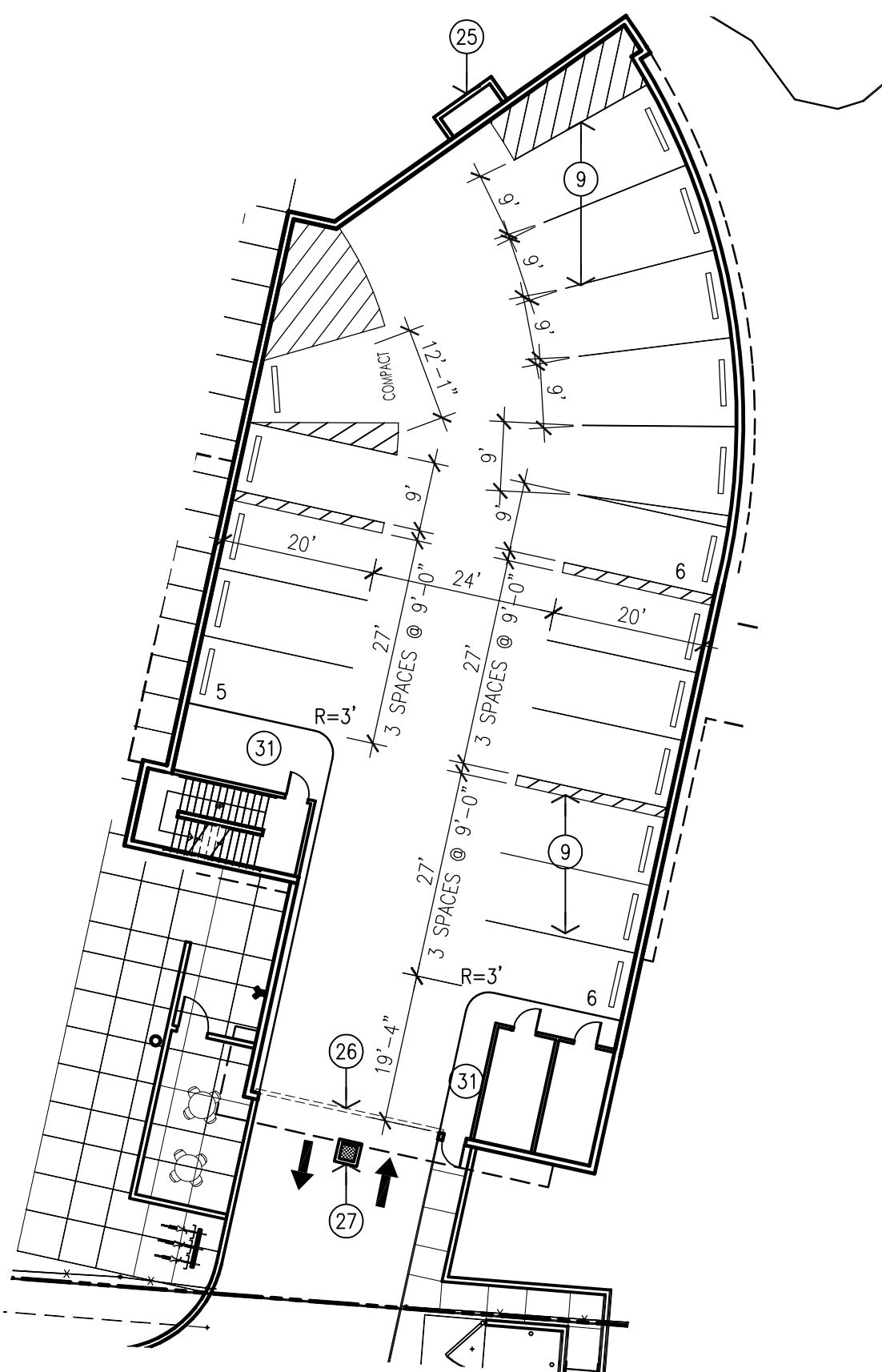




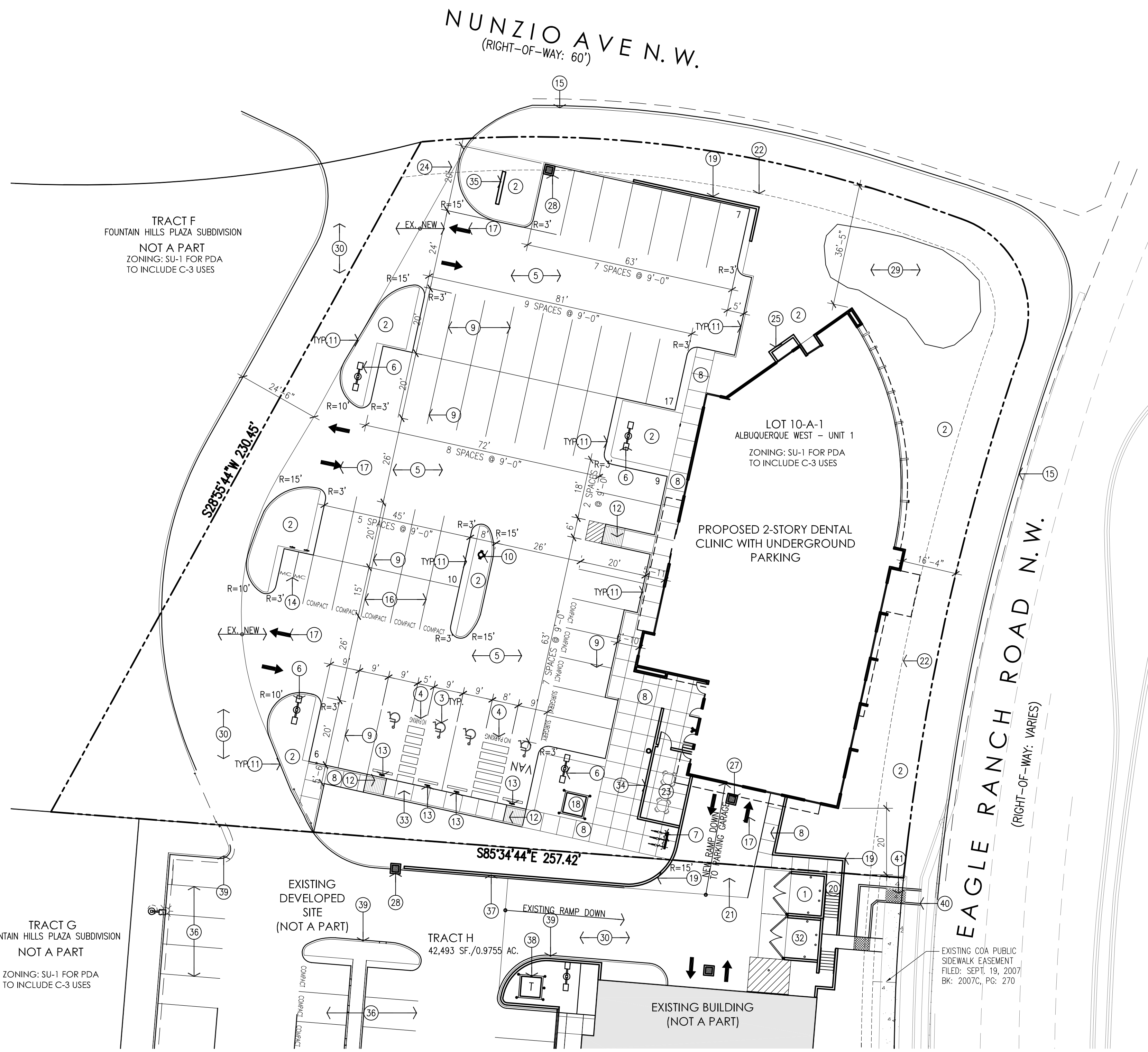
VICINITY MAP:



LOCATION MAP:



**2** Underground Parking Plan  
Scale: 1"=20'-0"



**1** Architectural Site Plan  
Scale: 1"=20'-0"

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.

KEYED NOTES:

- [1] PROPOSED REFUSE ENCLOSURE TO MATCH EXISTING.
- [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED STAMPED CONCRETE HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- [5] PROPOSED ASPHALT PAVING.
- [6] PROPOSED SITE LIGHTING. HEIGHT NOT TO EXCEED 20' TALL.
- [7] PROPOSED BIKE RACK WITH 3 SPACES.
- [8] PROPOSED CONCRETE SIDEWALK.
- [9] PROPOSED PAINTED PARKING STRIPING.
- [10] PROPOSED FIRE HYDRANT LOCATION. REFER TO UTILITY PLAN.
- [11] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
- [12] PROPOSED HANDICAP RAMP. REFER TO DETAIL.
- [13] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- [14] PROPOSED 4'-6" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- [15] EXISTING CITY CURB AND GUTTER TO REMAIN.
- [16] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
- [17] PROPOSED PAINTED DIRECTION ARROW ON PAVEMENT.
- [18] PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- [19] PROPOSED CONCRETE RETAINING WALL. REFER TO GRADING AND DRAINAGE.
- [20] PROPOSED CONCRETE STAIR WITH STEEL PIPE HANDRAILS (PAINTED) TO PARKING GARAGE LEVEL.
- [21] PROPOSED RAMP DOWN INTO PARKING GARAGE BELOW BUILDING.
- [22] EXISTING 10'-0" PUBLIC UTILITY & BICYCLE FACILITY EASEMENT. FILED DEC. 7, 1987. BK C35, PG:64
- [23] PROPOSED PATIO (258 SF.).
- [24] TIE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN.
- [25] PROPOSED CONCRETE VENT OPENING FROM UNDERGROUND PARKING TO GRADE ABOVE.
- [26] PROPOSED UNDERGROUND PARKING GATE.
- [27] PROPOSED SUMP PUMP PIT WITH GRATE COVER. REFER TO GRADING AND DRAINAGE.
- [28] PROPOSED DRAIN INLET. REFER TO GRADING AND DRAINAGE.
- [29] PROPOSED STORMWATER DETENTION POND. REFER TO GRADING AND DRAINAGE.
- [30] EXISTING ASPHALT DRIVE TO REMAIN.
- [31] PROPOSED CONCRETE ISLAND.
- [32] EXISTING REFUSE ENCLOSURE TO REMAIN.
- [33] PROPOSED CONCRETE SIDEWALK FLUSH WITH ASPHALT.
- [34] PROPOSED 5'-0" TALL PATIO WALL.
- [35] PROPOSED 75 SF MONUMENT SIGN.
- [36] EXISTING PAINTED PARKING STRIPING.
- [37] EXISTING CONCRETE RETAINING WALL TO REMAIN.
- [38] EXISTING TRANSFORMER TO REMAIN.
- [39] EXISTING CONCRETE CURB TO REMAIN.
- [40] EXISTING DRAINAGE OPENING IN CONCRETE CURB.
- [41] EXISTING SIDEWALK CULVERT WITH METAL GRATE.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION:  
LOT 10-A-1 FOUNTAIN HILL PLAZA DEVELOPMENT  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO

LAND AREA:  
1.06 ACRES (46,174 SQ. FT.)

CURRENT ZONING:  
SU-1 FOR PDA TO INCLUDE C-3 USES  
(PERMISSIVE AND CONDITIONAL)

ZONE ATLAS PAGE:  
C-12-2

BUILDING AREAS: (GROSS BUILDING AREAS)

2-STORY DENTAL OFFICE:	10,585 GSF.
7,590 GSF.-1ST FLOOR	
2,995 GSF.-2ND FLOOR	
UNDERGROUND PARKING	7,547 GSF.
<b>TOTAL GROSS BUILDING AREA</b>	<b>18,132 SF.</b>

SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED AT 12 FEET MAXIMUM.

