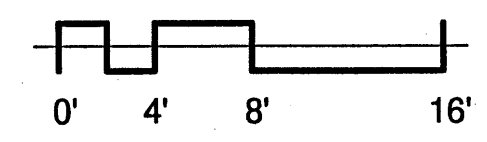




2 West Elevation - Phase 1
SCALE: 1/8" = 1'-0"



1 South Elevation - Phase 1
SCALE: 1/8" = 1'-0"



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DRB Submittal
Elevations - Phase 1

A312

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Site Development Plan for Building
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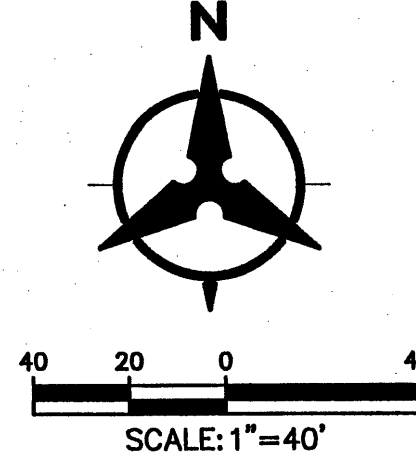
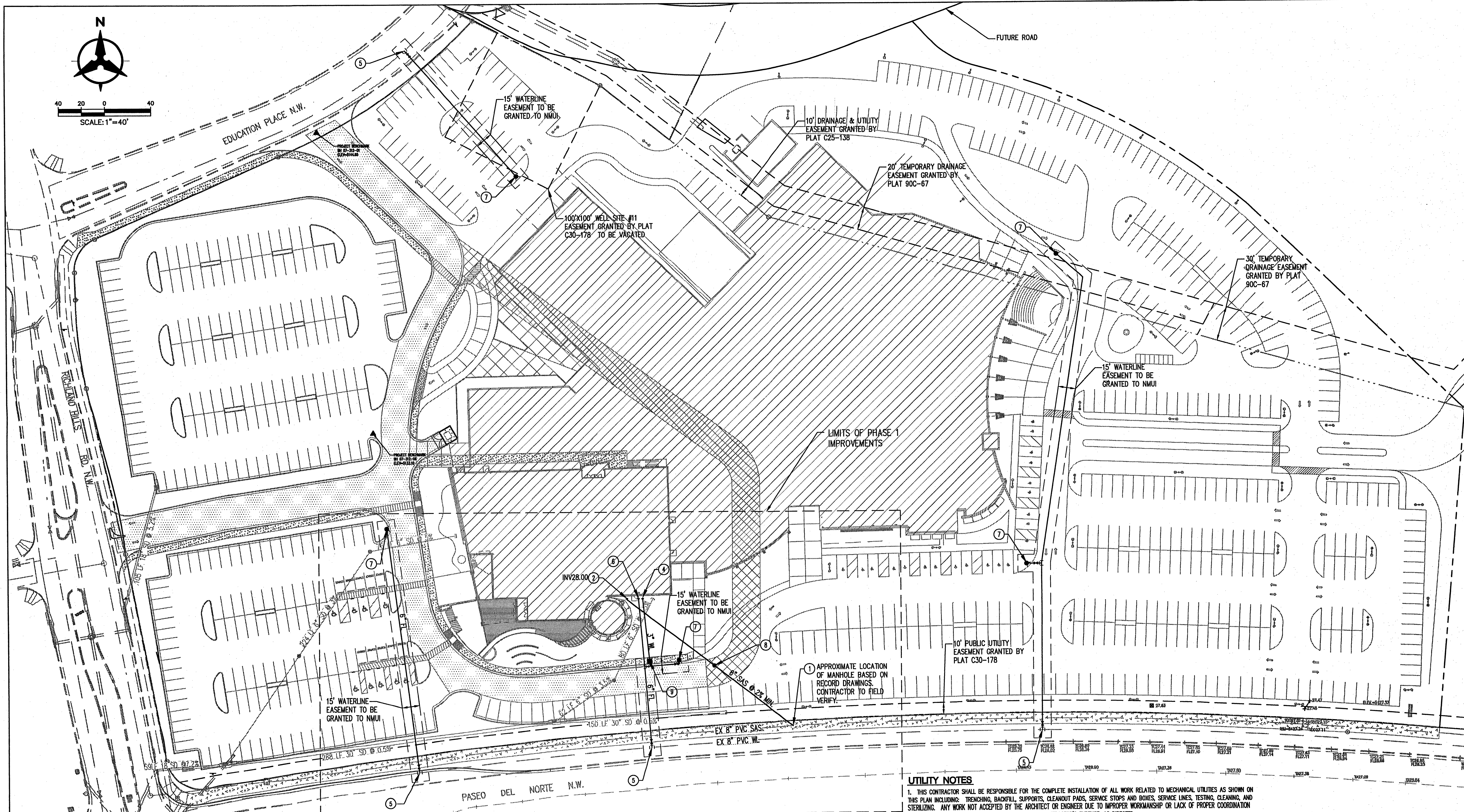
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UTILITY PLAN



Bohannon & Huston
Courtney I 7600 Jefferson St. NE Albuquerque, NM 87109-4335
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LEGEND

—	PROPERTY LINE	□	EXISTING INLET
- - -	EXISTING EASEMENT	- - -	PROPOSED EASEMENT
- - -	EXISTING SANITARY SEWER	- - -	PROPOSED SANITARY SEWER LINE
- - -	EXISTING WATER LINE	●	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING WATER METER	○	PROPOSED CLEANOUT
□	EXISTING CAP	—	PROPOSED WATER LINE
□	EXISTING VALVE	—	PROPOSED VALVE
□	EXISTING FIRE HYDRANT	—	PROPOSED FIRE LINE
○	EXISTING SANITARY SEWER MANHOLE	—	PROPOSED HYDRANT
○	EXISTING STORM DRAIN MANHOLE	—	PROPOSED CAP
		—	PROPOSED WATER METER

UTILITY KEYED NOTES

1. CONNECT NEW 6" SERVICE LINE TO EXISTING SAS MANHOLE AT INVERT ELEVATIONS SHOWN.
2. NEW SAS SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
3. CONNECT 3" WATER METER WITH BACKFLOW PREVENTION.
4. CONNECT NEW WATER SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
5. NEW PRESSURE CONNECTION TO EXISTING WATERLINE.
6. FIRE LINE FOR BUILDING SPRINKLER SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION.
7. INSTALL WATER VALVE AND FIRE HYDRANT PER COA STD. DWG. 2340.
8. INSTALL NEW SAS CLEANOUT PER DETAIL 4/C103.
9. 2" WATER METER BOX AND SERVICE CONNECTION.

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.
12. CONTRACTOR SHALL NOTIFY NMUI AND OBTAIN NMUI APPROVAL PRIOR TO BEGINNING WATERLINE CONSTRUCTION.
13. ALL WATERLINE CONSTRUCTION SHALL BE TO NMUI STANDARDS.