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 *THIS PLAN IS AN AMENDMENT TO THE EPC APPROVED SDPS ORIGINALLY PREPARED BY CANNADY PALACIOS ARCHITECTURE.

Site Plan for Subdivision
 Prepared for: Fountain Hills Plaza, LLC

Land Use Summary

Tract	Acres	Max Bldg Height	Max Buildable	Allowable Uses
A-1-A	2.85	52'-0"	30 DU's / Acre	Residential
B-1-A	8.95	32'-0"	.35 FAR	Retail / Restaurant / Office
B-1-B	3.86	32'-0"	.35 FAR	Retail / Restaurant / Office
C-1-A	2.30	52'-0"	.35 FAR	Hotel / Retail
C-1-B	3.01	32'-0"	.35 FAR	Restaurant / Retail
D-1-A	5.20	32'-0"	.35 FAR	Retail / Restaurant / Office
10-A-2	1.27	32'-0"	.25 FAR	Restaurant / Retail
6-A-1	1.44	N/A	N/A	N/A

Note:
 All buildings are limited to 3.5 stories as per Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit 'A', City of Albuquerque Zoning and Special Use Parameters approved by City Council May 20th, 1985.

Existing Site Data
 Legal Description:
 Lots 2 & 3 of Block R, Lot 10-A-2 of Block D, Lot B-1, Lot C-1, Lot D-1, Lot 6-A-1, Albuquerque West, Unit 1.
 Acreage: 31.02
 Existing Land Use: Undeveloped

Current Zoning:
 SU-1 PDA to include C-3 Uses (Permissive & Conditional)
 Council Bill # F/S O-186, Enactment No. 33-1985, Exhibit 'A' sets forth additional parameters.

Future Site Development Plans for Building Permit are delegated to the Development Review Board as specified in City Council Bill no. F/SO - 186, Enactment No. 33-1985. All future Site Development Plans for Building Permit shall indicate the Internal Focal Area, where applicable.

Project Number: 1003445
 Application Number: 07DRB-70053

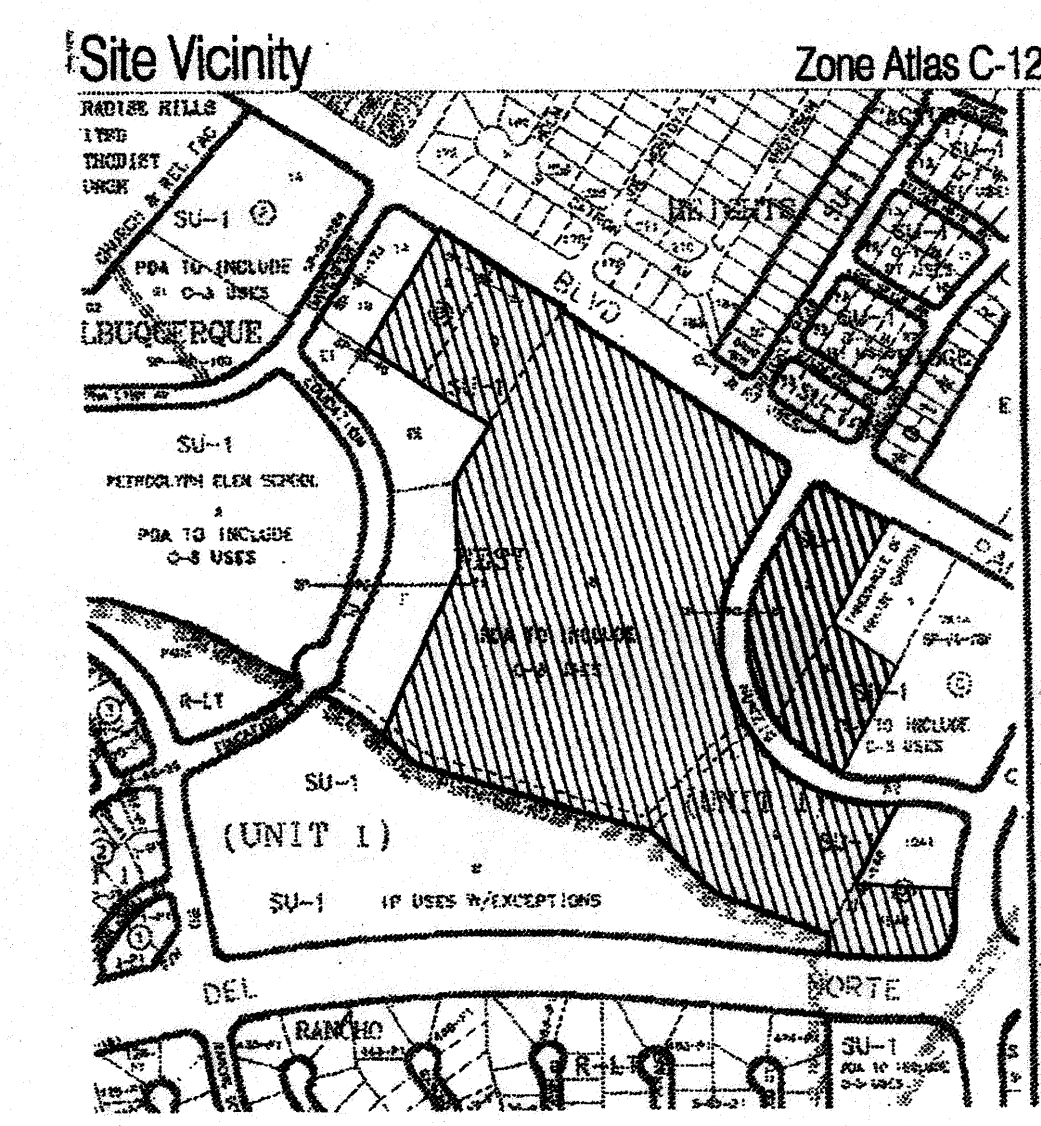
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated July 18, 2007, and the Findings and Conditions in the Official Notification of Decision are satisfied.
 *This also incorporates the conditions from EPC's decision dated August 19, 2005, 05EPC-00022.
 Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	6-26-07
Public Engineering, Transportation Division	Date
<i>[Signature]</i>	6-20-07
Water Utility Department	Date
<i>[Signature]</i>	6/20/07
Parks and Recreation Department	Date
<i>[Signature]</i>	6/20/07
City Engineer	Date
N/A	
* Environmental Health Department (conditional)	Date
N/A	
Solid Waste Management	Date
<i>[Signature]</i>	6-27-07
DRB Chairperson, Planning Department	Date

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DEVELOPER Fountain Hills Plaza LLC



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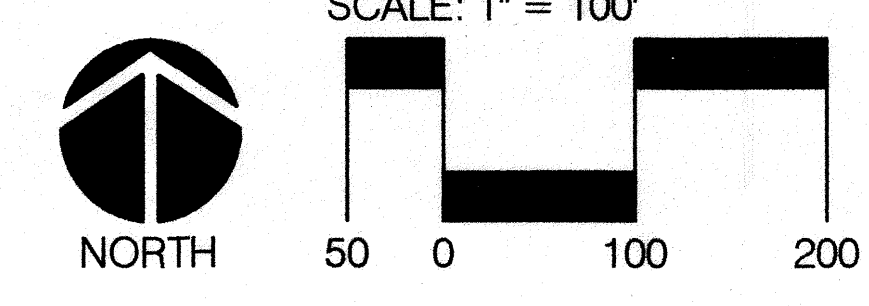
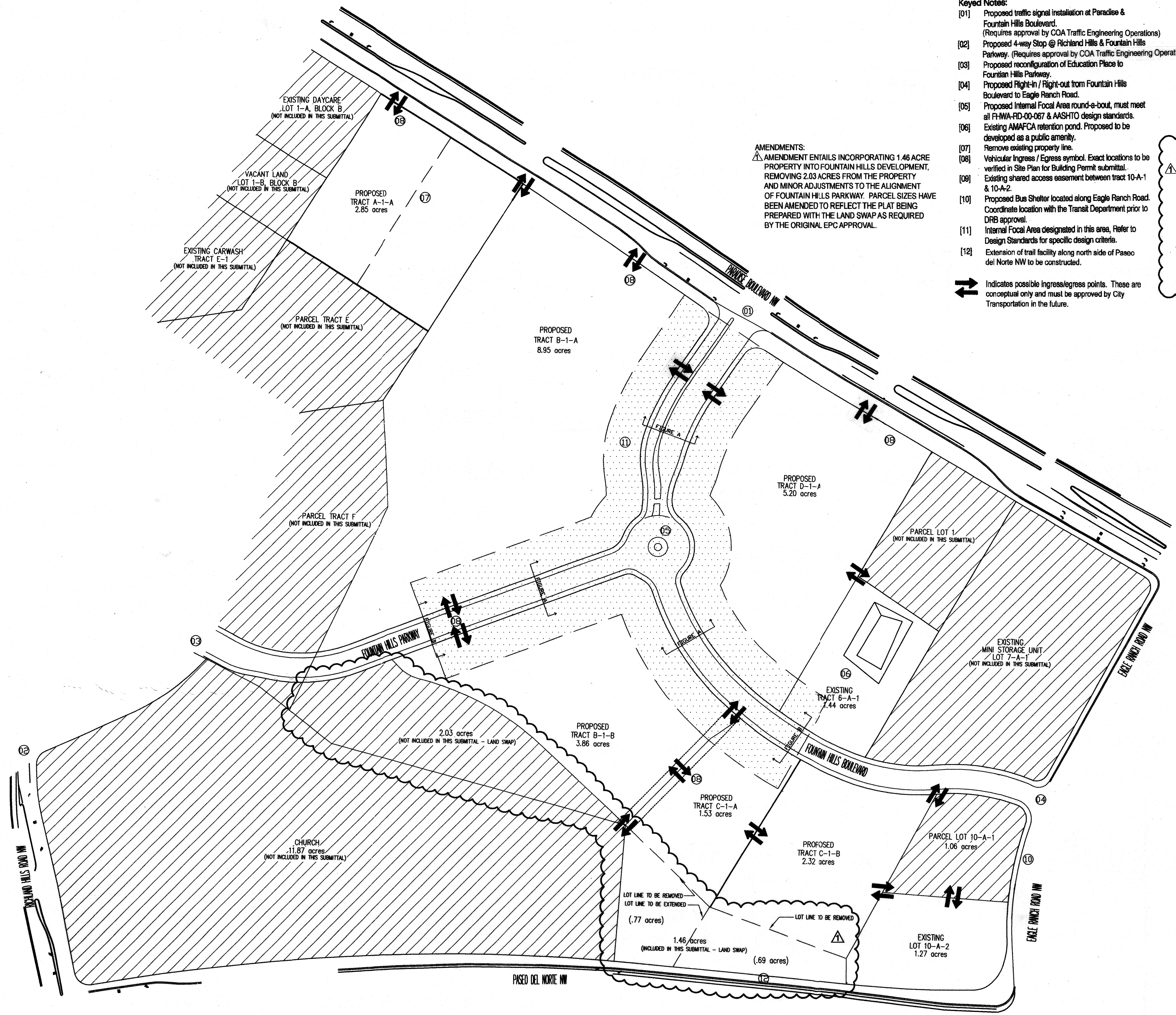
DRB SUBMITTAL

DATE ISSUED • 6/11/07
 PROJECT ID • Fountain Hills

Site Plan
 For Subdivision
A1

- Keyed Notes:**
- [01] Proposed traffic signal installation at Paradise & Fountain Hills Boulevard. (Requires approval by COA Traffic Engineering Operations)
 - [02] Proposed 4-way Stop @ Richland Hills & Fountain Hills Parkway. (Requires approval by COA Traffic Engineering Operations)
 - [03] Proposed reconfiguration of Education Place to Fountain Hills Parkway.
 - [04] Proposed Right-in / Right-out from Fountain Hills Boulevard to Eagle Ranch Road.
 - [05] Proposed Internal Focal Area round-a-bout, must meet all FHWA-RD-00-087 & AASHTO design standards.
 - [06] Existing AMAFCA retention pond. Proposed to be developed as a public amenity.
 - [07] Remove existing property line.
 - [08] Vehicular Ingress / Egress symbol. Exact locations to be verified in Site Plan for Building Permit submittal.
 - [09] Existing shared access easement between tract 10-A-1 & 10-A-2.
 - [10] Proposed Bus Shelter located along Eagle Ranch Road. Coordinate location with the Transit Department prior to DRB approval.
 - [11] Internal Focal Area designated in this area. Refer to Design Standards for specific design criteria.
 - [12] Extension of trail facility along north side of Paseo del Norte NW to be constructed.
- Indicates possible ingress/egress points. These are conceptual only and must be approved by City Transportation in the future.

AMENDMENTS:
 AMENDMENT ENTAILS INCORPORATING 1.46 ACRE PROPERTY INTO FOUNTAIN HILLS DEVELOPMENT, REMOVING 2.03 ACRES FROM THE PROPERTY AND MINOR ADJUSTMENTS TO THE ALIGNMENT OF FOUNTAIN HILLS PARKWAY. PARCEL SIZES HAVE BEEN AMENDED TO REFLECT THE PLAT BEING PREPARED WITH THE LAND SWAP AS REQUIRED BY THE ORIGINAL EPC APPROVAL.



Design Guidelines & Standards

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Fountain Hills mixed-use development. These guidelines address the issues of streetscape, road design, pedestrian circulation, setbacks, parking, lighting, signage, site layout, architecture, landscape and transit opportunities. Each category is organized in terms of Standards (items that are required), and Guidelines (items that are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Guidelines & Standards, the more restrictive requirement shall be applicable.