PARKING CALCULATIONS: (NET LEASABLE AREAS)

**PROPOSED 2-STORY DENTAL CLINIC:**

7,590 NSF.-1ST FLOOR/200 =	37 SPACES
2,995 NSF.-2ND FLOOR/300 =	9 SPACES
<b>TOTAL REQUIRED SPACES</b>	<b>46 SPACES</b>

TRANSIT REDUCTIONS:

46 SPACES REQ'D x 10% REDUCTION =	(PROXIMITY TO BUS ROUTE 94)
46 x 10% = 41 TOTAL SPACES REQUIRED	

TOTAL PARKING SPACES REQUIRED: = 41 SPACES

TOTAL PARKING SPACES PROVIDED: = 66 SPACES

53 REGULAR SPACES
9 COMPACT SPACES
4 HANDICAP PARKING SPACES

COMPACT PARKING CALCULATION:

46 REQ'D SPACES x 33% =	15 SPACES ALLOWED
<b>TOTAL COMPACT SPACES</b>	<b>9 SPACES PROVIDED</b>

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED =	4 SPACES
TOTAL DISABLED SPACES PROVIDED =	4 SPACES

MOTORCYCLE REQUIREMENTS:

TOTAL MOTORCYCLE SPACES REQUIRED =	2 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED =	2 SPACE

COMMERCIAL BICYCLE REQUIREMENTS:

1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =	46 PARKING SPACES/20 = 3 TOTAL SPACE REQUIRED
--	---

TOTAL BICYCLE SPACES REQUIRED: =	3 SPACES
TOTAL BICYCLE SPACES PROVIDED: =	3 SPACES

EASEMENT INFORMATION:

AS PART OF THE DEVELOPMENT ON THE ADJACENT PROPERTY, TRACT H, A BLANKET PERPETUAL EASEMENT FOR DRAINAGE, PARKING, CONSTRUCTION ACCESS, INGRESS AND EGRESS ACROSS THIS PROPERTY, LOT 10-A-1, WAS RECORDED ON 3/31/15.

ADDITIONALLY, THE PROPERTIES ADJACENT TO BOTH LOT 10-A-1 AND TRACT H ARE SUBJECT TO A 25' WIDE FLOATING ACCESS, WATER AND SANITARY SEWER FOR THE BENEFIT OF TRACT H AS PART OF THE ORIGINAL EPC APPROVAL IN 2005.

PHASING:

THIS PROJECT IS PROPOSED TO BE BUILT IN ONE PHASE.

revision  
by  
date

rev



Mullen Heller  
Architecture P.C.

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Suite B  
Albuquerque 87102  
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505 268 4244 [f]

17-04  
AV  
job number  
drawn by  
project manager  
date  
Douglas Heller, AIA  
Mullen Heller, AIA

project title  
Smiles for Kids Dental Office PHASE 2  
9211 Eagle Ranch Road, NW,  
Albuquerque, New Mexico 87114  
sheet title  
Site Development Plan for Building Permit

sheet-  
A001

SHEET 1 OF 6

SDMH#1161  
RIM: 5095.44  
CONDITION: DID NOT OPEN  
(SD)



ZONE ATLAS PAGE: C-12

**DRAINAGE NARRATIVE:**

THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF NUNZIO AVENUE NW AND EAGLE RANCH ROAD NW. THE SITE IS CURRENTLY UNDEVELOPED AND GENERALLY SLOPES FROM SOUTHWEST TO NORTHEAST. DRAINAGE FROM THE SITE FREE DISCHARGES INTO BOTH EAGLE RANCH AND NUNZIO. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOOD ZONE (FEMA FIRM # 35001C0116G).

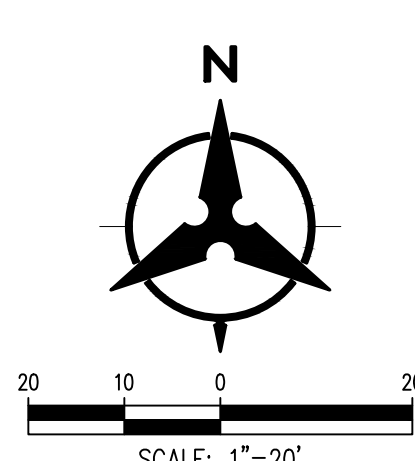
THE SITE WILL BE DEVELOPED WITH A NEW DENTAL CLINIC, SITE PARKING AND LANDSCAPING. THE PROPOSED SITE GRADING WILL BE DESIGNED TO CONVEY SURFACE RUNOFF TO THE NORTHEAST AS IT CURRENTLY DOES. A SMALL RETENTION POND WILL BE INCORPORATED INTO THE GRADING DESIGN TO INTERCEPT FLOWS FROM THE "FIRST FLUSH" STORM EVENT OF 0.44". STORMS THAT EXCEED THAT RAINFALL DEPTH WILL OVERFLOW THE RETENTION POND AND DISCHARGE INTO NUNZIO AVE. THE LANDSCAPED AREAS THROUGHOUT THE SITE WILL BE DEPRESSED WHERE PRACTICAL TO CAPTURE DRAINAGE. THE DEPRESSED LANDSCAPE AREAS AND RETENTION POND DESCRIBED ABOVE WILL BE DESIGNED TO MEET THE FIRST FLUSH PONDING REQUIREMENTS.

**GRADING KEYNOTES**

1. PROPOSED RETAINING WALL
2. PROPOSED STORM DRAIN INLET
3. PROPOSED STORM DRAIN LINE
4. PROPOSED STORM WATER SUMP PUMP

**GRADING LEGEND**

---	PROJECT LIMITS OF GRADING	→	DIRECTION OF FLOW
- - - -	EXISTING INDEX CONTOUR	~~~~~	WATER BLOCK/GRADE BREAK
---	EXISTING INTERMEDIATE CONTOUR	---	PROPOSED STORM DRAIN LINE
⊕ 5025.25	EXISTING GROUND SPOT ELEVATION	⊕	PROPOSED STORM DRAIN INLETS
---	PROPOSED INDEX CONTOUR	---	PROPOSED RETAINING WALL
---	PROPOSED INTERMEDIATE CONTOUR		
---	PROPOSED FLOW LINE		
⊕ 26.75	PROPOSED FINISHED GRADE SPOT ELEVATION		
	TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW		



revision	
by	
date	
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job number	17-04
drawn by	AO
project manager	CSB
date	03-30-2017

project title  
**Smiles for Kids Dental Office PHASE 2**  
9211 Eagle Ranch Road, NW,  
Albuquerque, New Mexico 87114  
sheet title  
**Conceptual Grading & Drainage Plan**

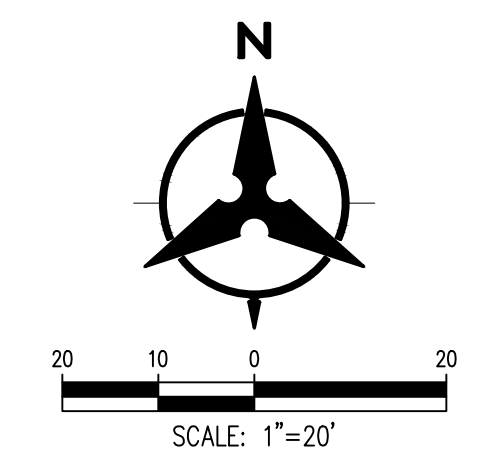


### UTILITY KEYNOTES

1. CONNECT TO EXISTING WATER LINE
2. INSTALL NEW 1 1/2" DOMESTIC SERVICE WATER LINE
3. INSTALL NEW 6" FIRE PROTECTION LINE
4. INSTALL NEW POST INDICATOR VALVE
5. REMOVE EXISTING CAP
6. EXISTING 1" WATER METER
7. EXISTING 8" WATER LINE
8. INSTALL NEW HEATED ENCLOSURE FOR DOMESTIC REDUCED BACKFLOW PREVENTION
9. EXISTING 8" SANITARY SEWER LINE
10. INSTALL NEW 4" SANITARY SEWER LINE
11. CONNECT TO EXISTING SANITARY SEWER LINE. CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXISTING SANITARY SEWER LINE.
12. INSTALL SANITARY SEWER CLEAN OUT.
13. INSTALL NEW FIRE HYDRANT.
14. INSTALL NEW 6" GATE VALVE.

### UTILITY LEGEND

SAS	EXISTING SANITARY SEWER	SAS	PROPOSED SANITARY SEWER LINE
W	EXISTING WATER LINE	W	PROPOSED WATER LINE
FIRE	EXISTING WATER METER	FIRE	PROPOSED FIRE WATER LINE
[ ]	EXISTING CAP	[ ]	PROPOSED CAP
[ ]	EXISTING VALVE	[ ]	PROPOSED PIV
[ ]	EXISTING SANITARY SEWER MANHOLE	[ ]	PROPOSED SAS CLEANOUT
		[ ]	PROPOSED FIRE HYDRANT

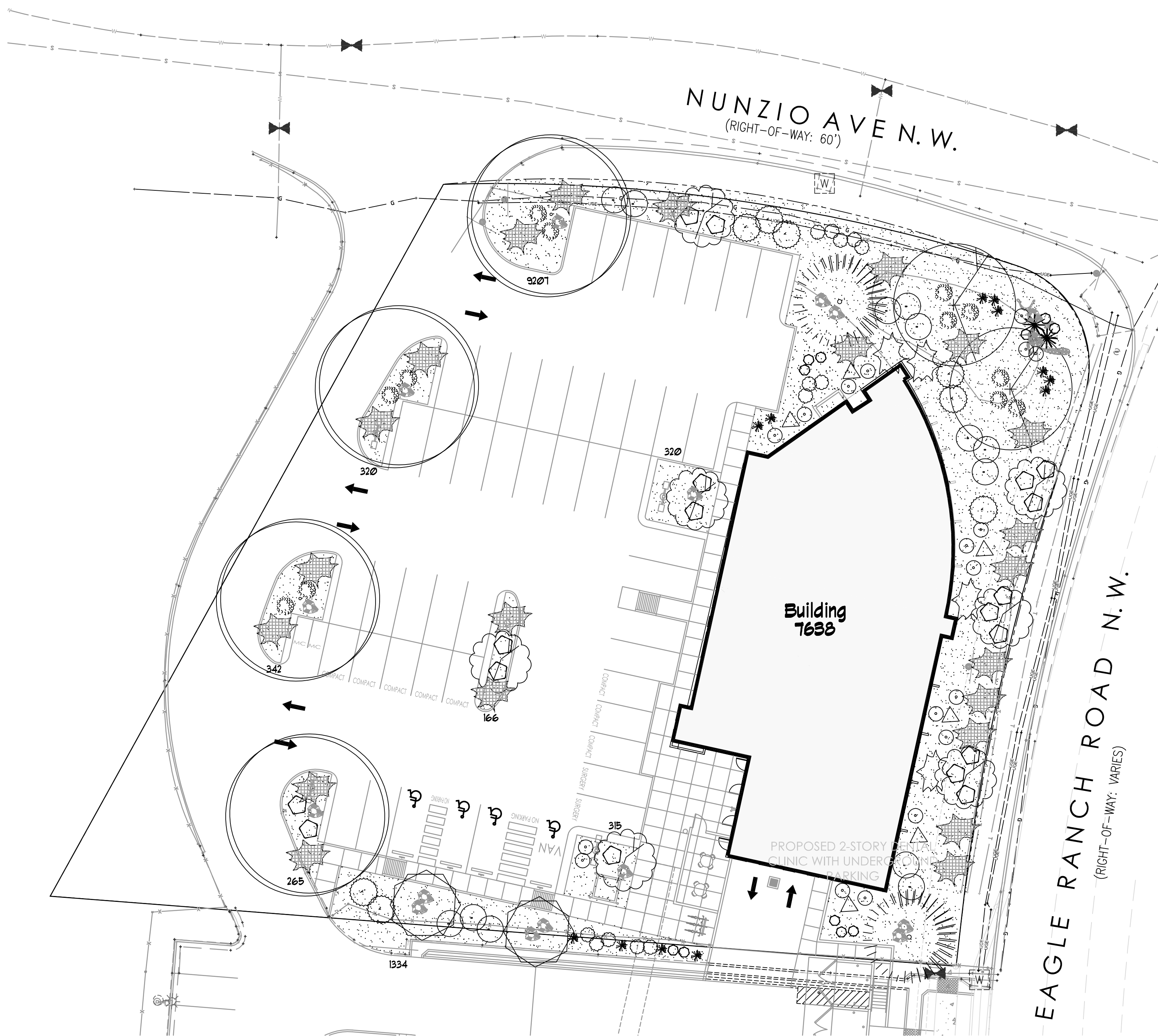


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 sheet title  
**Conceptual Site Utility Plan**



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	H2O USE
<b>Trees</b>			
2	2" Cal.	Chinese Pistache <i>Pistacia chinensis</i>	1225 2450 M+
4	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	2025 8100 M
2	6 - 8'	Austrian Pine <i>Pinus nigra</i>	625 1250 M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	36 12 M
1	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	144 1000 M
<b>Shrubs &amp; Groundcovers</b>			
2	15 Gal.	Desert Willow <i>Chilopsis linearis</i>	625 1250 M
12	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	25 300 M
12	1 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	4 48 M
18	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	25 450 M
6	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	25 150 M
4	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	144 516 M
22	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	144 3168 M
11	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 99 M
18	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 162 M
13	1 Gal	Fern Bush <i>Chamaebotaria millefolium</i>	5x6 36 468 L
8	1 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1 49 392 L
13	1 Gal	Chamaea <i>Chrysothamnus nauseosus</i>	5x1 49 315 L
16	2-3cf	Boulders To be placed at contractor discretion	1438
		Landscape Gravel / Filter Fabric 3/4" Crushed Gray Gravel	12269
		Oversize Landscape Gravel / Filter Fabric 2-4" Santa Ana Tan around Yucca's	100

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

No changes or substitutions shall be made to this plan without the express written consent of the Landscape Architect of record.

This plan is the exclusive property of the Hilltop and is provided to the client per a design build agreement. If the Hilltop is not the landscape installation contractor, a design fee equal to 5% of the contract shall be paid to the Hilltop by the owner, prior to release of plans.

The Landscape Architect of record reserves the right to inspect the installation and reject any and all irrigation, plant materials and gravel, and have replaced at the contractors expense, any item not in compliance with the intent of this plan.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, primed in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10' GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

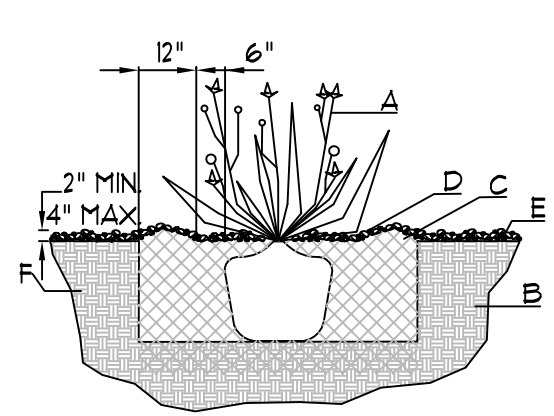
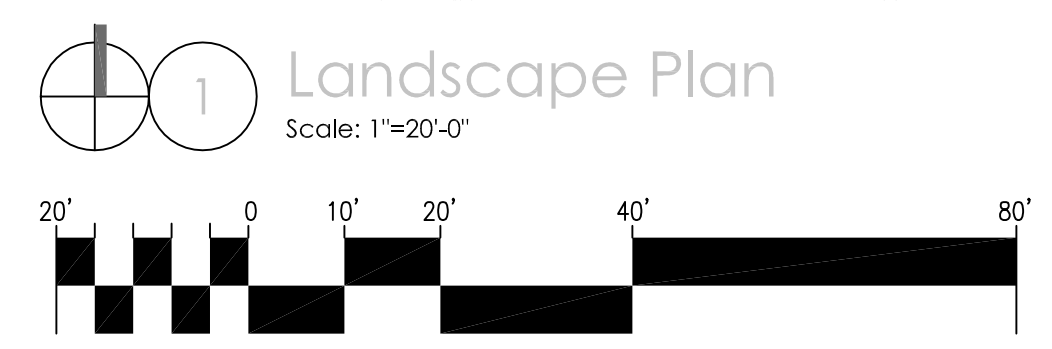
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE CALCULATIONS**

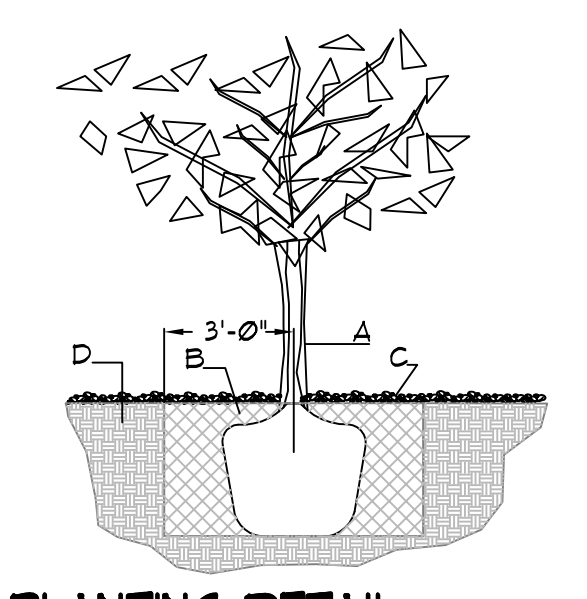
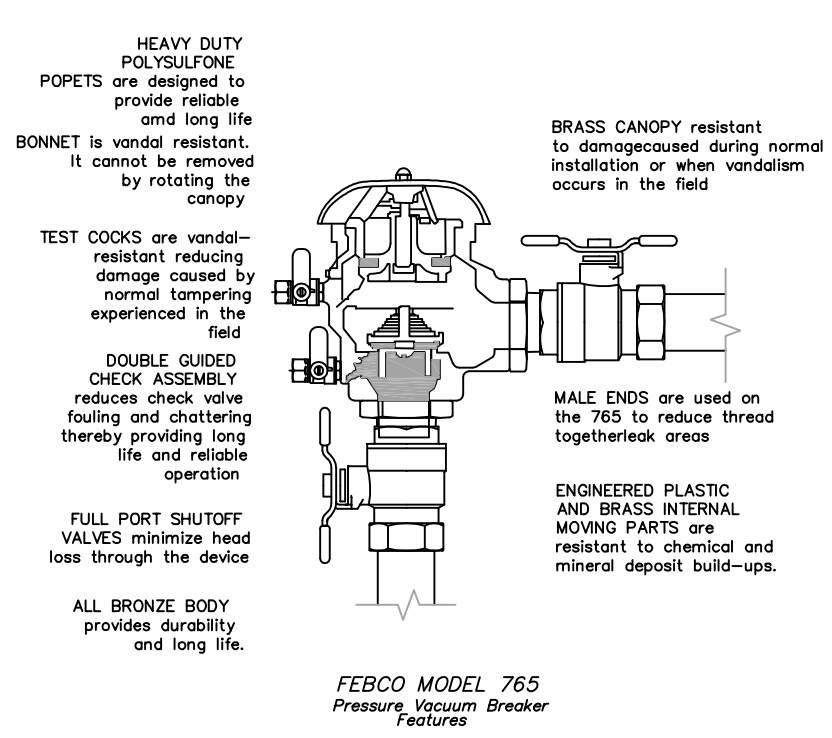
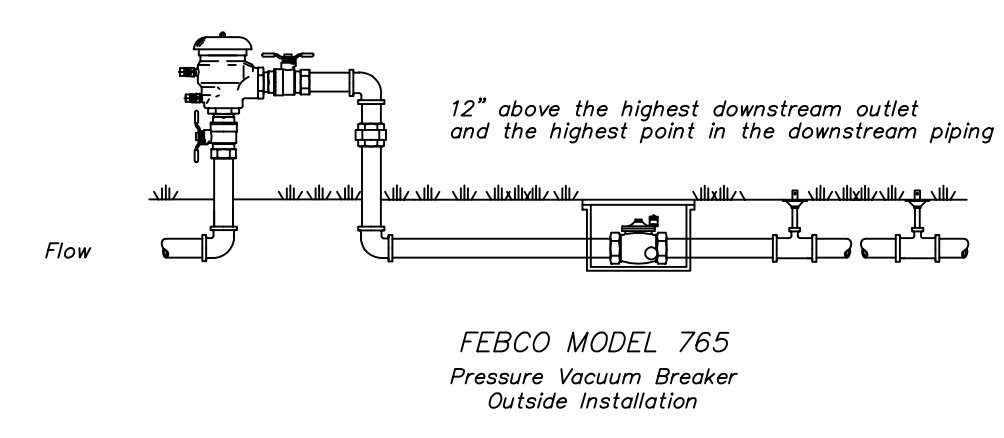
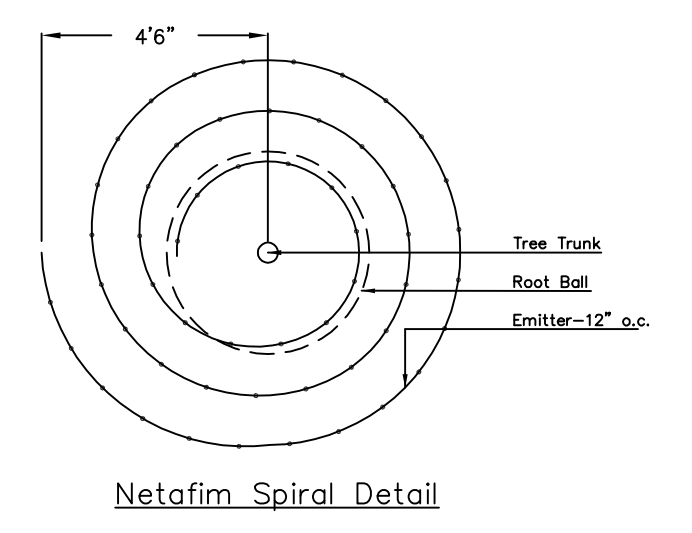
TOTAL LOT AREA (sf)	46005
MINUS TOTAL BUILDING AREA (sf)	-1608
NET LOT AREA	38397
LANDSCAPE REQUIREMENT	x .20
TOTAL LANDSCAPE REQUIRED ( 20% )	7679
TOTAL LANDSCAPE PROVIDED	12269
TOTAL LIVE PLANT COVER REQUIRED ( 75% )	9201
TOTAL LIVE PLANT COVER PROVIDED	20318



**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**CONSTRUCTION NOTES:**  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.