The Design Standards shall be used to facilitate the design of buildings which respect the natural conditions of the site, maintain and highlight the spectacular views of the Sandia and Manzano Mountains and to provide a clustered building design that breaks up large parking areas into an integrated pedestrian center.

Site Plan Submittals:

Site Development Plans for Building Permit for all Tracts shall be reviewed and approved by the Development Review Board (DRB) in accordance with the provisions set forth in Council Bill # F/S O-186, Enactment No. 33-1965, Exhibit 'A', City of Albuquerque Zoning and Special Use Parameters approved by City Counsel May 20th, 1985.

Site:

The proposed site consists of approximately 31 acres of undeveloped land bounded by Paradise Blvd to the North, Eagle Ranch Rd to the East, Paseo Del Norte to the South & Education Pl to the West.

Land Use Concept:

The land use concept is an integrated, Mixed-use Office / Commercial / Retail & Service Center, adjacent to a Designated Community Activity Center per the City of Albuquerque Comprehensive Plan. The character developed within the center is a pedestrian friendly environment consisting of areas for displays & seating. The design criteria encourages the use of small and large scale plazas and patios to create outdoor public / private space. The street layout encourages this type of activity by providing an Internal Focal Area around which buildings are oriented, providing slower moving pedestrian friendly traffic conditions in high congestion areas. On-street parking, pedestrian nodes and an integrated internal street system will work toward creating a community identity.

Proposed Uses:

C-3 Permissive & Conditional uses including package liquor for off-site consumption, unless otherwise restricted below.

Prohibited Uses:

- Adult Amusement Establishment or Adult Store
- Bottling
- Mfg., assembling, treating, repairing, or rebuilding of products
- Printing, publishing, lithography, or blueprinting
- Sheet metal working
- Upholstering
- Contractor's yard
- Equipment rental, sales, display and repair
- Antenna (without height limitation)
- Operative contractor's equipment and heavy farm equipment sales
- Railroad right-of-way and incidental facilities
- Outdoor building material storage or sales unless incidental to retail sales and adequately screened
- Specific uses restricted by Council Bill # F/S O-186, Enactment No. 33-1965, annexation agreement
- Automotive Engine Mfg.
- Cold Storage Plant
- Welding
- Ice Plant
- Tire recapping or re-treading
- Warehousing
- Bulk Fuel Storage & Sales
- Kennel
- Auto Dismantling
- On-Site Dry Cleaning Plant

Adjacent Land Uses (Zoning):

- North - Single Family Residential (R-1, SU-1 & RT)
Multi-Family Residential Apartments (SU-1, C-2 & R-2)
- South - Undeveloped Land (SU-1 IP w/ Exceptions per the Riverview Sector Development Plan)
Single Family Residential (R-LT)
- East - Commercial (SU-1 PDA to include C-3 Uses)
Multi-Family Residential Apartments (SU-1)
- West - Petroglyph Elementary School (SU-1 PDA to include C-3 Uses)
Commercial (SU-1)

Site/Edge Design

Standards

- Parking provided adjacent to Paradise Boulevard, Eagle Ranch, and Paseo Del Norte shall be screened by short walls and/or landscaping to a height of 3 feet.
- A 6 foot sidewalk shall be provided within these right-of-ways to provide pedestrian access.
- Landscape buffers shall include trees spaced a minimum of 30 feet on center and include a minimum of 25% coniferous trees.
- The Internal Focal Area (Figure G) shall be defined by a vehicular round-a-bout and parallel parking within the public right-of-way. The area immediately adjacent to the round-a-bout shall be constructed of materials that distinguish it from typical roadway materials, such as integrally colored and/or stamped concrete, brick forms or pavers of various sizes (to be approved through DRC and Street Maintenance).
- A centrally located round-about shall be designed to create an urban space where interaction can occur. (Figure G) Provide amenities to cater to pedestrians, bicyclists, transit users and motorists. (i.e. seating, bicycle parking, outdoor display, newspaper kiosks, etc.
- The Project edge along Paradise Boulevard shall include at least a 10 foot landscape setback from property line to provide a buffer to the adjacent residential neighborhoods.
- Street edges adjacent to Tract A-1-A shall utilize a combination of walls, decorative fencing, and landscaping to provide for a secure residential environment. The material treatments shall be compatible with adjacent buildings and consist of materials specified in the Perimeter Walls & Screening section provided in this document.

Public Right-of-Way

All Access Points provided on the site plan are for illustrative purposes only and are subject to change.

Standards

- The Site Plan shall comply and be designed per DPM Standards.
- The Internal Focal Area is proposed as a 62 foot public right-of-way as shown in Figure A & Figure D.
- The streets outside of the Internal Focal Area are proposed as a 60 foot public right-of-way as shown in Figure B.

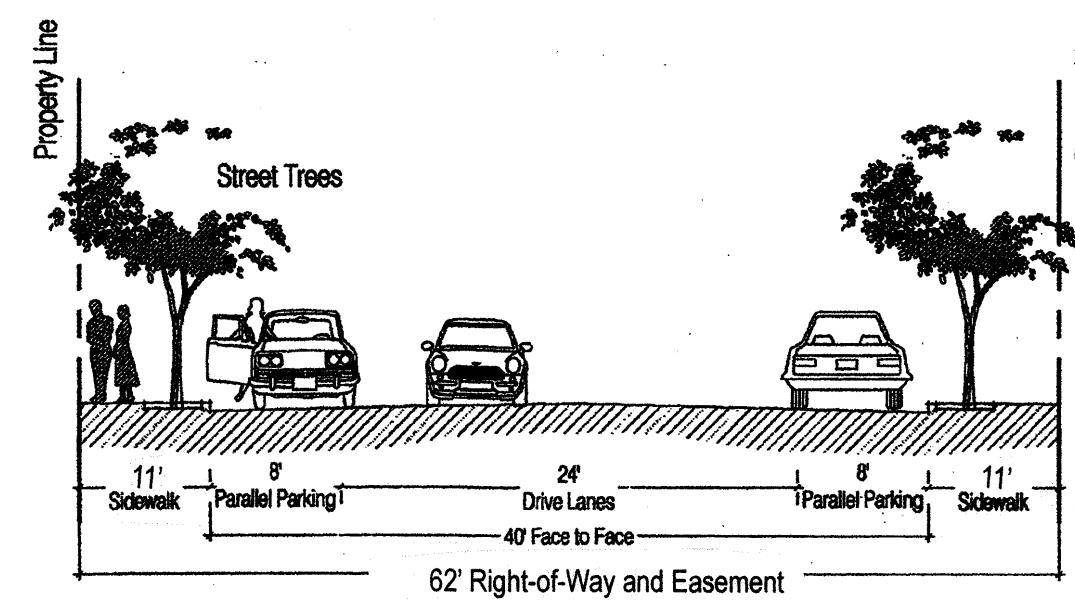


Figure A: Internal Focal Area Minimum Street Section

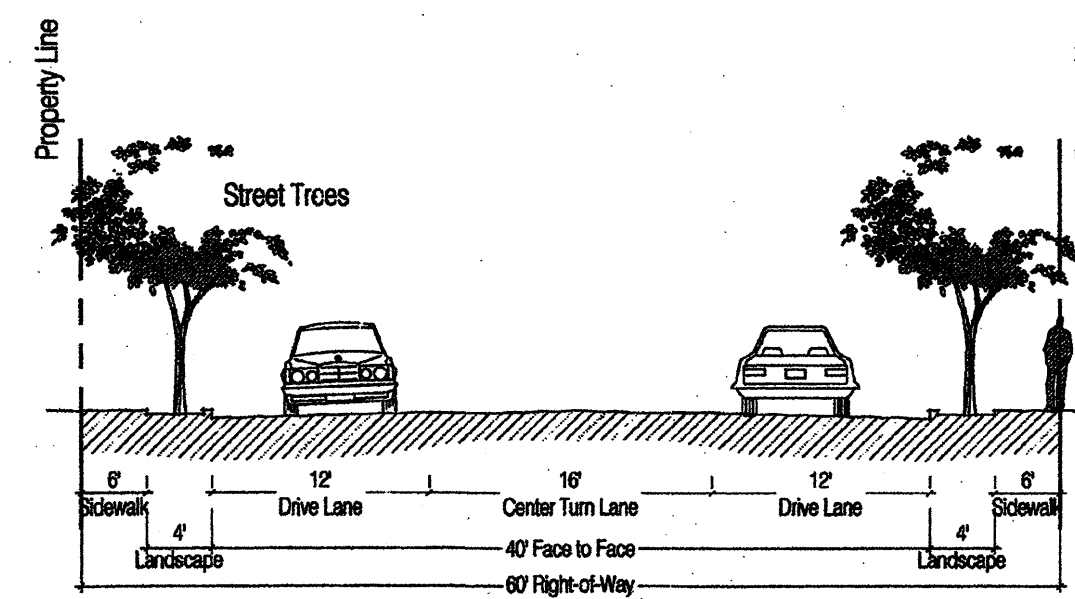


Figure B: Right-of-Way Minimum Street Section

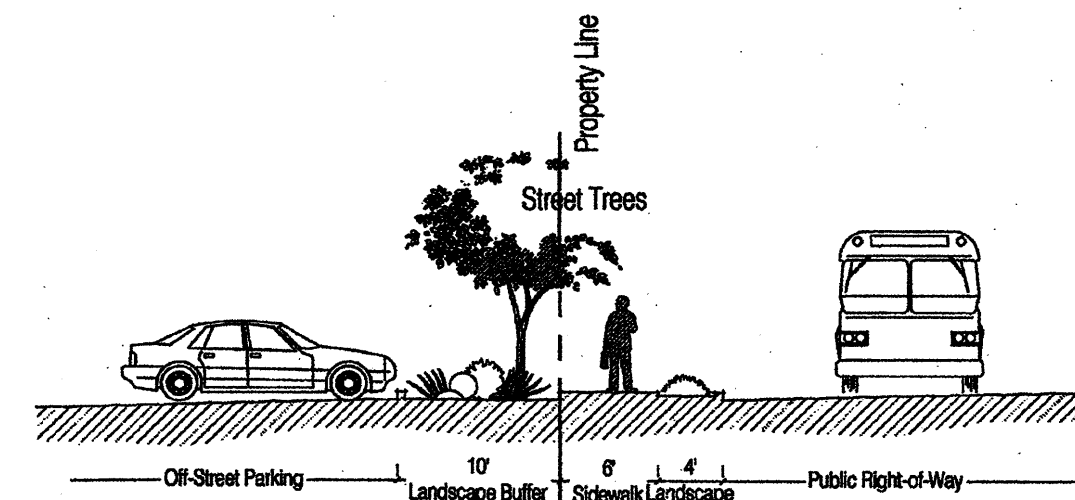


Figure C: Off-Street Parking Minimum Section

- All intersections shall have pedestrian crosswalks that are a minimum of 6 feet wide. These crosswalks shall be constructed of materials that distinguish it from the roadway materials, such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Provide cross access to all properties adjacent to the proposed development.
- Fountain Hills Drive shall provide access from Fountain Hills Boulevard (Nunzio Avenue) to Parcel H-4.
- The round-a-bout shall be designed per FHWA & AASHTO Standards, including on-street parking in and around this area.
- Fountain Hills Boulevard (Nunzio Avenue) & Eagle Ranch shall be restricted to a Right-In Right-out intersection.