**TREE PLANTING DETAIL**

**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**  
A. TREE.  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

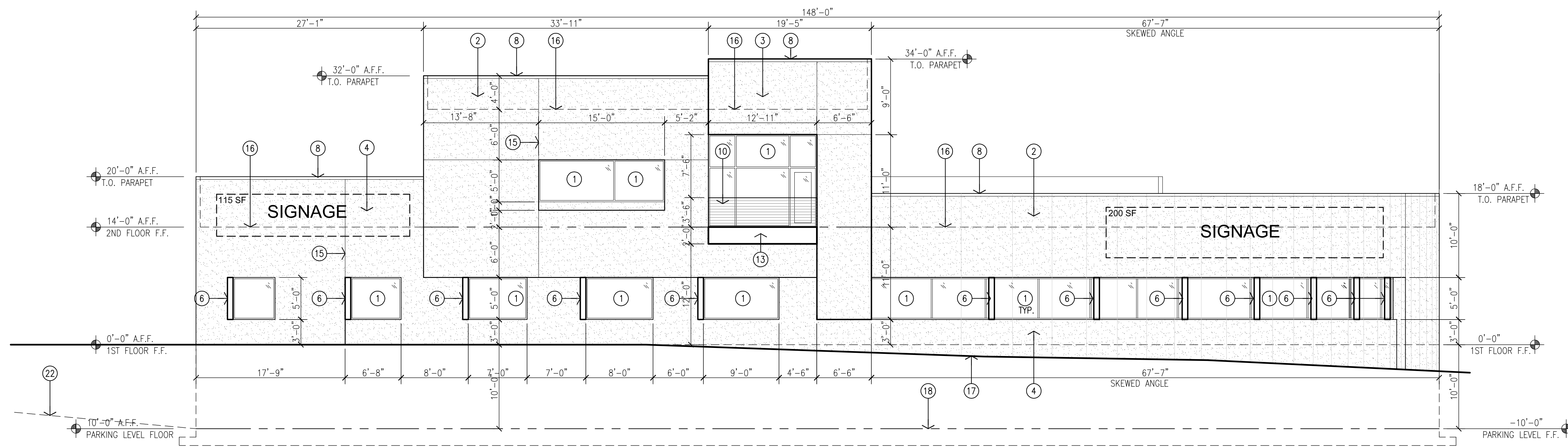
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STATE OF NEW MEXICO  
DANNY D. MITCHELL  
239  
REGISTERED  
LANDSCAPE ARCHITECT

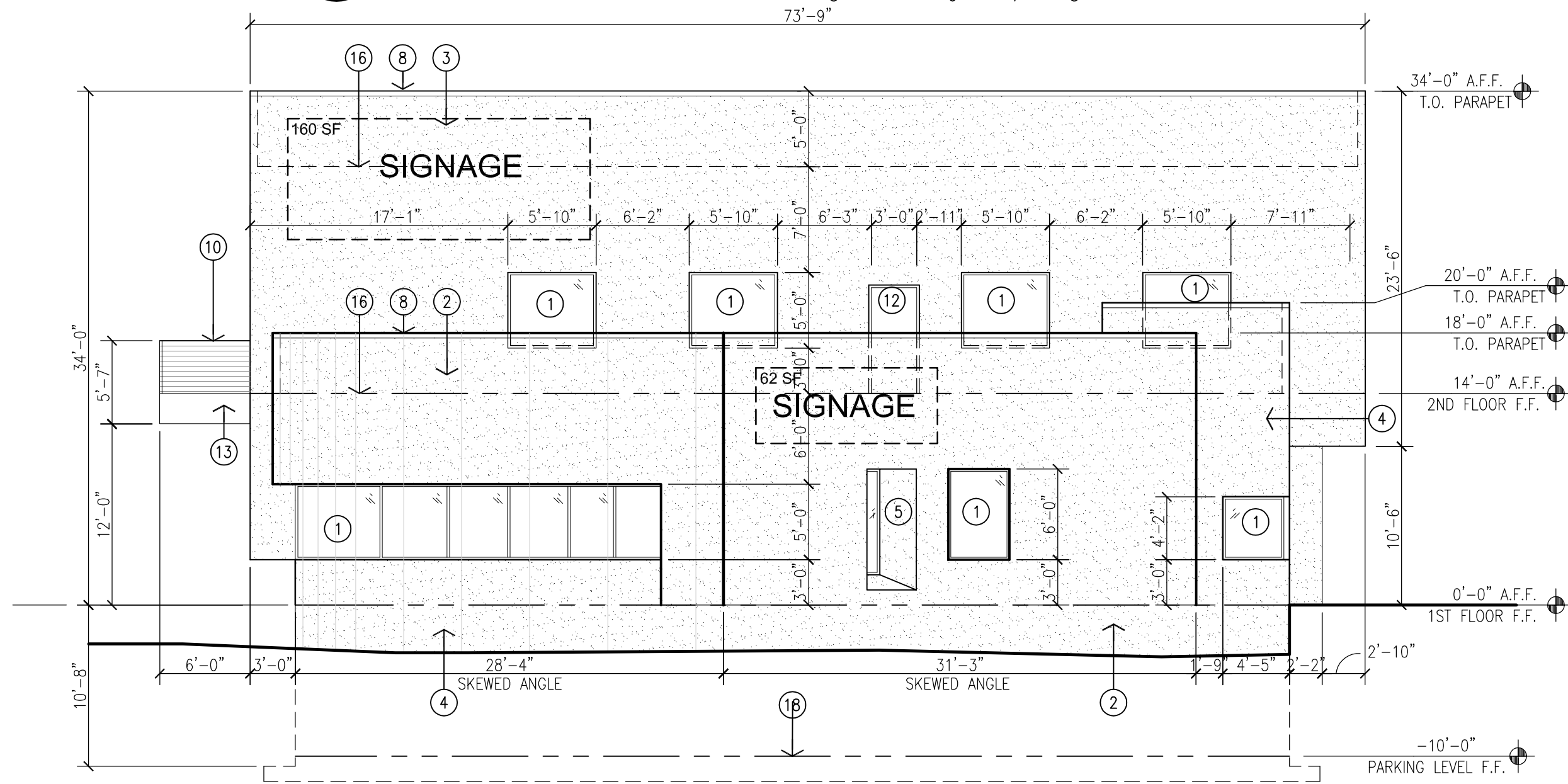
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drawn by AV  
project manager Douglas Heller, AIA  
date 03-30-2017

project title  
**Smiles for Kids Dental Office PHASE 2**  
9211 Eagle Ranch Road, NW,  
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sheet title  
**Landscape Plan**

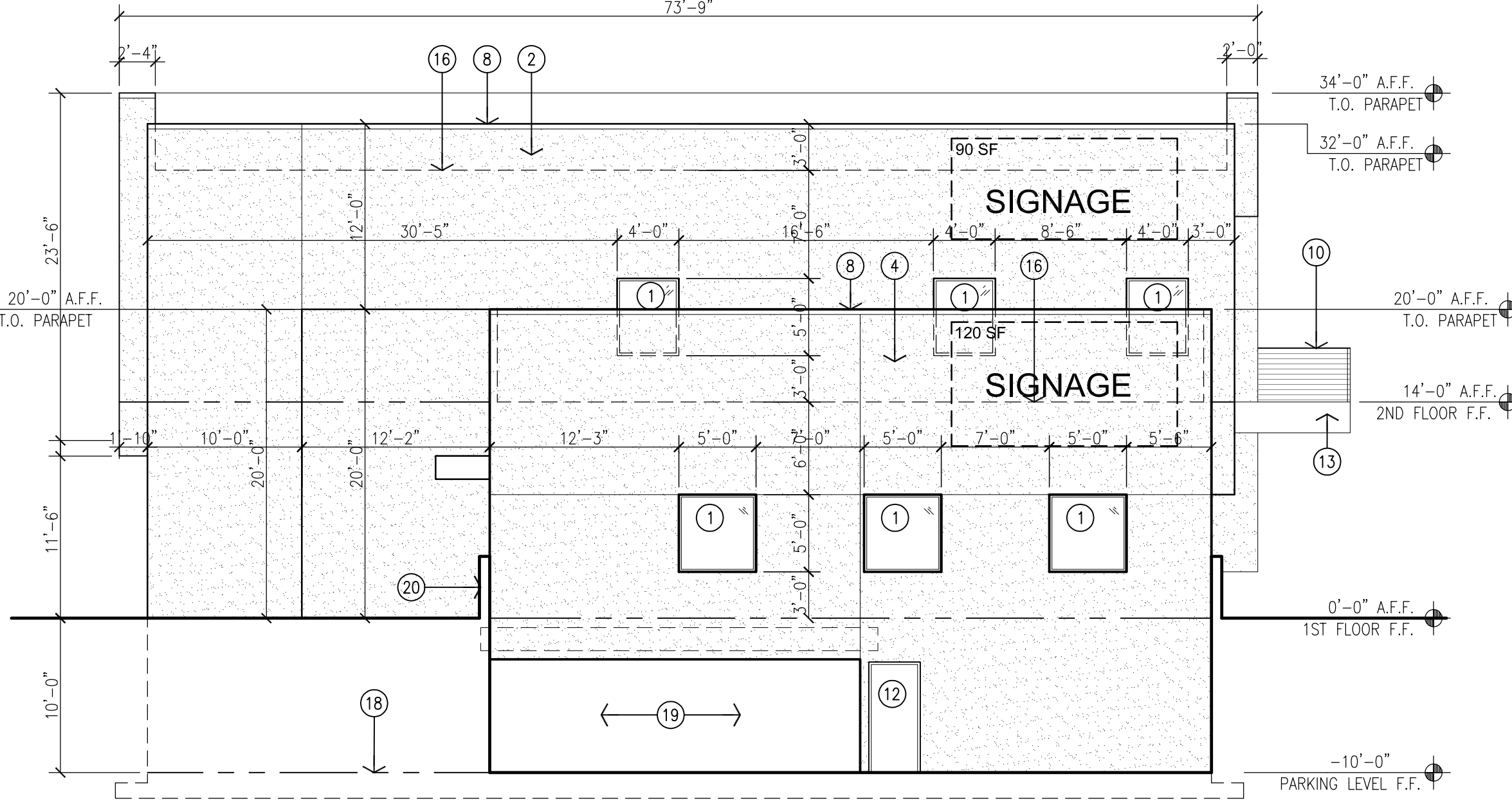


1 East Exterior Elevation  
Scale: 1/8"=1'-0"

- KEYED NOTES:
- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
  - [2] FIELD-1: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: TAN
  - [3] FIELD-2: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN
  - [4] FIELD-3: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: BROWN
  - [5] ACCENT 1: 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: YELLOW (EARTH TONE)
  - [6] METAL WINDOW FIN. COLOR: ORANGE (EARTH TONE)
  - [7] PATIO WALL NATURAL STONE VENEER FINISH.
  - [8] METAL PARAPET CAP TO MATCH ADJACENT FINISH COLOR.
  - [9] STEEL CANOPY. PAINTED DARK EARTH TONE.
  - [10] STEEL RAILING. PAINTED DARK EARTH TONE.
  - [11] ALUMINUM STOREFRONT SLIDING DOOR, CLEAR ANODIZED.
  - [12] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
  - [13] STEEL BALCONY. PAINTED DARK EARTH TONE.
  - [14] 12" HIGH ADDRESS CHANNEL LETTERS.
  - [15] STUCCO CONTROL JOINT.
  - [16] LINE OF ROOF/FLOOR LEVEL BEYOND.
  - [17] LINE OF EXTERIOR FINISH GRADE.
  - [18] LINE OF PARKING GARAGE BELOW GRADE.
  - [19] UNDERGROUND PARKING OPENING ACCESS.
  - [20] RETAINING WALL.
  - [21] LINE OF STONE VENEER PATIO SCREEN WALL.
  - [22] LINE OF PARKING RAMP DRIVE BEYOND.

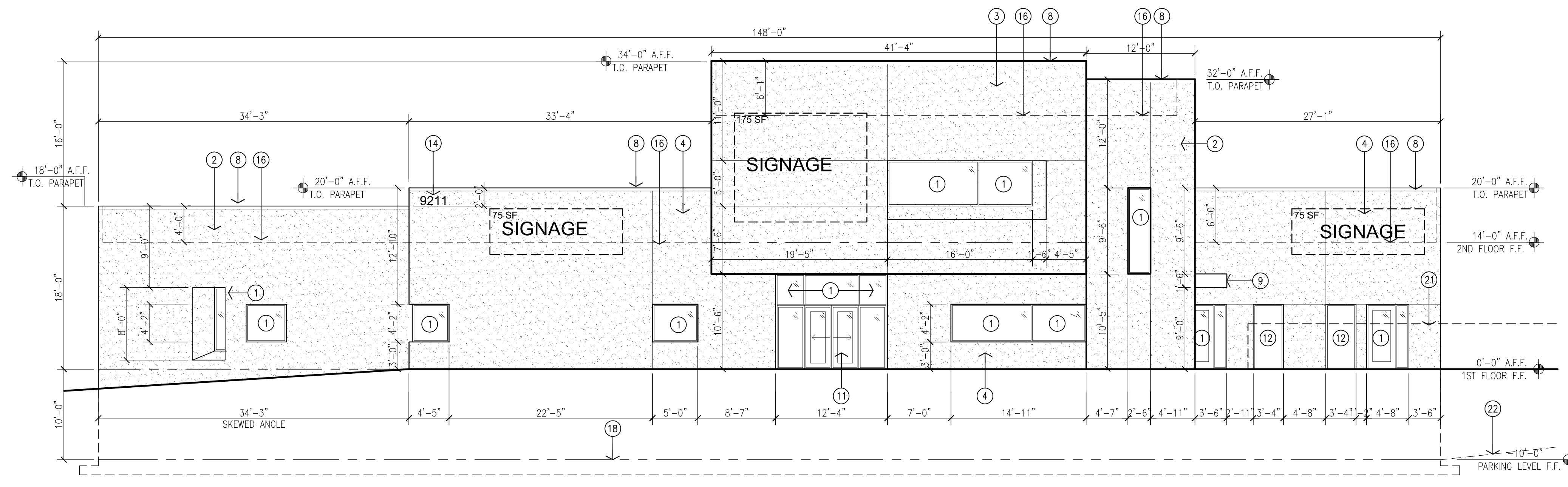


2 North Exterior Elevation  
Scale: 1/8"=1'-0"

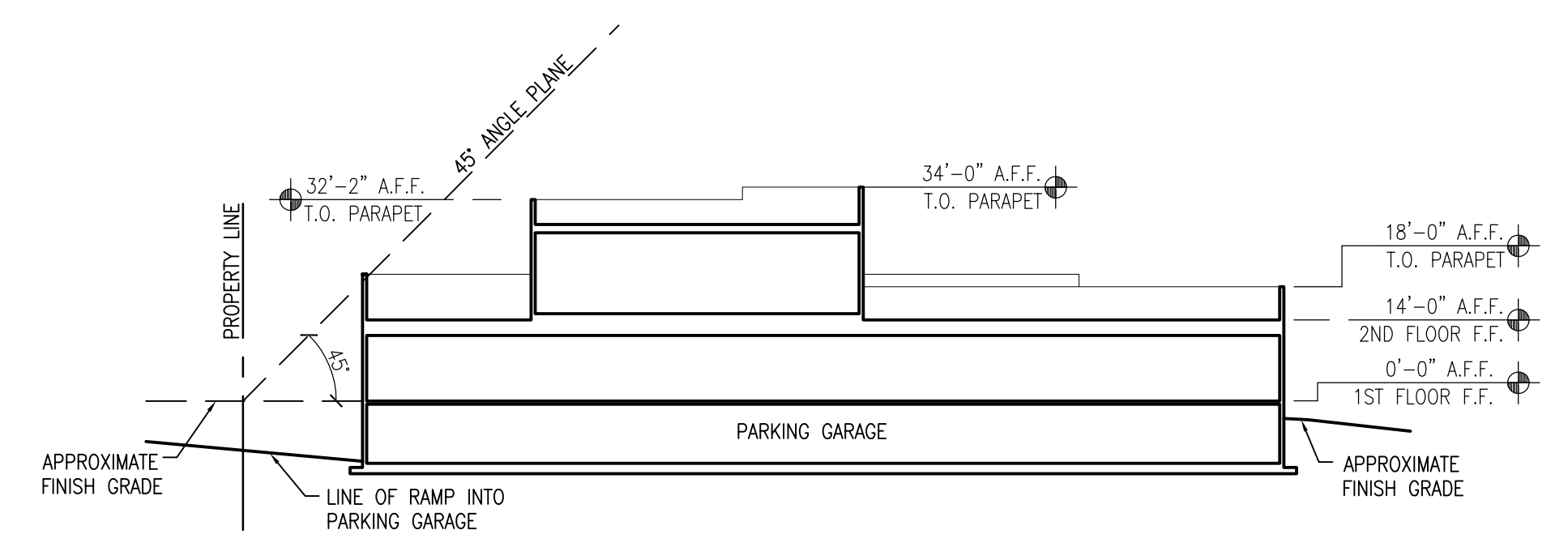


3 South Exterior Elevation  
Scale: 1/8"=1'-0"

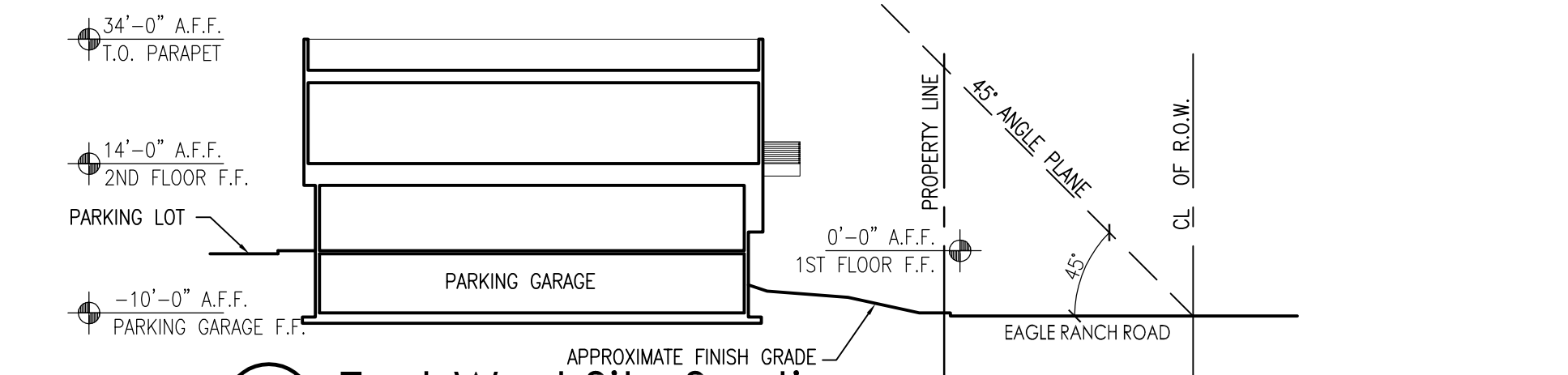
- SIGNAGE CALCULATIONS:
- BUILDING MOUNTED:
- EAST ELEVATION- 3503 SF x 9%  
315 SF ALLOWED  
315 SF ILLUMINATED PROVIDED
  - NORTH ELEVATION- 2469 SF x 9%  
222 SF ALLOWED  
222 SF ILLUMINATED PROVIDED
  - SOUTH ELEVATION- 2340 SF x 9%  
210 SF ALLOWED  
210 SF ILLUMINATED PROVIDED
  - WEST ELEVATION- 3614 SF x 9%  
325 SF ALLOWED  
325 SF ILLUMINATED PROVIDED



4 West Exterior Elevation  
Scale: 1/8"=1'-0"



5 North-South Site Section  
Scale: 1/8"=1'-0"



6 East-West Site Section  
Scale: 1/8"=1'-0"

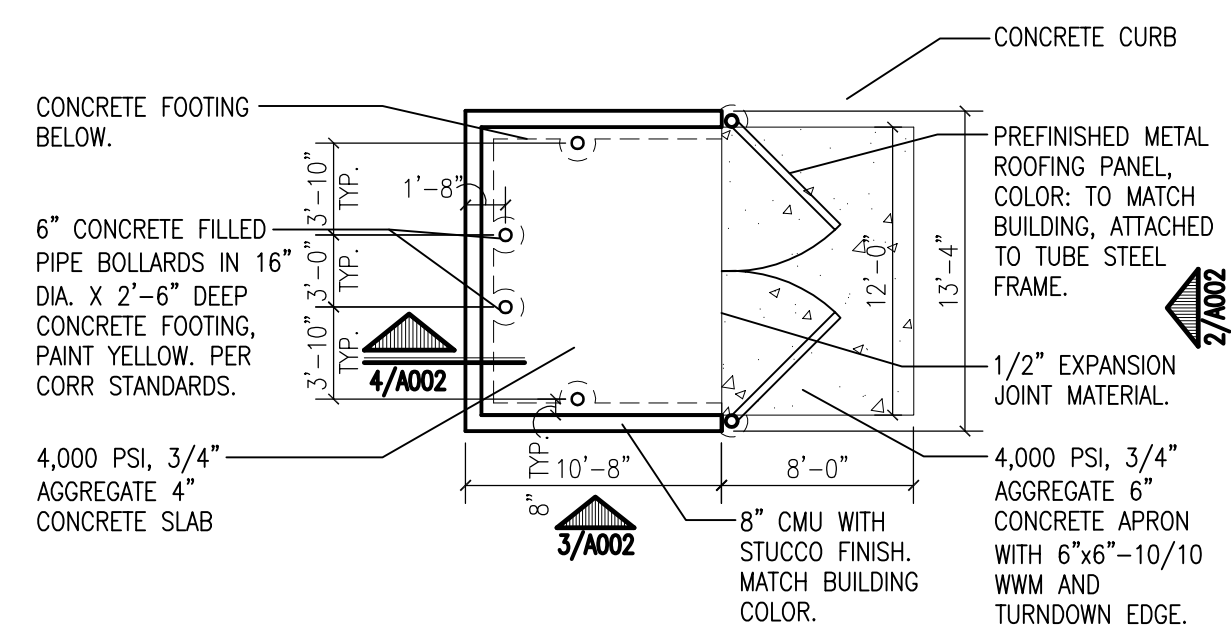
revision  
by  
date  
rev

Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]