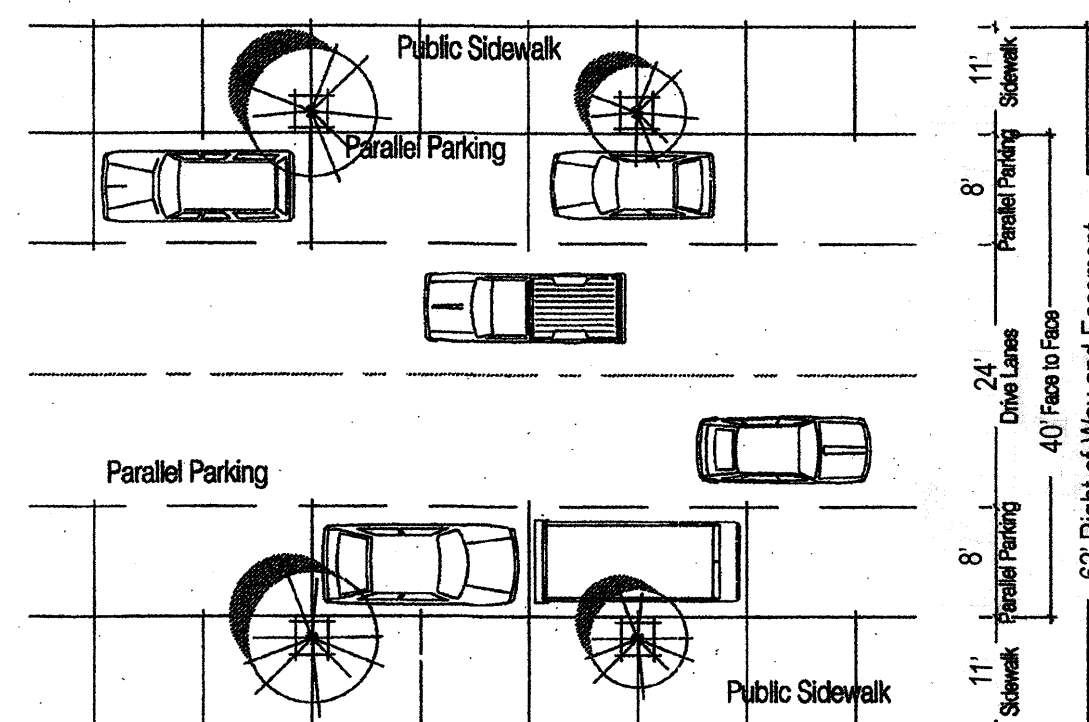


Figure D: Internal Focal Area Street Plan

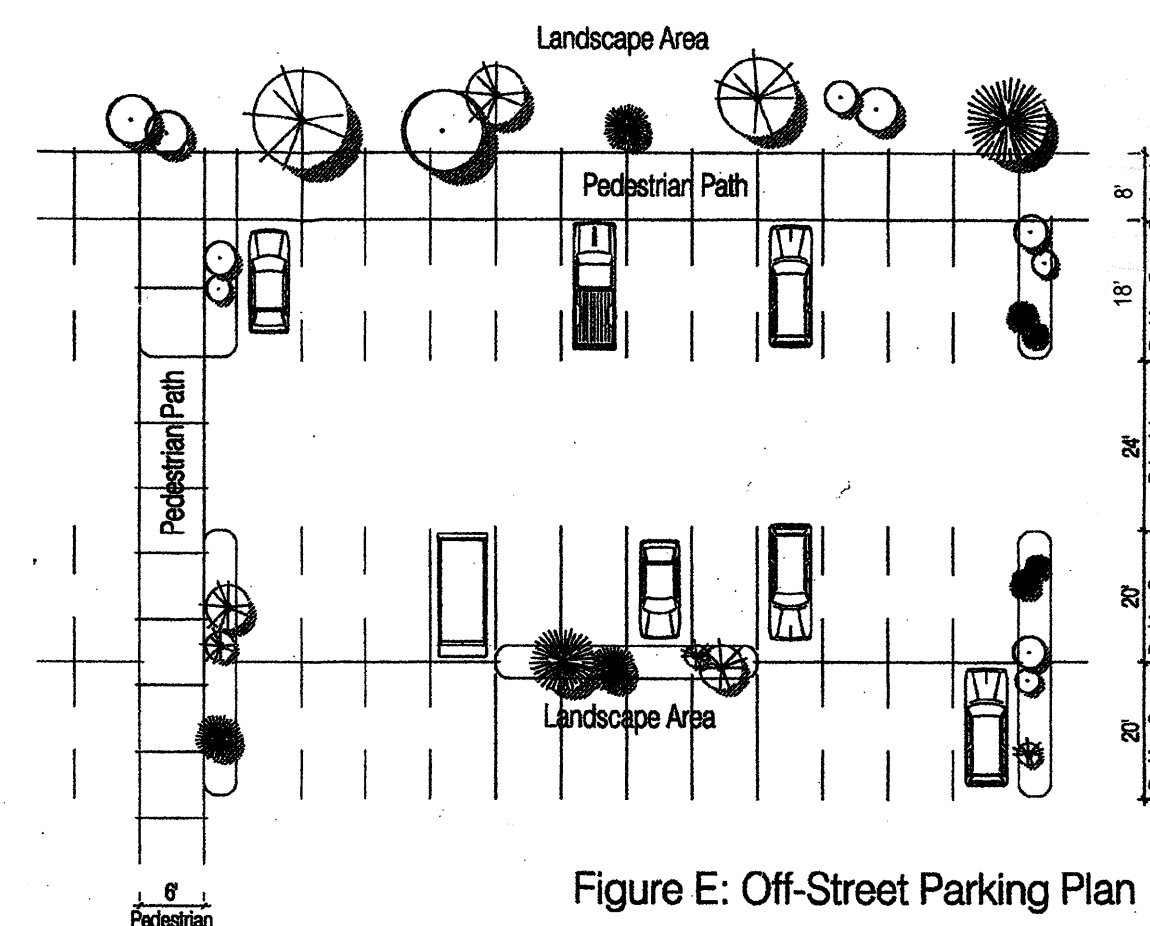


Figure E: Off-Street Parking Plan

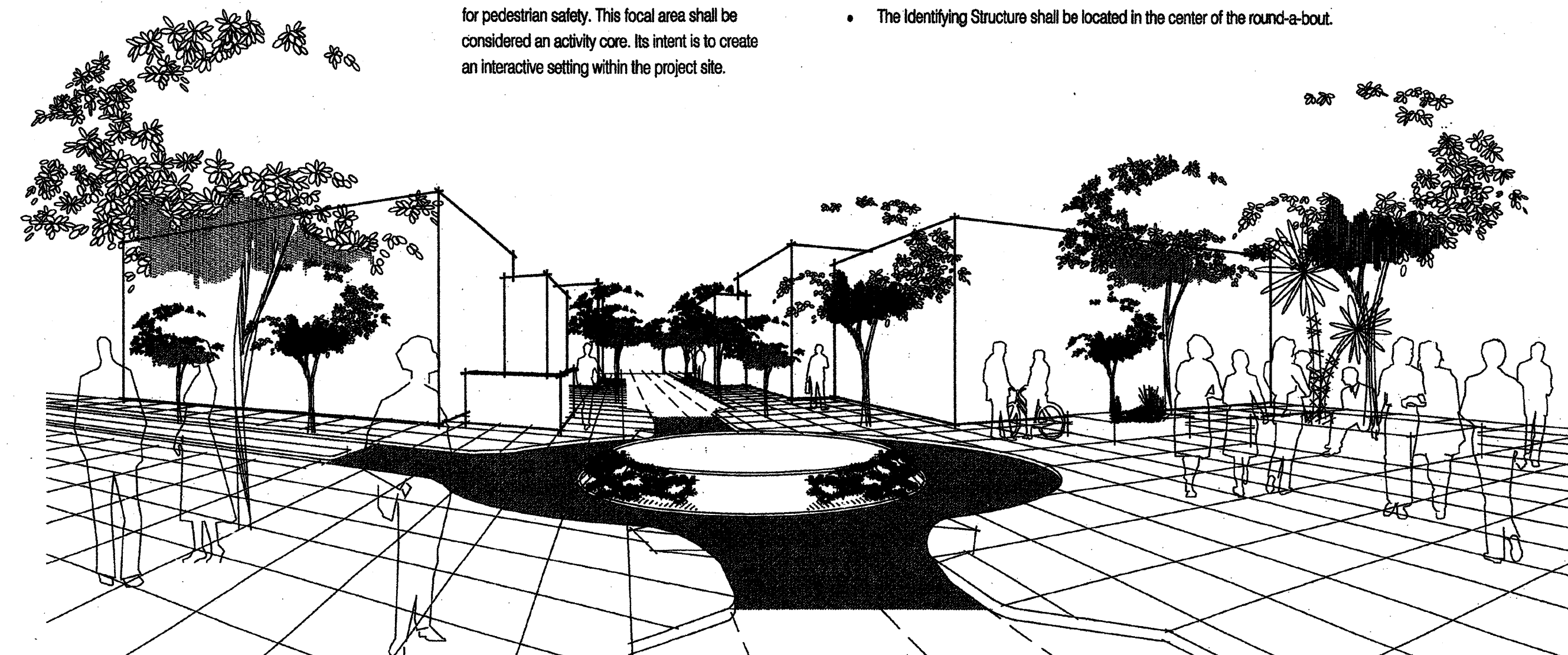
Off-Street Parking

In order to support the goals for the property regarding pedestrian accessibility, careful attention shall be paid to the parking design. An effort shall be made to lessen the impact of parking facilities on the land through landscaping, site location and arrangement. In order to lessen the visual impact of parking areas, parking facilities shall be broken up into a series of smaller areas.

Standards

- All Off-Street parking shall comply with Section 14-16-3-1 of the Comprehensive Zoning Code.
- The maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.
- Parking areas shall be designed to include a 6 foot wide pedestrian link to buildings. This linkage shall be constructed of materials that distinguish it from the roadway materials, such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Parking areas shall be setback a minimum of 10 feet from adjacent property lines and/or private drive easements.
- Barrier curbs shall be provided around all parking areas in order to protect landscaping from vehicles. These barriers shall provide water runoff openings to allow surface drainage into the landscaped areas.
- Parking shall be distributed among several parking areas on each site to limit large expanses of parking lots. Parking shall be placed behind buildings or be screened from surrounding neighborhoods by means of walls and/or landscaping. Walls shall be architecturally compatible with the surrounding buildings.
- Bicycle parking shall be provided pursuant to City Zoning Code. To encourage non-vehicular travel, provisions for convenient on-site bicycle lockers and/or secure bicycle storage areas shall be provided adjacent to building entrances.
- Off-street parking areas shall not be permitted adjacent to Fountain Hills Boulevard (Nunzio Avenue) or Fountain Hills Parkway within the Internal Focal Area.
- Motorcycle parking shall be provided at 2 spaces per building. The motorcycle parking is not required to be located next to the building.

The Internal Focal Area shall be designed for the pedestrian. Vehicular circulation shall be slowed for pedestrian safety. This focal area shall be considered an activity core. Its intent is to create an interactive setting within the project site.



Note

The Internal Focal Area is intended to provide a pedestrian friendly environment in which vehicular traffic could be dispersed to alternative routes.

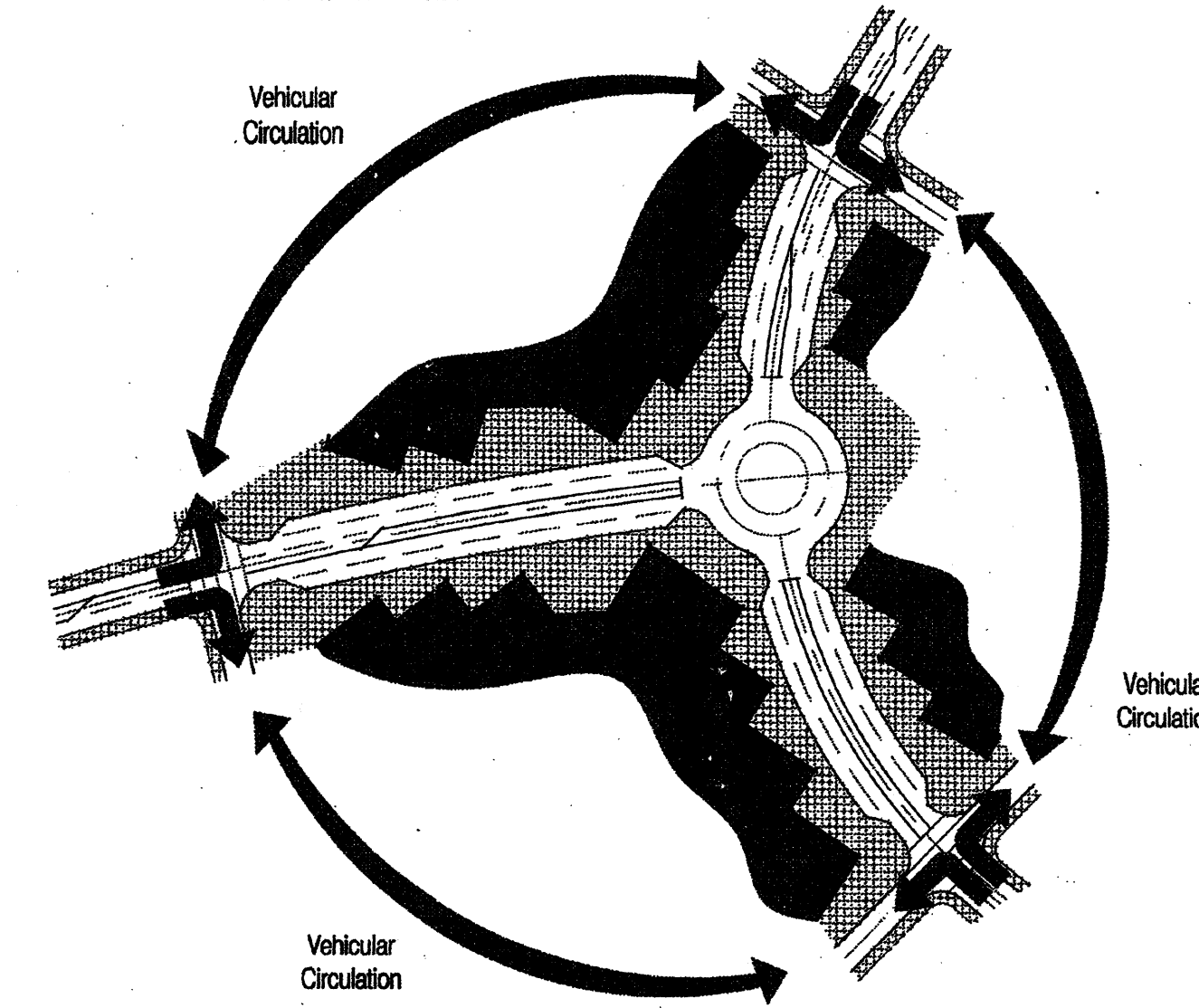


Figure F: Alternative Traffic Circulation

Building Setbacks

The following setback requirements serve to create a variety of pedestrian experiences: an urban formal experience throughout the Commercial / Retail tracts; and an informal experience throughout the Office / Multi-family Residential tracts.