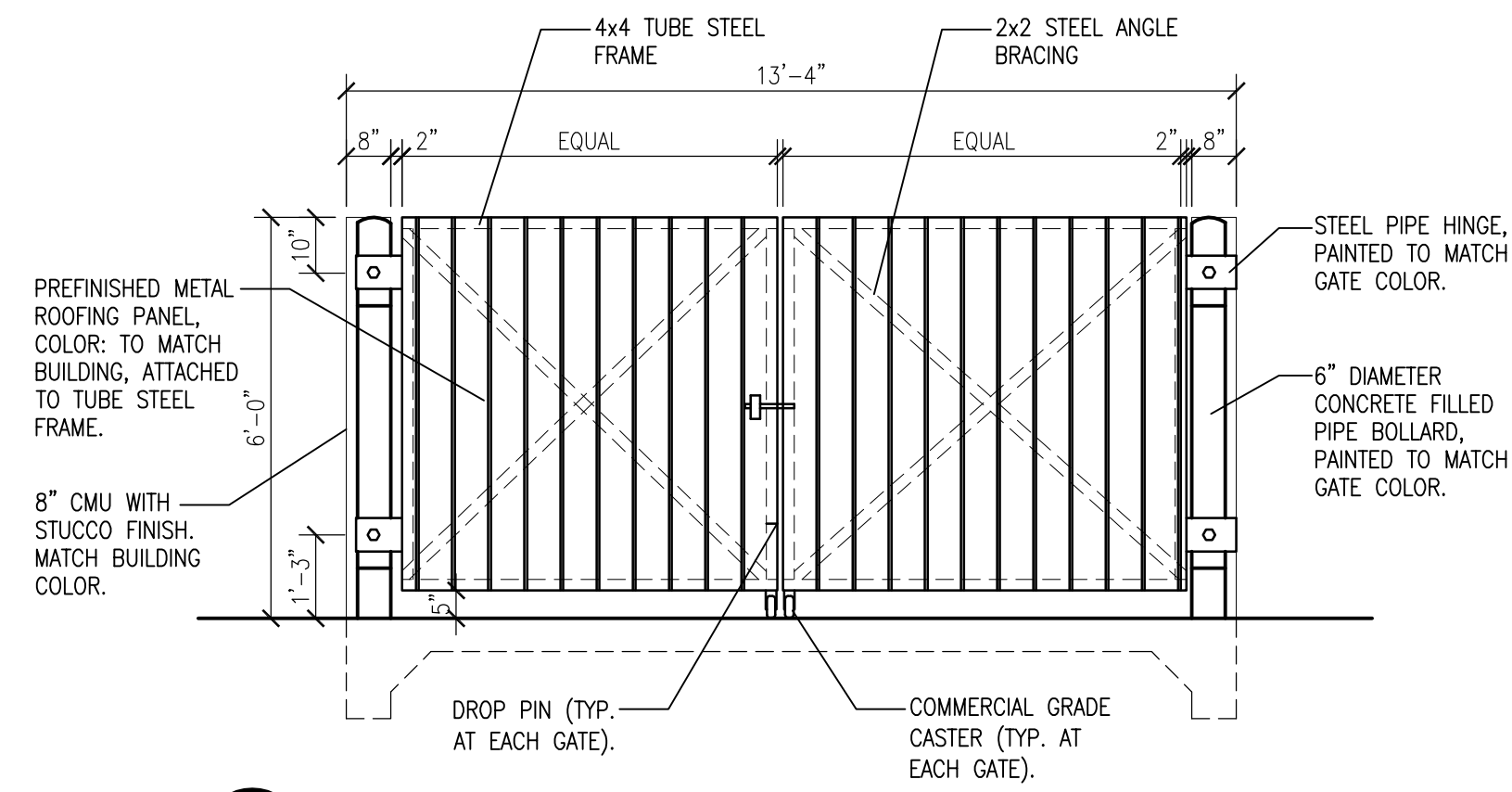
job number	17-04
drawn by	AV
project manager	Douglas Heller, AIA
date	03-30-2017

project title  
**Smiles for Kids Dental Office PHASE 2**  
9211 Eagle Ranch Road, NW,  
Albuquerque, New Mexico 87114

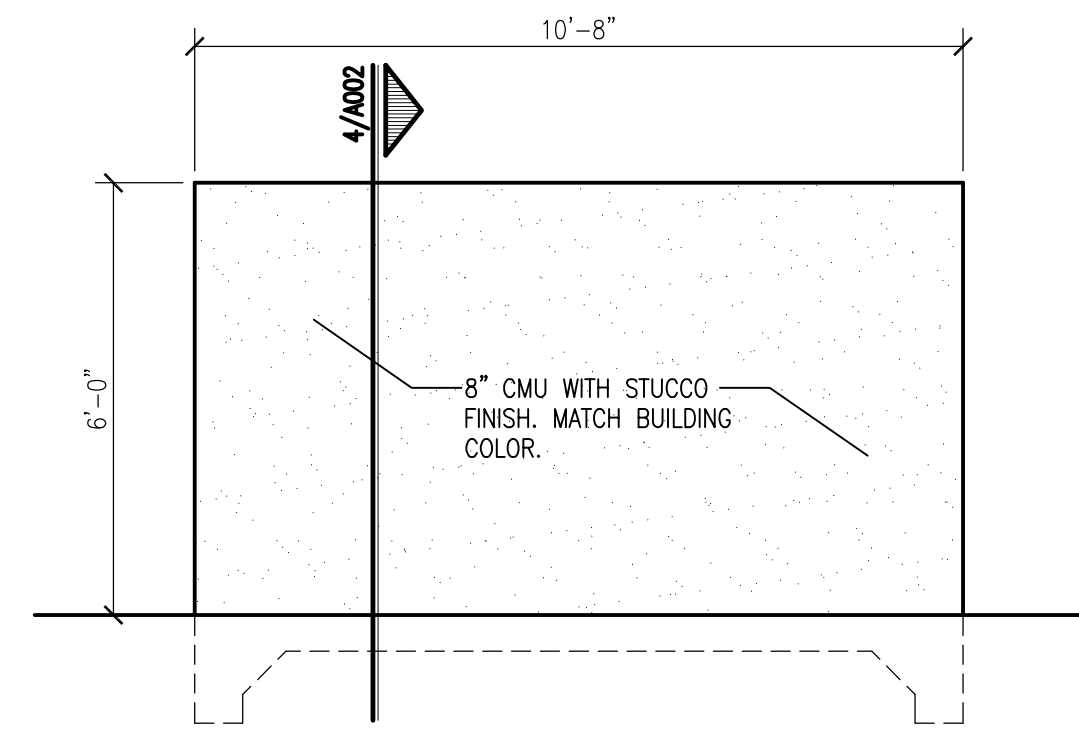
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**Exterior Elevations**



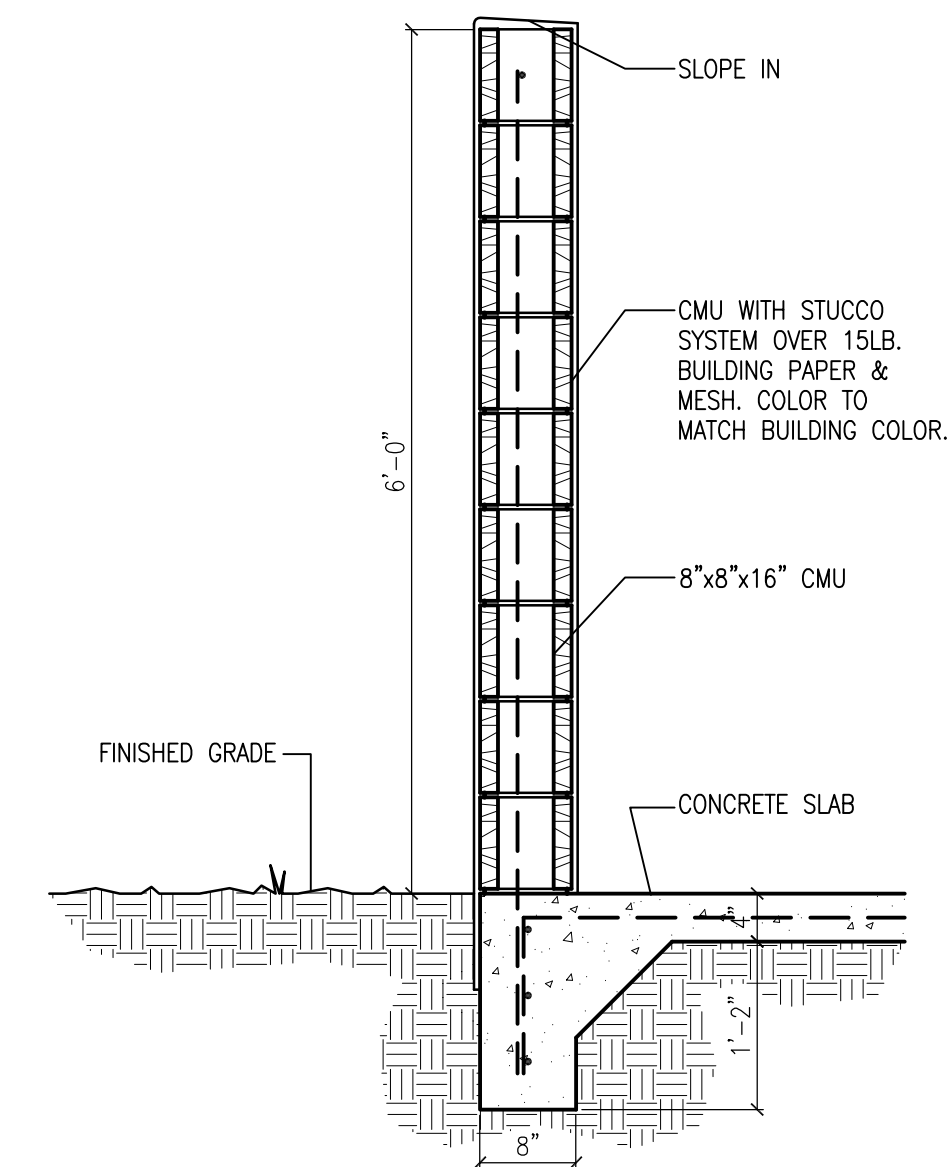
1 Dumpster Enclosure Plan  
Scale: 1/8"=1'-0"



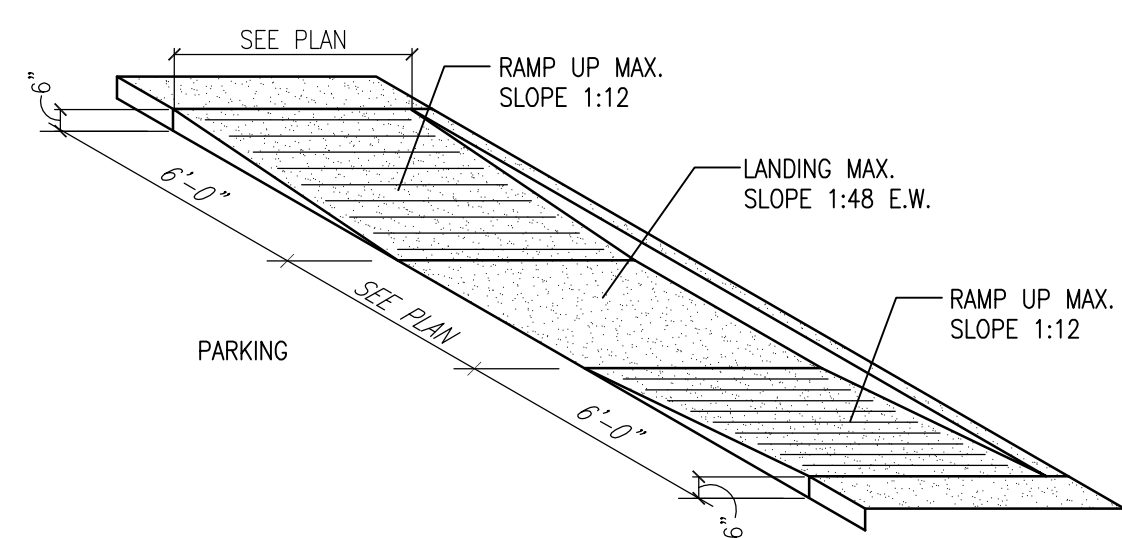
2 Dumpster Enclosure Front Elevation  
Scale: 3/8"=1'-0"