Standards

General

- All building setbacks shall be compliant with the C-3 zoning requirements provided in the City of Albuquerque Comprehensive City Zoning Code and the following:
 - Building setbacks adjacent to Fountain Hills Boulevard (Nunzio Avenue) and Fountain Hills Parkway within the Internal Focal Area shall be a minimum of 15 feet and a maximum of 20 feet from the property line to produce an urban streetscape. Building overhangs, patio walls, and patios / plazas and other private amenities intended for use by patrons shall be permitted within this setback to allow for public and/or private nodes for building tenants.
 - Building setbacks adjacent to Paradise Boulevard and Fountain Hills Boulevard outside the Internal Focal Area shall be a maximum of 85 feet. The intent is to provide limited off-street parking within this setback, while avoiding large expanses of off-street parking adjacent of the street. Building overhangs, patio walls, and patios/plaza shall be permitted within this setback to allow for private and/or public areas.

Public Art

The center of the Internal Focal Area shall provide an identifying structure that enhances the design of the development. This structure shall be Public Art, or a Fountain Element to provide an ambience within the Internal Focal Area.

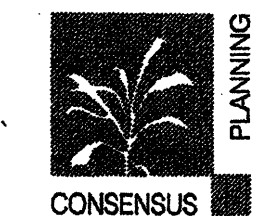
Standards

- The Identifying Structure shall comply with the City's Zoning Regulations and any applicable City Ordinances.
- The Identifying Structure shall be maintained by the building Owner's (Commercial Owner's Association).
- The Identifying Structure shall be located in the center of the round-a-bout.

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DRB SUBMITTAL

DATE ISSUED • 6-11-07
PROJECT ID • Fountain Hills

Site Plan For Subdivision

A2

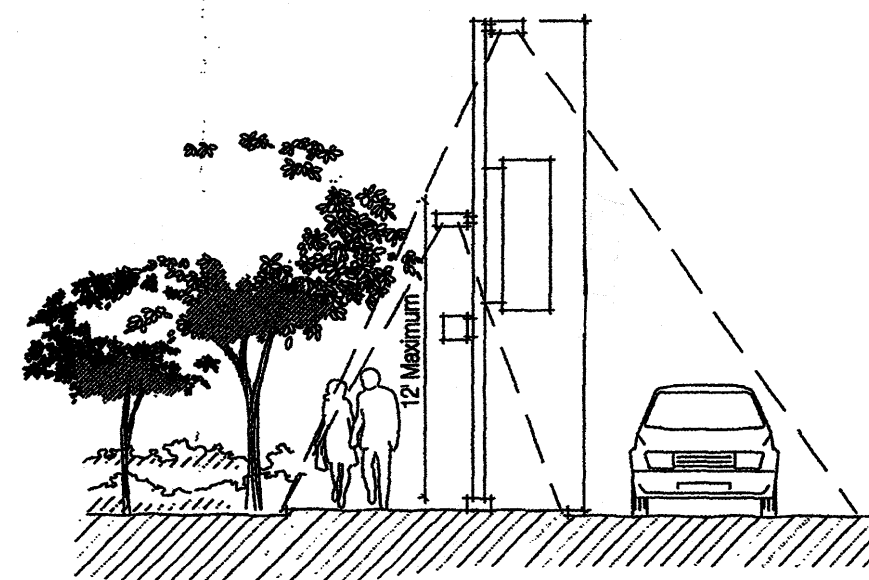


Figure H: Public Right-of-Way Lighting
(All street lights shall comply with the City of Albuquerque requirements.)

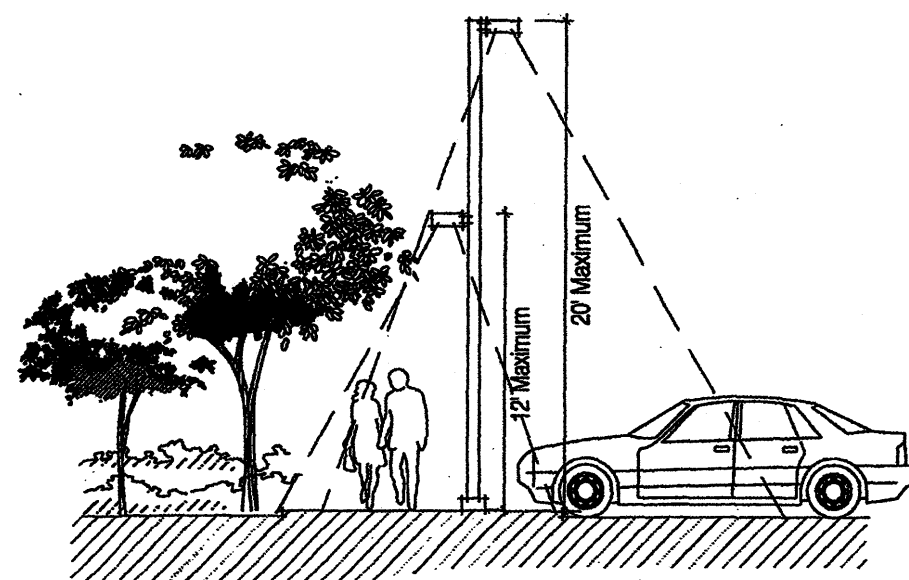


Figure I: Parking / Pedestrian Lighting

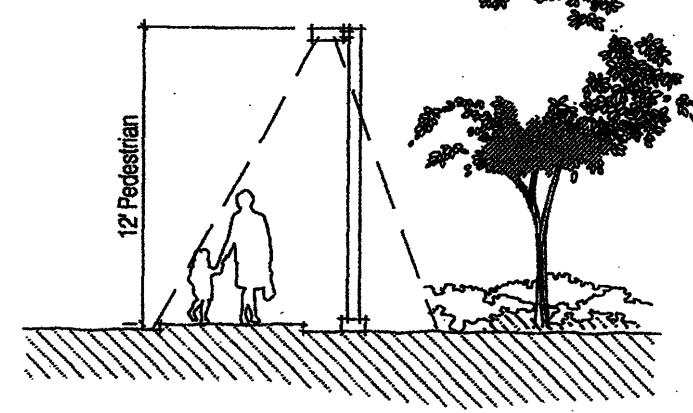


Figure J: Pedestrian Lighting

Site / Building Lighting

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. Figures H, I, and J should be reference when applying site/building lighting.

Standards

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to the State of New Mexico Night Sky Protection Act.
- All free-standing lights shall be of a consistent design throughout the site.
- All free-standing lights shall adhere to the detail drawings submitted by this plan.
- Sodium & Cobra lighting shall not be permitted (except publicly maintained street lights).
- The location of light fixtures shall be identified on subsequent Site Plans for Building Permits.

Site Lighting Standards

- All street lights shall comply with the City of Albuquerque requirements.
- The height of off-street parking area lights shall not exceed 20 feet.
- All lights shall be a shielded source to prevent spillage onto adjoining properties or public right-of-way.

Pedestrian Lighting Standards

- The height of Pedestrian lighting shall not exceed 12 feet.
- Pedestrian lighting shall conform to all State & Local safety & illumination levels.

Guidelines

- Tree Canopy lighting is encouraged to accent & enhance the pedestrian corridor and the streetscape.
- The use of spread lighting fixtures are encouraged to accent landscape and walkways.

Building Lighting Guidelines

- Exterior elevations of any building fronting a street are encouraged to be feature lighted to enhance the identity of the building and accentuate pedestrian circulation.

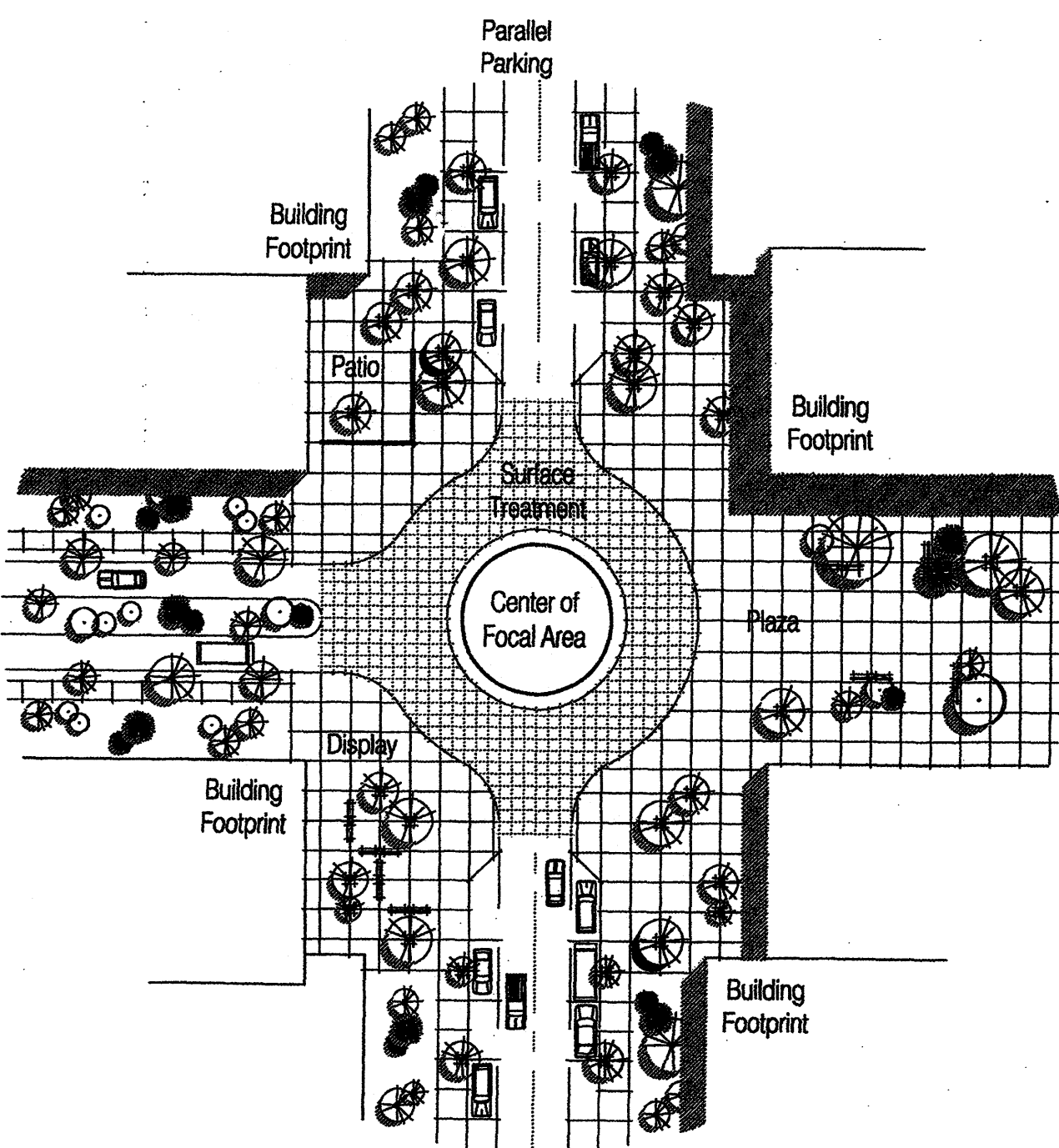


Figure G: Internal Focal Area

Signage & Graphics

The following signage and graphic criteria creates a sense of arrival to the development and establishes a quality visual impact. Subdivision signage for this development shall be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code. Where there is a conflict between these guidelines and the City Regulations, the more restrictive shall apply.

Site Signage Standards

- All signage shall comply with Section 14-16-3-5, General Sign Regulations of the Comprehensive City Zoning Code.
- Free standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- Logos shall not constitute more than 50% of the sign face area for any use.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- Franchise logos are allowable but shall not dominate in terms of area of the signage for any use.
- Signs shall not overhang into the public right-of-way or extend above the building roof line.
- Off-premise signs and portable signs are prohibited.
- Building mounted signage shall compliment architectural elements and shall ensure consistency in terms of signage materials, color range and sign type.
- Four Monument Signs shall be provided for the entire development.
- Multi-tenant directory signs shall be provided at access / ingress locations as shown on the site plan. This sign shall be coordinated to have the same appearance (height, size, color, material, text height, style, etc.) at all locations.

Guidelines

- Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists.

Building Mounted Signage Standards

- The colors, materials, size of letters & lighting shall be specified for building mounted signs throughout the project prior to DRB approval.
- Building-mounted signage shall identify the name and business of the occupant or of those offering the premises for sale or lease.
- Building-mounted signs shall have a significant contrast between the background and the text in order to ensure readability.
- No building-mounted sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.

Landmark Standards

- One "landmark" shall be permitted identifying the Commercial Center. This landmark may be a sculpture, tower, etc. and shall not exceed a height of 32 feet.

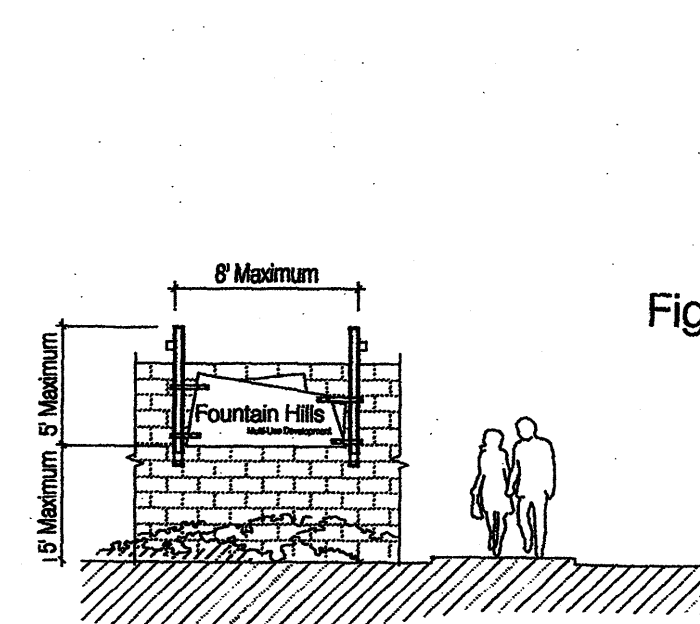


Figure L: Freestanding Monument Sign

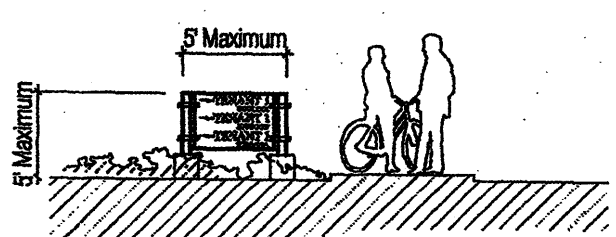


Figure K: Multi-Tenant Directory Sign

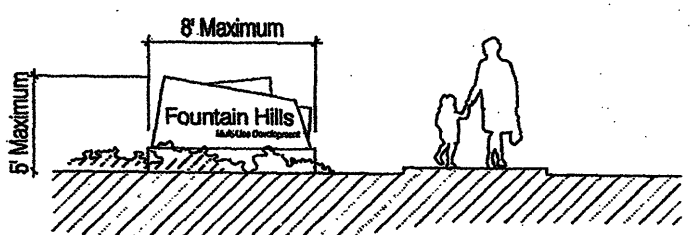


Figure M: Freestanding Monument Sign

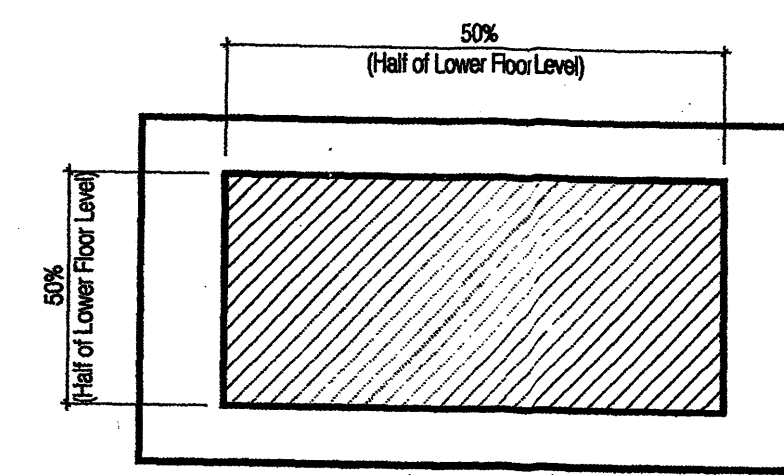
Pedestrian Connections & Trails

Pedestrian pathways will depend on creative site design and will be a primary design objective. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities including benches, plazas, walkways, lighting, etc: providing shaded walkways; and creating separate vehicular and pedestrian circulation systems throughout the project.

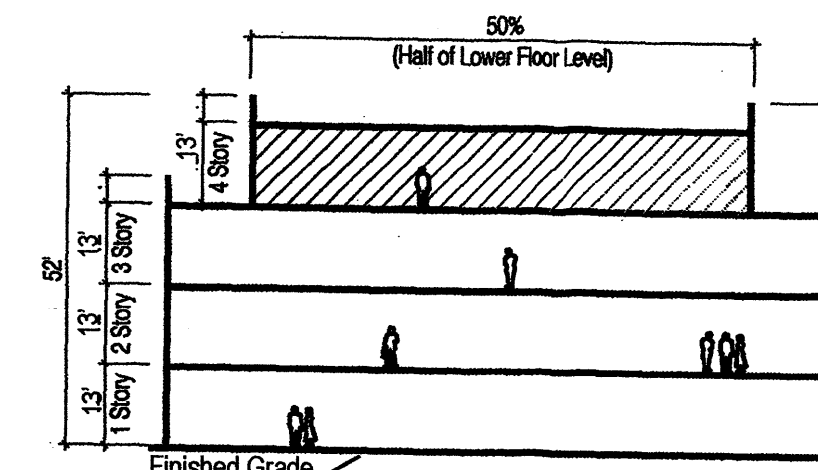
Pedestrian Connections provide direct access between land uses within the development and to the surrounding neighborhoods. The following criteria serves to create a pedestrian friendly environment and promote alternative modes of travel.

Standards

- All pedestrian paths shall be built to City Standards, per the City's Trail & Bikeways facility plan, as well as in accordance with Section 14-16-3-1(G) of the Zoning Code.
- Pedestrian linkages shall be provided between all tracts affected by this development pursuant to Section 14-16-3-1(G)(3) of the City Zoning Code.
- All soft-surface paths shall be of a consistent design throughout the entire site, color shall be compatible with the building materials. Material shall be of crusher fines or similar.
- All hard-surface pedestrian sidewalks shall be of a consistent design throughout the entire site, color shall be compatible with the building materials.
- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-free Design), except where topography makes this unfeasible.
- The use of asphalt paving for pedestrian trails is prohibited. Concrete or compacted decomposed granite with stabilizer are acceptable materials.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles and where City trails cross streets. Such materials shall consist of integrally colored and/or stamped concrete, brick forms or pavers of various sizes.
- Pedestrian connections shall be provided to the required bus shelter at Eagle Ranch Road.
- Minimum 6 foot sidewalks shall be provided along public right-of-ways around the perimeter of the development.



50% Floor Area Below



50% Half-Story

Note:

The diagrams are for illustrative purposes only. The upper floor mass shall be located anywhere within the lower floor footprint.

Height Summary:

Maximum building height is 3.5 stories per Council Bill F/S O-186, Enactment 33-1985. Allowable building height shall equate to 52 feet (13' + 13' + 13' of which the top floor is 50% floor area of the floor below).

Proposed Vertical Building Height Restrictions:

The City of Albuquerque Comprehensive Zoning Code states that SU-1 height requirements shall be regulated by the R-2 zone unless modified by the Planning Commission (14-16-2-22 (D)). The R-2 zone states "the height and width of the structure over 26 feet shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises.....".

In defining a Half-Story, the definition from the Dictionary of Architecture & Construction is used, which describes a half-story as "A story within a sloping roof; usually having dormer windows and occupying about half the area of the floor or floors below". Through this definition, the top floor area is limited to this ratio of 50% of the floor area below. This massing enhances the Architectural Expression and minimizes the massing of the highest floor.

The City Zoning Code does not establish a physical height for a "story" within a building. The City's Zoning Code does establish a 26 foot height limitation in various zones. Common architectural practice can design 2 stories within this 26 foot height. Therefore, 1 story is interpreted as being 13 feet in height. 4 stories is interpreted as 52 feet measured from Finished Floor elevation to the Highest point of the building.

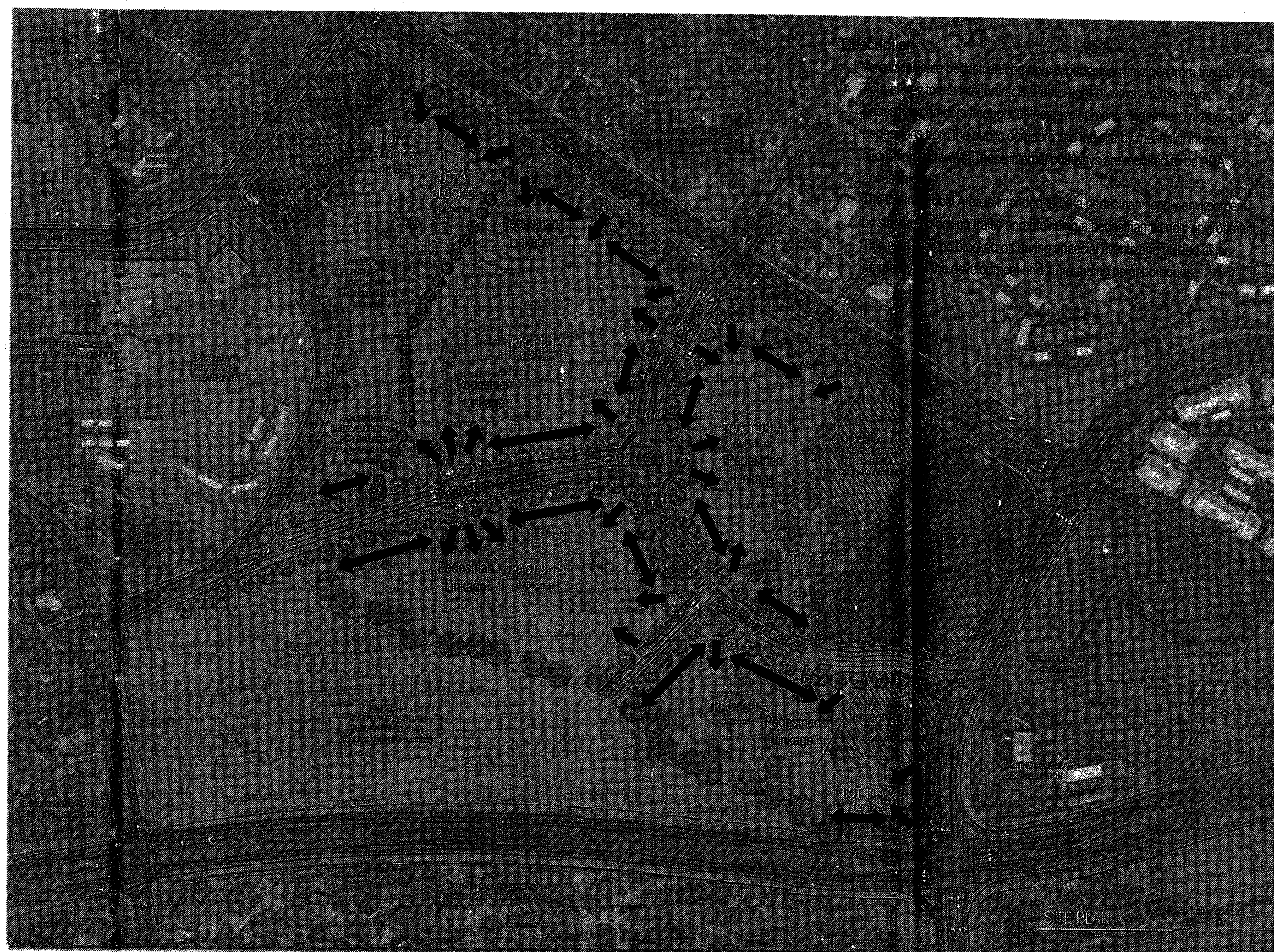
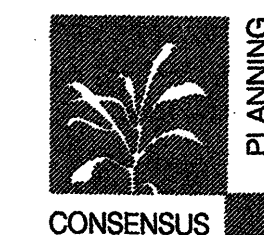


Figure H: Pedestrian Corridor Plan

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DRB
 SUBMITTAL

DATE ISSUED • 6-11-07
 PROJECT ID • Fountain Hills

Site Plan
 For Subdivision

A3

Architectural Expression

Standards

- All development shall comply with General Building & Site Regulations of the City Zoning Code (14-16-3-18).

Architectural Style

The Architectural Expression is to incorporate traditional Southwestern Characteristics with a Contemporary Southwestern Expression. In order to achieve this effect, the following concepts shall be expressed:

- Massing of building facades shall be varied in height, width & depth.
- All buildings shall consist primarily of flat roofs with perimeter parapets.
- Main Entrances & Glass Display Areas adjacent to the public right-of-way shall be recessed a minimum of 12" to create a sense of depth and mass.
- Soft rounded corners and tapered parapets shall be prohibited.

Building Form

Standards

Building elements within the commercial tracts such as glazing, displays and entries shall be oriented both externally to the streetscape and internally towards public parking in order to promote an urban pedestrian experience.

Buildings shall employ a variety of structural forms to create visual character and interest. Long, unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction without a change in architectural treatment (i.e. offset, fenestration, material change, etc.).

Restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with the buildings theme. These spaces shall be a minimum of 100 square feet.

Guidelines

It is encouraged to produce sloped/pitched roofs that overhang entry points, fenestration, and patios/plazas in order to provide shelter for the users.

Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.

It is encouraged to include trellis, awnings, etc. over pedestrian circulation areas to enhance the urban environment.

Balconies and patios should be oriented and relate to pedestrian streets and pathways.

It is encouraged to articulate Residential entryways with low walls, gateways and garden courts. Outdoor cafes or restaurant seasonal seating that fronts the Internal Focal Area is encouraged.

Building Materials

Standards

The predominant Building Material shall be stucco. Reveals shall be incorporated to be functional as well as aesthetic enhancements.

Materials used to enhance the predominant building materials shall be: Integrally Colored Concrete, Stacked Stone, Architectural Finished CMU, or similar. These materials will enhance entry points and add character to the building facades.

Materials prohibited as the main architectural feature include the following: Exposed Grey Concrete, Smooth-face CMU Block, Traditional Red Brick, Corrugated Metal Siding.

All Glazing shall be of the same material & color on all buildings to create a cohesive theme. Reflective & Patterned glazing shall be prohibited.

The predominant Portal Material shall be clay tile and/or Metal Roofing. Awnings & Portals shall utilize Metal Roofing, Fabric, etc.

Trellis shall consist of Painted Metal, Sealed / Stained Wood, etc. and shall be consistent with the character of the building facades. All portals and awnings shall compliment the predominant building materials.