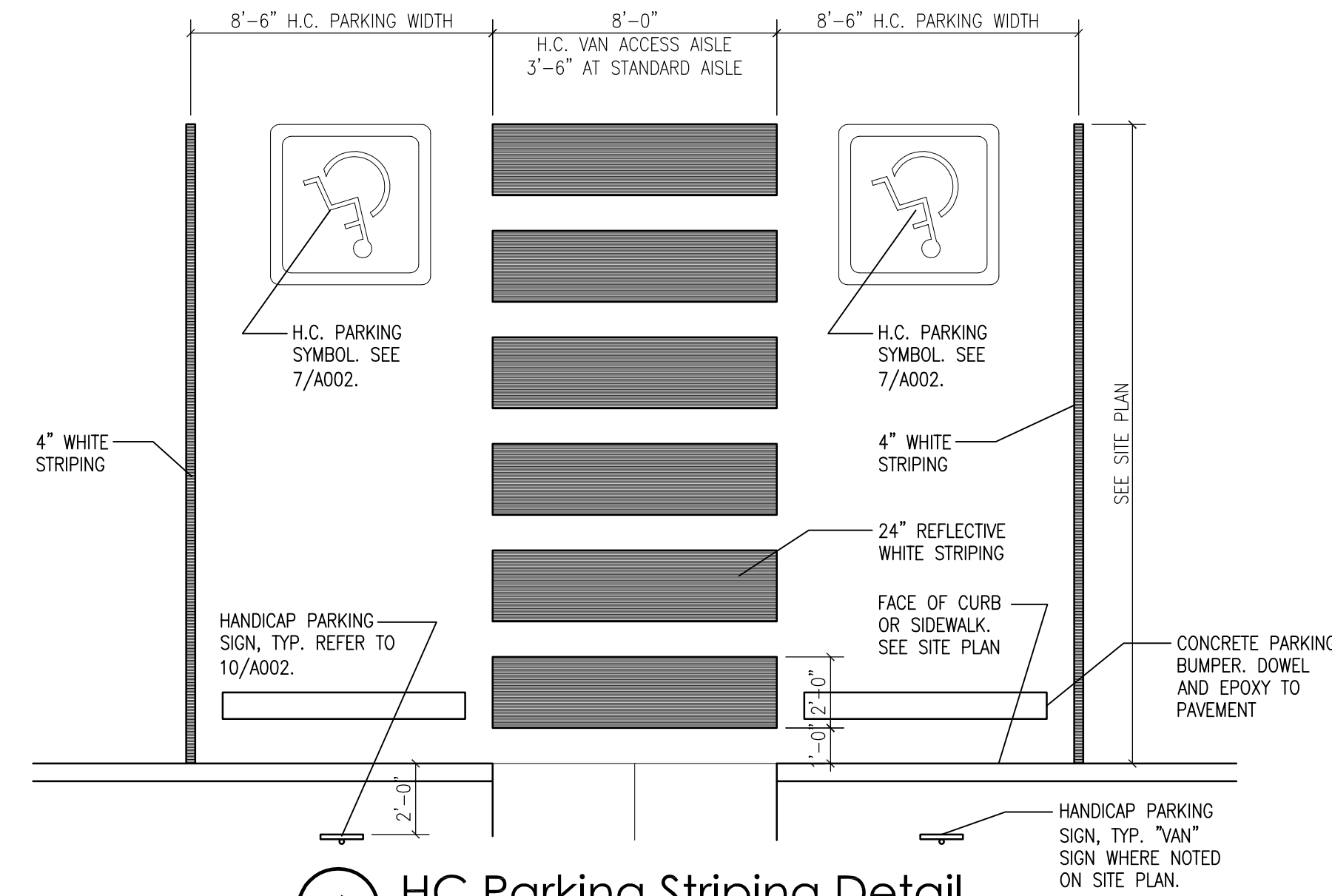
3 Dumpster Enclosure Side Elevation  
Scale: 3/8"=1'-0"



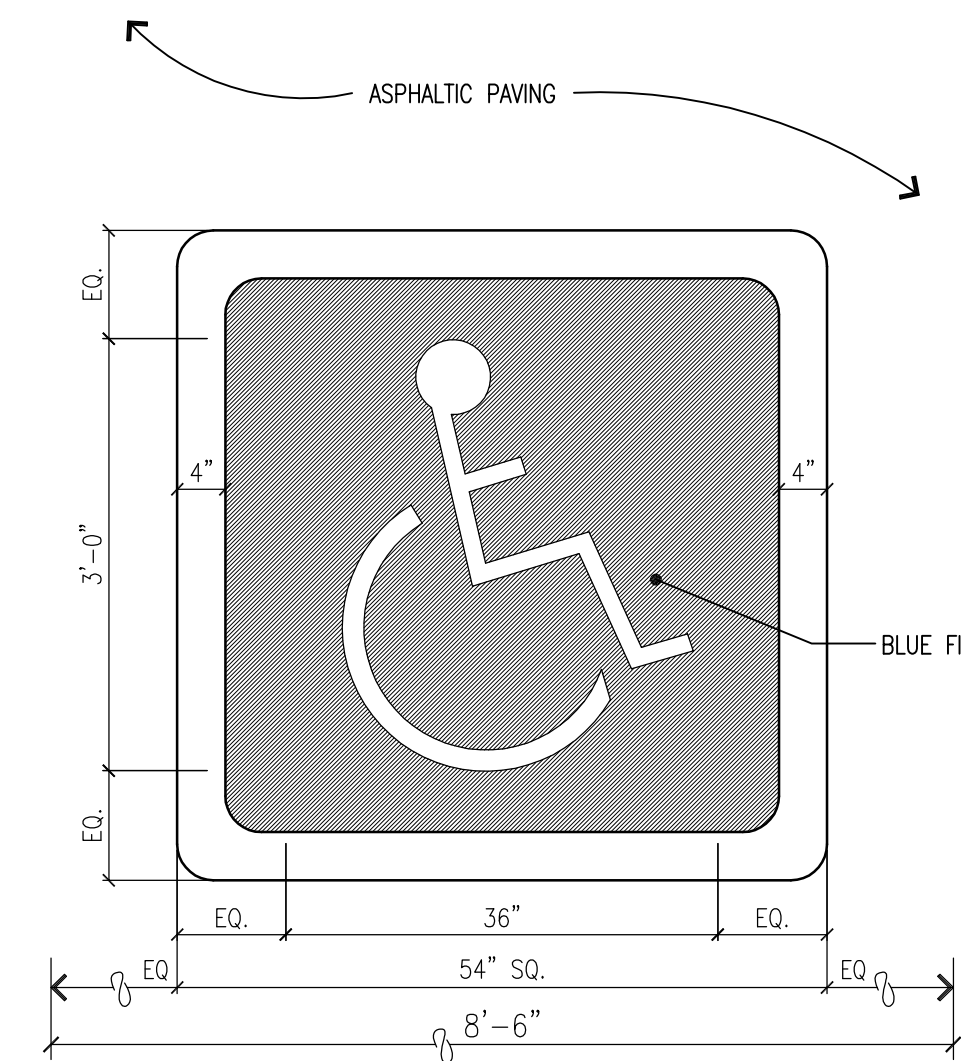
4 Refuse Enclosure Wall Section  
Scale: 1"=1'-0"



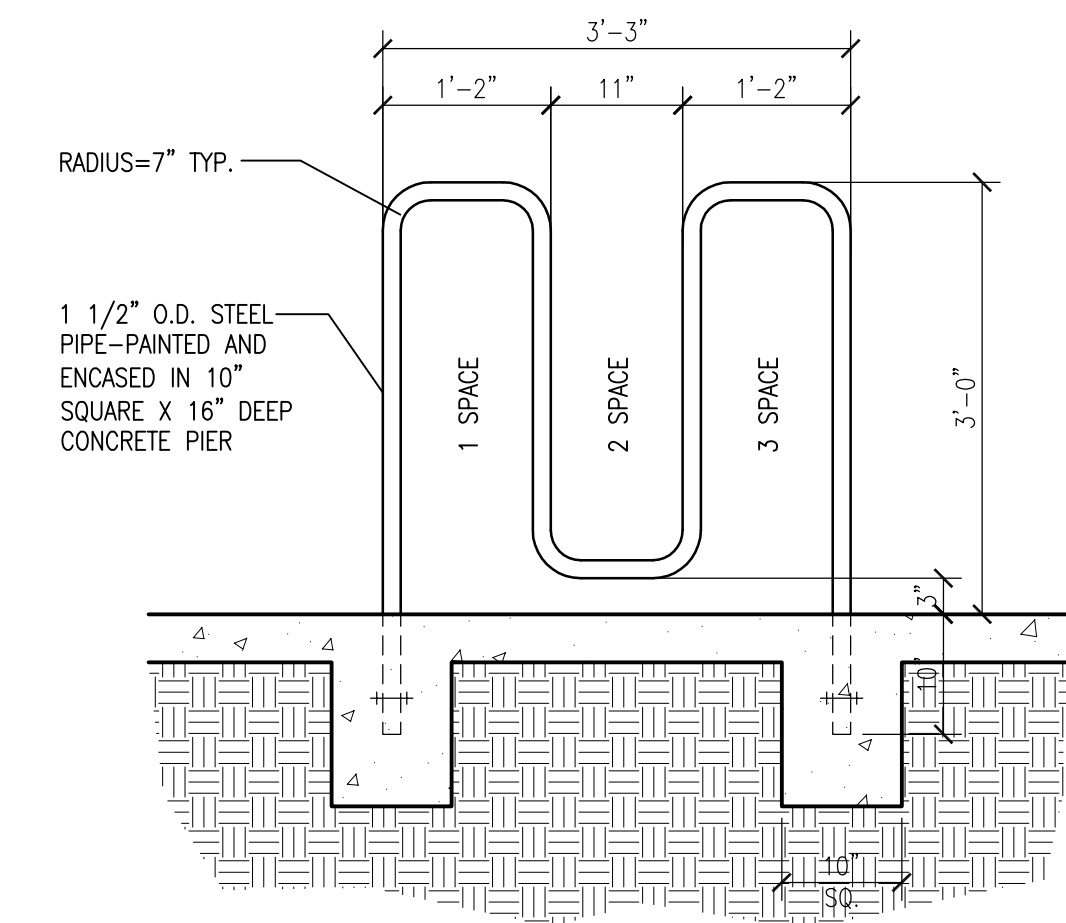
5 H.C. Ramp Detail  
Scale: Not To Scale (Isometric)