Building Colors

Standards

Predominant building field colors shall be of Natural Earthtones unique to the desert landscape, and shall include light to medium tones. The use of high reflecting, metallic or fluorescent colors is prohibited.

Accent colors shall enhance building functions and articulate entry points and/or points of interest. These colors shall be deeper shades of color. No more than 3 accent colors shall be used on any building. Metal roofing shall be restricted to galvanized or cortan (matte, non-reflective finishes only).

Guidelines

The use of contrasting colors between roofs and walls is encouraged to further differentiate the planes of building masses.

It is encouraged to differentiate building masses by color variations or texture changes. Recesses and punch-outs may be differentiated by tone, as well as change in material.

Accented colors should bring out detailing to better articulate or give scale to a building mass. Accent colors at stairs, balconies and perimeter walls should be compatible with building materials.

Accessory Materials

Standards

Railings defining Patio / Plaza space shall be of Lightweight Railing Systems. These are intended to define the semi-public space from the public space.

Walls defining Patio / Plaza space shall be consistent with building materials.

Perimeter Walls / Fencing

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery / storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objective to screening unattractive elements and activities.

Standards

All walls including screen walls, perimeter walls and retaining walls shall be similar in materials and color of building elements, to create a cohesive theme.

Materials acceptable for screen walls, perimeter walls and retaining walls are integrally colored concrete or concrete masonry and shall be finished to match adjacent exterior buildings.

The maximum height of perimeter walls and retaining walls is 8 feet. Areas requiring greater retainage are required to be terraced and landscaped.

Unfinished block walls and barbed wire, chain link, concertina wire, and plastic / vinyl fencing are prohibited.

Screening

Standards

Parking areas shall be screened with landscaping and/or walls. The screen walls for parking areas shall be of the same material & color as the perimeter & retaining walls for the entire site. Such screening shall have a minimum height of 3 feet.

All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.

All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(5) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.

All roof-mounted mechanical equipment shall be screened on all sides by a screen wall. The screen wall shall be placed immediately adjacent to the mechanical equipment.

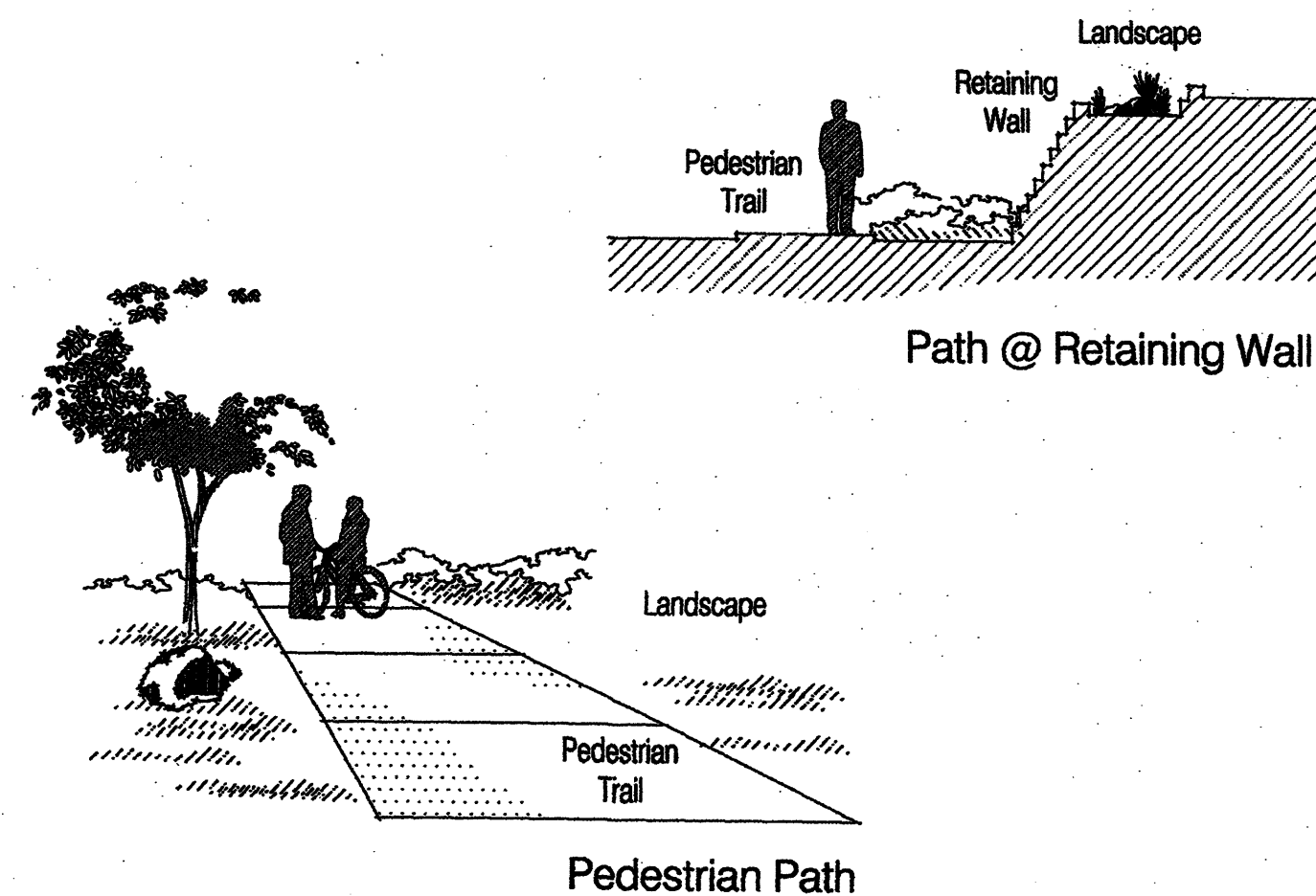
Walls / Fencing

Standards

Walls and fences shall comply with Section 14-16-3-19, General Height & Design Regulations for Walls, Fences, and Retaining Walls.

Perimeter walls shall include pedestrian openings at key locations within the development to ensure convenient access to other tracts within the development.

Private Secure areas shall have a fence not less than 6 feet high for privacy and security. The material and finish shall be similar in materials and color to create a cohesive theme. Wrought Iron and/or Steel Framed elements are acceptable provided they are similar in materials and color of building elements, to create a cohesive theme.



Landscaping

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and the pedestrian environment. The intent is to provide for year-round color and interest, and reflect the natural beauty of New Mexico. Landscape elements, such as street furniture, lighting, bollards, and graphic pylons shall be used to reinforce the street edge. The intent is to provide a clear theme and image for the development, by suggesting consistent paving materials, plantings, signage, etc.

Standards

Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.

A minimum of 20% of the site area (minus building square footage) shall be devoted to landscape materials.

A mixture of drought tolerant species and lawn areas shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of all landscaped areas.

Landscape headers shall be used to separate turf and planting beds. Headers may be concrete, brick, or other similar material.

Street trees shall be required along the entire length of Fountain Hills Boulevard and Fountain Hills Parkway in accordance with the provisions of the City Street Tree Ordinance.

Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element. Gravel shall be 1-1/2" maximum, the color is to be compatible with the Soft-Surface paths selection.

An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto walks, buildings, fences, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.

All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds.

Minimum plant material sizes at the time of installation shall be as follows:

Canopy Trees	-	2" Caliper balled & burlapped
Evergreen Trees	-	10' Minimum Height
Accent Trees	-	1-1/2" Caliper balled & burlapped
Shrubs & Groundcovers	-	1 Gallon Minimum

Low water use turf shall be provided at a maximum of 40% of the landscape area. High water use turf, if used, shall be limited to no greater than 20% of the provided landscape area.

Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Trees)

Fountain Hills Boulevard (Nunzio Avenue) & Fountain Hills Parkway are proposed pedestrian corridors, providing circulation throughout the various tracts. These street trees shall be regularly placed to enhance the streetscape and provide a sense of the urban environment and shall include the following or similar trees:

- Chitopsis linearis 'Lucretia Hamilton' / Desert Willow
- Chitalpa tashkentensis 'Pink Dawn' / Chitalpa
- Fraxinus oxycarpa 'Raywood' / Raywood Ash

The perimeter of the site shall consist of randomly placed street trees providing a buffer to surrounding neighborhoods. These street trees shall consist of the following or similar trees:

- Pyrus calleryana 'Cleveland' / Flowering Pear
- Robinia ambigua / Purple Robe Locust
- Crataegus crus-galli / Cockspur Hawthorn
- Fraxinus velutina 'Modesto' / Modesto Ash

75% of the required parking areas trees shall be deciduous and have a mature height and canopy of at least 25 feet.

Internal Focal Area

Landscaping shall not be provided as a continuous buffer strip for the sides of lots immediately adjacent to Fountain Hills Boulevard & Fountain Hills Parkway within the Internal Focal Area. This standard does not preclude the provision of landscaping within the Internal Focal Area.

Landscaping shall be provided randomly to accent the pedestrian corridor and provide a buffer between public / private areas.

Street trees shall be provided within tree wells at regularly spaced intervals to reinforce the street edge and the pedestrian corridor. The tree well shall be a minimum of 36 square feet. Trees shall be spaced 20-25 feet on center.

In addition to Paradise Boulevard, Eagle Ranch Road & Paseo Del Norte, street trees shall also be required along the entire length of the proposed local public streets (Fountain Hills Boulevard & Fountain Hills Parkway) in accordance with the provisions of the City of Albuquerque Street Tree Ordinance (6-6-2-1).

Accent plants shall be provided to enhance the environment within this node. The palette in the Internal Focal Area shall consist of the following or similar plants:

- Shrubs / Groundcovers**
- Artemisia Powis Castle / Powis Castle Sage
- Caryopteris clandonensis / Blue Mist
- Cytisus x 'Lena' / Lena's Broom
- Lagerstroemia indica / Crape Myrtle
- Liatris punctata / Gayfeather
- Potentilla fruticosa / Shrubby Cinquefoil
- Salvia greggii / Cherry Sage
- Zauschneria arizonica / Hummingbird Trumpet

Ornamental Grasses

- Nassella tenuissima / Threadgrass
- Nolina microcarpa / Bear Grass
- Agave havardiana / Harvard's Century Plant
- Dasylirion wheeleri / Sotol
- Hesperaloe parviflora / Red/Yellow Flowering Yucca

Irrigation System

The irrigation system serving the streetscape and other common areas shall be a fully automated systems with a centralized computer controls. Irrigation components shall be selected for use with non-potable water sources to allow for future connection to potential treated water systems. Backflow prevention shall be provided per local codes to protect the potable water system from the irrigation system.

Turf areas shall be irrigated with pop-up rotary sprinklers with high efficiency nozzles. Trees, shrubs and groundcovers shall be irrigated with a combination of hard pipe and poly pipe feeding single and multi-outlet drip emitters. The entire irrigation system shall be designed to maximize water efficiency.

Landscape Maintenance

The landscape for the streetscape and common areas shall be designed to require minimal levels of maintenance. Plant materials shall be native or adapted to the region, requiring minimal water and maintenance. All plantings and landscape elements Maintenance, such as benches, litter receptacles, signs, etc., within these areas shall be responsibility of the building Owners.

Site Topography

The existing topography consists of approximately 80 feet of vertical drop from West to East. Retaining walls shall be required in several locations to provide acceptable pad sites & parking. The intent for the clustering of buildings as well as parking nodes will help mediate the retainage required and allow for a stepping of the overall site.

Standards

Avoid long unarticulated expanses of retaining wall. Walls shall have varied setbacks with planes not running in one continuous direction without a change in height and setback.

Retaining walls that are not screened by buildings or landscaping shall employ a variety of patterns and colors to create visual character and interest.

Trails and paths shall be integrated into retaining wall locations where applicable to allow for pedestrians access to both elevations adjacent to the retaining wall.

Grading & Drainage

The existing site topography slopes from the West to the East at approx. 3% - 5% slope. There is a steep embankment from Education's Place as well as a steep drop to Eagle Ranch Road. The site takes on 2 off-site drainage flows from natural swales. Drainage from Paradise Boulevard is transported to an existing AMAFCA retention pond located within the site boundaries. Off-site drainage from Education Boulevard is transported through a drainage channel that runs along the southern property line of the project site and outfalls into the same AMAFCA pond.

The AMAFCA pond site currently houses a standpipe that allows for discharge of drainage into the existing storm drainage system located in Paradise Boulevard / Eagle Ranch. This discharge is controlled at a rate of 56 cubic feet per second. Discharge shall be restricted to the existing 30" storm drain system and the existing standpipe located in the pond.

Standards

Site ponding shall be integral with the landscape plan.

All measures shall be taken to provide public safety at the pond location.

Grading & Drainage plans must comply with the City of Albuquerque regulations and ordinances.

The AMAFCA pond shall be considered an opportunity to provide a public amenity when not in use for drainage concerns.

Site Utilities

To ensure the overall aesthetic quality of the property and the natural environment the visual impact of utilities and equipment shall be minimized by the following:

All new electric distribution lines shall be placed underground.

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from public right-of-way.

When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main element of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

Alleys shall be used for dry utilities and sewer, whenever possible.

Utility easements shall be a minimum of 7.5 feet in width and may be spot easements instead of continuous easements for above ground structures.

Existing Conditions:

There are no utilities currently located in Fountain Hills Boulevard (Nunzio Avenue) due to street being unbuilt.

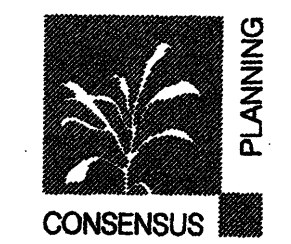
There is a regional electrical service easement down the center of Tract B-1-A that will need to be addressed. Developers shall be required to work with PNM on this issue.

Fire flows and hydrant locations shall be reviewed and approved at the site plan for building permit stage.

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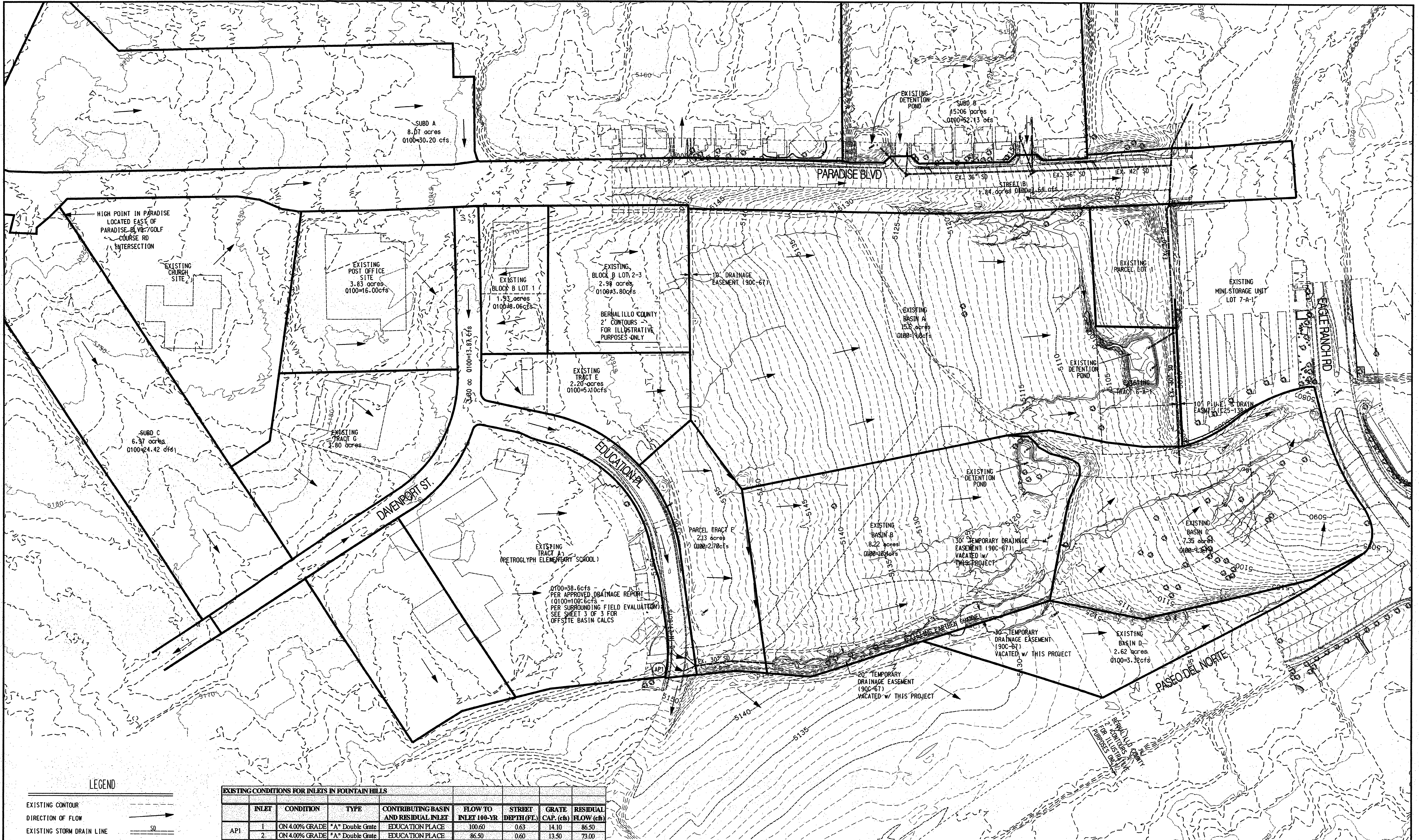
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DATE ISSUED • 6-11-07
PROJECT ID • Fountain Hills

Site Plan
For Subdivision

A4

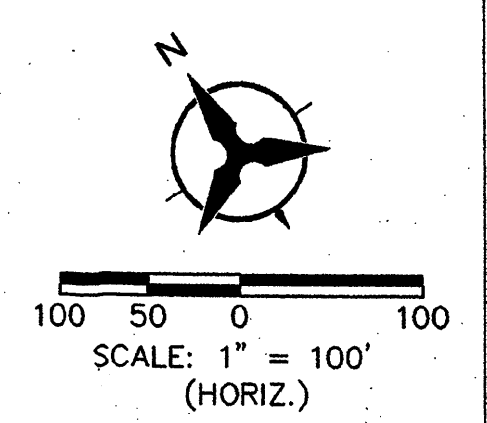
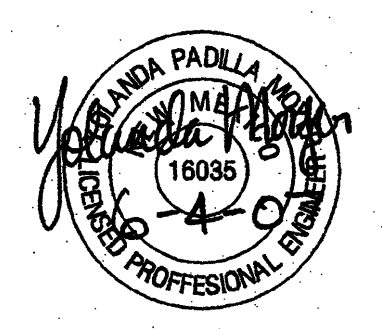


LEGEND

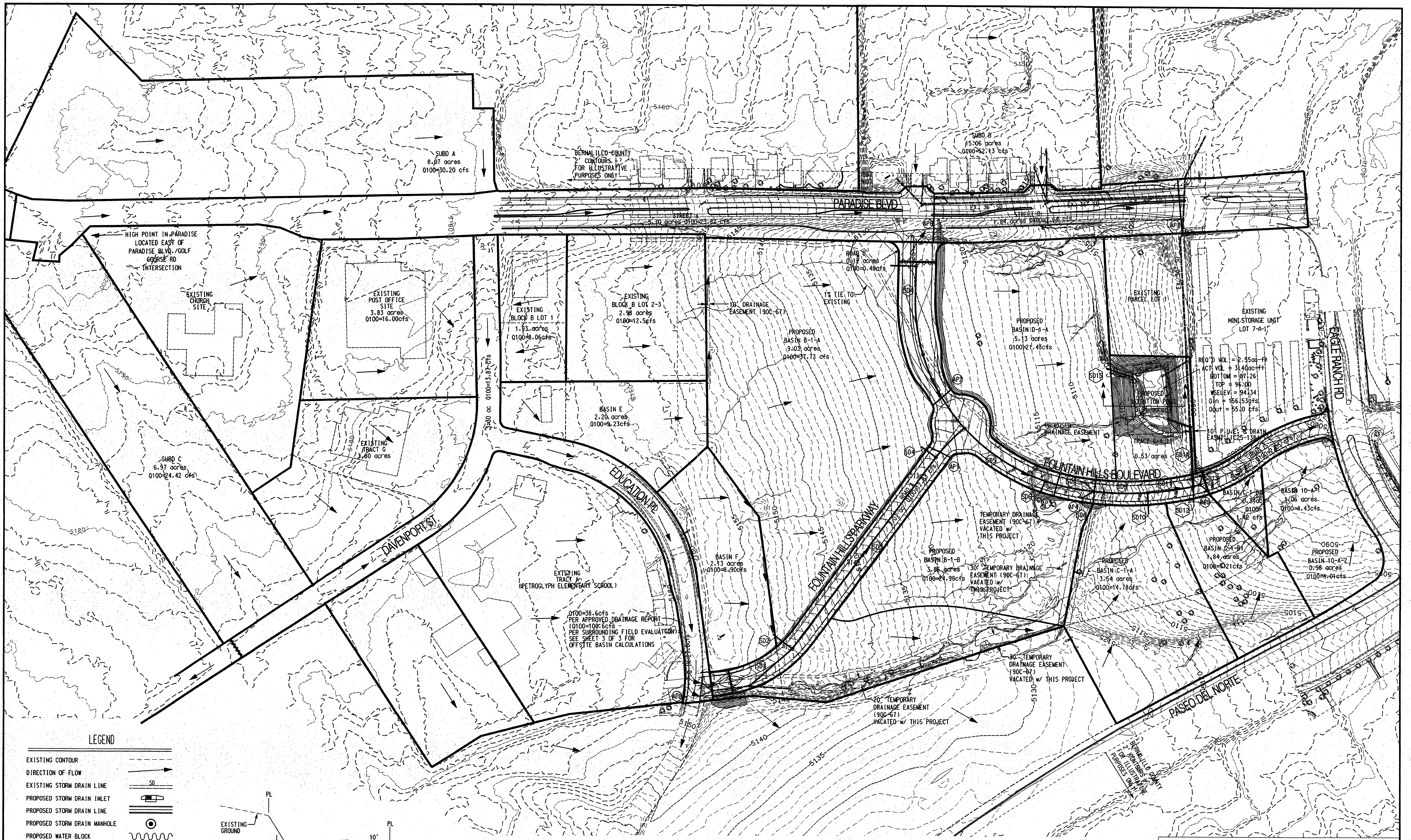
- EXISTING CONTOUR
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- POND CONTOUR

EXISTING CONDITIONS FOR INLETS IN FOUNTAIN HILLS								
INLET	CONDITION	TYPE	CONTRIBUTING BASIN AND RESIDUAL INLET	FLOW TO INLET 100-YR	STREET DEPTH (FT.)	GRATE CAP. (cfs)	RESIDUAL FLOW (cfs)	
API	1	ON 4.00% GRADE	"A" Double Grate	EDUCATION PLACE	100.60	0.63	14.10	86.50
	2	ON 4.00% GRADE	"A" Double Grate	EDUCATION PLACE	86.50	0.60	13.50	73.00

FOUNTAIN HILLS
GRADING & DRAINAGE MANAGEMENT PLAN
EXISTING BASINS MAP
 ALBUQUERQUE, NEW MEXICO
 JUNE, 2007



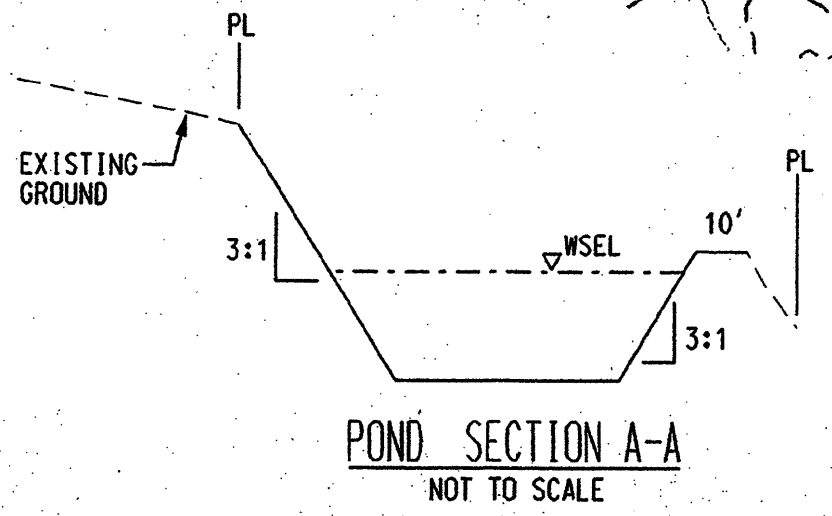
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 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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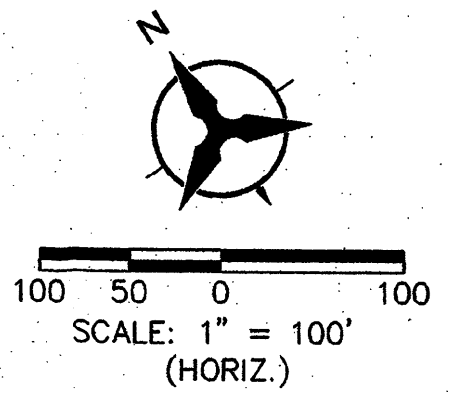
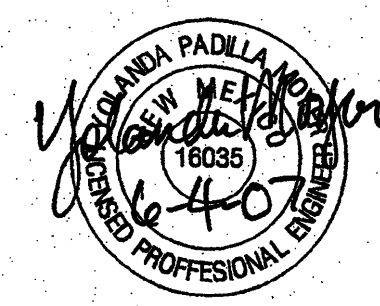
LEGEND

- EXISTING CONTOUR
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- POND CONTOUR