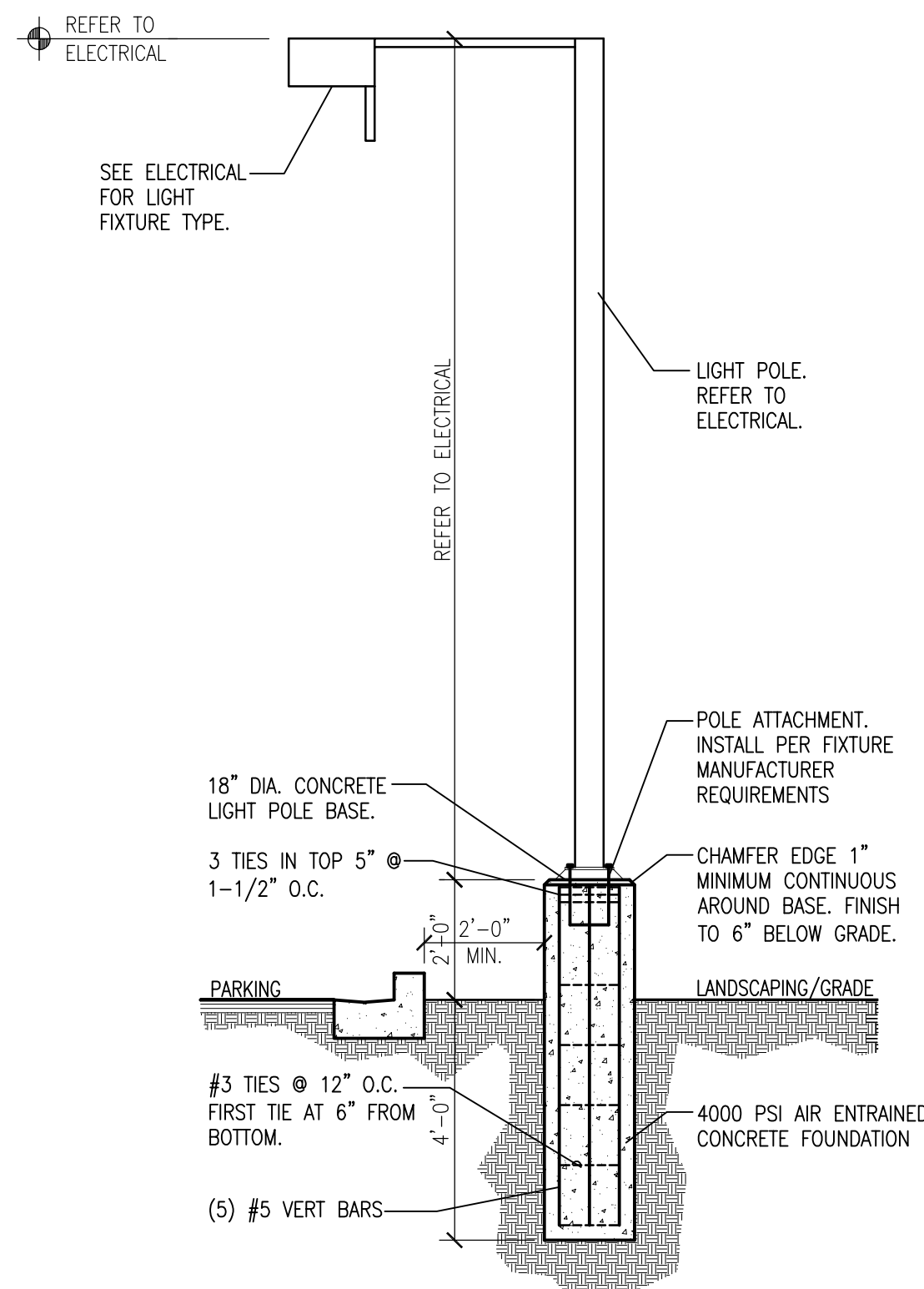
6 HC Parking Striping Detail  
Scale: 1/4"=1'-0"



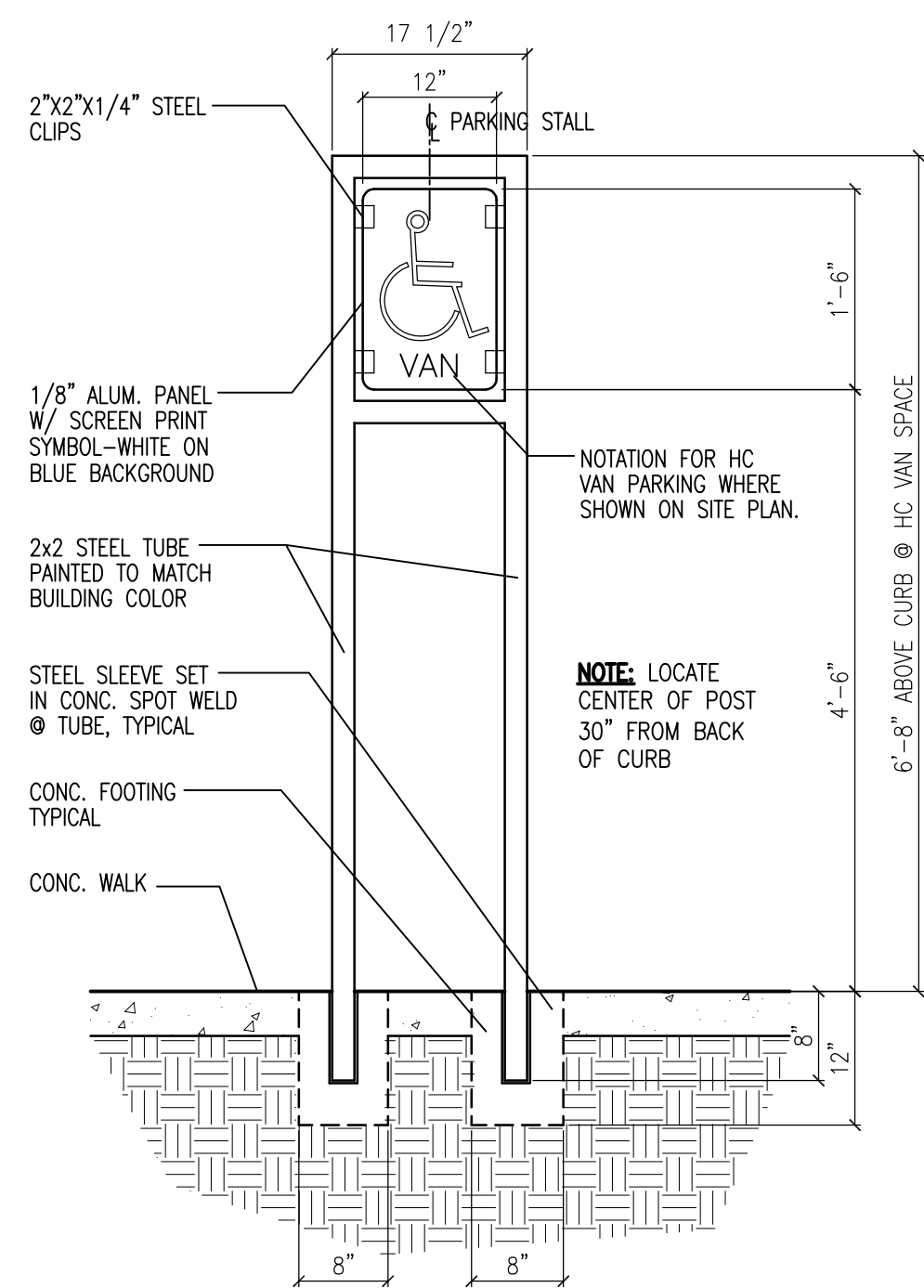
7 HC Pavement Sign Detail  
Scale: 3/4"=1'-0"



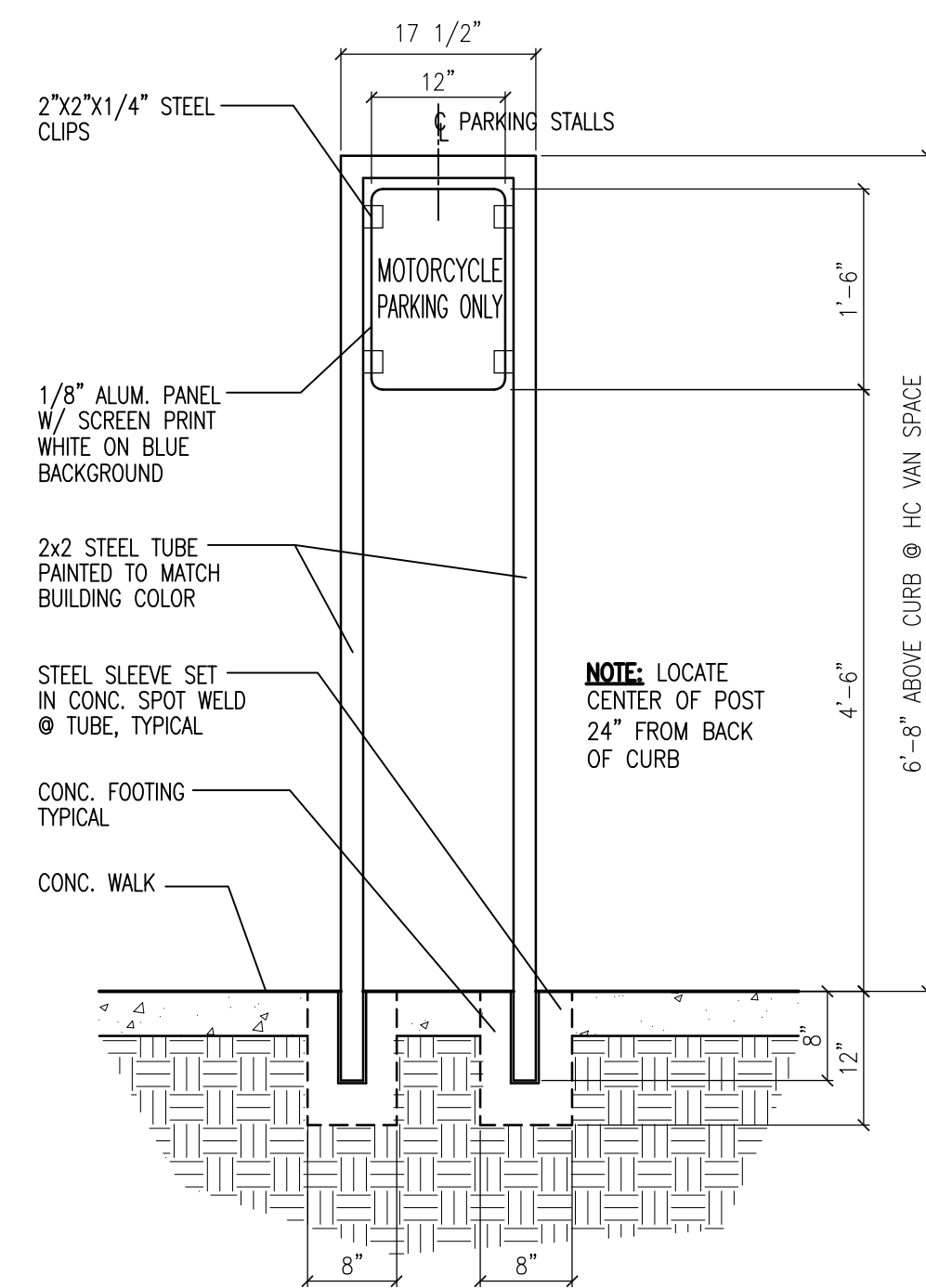
8 Bicycle Rack Detail  
Scale: 3/4"=1'-0"



9 Light Pole Detail  
Scale: 3/8"=1'-0"



10 HC Parking Sign Detail  
Scale: 3/4"=1'-0"



11 MC Parking Sign Detail  
Scale: 3/4"=1'-0"

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sheet title  
Site Details

sheet  
A002

SHEET 6 OF 6