NOTE:
PROPOSED ROADWAY GRADES ARE APPROXIMATE
AND ARE INTENDED TO ILLUSTRATE GRADING
AND DRAINAGE CONCEPTS ONLY



FOUNTAIN HILLS
GRADING & DRAINAGE MANAGEMENT PLAN
PROPOSED BASIN MAP
 ALBUQUERQUE, NEW MEXICO
 JUNE, 2007



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SHEET 6 OF 7

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SUMMARY OF ROADWAY CAPACITY ANALYSIS FOR FOUNTAIN HILLS										
Fountain Hills Parkway										
Location	Roadway Grade (%)	Roadway Cross-slope (%)	Q (100 YR) in roadway (cfs)	Curb Type	Depth of water in roadway (ft.)	Velocity of storm water in roadway (ft/s)	V ² /2g	EGL	ROW Elevation (ft.)	Comments
AP1	3.74	2.00	6.38	STD	0.27	3.59	0.20	0.47	0.85	OK
Fountain Hills Blvd.										
AP2	0.60	2.00	6.74	STD	0.35	1.78	0.05	0.4	0.85	OK
AP3	2.63	2.00	19.99	STD	0.40	4.15	0.27	0.65	0.85	OK
AP4	5.35	2.00	25.53	STD	0.38	5.67	0.50	0.85	0.85	OK
AP5	5.35	2.00	15.39	STD	0.33	5.06	0.40	0.73	0.85	OK
Paradise Blvd.										
AP6	5.00	2.00	11.99	STD	0.35	4.93	0.38	0.73	0.85	OK
AP7	6.66	2.00	15.79	STD	0.36	5.80	0.52	0.88	0.85	OK
Note: *north half of road - Q100=7.8cfs provides a depth=0.31' < 0.45 for one free lane of traffic										
**south half of road - Q100=10.23cfs provides a depth=0.32' < 0.45 for one free lane of traffic										
*north half of road - Q100=19.0cfs provides a depth=0.38' < 0.45 for one free lane of traffic										
**south half of road - Q100=10.23cfs provides a depth=0.32' < 0.45 for one free lane of traffic										
By observation, the product of the depth times the velocity is below 6.5 for the 100-year design storm, therefore for the 10-year design storm the product of the depth times the velocity will be well below the recommended value of 6.5										

DEVELOPED CONDITIONS FOR INLETS IN FOUNTAIN HILLS								
	INLET	CONDITION	TYPE	CONTRIBUTING BASIN AND RESIDUAL INLET	FLOW TO INLET 100-YR	STREET DEPTH (FT.)	GRATE CAP. (cfs)	RESIDUAL FLOW (cfs)
AP4	1	ON 5.35% GRADE	*A* Double Grate	FOUNTAIN HILLS BLVD	12.76	0.38	7.90	4.86
	2	ON 5.35% GRADE	*A* Double Grate	FOUNTAIN HILLS BLVD	12.76	0.38	7.90	4.86
AP5	3	ON 5.35% GRADE	*A* Double Grate	FOUNTAIN HILLS BLVD	7.70	0.33	5.90	1.80
	4	ON 5.35% GRADE	*A* Double Grate	FOUNTAIN HILLS BLVD	7.70	0.33	5.90	1.80

STORM DRAIN ANALYSIS FOR FOUNTAIN HILLS						
PIPE NO.	PIPE LOCATION	SIZE/TYPE	LENGTH (ft.)	SLOPE (%)	PROPOSED Q (100-YR, cfs)	PIPE CAPACITY (100-YR, CFS)
SD1	EXISTING	30" RCP	228.00	1.10	27.60	43.02
SD2	TRACT F	18" RCP	58.00	1.00	7.12	10.50
SD3	TRUNKLINE 1	30" RCP	688.00	3.74	34.72	79.32
SD4	TRACT B-1-A	30" RCP	478.00	1.00	29.91	41.02
SD5	TRUNKLINE 2	30" RCP	386.00	2.63	64.63	66.51
SD6	TRACT B-1-B	30" RCP	57.00	1.00	19.99	41.02
SD7	TRUNKLINE 3	30" RCP	128.00	5.35	84.62	94.87
SD8	INLETS	18" RCP	32.00	1.00	7.90	10.50
SD9	TRUNKLINE 4	36" RCP	134.00	5.35	100.42	154.27
SD10	TRACT C-1-A	18" RCP	59.00	1.00	11.82	10.50
SD11	TRUNKLINE 5	36" RCP	101.00	5.35	112.25	154.27
SD12	TRACT C-1-B1	18" RCP	55.00	1.00	5.77	10.50
SD13	INLETS	18" RCP	84.00	1.00	5.90	10.50
SD14	TRUNKLINE 6	42" RCP	294.00	2.20	129.82	149.23
SD15	TRACT D-1-A	24" RCP	27.74	1.50	21.73	27.72

DRAINAGE BASIN CALCULATIONS FOR FOUNTAIN HILLS											
BASIN I.D.	AREA (AC)	UNITS #	% LAND TREATMENT				DISCHARGE (CFS)		EGL	ROW Elevation (ft.)	Comments
			A	B	C	D	10 YR*	100YR*			
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (EXISTING CALCULATED)											
BASIN A	15.60		100.0%	0.0%	0.0%	0.0%	3.9	19.79			
BASIN B	8.22		100.0%	0.0%	0.0%	0.0%	2.1	10.43			
BASIN C	7.35		100.0%	0.0%	0.0%	0.0%	1.8	9.32			
BASIN D	2.62		100.0%	0.0%	0.0%	0.0%	0.7	3.32			
BLOCK B LOT 2-3	2.98		100.0%	0.0%	0.0%	0.0%	0.7	3.78			
TRACT E	2.20		60.0%	5.0%	5.0%	30.0%	2.5	5.10			
TRACT F	2.13		100.0%	0.0%	0.0%	0.0%	0.5	2.70			
TOTAL	41.10						12.3	64.46			
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (DEVELOPED)											
ONSITE											
B-1-A	9.03		0.0%	5.0%	5.0%	90.0%	24.5	37.73			
B-1-B	5.98		0.0%	5.0%	5.0%	90.0%	16.2	24.99			
C-1-A	3.54		0.0%	5.0%	5.0%	90.0%	9.6	14.78			
C-1-B1	1.73		0.0%	5.0%	5.0%	90.0%	4.7	7.21			
C-1-B2	0.34		0.0%	5.0%	5.0%	90.0%	0.9	1.42			
D-1-A	5.13		0.0%	5.0%	5.0%	90.0%	13.9	21.43			
E	1.44		0.0%	5.0%	5.0%	90.0%	3.9	6.02			
F	2.20		0.0%	5.0%	5.0%	90.0%	6.0	9.19			
G	2.13		0.0%	5.0%	5.0%	90.0%	5.8	8.90			
10-A-1	1.06		0.0%	5.0%	5.0%	90.0%	2.9	4.43			
10-A-2	0.98		0.0%	5.0%	5.0%	90.0%	2.6	4.08			
ROAD A	3.07		0.0%	5.0%	5.0%	90.0%	8.3	12.83			
ROAD B	0.12		0.0%	5.0%	5.0%	90.0%	0.3	0.48			
ROAD C	0.49		0.0%	5.0%	5.0%	90.0%	1.3	2.05			
SUBTOTAL	37.23	0.00					100.94	155.5			
OFFSITE											
TRACT A	6.91	0	0.0%	25.0%	25.0%	50.0%	13.8	23.55			
BLOCK B LOT 1	1.93	0	0.0%	5.0%	5.0%	90.0%	5.2	8.06			
TRACT G	3.80	11	0.0%	12.5%	12.5%	75.0%	9.3	14.78			
POST OFFICE	3.83	0	0.0%	5.0%	5.0%	90.0%	10.4	16.00			
SUBD C	6.97	40	0.0%	22.5%	22.5%	55.0%	14.6	24.42			
EDUCATION PL	3.30	0	0.0%	5.0%	5.0%	90.0%	9.0	13.81			
SUBTOTAL	26.74	51					62.3	100.6			
PARADISE BLVD.											
STREET A	5.70	0	0.0%	5.0%	5.0%	90.0%	15.5	23.82			
STREET B	1.84	0	0.0%	5.0%	5.0%	90.0%	5.0	7.89			
SUBD A	8.70	48	0.0%	23.4%	23.4%	53.3%	17.9	30.20			
SUBD B	15.06	82	0.0%	23.6%	23.6%	52.8%	30.9	52.13			
SUBTOTAL	31.30	130					69.3	113.8			

*010 AND 0100 CALCULATED BY RATIONAL METHOD, SECTION 22.2 OF THE DPM

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97)										
INPUT FILE = FHILL.HYM										
VERSION: 1997.02c RUN DATE (MONDAY/YR) = 03/30/2007										
USER NO. = AHYMO-S-9702c1BohannanHu-AH										
PROJECT NAME: FOUNTAIN HILLS										
DATE: MARCH 30, 2007										
INPUT FILE NAME: FHILL.HYM										
OUTPUT FILE NAME: FHILL.OUT										
PROJECT NUMBER: 070312										
COMMENTS: 100 YEAR-6 HOUR STORM										
COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
START	RAINFALL TYPE=1									TIME= .00
COMPUTE NM HYD	BASINA		10	.06950	166.53	5.878	1.85238	1.500	4.111	PER IMP= 90.00
ROUTE RESERVOIR	POND	10	20	.06950	51.77	5.878	1.85238	1.850	1.360	AC-FT= 2.552

DRAINAGE MANAGEMENT PLAN

I. PURPOSE

The purpose of this submittal is to present the grading and drainage management plan for Fountain Hills Development. The project consists of approximately 38 acres of land to be developed for commercial use.

II. SITE LOCATION AND CHARACTERISTICS

The project is south of Paradise Blvd and north of Paseo Del Norte and bordered to the west by Education Place and to the east by Eagle Ranch Road. The site is currently undeveloped tracts, with native shrubs and grasses.

III. EXISTING HYDRAULIC AND HYDROLOGIC CONDITIONS

In the existing conditions, the site drains across relatively steep terrain towards the east. Currently offsite flow from the west flows through Education Pl and is captured by an existing storm drain system (Q100=27.6cfs) and conveyed to the drainage easement bordering the southern edge of the property, which directs the flow to a detention pond through an earthen channel with a series of check dams. Existing Tracts E and F drain to the east, into ponds on the west side of Tract B-1-A, contrary to the Drainage Report for Albuquerque West Unit 1 Improvements, Oct. 1990; however these tracts are not part of this submittal. The existing northern basin (Basin A - 15.6 ac, Q100=19.8cfs), along with offsite basin flow (Block B Lot 2-3 - 2.98 acres, Q100=3.80cfs), currently drains across the site to a detention pond in existing Tract G-A-1. The southwestern basin (Basin B - 8.22 ac, Q100=10.4cfs) presently drains to a detention pond at the northeastern corner of the basin. The remaining portion of the site (Basin C - 7.35ac, Q100=9.3cfs and Basin D - 2.62 ac, Q100=3.32cfs), located in the southeast corner of the site, drains to the east and directly into Eagle Ranch Road.

IV. PROPOSED HYDRAULIC AND HYDROLOGIC CONDITIONS

In the proposed improvements, the west portion of the site (Basins B-1-A, B-1-B, C-1-A, C-1-B1, D-1-A, E and F) will drain through the proposed roadways or storm drains and ultimately to a permanent detention pond located in existing Tract G-A-1. The existing earthen channel with check dams and the detention pond in Tract B-1-B will be removed and replaced with a storm drain in Fountain Hills Parkway and Fountain Hills Blvd. The developed tracts west of the proposed detention pond (Basins B-1-A, B-1-B, C-1-A, C-1-B1, D-1-A, E and F) will be assumed to discharge 20% of developed flows directly into the adjacent roadways, where it will be collected by proposed inlets in Fountain Hills Boulevard. The remaining 80% will be captured by proposed storm drain stubs. Runoff from Fountain Hills Boulevard and Fountain Hills Parkway will flow through the streets to inlets, which will tie to the proposed storm drain; see Summary of Roadway Capacities for Fountain Hills and Developed Conditions for Inlets in Fountain Hills. The proposed storm drain will outlet to the proposed detention pond in existing Tract G-A-1; see Storm Drain Analysis for Fountain Hills. The proposed detention pond will be sized to accept a developed flow of 156.53cfs, based on AHYMO methodology, with a controlled outlet of 55cfs, in accordance with the approved grading and drainage plan, COA Hydrology File C12-D3B mentioned above. The minimum required volume is 2.50 ac-ft with the actual volume being 3.14 ac-ft; see AHYMO Program Summary Table. The east side of the site (Basins 10-A-1 and 10-A-2 and C-1-B2), along with the remaining portion of Fountain Hills Boulevard (0.49ac, Q100=2.05cfs) and the residual from the inlets (Q=3.59cfs), will flow through the street and directly into Eagle Ranch Rd (Q100=15.57cfs).

The south half of Paradise Blvd., fronting the Fountain Hills site, has been analyzed for the 100-yr and 10-yr storm capacities, assuming proposed street width of 30' F-F minimum (south side of road will be widened to include new curb and gutter, as well as new median curb and gutter, as part of this development); see Summary of Roadway Capacities for Fountain Hills. The north half of the street has been analyzed for the 10-yr storm capacities, one lane free. The proposed roadway is adequate to handle these conditions.

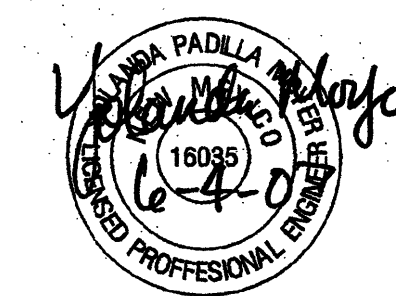
V. CONCLUSION

This plan provides hydrologic and hydraulic considerations of Fountain Hills Development. These flows can be safely conveyed by the improvements proposed in this plan to the existing storm systems, which have adequate capacity to accept such runoff. With the exception of existing Tracts E and F which drain to the east, into ponds on the west side of Tract B-1-A, contrary to the approved Drainage Report for Albuquerque West Unit 1 Improvements, Oct. 1990; this submittal is in compliance with existing approved grading and drainage plans. Tracts E and F are not part of this submittal. This information provides adequate supporting documentation and guidance for approval of this plan.

FOUNTAIN HILLS

GRADING & DRAINAGE MANAGEMENT PLAN

ALBUQUERQUE, NEW MEXICO
JUNE, 2007



Bohannan & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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